



VILLAGE OF PALATINE

VILLAGE HALL - COUNCIL CHAMBERS 200 E. WOOD STREET
PALATINE, IL 60067-5339 – (847) 359-9050
<http://www.palatine.il.us>

ZONING BOARD OF APPEALS

AGENDA • JANUARY 23, 2018

Village Hall - Council Chambers

Regular Meeting

7:00 PM

I. CALL TO ORDER

II. APPROVAL OF MINUTES

1. Zoning Board of Appeals - Regular Meeting - Jan 9, 2018 7:00 PM

III. PUBLIC HEARING

1. 459 W. Northwest Highway

TO BE CONTINUED TO THE FEBRUARY 13, 2018 ZBA MEETING

2. 715 S. White Willow Bay

Special Use to permit a sunroom addition to be set back 32 feet from the rear lot line instead of the required 45 feet pursuant to Section 10.03 (c) (11) of the Palatine Zoning Ordinance.

3. 570 N. Smith Street

Special Use to permit a restaurant pursuant to Section 11.03 (d) (27) of the Palatine Zoning Ordinance.

IV. COMMUNICATIONS

V. ADJOURNMENT



VILLAGE OF PALATINE

VILLAGE HALL - COUNCIL CHAMBERS 200 E. WOOD STREET
PALATINE, IL 60067-5339 – (847) 359-9050
<http://www.palatine.il.us>

ZONING BOARD OF APPEALS

MINUTES • JANUARY 9, 2018

Village Hall - Council Chambers

Regular Meeting

7:00 PM

I. CALL TO ORDER

Attendee Name	Title	Status	Arrived
Brent Larson	Commissioner	Present	
Cindy Roth-Wurster	Commissioner	Present	
Jan Wood	Commissioner	Present	
Jerry Luszcak	Commissioner	Present	
Theodore McGinn	Commissioner	Present	
Kevin Cavanaugh	Commissioner	Present	
James Dittrich	Commissioner	Present	
John Pirog	Commissioner	Present	

Staff present: Ms. Lyn Bremanis

II. MINUTES APPROVAL

1. Zoning Board of Appeals - Regular Meeting - Dec 12, 2017 7:00 PM - **Accepted**
Mr. Cavanaugh made a motion to approve the minutes of December 12, 2017; seconded by Mr. Dittrich.

RESULT:	ACCEPTED [UNANIMOUS]
MOVER:	Kevin Cavanaugh, Commissioner
SECONDER:	James Dittrich, Commissioner
AYES:	Larson, Roth-Wurster, Wood, Luszcak, McGinn, Cavanaugh, Dittrich, Pirog

Minutes Acceptance: Minutes of Jan 9, 2018 7:00 PM (Approval of Minutes)

III. CASE STAFF STATEMENTS

1. 217 N. Benton Street - **Recommended to Approve**

Notice was published in the Daily Herald on December 25, 2017 and mailed to the owners of the surrounding properties.

Petitioner's Exhibits:

1. **Application for Variation**
2. **Proof of Ownership**
3. **Plat of Survey**
4. **Site Plans**
5. **Elevations**
6. **Neighboring Property Owner Statements**
7. **Public Notice**

Sworn in staff: Ms. Lyn Bremanis

Ms. Bremanis gave the background of the request. The Petitioner replaced the second story over the existing first floor. The proposed design will include a canopy over the entrance including the stoop and stairs. Therefore, the Petitioner is requesting approval of the following:

- **Variation to permit a canopy to encroach 6 feet into the required front yard.**

SITE ANALYSIS:

- The Subject Property is zoned R-2 Single Family. The existing residence has a legally non-conforming front yard setback at approximately 27 feet, instead of the minimum required 30 feet.
- The Petitioners replaced the existing second floor with a higher roof line through the issuance of a building permit. The replaced second story includes dormer windows, which are set back from the legally non-conforming front yard for the principal structure and was approved through a building permit.
- A second component of the planned residential improvements requires relief from the Zoning Ordinance. The Petitioners would also like to install a new canopy that will encroach 9 feet into the required front yard.
- Per code, canopies can encroach 3 feet into the front yard. In this instance, the established front yard is approximately 27 feet. As the proposed canopy encroaches 9 feet into that yard, the required relief is 6 feet or a front yard setback of 18 feet.
- Both building and lot coverage meet code.

DEPARTMENTAL REVIEWS:

Community Services	No Issues Identified
Engineering	No Issues Identified
Environmental	N/A

Health	
Fire Prevention	N/A
Public Works	N/A
Police	N/A

STANDARDS FOR A VARIATION: Standards for a Variation are found in Section 14.03 D (1) and (2) of the Zoning Code. Specifically, the Petitioners must show that the property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations governing the district in which it is located; that the plight of the owner is due to unique circumstances; and that the variation, if granted, will not alter the essential character of the locality. The Petition for Variation is attached, and the Petitioners have attempted to address the required standards.

Ms. Wood asked if there are any questions on Staff's presentation.

Ms. Roth-Wurster asked how many homes in the area have similar encroachments

Ms. Bremanis explained the majority of homes appear not to meet setback.

Sworn in Petitioner - Mr. Charles Rowley, 217 N. Benton Street, Palatine

Mr. Rowley explained he and his wife feel it conforms to the neighborhood since a lot of the homes have front porches or canopies. He spoke to the neighboring properties having similar encroachments. Mr. Rowley explained he is trying to add to the 2nd story they are already adding. He stated he has always envisioned having a front canopy and hoping to do so at this time.

Ms. Wood asked if any other questions for Petitioner. There were no further questions for the Petitioner.

Sworn in Mr. Robert Duer 208 N. Benton Street, Palatine

Mr. Duer stated he is in support of the petitioner. He explained they live in the inner city of Palatine, which is not in conformance with current codes. He stated the petitioner is enhancing the neighborhood and restated he is in complete support.

STAFF RECOMMENDATION:

The Petitioners are proposing to install a canopy that will encroach into the front yard setback. The first floor principal structure is existing non-conforming and the proposed canopy will encroach farther into the required front yard. The addition of the canopy should not impact the surrounding property owners or alter the essential character of the neighborhood. In advance applying for this relief, the Petitioners submitted sign-off approvals from the 5 immediately adjacent surrounding property owners indicating their support of the requested relief. Therefore, Staff recommends approval of the Variation subject to the following condition:

1. The Variation shall substantially conform to the site plan and elevation plan

prepared by Warren Johnson Architects, Inc dated 11/16/2017 except as such plans may be changed to conform to Village Codes and Ordinances.

Ms. Wood asked if there were any questions on Staff's recommendation.

Ms. Wood asked what the setbacks used to be.

Ms. Bremanis stated the house is old and was built before the current R2 standards were in place.

Ms. Wood clarified her question was what the setbacks were when the home was built.

Ms. Bremanis explained back in 1966 they were still at 30 ft. but prior to that it is unknown.

There were no further questions. The public hearing was closed.

Mr. Cavanaugh made a motion to approve subject staff's conditions; seconded by Ms. Roth-Wurster.

DELIBERATIONS:

Mr. Cavanaugh stated the request is pretty straightforward. He pointed out the request will make the home more conforming to the immediate neighborhood.

Ms. Roth-Wurster stated the standards have been met. She pointed out the reasonable return standard can be argued but the request indicates in climate weather it will add to the property.

Ms. Wood spoke to the home's uniqueness being because of when the home was built any updates would require some kind of relief. She pointed out the request is not overwhelming and is adding to architectural beauty and functionality.

Ms. Wood summarized that this request had met the standards and was approved by a unanimous vote of 8-0. This item will go to Village Council on January 15, 2018.

RESULT:	RECOMMENDED TO APPROVE [UNANIMOUS]
MOVER:	Kevin Cavanaugh, Commissioner
SECONDER:	Cindy Roth-Wurster, Commissioner
AYES:	Larson, Roth-Wurster, Wood, Luszczak, McGinn, Cavanaugh, Dittrich, Pirog

2. 225 W. Kenilworth Avenue - **Recommend to Deny**

Notice was published in the Daily Herald on December 25, 2017 and mailed to the owners of the surrounding properties.

Petitioner's Exhibits:

1. **Application for Special Use**
2. **Proof of Ownership**
3. **Plat of Survey**
4. **Plans- site plan, floor plans, & elevations**
5. **Public Notice**

Ms. Bremanis gave the background of the request. The Petitioners are proposing to construct an addition over an existing structure and extend the footprint that currently encroaches into the side yard setbacks. Therefore, the Petitioner is requesting approval of the following:

- **Special Use to permit an addition to be setback 5 feet from the side lot lines instead of the required 10 feet.**

SITE ANALYSIS:

- The Subject Property is zoned R-2 Single Family. The existing residence is legally non-conforming for both of the interior side yard required setbacks, at approximately 5 feet instead of the minimum required 10 feet.
- The Petitioner is proposing to build an addition that would align with the existing structure and maintain the existing approximately 5 foot side yard from both side property lines towards the rear of the property. They are also proposing a portico over the entrance that meets the setback requirements.
- The peak height meets code.
- Both building and lot coverage meet code.

DEPARTMENTAL REVIEWS:

Community Services	No Issues Identified
Engineering	No Issues Identified
Environmental Health	N/A
Fire Prevention	N/A
Public Works	N/A
Police	N/A

STANDARDS FOR SPECIAL USE: Since this Petition is not for a use publicly operated or traditionally affected with the public interest, those standards under Section 14.05 D (2) and (3) are applicable. Specifically, the Petitioners must show that the Special Use, if granted, will be operated in a manner consistent

with the public health, safety, and welfare, and that the Special Use will not have a negative impact on the value of surrounding properties. The Petition for a Special Use is attached, and the Petitioners have attempted to address the required standards.

Ms. Wood asked if there are any questions on Staff's presentation.

Mr. Pirog asked if they currently have a Special Use for the 5 ft.

Ms. Bremanis explained the home was built with the existing condition of the 5ft setback but the code now requires 10ft.

Sworn in petitioner - Ms. Monique DeSalvo 225 W. Kenilworth Avenue, Palatine

Ms. DeSalvo stated she purchased the home a few months ago. She explained she would like to have a 2 car garage to fit both their vehicles into and the only way to do it is to go back. She pointed out with a 10 ft. setback this wouldn't work because they have to follow the existing lines of the house. Ms. DeSalvo explained the addition on the other side of the home will include a master bedroom, an on suite, a walk in closet and an art studio which also will have to follow the existing lot lines.

Ms. Roth-Wurster clarified the garage addition will use the same roof line and the new studio will have a similar roof line not adding a second story.

Monique explained that is correct for the studio but the bedroom will add an extension to the two stories.

Mr. Pirog asked if the garage addition will be like a drive through.

Ms. DeSalvo explained the garage will be a shotgun or tandem garage by extending the current garage 15 ft. back. She explained they will have to tear up an existing patio to add the garage

Sworn in Mr. Tom Hans 219 W. Kenilworth Avenue, Palatine

Mr. Hans stated he has been in the property since June 2017. He expressed his concern is with the site lines and sun exposure since his deck is fairly close to the lot line.

Mr. Larson asked where his deck is located.

Mr. Hans explained referring to the existing conditions slide.

Mr. Pirog asked if the current site line is the backyard.

Mr. Hans answered yes.

Mr. Pirog asked if the addition will come closer to his property

Mr. Hans stated no their addition is following their existing house line. He explained his concern is with the new height and the site lines.

Sworn in Mr. Thomas Buckley, architect, 5928 Eaton Drive Hoffman Estates, IL

Mr. Buckley explained the studio is approximately 15ft tall and would block some of the western sun.

Mr. Hans stated he doesn't want to be a bad neighbor and impede on them in their studio.

Mr. Buckley explained they have awning windows in the studio that are set 8ft. high so it shouldn't be a problem. He further explained the master will have a window facing the east but will most likely have curtains or blinds and the window below will be to a laundry room.

Mr. Pirog clarified the concern is more with the view from the deck being the side of a house not so much with the sun.

Mr. Hans stated he wishes he had time to sit and speak to them to discuss the plans and his concerns.

Mr. Cavanaugh asked if the tree will be removed.

Mr. Buckley stated they will make every effort to keep it but it most likely not survive.

Mr. Larson asked if Mr. Buckley can show the location of the addition relative to the deck.

Ms. Bremanis asked how close the addition will go to the tree.

Mr. Buckley stated approximately 10ft.

Mr. Cavanaugh asked if the landscaping between the two properties will also be removed.

Mr. Buckley stated at this moment they are not removing.

Mr. Hans stated he believes the landscaping in question is on his property.

Mr. Luszczyk asked if the rear setback is still under code.

Ms. Bremanis stated that is correct. She explained if they did an addition off the back and were 10ft off the side lot line they would not require this relief.

Mr. Cavanaugh clarified there is no issues with lot coverage.

Ms. Bremanis stated that is correct.

Mr. Larson asked if there is a way to do the addition and meet the 10ft. setback.

Mr. Buckley stated no because they would have to take a 5ft. hit out of the master bedroom. He explained they purchased the home because of the 1950's retro roofline and would like to enhance the home while maintaining the existing rooflines as best they can.

Ms. Bremanis pointed you can get a better idea of where the deck is if zoom on the aerial

Mr. Cavanaugh asked about the square footage of the deck.

Mr. Hans stated it is approximately 30x17.

Mr. Cavanaugh asked how far out the new addition will come out.

Mr. Buckley stated 30ft.

Mr. Cavanaugh stated the addition will mirror the deck
Discussion on the location of the addition relevant to the deck.

Mr. Pirog clarified Mr. Hans newly purchased this home a year ago.
Mr. Hans stated in June 2017.

Mr. Pirog pointed out it is the only house in the area with a deck in the side yard instead of the back. He asked if that is where the doors are.
Mr. Hans explained that is considered the back of the property with his front door being on Hart.

Mr. Luszczyk asked if the deck is nonconforming.
Ms. Bremanis stated she does not know the width of the property and explained the code and how it relates.

Ms. Wood asked if any other questions for Petitioner. There were no further questions for the Petitioner.

STAFF RECOMMENDATION:

The Petitioners are proposing to build an addition over the existing house and extend the footprint to the south, which will encroach into the required side yard setbacks. The residence is existing non-conforming and the proposed addition will not change the existing setbacks. Furthermore, this addition should not impact the surrounding property owners or alter the essential character of the neighborhood. Therefore, Staff recommends approval of the Special Use subject to the following condition:

1. The Special Use shall substantially conform to the site plan and elevation plan prepared by Thomas Buckley Architect dated 12/4/2017 except as such plans may be changed to conform to Village Codes and Ordinances.

Ms. Wood asked if there were any questions on Staff's recommendation.
There were no further questions. The public hearing was closed.

Mr. Larson made a motion to approve subject staff's conditions; seconded by Ms. Roth-Wurster.

DELIBERATIONS:

Mr. Larson stated with the house having an existing 5 foot setback he does not feel the additional set back 5 feet for a 10 foot (meeting code) would make a difference.

Ms. Roth-Wurster addressed the standards stating it won't have a negative impact on the surrounding properties. She pointed out the impact on the neighbor using his deck is unfortunate because of how things are situated but with landscaping it could possibly be worked out.

Mr. Pirog disagreed with Mr. Larson and Ms. Roth-Wurster. He feels it will completely block the sun and make it feel like living in Chicago with the house blocking the neighbors entire patio. He stated in doing this will impact the value of the neighbor's house.

Mr. Cavanaugh stated he initially agreed with Mr. Pirog but the peak height of the addition will only be 8-10 ft. and with the deck being 2ft off the ground it should not have too big of an affect.

Discussion on the peak height of the studio

Mr. Larson pointed out the Special Use is for the 5ft relief so even if they did the addition to code the neighbor would still be looking at the side of a house.

Ms. Roth-Wurster pointed out the difficult circumstances with having a corner lot is not knowing where the deck or the garage will be placed. She pointed out sometimes people put up a 6ft fence and that would be what you would be looking at. She stated they are just trying to extend their home and make it more livable.

The motion failed.

Mr. Dittrich made a motion to deny; seconded by Mr. Pirog.

Mr. Buckley asked if the item can be continued.

Ms. Wood explained they will still have to go to council and will have time before that meeting to review.

Ms. Bremanis stated if there are conversations that need to be had no village council date will be set.

Ms. Wood explained the motion is just a recommendation to council.

Mr. Buckley asked if they can reapply immediately if it fails.

Ms. Bremanis explained if denied at the Village Council level they would have to wait a year to reapply. She suggested to finish the vote that has started and then reconvene with the petitioner and the neighbor and staff can decide where to go from there.

Mr. Larson pointed out if the zoning board votes to deny there is a higher threshold for the Village Council.

Discussion on what happens if denied.

Discussion on the possibility of continuing.

Ms. Wood summarized that this request was denied by a vote of 5-3. This item will go to Village Council in February.

RESULT:	RECOMMEND TO DENY [5 TO 3]
MOVER:	Kevin Cavanaugh, Commissioner
SECONDER:	John Pirog, Commissioner
AYES:	Luszczak, McGinn, Cavanaugh, Dittrich, Pirog
NAYS:	Larson, Roth-Wurster, Wood

3. 108 N. Forest Avenue - **Recommended to Approve**

Notice was published in the Daily Herald on December 25, 2017 and mailed to the owners of the surrounding properties.

Petitioner's Exhibits:

1. **Application for Special Use**
2. **Proof of Ownership**
3. **Plat of Survey**
4. **Plans- site plan, floor plans, & elevations**
5. **Public Notice**

Ms. Bremanis gave the background of the request. The Petitioner is proposing to construct a second story addition over an existing structure that currently encroaches on the rear yard setback. Therefore, the Petitioner is requesting approval of the following:

- **Special Use to permit an addition to be setback 7 feet from the rear lot line instead of the required 40 feet.**

SITE ANALYSIS:

- The Subject Property is zoned R-2 Single Family Residential. The residence has an existing legally non-conforming rear yard setback of approximately 7 feet. The current minimum required rear yard setback in the R-2 District is 40 feet.
- The Petitioner is proposing to build a second story addition over the existing first story. The footprint will be expanded to include a garage addition; however, the garage addition meets the setback requirements.
- The peak height of the addition meets code. Both building and lot coverage meet code.
- The existing 7 foot rear yard setback will be maintained with the second story addition and therefore a setback reduction is required.

DEPARTMENTAL REVIEWS:

Community Services	No Issues Identified
Engineering	No Issues Identified
Environmental Health	N/A
Fire Prevention	N/A
Public Works	N/A
Police	N/A

STANDARDS FOR SPECIAL USE: Since this Petition is not for a use publicly operated or traditionally affected with the public interest, those standards under Section 14.05 D (2) and (3) are applicable. Specifically, the Petitioners must show that the Special Use, if granted, will be operated in a manner consistent

with the public health, safety, and welfare, and that the Special Use will not have a negative impact on the value of surrounding properties. The Petition for a Special Use is attached, and the Petitioners have attempted to address the required standards.

Ms. Wood asked if there are any questions on Staff's presentation.

Mr. Pirog asked if they are adding a new driveway
Ms. Bremanis explained they are expanding driveway

Ms. Wood clarified the relief in review is the 7ft in the rear.
Ms. Bremanis stated that is correct

Ms. Wood asked if any other questions for Petitioner. There were no further questions for the Petitioner.

Sworn in Mr. Jerry Pysz 611 Ellis Drive, Northbrook

Mr. Pysz stated he bought the home a few months ago because it is a nice neighborhood. He stated the house is small and the neighborhood has nice larger homes so would like to add a second story and expand to a 2 car garage. Mr. Pysz spoke to the side yard being his back yard which causes them to require he relief. He stated they want to build the 2nd floor within the same footprint of the existing house.

Mr. Luszczyk asked what the setback would be if it was not a corner lot.
Ms. Bremanis explained it would be 10 ft. and would still be non-conforming.

Mr. Luszczyk asked why the address is still on Forest Avenue.
Ms. Bremanis explained the original layout of the lots and how the property was subdivided which changed the front yards. She stated she is unaware of the history of why it is addressed on Forest Avenue.

Mr. Pirog clarified the request is to build an addition in the same 7ft setback of the existing home.
Ms. Bremanis stated that is correct.

Mr. Luszczyk asked if he has spoken to the neighbors
Mr. Pysz stated he talked to the neighbors next door on Wilson who was happy about them updating the house because it is the sore toe in the neighborhood. He pointed home this will be a big improvement to the neighborhood since there are larger homes next to them.

Mr. McGinn asked about the neighbor at 114 N Forest Avenue.
Mr. Pysz stated they have not talked to them.

Sworn in Mr. Chris Olson 39 N. Forest Avenue, Palatine

Mr. Olson stated he fully supports the request because it makes total sense. He stated he likes to see the house come in as a two story house. He pointed out

there recently has been 2 new homes down the street. Mr. Olson stated his only caution is Forest has a hard 40 ft. building lot line and he nor the neighbors have not been able to build within that line. He pointed out in the drawings there is a porch encroachment into that line.

Discussion on the location of the building line

Ms. Bremanis stated the line was brought to her attention yesterday. She explained in her research into the resubdivision the building line is not shown. Ms. Bremanis stated she has spoken to the petitioner and he is aware if there is a building line he would need to go through a special use process to go through with his current porch plans, which is not the subject of the request relief.

STAFF RECOMMENDATION:

The Petitioners are proposing to build a second story addition that encroaches into the required rear yard setback. The existing residence is legally non-conforming and the proposed addition will not alter the existing setbacks. Furthermore, this addition should not impact the surrounding property owners or alter the essential character of the neighborhood. Therefore, Staff recommends approval of the Special Use subject to the following condition:

1. The Special Use shall substantially conform to the site plan and elevation plan prepared by EKI Architects dated 11/20/2017 except as such plans may be changed to conform to Village Codes and Ordinances.

Ms. Wood asked if there were any questions on Staff's recommendation. There were no further questions. The public hearing was closed.

Mr. Dittrich made a motion to approve subject staff's conditions; seconded by Mr. Cavanaugh.

DELIBERATIONS:

Mr. Luszczak stated the request meets the standards. He pointed out the weird division of the lot creates unique circumstances and he has endorsement from neighbor.

Mr. McGinn stated there will be no adverse impact on neighboring properties

Mr. Cavanagh pointed out although the aerial shows it is close to the property to the north it appears to abut the garage and should not affect the views or site lines of the property.

Ms. Wood summarized that this request had met the standards and was approved by a unanimous vote of 8-0. This item will go to Village Council on January 15, 2018

RESULT:	RECOMMENDED TO APPROVE [UNANIMOUS]
MOVER:	James Dittrich, Commissioner
SECONDER:	Kevin Cavanaugh, Commissioner
AYES:	Larson, Roth-Wurster, Wood, Luszczyk, McGinn, Cavanaugh, Dittrich, Pirog

4. 231 N. Northwest Highway - **Recommended to Approve**

Notice was published in the Daily Herald on December 25, 2017 and mailed to the owners of the surrounding properties.

Petitioner's Exhibits:

1. **Application for Special Use**
2. **Proof of Ownership**
3. **Plat of Survey**
4. **Business Plan**
5. **Plans- floor plans & elevations**
6. **Public Notice**

Ms. Bremanis gave the background of the request. The petitioner is seeking a Special Use to permit a medical office (chiropractor) at 231 N. Northwest Highway. Therefore, the Petitioner is seeking approval of the following:

- **Special Use to permit a Medical Office (Chiropractor)**

SITE ANALYSIS:

- The Subject Property is zoned B-2 General Business.
- This is currently Bea's Hair Design and is approximately 1800 square feet.
- Staff will include 6 employees, 1 full-time doctor, 1 massage therapist and 4 support staff.
- Business hours will be 9 AM - 7 PM Monday through Friday. The business plan anticipates approximately 20-30 clients per day, with peak times of 10 AM - 11 AM and 6 PM - 7 PM.
- 6 parking spaces would be required per the 1 parking space per 300 square feet standard. The subject property has 27 spaces.

DEPARTMENTAL REVIEWS:

Community Services	Upgrade exterior site to provide proper access through the building permit review process.
Engineering	No issues identified
Environmental Health	N/A
Fire Prevention	No issues identified
Public Works	N/A
Police	N/A

STANDARDS FOR SPECIAL USE: Since this Petition is not for a use publicly operated or traditionally affected with the public interest, those standards under Section 14.05 D (2) and (3) are applicable. Specifically, the Petitioners must show that the Special Use, if granted, will be operated in a manner consistent with the public health, safety, and welfare, and that the Special Use will not have a negative impact on the value of surrounding properties. The Petition for a

Special Use is attached, and the Petitioners have attempted to address the required standards.

Ms. Wood asked if there are any questions on Staff's presentation.

Mr. Pirog asked if 231 and 235 are separate lots

Ms. Bremanis clarified in aerial that they are separate.

Mr. Cavanaugh asked what is ratio to number of parking spots/ handicap

Ms. Bremanis explained per square footage of the building.

Mr. Cavanaugh asked if it is different being a medical office

Ms. Bremanis no not that she is aware

Sworn in Mr. Kevin Coyne- 1001 Warrenville Road Suite 500, Lisle, IL 60532

Mr. Coyne stated he is representing the petitioner. He explained the petitioner has been operating in Elmhurst and hopes to open location here in Palatine. He further explained they are seeking a Special Use to bring a use that is a benefit to the neighboring properties. He stated it will benefit retail and public health and will have no injuries to the neighborhood being a quiet use and ample parking. Mr. Coyne stated they are excited to bring the use to Palatine.

Ms. Wood asked if any other questions for Petitioner. There were no further questions for the Petitioner.

STAFF RECOMMENDATION:

The proposed use should not have any negative impact on the neighboring businesses and Northwest Highway commercial corridor. Also, medical offices are contemplated as Special Uses within the business districts. Therefore, Staff recommends approval of the Special Use subject to the following conditions:

1. The Special Use shall substantially conform to the business plan submitted by the Petitioner, Illinois Spine Care, on 12/08/2017 and floor plan dated 10/30/17, except as such plans may be revised to conform to Village Codes and Ordinances.

Ms. Wood asked if there were any questions on Staff's recommendation.

Mr. Cavanaugh asked about the exterior work mentioned.

Ms. Bremanis explained that was mentioned by the building department but they were not specific.

Mr. Cavanaugh clarified that it was nothing substantial.

Ms. Bremanis confirmed this question.

Mr. Coyne pointed out there will be a handicap ramp added as part of the build out.

There were no further questions. The public hearing was closed.

Mr. Larson made a motion to approve subject staff's conditions; seconded by Ms. Roth-Wurster.

DELIBERATIONS:

Mr. Larson addressed the standards pointing out it won't have a negative impact on the surrounding properties and will operate in a manner consistent with public health safety and welfare. He pointed out the volume will be similar to the hair salon.

Mr. Luszczyk stated the area is starting to come to life again and thinks this use is a good fit.

Ms. Wood summarized that this request had met the standards and was approved by a unanimous vote of 8-0. This item will go to Village Council on January 15, 2018.

RESULT:	RECOMMENDED TO APPROVE [UNANIMOUS]
MOVER:	Brent Larson, Commissioner
SECONDER:	Cindy Roth-Wurster, Commissioner
AYES:	Larson, Roth-Wurster, Wood, Luszczyk, McGinn, Cavanaugh, Dittrich, Pirog

IV. COMMUNICATIONS

Ms. Bremanis stated there were 3 items on next meeting's agenda; however, 1 of the items has to be continued because the Petitioner did not meet the public notice deadline.

Ms. Bremanis stated the church at 755 S. Benton Street has been continued to the February 5th Village Council meeting.

V. ADJOURNMENT

1. Motion to Adjourn - **Motion Carried by Voice Vote**

Mr. Dittrich made a motion to adjourn; seconded by Mr. Larson.

RESULT:	MOTION CARRIED BY VOICE VOTE [UNANIMOUS]
MOVER:	James Dittrich, Commissioner
SECONDER:	Brent Larson, Commissioner
AYES:	Larson, Roth-Wurster, Wood, Luszczak, McGinn, Cavanaugh, Dittrich, Pirog

**VILLAGE OF PALATINE
Zoning Board of Appeals**

SCHEDULED 01/23/18 07:00 PM

CASE STAFF STATEMENT (ID # 4164)

459 W. Northwest Highway

TO: Palatine Zoning Board of Appeals
Jan Wood, Chair

FROM: Katie Romack

PETITIONER: Irina Zaslavskaya (Irina Zaslavskaya Beauty & Spa)

CASE NUMBER: 17-94

ADDRESS: 459 W. Northwest Highway

PROPOSAL:

The Petitioner did not meet the deadline for the Public Notice requirements. Therefore, this item shall be continued to the next Zoning Board of Appeals hearing on Tuesday, February 13, 2018.

**VILLAGE OF PALATINE
Zoning Board of Appeals**

SCHEDULED 01/23/18 07:00 PM

CASE STAFF STATEMENT (ID # 4163)

715 S. White Willow Bay

TO: Palatine Zoning Board of Appeals
Jan Wood, Chair

FROM: Katie Romack

PETITIONER: Larry & Laurie Gerlach

CASE NUMBER: 17-102

ADDRESS: 715 S. White Willow Bay

PROPOSAL:

Special Use to permit a sunroom addition to be set back 32 feet from the rear lot line instead of the required 45 feet pursuant to Section 10.03 (c) (11) of the Palatine Zoning Ordinance.

<u>LOCATION:</u> 715 S. White Willow Bay District 1 (Millar)	<u>CURRENT ZONING:</u> R-1A Single Family
--	--

SURROUNDING CONDITIONS:

<u>North:</u>	R-1A Single Family
<u>South:</u>	R-1A Single Family
<u>East:</u>	R-1A Single Family
<u>West:</u>	R-1A Single Family

BACKGROUND:

The Petitioners, owners of the subject property, would like to remove an existing wood deck and replace it with a new sunroom off the rear of their home. Therefore, the Petitioners are requesting:

- **Special Use to permit a sunroom addition to be set back 32 feet from the rear lot line instead of the required 45 feet**

SITE ANALYSIS:

- The Subject Property is zoned R-1A Single Family, contains a single-family residence, and is located in the Willow Walk Subdivision. The lot size is approximately 16,000 square feet.
- The Petitioners are proposing to remove an existing wood deck and construct a sunroom off the rear of their home.

- The proposed sunroom is 12' x 13' (156 square feet). It would be set back 32 feet from the rear lot line and more than 15 feet from both side lot lines.
- The overall height of the sunroom is approximately 13 feet, which meets Code.
- The building and lot coverage is approximately 19% and 27%, respectively and meet Code.

DEPARTMENTAL REVIEWS:

Community Services	No issues identified.
Engineering	No issues identified.
Environmental Health	N/A
Fire Prevention	No issues identified.
Public Works	N/A
Police	N/A

STANDARDS FOR SPECIAL USE: Since this Petition is not for a use publicly operated or traditionally affected with the public interest, those standards under Section 14.05 D (2) and (3) are applicable. Specifically, the Petitioners must show that the Special Use, if granted, will be operated in a manner consistent with the public health, safety, and welfare, and that the Special Use will not have a negative impact on the value of surrounding properties. The Petition for a Special Use is attached, and the Petitioners have attempted to address the required standards.

STAFF RECOMMENDATION:

The Petitioners are requesting to replace an existing deck in their rear yard with a new sunroom addition. While the proposed sunroom addition will be half the square footage of the existing deck, building additions are required to be set back 45 feet from the rear lot line. Staff does not believe the proposed sunroom addition will have a negative impact on the value of the surrounding properties or affect the surrounding property owners. Therefore, Staff recommends approval for the Special Use, subject to the following conditions:

1. The Special Use shall substantially conform to the site plan and elevation plans prepared by the architect, John M. Behrens, Architects, dated 12/11/2017, except as such plans may be changed to conform to Village Codes and Ordinances.

ATTACHMENTS:

- Aerial 715 S. White Willow Bay
- Application
- Plat of Survey
- Site Plan
- Elevations

Case Staff Statement (ID # 4163)
Meeting of January 23, 2018

- Public Notice

715 S. White Willow Bay

3.2.a

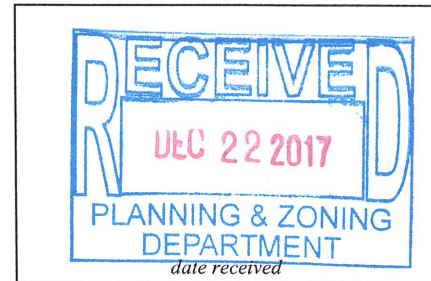


VILLAGE OF PALATINE

SPECIAL USE & VARIATION APPLICATION

Department of Planning & Zoning
200 E. Wood Street • Palatine, IL • 60067-5339
Telephone: (847) 359-9047 • Fax (847) 963-6247

Office Use Only	Project Planner <i>Katie Romack</i>	Zoning Case # <i>17-102</i>
	Filing Fee <i>\$337</i>	Notification Deadline
	ZBA Public Hearing Date <i>1/23/18</i>	Village Council Date



Background Information	PETITIONER(S)		Business Name (if applicable)	
	<i>715 S. WHITE WILLOW BAY</i>			
	Subject Property Address			
	AUTHORIZED AGENT (if applicable)		Business Name (if applicable)	
	<i>KATIE ESPACITO</i>		<i>ADVANCE DESIGN STUDIO</i>	
	Address		City/State/Zip Code	
	<i>30 RAILROAD ST.</i>		<i>GILBERTS, IL 60134</i>	
	Telephone	Fax	Email	
	<i>847-834-2400</i>	<i>847-834-2424</i>	<i>Katie@AdvanceDesignStudio.com</i>	
	Relationship to Petitioner (contractor, architect, etc.) <i>CONTRACTOR</i>			
TYPE OF APPLICATION (check one)				
☒ Special Use ☐ Special Use Amendment ☐ Variation				
Existing Zoning District <i>R1-A</i>		Existing Land Use <i>WOOD DECK</i>		Proposed Land Use <i>SEASONS ROOM</i>
Generally describe your request:				
<i>We would remove the existing WOOD DECK and install a 12'x13' Seasons Room in its place. (Attached Proposal)</i>				

Attachment: Application (715 S. White Willow Bay - SU for rear yard setback)

VILLAGE OF PALATINE

SPECIAL USE

Required Materials

- ☐ Filing Fee of \$ _____
- ☐ Application Form
- ☐ Plat of Survey (must show all current improvements and be sealed by an Illinois certified surveyor)
- ☐ Site Plan & Floor plan (dimension, location, and setbacks of all existing and proposed buildings) – **one 11x17 copy each, electronic version preferred**
- ☐ Real Estate Interest Disclosure Form (see attached)
- ☐ Proof of Ownership or Lease (e.g. Title Insurance Policy, Deed, or Purchase Contract)
- ☐ Business Plan (if applicable; including, but not limited to nature of business, hours of operation, number of employees, and menu)

Additional Materials (as required by the Village)

- ☐ Elevation Plan (front, side, and rear elevations of a proposed building), and/or Floor Plan (proposed interior layout) – **one 11x17 copy of each plan, electronic versions preferred**
- ☐ Engineering Plans (must indicate existing conditions, topography, storm water management, tree preservation, utility connections, detention calculations, and a cost estimate)
- ☐ Photographs (e.g. ground-level or aerials)
- ☐ Other materials as deemed necessary by the Village

Petitioner Justification

The Petitioner is required to present specific evidence related to each of the following standards to justify the request (paraphrased from Section 14.05 of the Palatine Zoning Ordinance). Answer the items below and attach a separate sheet if necessary. ***If you are applying for a Variation only, you do not need to answer these items.***

1. The use is deemed necessary for the public convenience at that location

This will be for homeowner use only.

2. The use is designed, located, and proposed to be operated that the public health, safety and welfare will be protected

This will be on homeowner's property for their use only.

3. The use will not cause substantial injury to nearby property values

This will not cause any substantial injury.

4. With respect to live entertainment uses, the use shall not:
- a. Produce noise levels so great as to constitute an unreasonable interference for persons outside the confines of the establishment
 - b. Impose undue health, sanitation or safety burdens on the village
 - c. Create excessive demands on the Village of Palatine Police Department
 - d. Be of a nature otherwise prohibited by law or village ordinance
5. For fence standards, see Section 14.05 of the Palatine Zoning Ordinance

N/A

Attachment: Application (715 S. White Willow Bay - SU for rear yard setback)

VARIATION – PETITIONER JUSTIFICATION

2. That the plight of the owner is due to unique circumstances

Our home is set back further then those around us which we had no control over. Our neighbors Land behind us is over ten feet higher then ours. There is a large drop to get to our property. This sunroom will not affect them since we are so much lower. Every improvement we have made they have made very positive comments.

3. That the variation, if granted, will not alter the essential character of the locality

The designer has drawn our sunroom to fit into the neighborhood. The materials used and color take into account both those used on our home and the stone color on the retaining walls.

The sunroom will be less then 1/2 of the square footage of our current deck adding additional green space. Both our neighbors on each side have approved our plan to add a sunroom. The Willow Walk Assoc. confirm this with our neighbors.

4. In order to supplement the above standards, the Zoning Board of Appeals may also consider the following:

- a. The particular surroundings, shape, or topographical conditions of the property
- b. A unique hardship for the property not generally applicable to other properties in the same zoning district
- c. The request is not based on a desire to make more money out of the property
- d. The petitioner has not created the alleged hardship for the property
- e. The request will not be determined to the public welfare or other properties in the neighborhood
- f. The request will not impair the supply of light and air to adjacent properties, substantially increase the danger of fire, endanger the public safety, or substantially diminish or impair neighborhood values

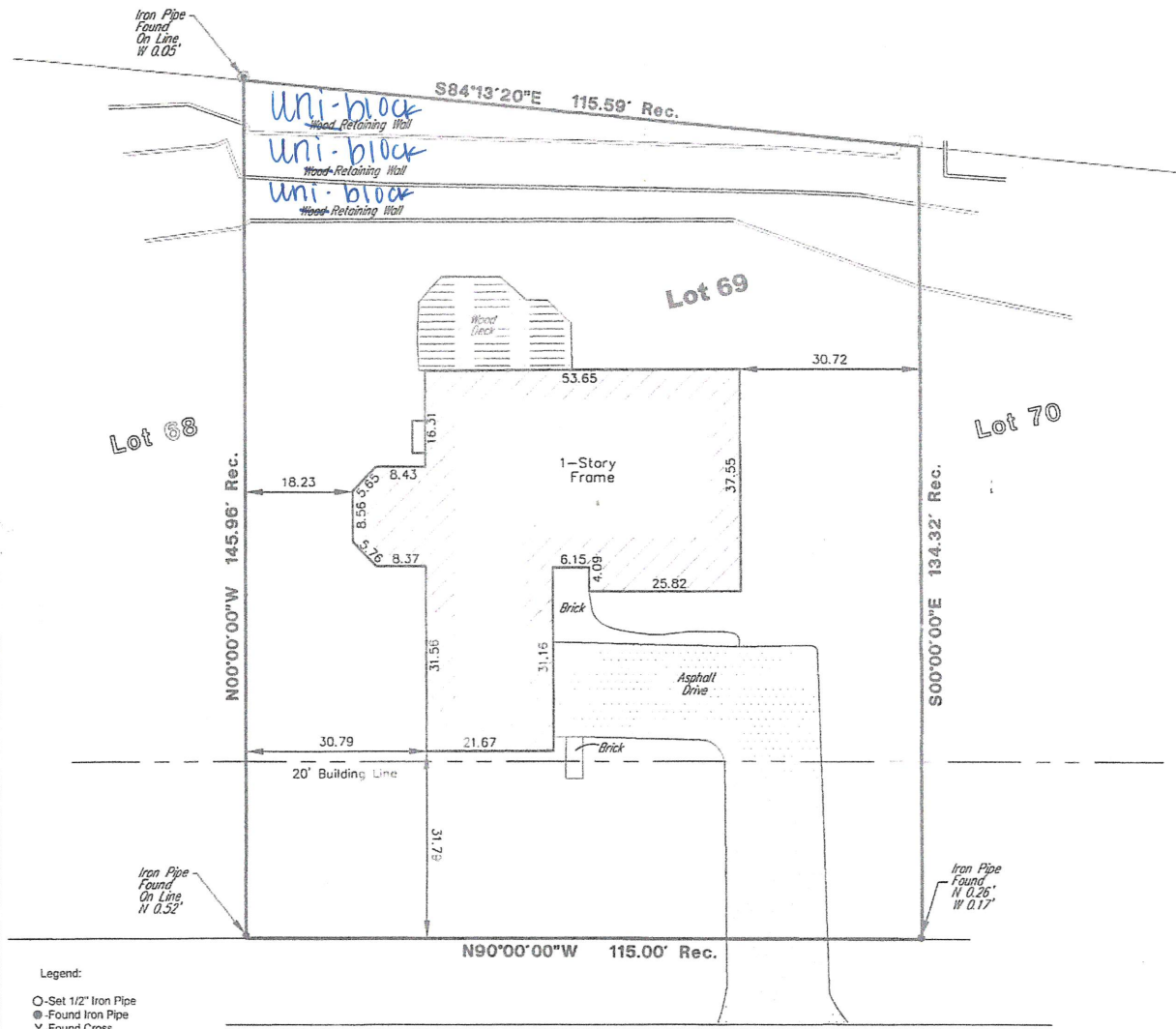
This together with other recent investments in the interior of our home (all with Permits) is a considerable Investment. It is our goal to improve our home so that we can remain living in Palatine during retirement.

We want to enjoy the outdoor view year around without insects or weather concerns. We are also taking care of our 90 year old mother that uses a walker, which this sunroom would allow her to enjoy the view/seasons/birds on a level indoor environment.



PLAT OF SURVEY

LOT 69 IN WILLOW WALK UNIT ONE, BEING A SUBDIVISION OF PART OF THE SOUTHEAST QUARTER OF THE SOUTHWEST QUARTER 0 OF SECTION 21 AND PART OF THE NORTHEAST QUARTER OF THE NORTHWEST QUARTER OF SECTION 28, BOTH IN TOWNSHIP 42 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF REGISTERED IN THE OFFICE OF THE REGISTRAR OF TITLES OF COOK COUNTY, ILLINOIS, ON DECEMBER 3, 1971, AS DOCUMENT NUMBER 2596876.



Legend:

- - Set 1/2" Iron Pipe
- - Found Iron Pipe
- X - Found Cross

Surveyor Notes:

1. Field Work Completed on 9-26-12
2. Prepared for Lawrence Gerlach
3. Site Address: 715 S. White Willow Bay Drive, Palatine, IL
4. Pin No.: 02-21-307-048
5. The easements shown hereon are provided from the use of the recorded subdivision plat. No search of the records for easements or encumbrances was made as part of this survey.
6. Compare deed description and site conditions with the data given on this plat and report any discrepancies to the surveyor at once.
8. This plat was prepared without the aid of a title commitment. Refer to a current title commitment for any building lines or easements not shown on this plat.
9. The utilities as shown on this drawing were developed from the information available. This is not implied nor intended to be the complete inventory of utilities in this area. It is the clients responsibility to verify the location of all utilities (whether shown or not) and protect said utilities from any damage.

S. White Willow Bay Drive

60' Right of Way

State of Illinois)
(County of Cook)

We, Land Surveying Services, Inc. do hereby state that we have surveyed the above described property and that this is the Plat that represents the conditions found on the date of said survey.

Given under my hand and seal this 26th day of September, A.D. 2012 in Palatine, Illinois.

Gloria Jean Koter, an agent of Land Surveying Services, Inc.

Illinois Professional Land Surveyor Number 3323
License Expiration Date 1-30-17

This professional service conforms to the current Illinois minimum standards for a boundary survey.



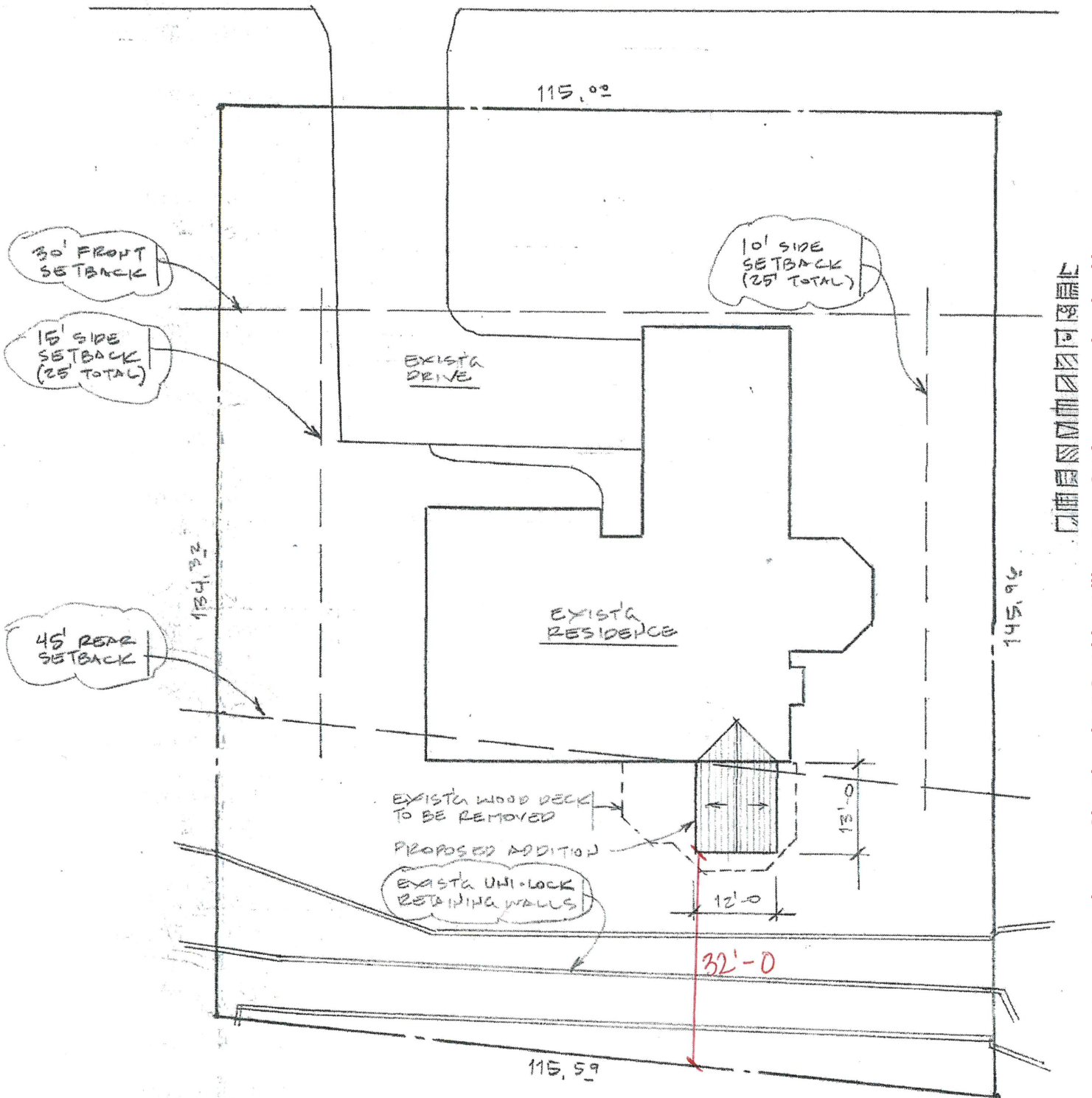
Job Number LS120502
Sheet Name PLAT OF SURVEY
Sheet Number SURVEY

574 W. Colfax Street Ph. (847)991-7700	Palatine, Illinois 60067 Fax. (847)991-7707
Professional Design Firm License No. 184-003632	

Field Work Completed:	9-26-12
Scale: 1" = 20'	Date: 9-26-12
Site Address:	
715 S. White Willow Bay Drive	
Palatine, Illinois	

Drawn By: MPS	Checked By: GJK		
Drawing Revisions			
REVISION	Date	Drawn	Checked

- S. WHITE WILLOW BAY DRIVE -



SITE PLAN

1" = 20'-0"

Attachment: Site Plan (715 S. White Willow Bay - SU for rear yard setback)

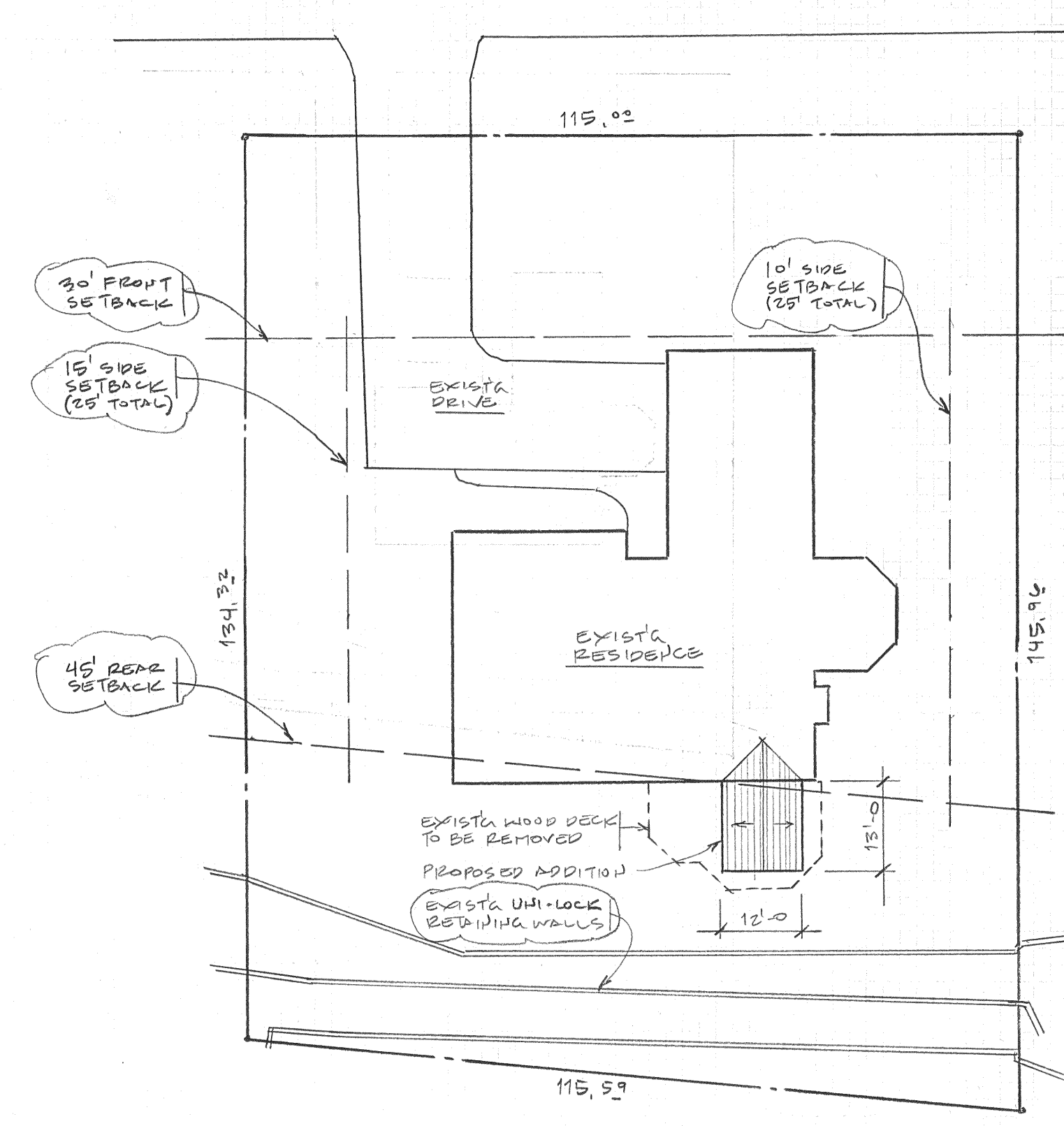
REVISIONS	BY
12.1.17	JB
12.11.17	JB

JOHN M. BEHRENS, ARCHITECT
CRYSTAL LAKE, IL
815-477-9053

PROPOSED ADDITION TO THE EXISTING
Gerlach Residence
715 S. White Willow Bay Drive, Palatine, IL

Date AUG. 23, 17
Scale 1/4" = 1'-0"
Drawn JMB
Job GERLACH
Sheet
A1
Of 1 Sheets
Packet Pg. 31

- S. WHITE WILLOW BAY DRIVE -



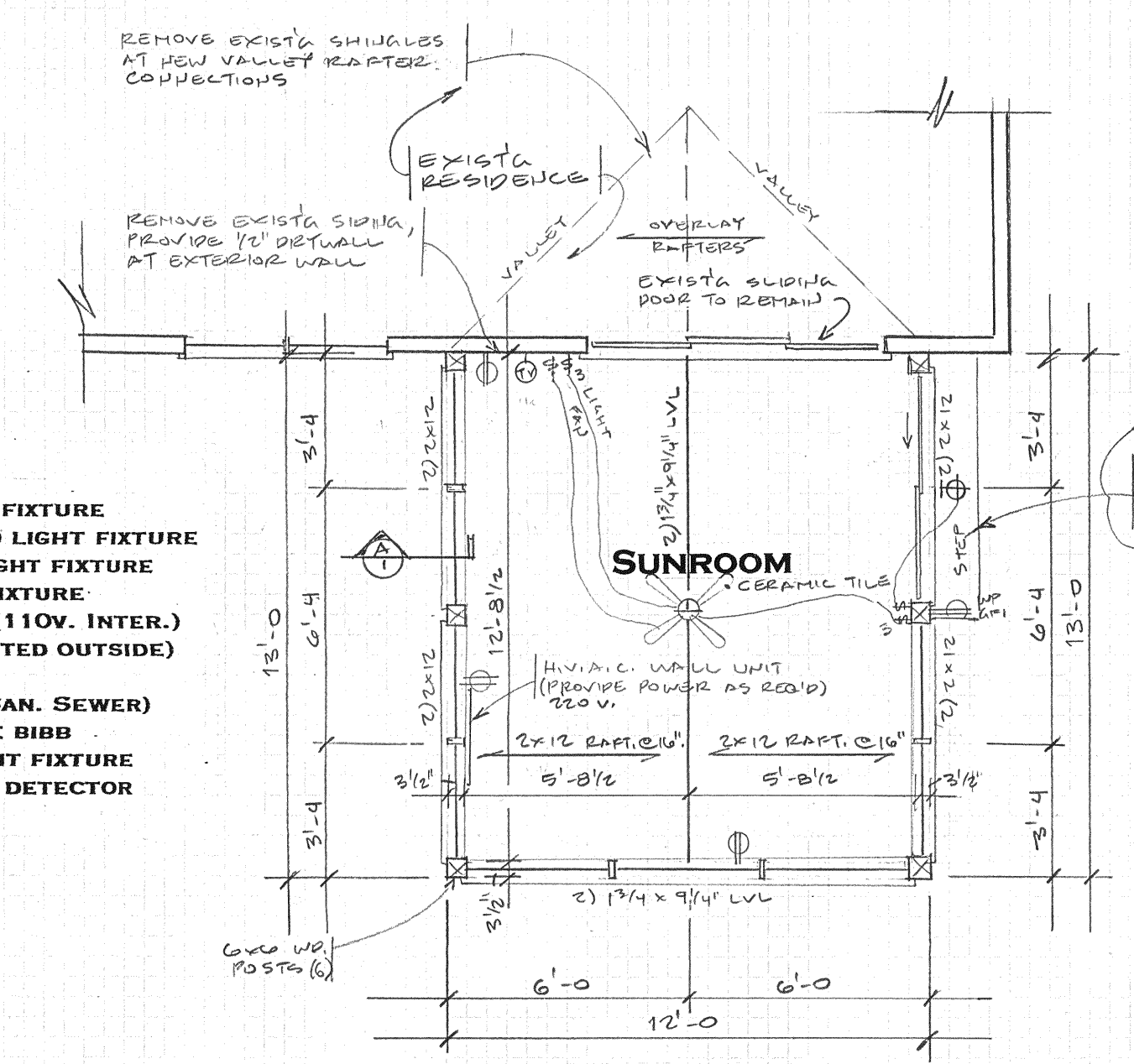
SITE PLAN
1"=20'-0"

- GENERAL REQUIREMENTS:**
- ALL CONSTRUCTION IS TO MEET LOCAL BUILDING CODES AND ZONING ORDINANCES.
 - CONTRACTOR IS TO APPLY FOR, PAY FOR, AND OBTAIN ALL REQUIRED PERMITS, BONDS, AND LICENSES.
 - APPROVED PLANS ARE TO BE KEPT ONSITE FOR ALL REQUIRED INSPECTIONS.
 - ALL COLORS, FINISHES, AND MATERIAL SELECTIONS ARE TO BE APPROVED BY OWNER.
 - DESIGN LOADS: FLOOR: 40PSF LL + 10PSF DL = 50PSF TL
CEILING: 20PSF LL + 10PSF DL = 30PSF TL
ROOF: 30PSF LL + 15PSF DL = 45PSF TL
- EXISTING CONDITIONS:**
- CONTRACTOR TO VISIT SITE TO VERIFY EXISTING CONDITIONS.
- CONCRETE:**
- ALL FOOTINGS TO BEAR ON UNDISTURBED, NON-ORGANIC SOIL WITH 3,000PSF MIN BEARING CAPACITY.
 - CONCRETE FOUNDATIONS ARE TO ATTAIN 3,000PSI MINIMUM STRENGTH AT 28 DAYS.
 - CONCRETE FLATWORK IS TO BE 3,500PSI MIN. WITH AIR ENTRAINMENT BETWEEN 5% AND 7%.
- METALS:**
- STEEL BEAMS, COLUMNS, AND LINTELS TO CONFORM TO ASTM A36.
 - STEEL REINFORCING BARS TO BE GRADE 60.
- WOOD:**
- ALL FRAMING LUMBER TO BE HEM-FIR #2 OR BETTER, FB=1,075 PSI MIN.
 - PROVIDE 2-2X12 HEADERS AT ALL OPENINGS UNLESS NOTED OTHERWISE.
- WINDOWS AND DOORS:**
- ALL EXTERIOR GLAZING TO HAVE A FENESTRATION RATING OF U=0.32 OR LESS.

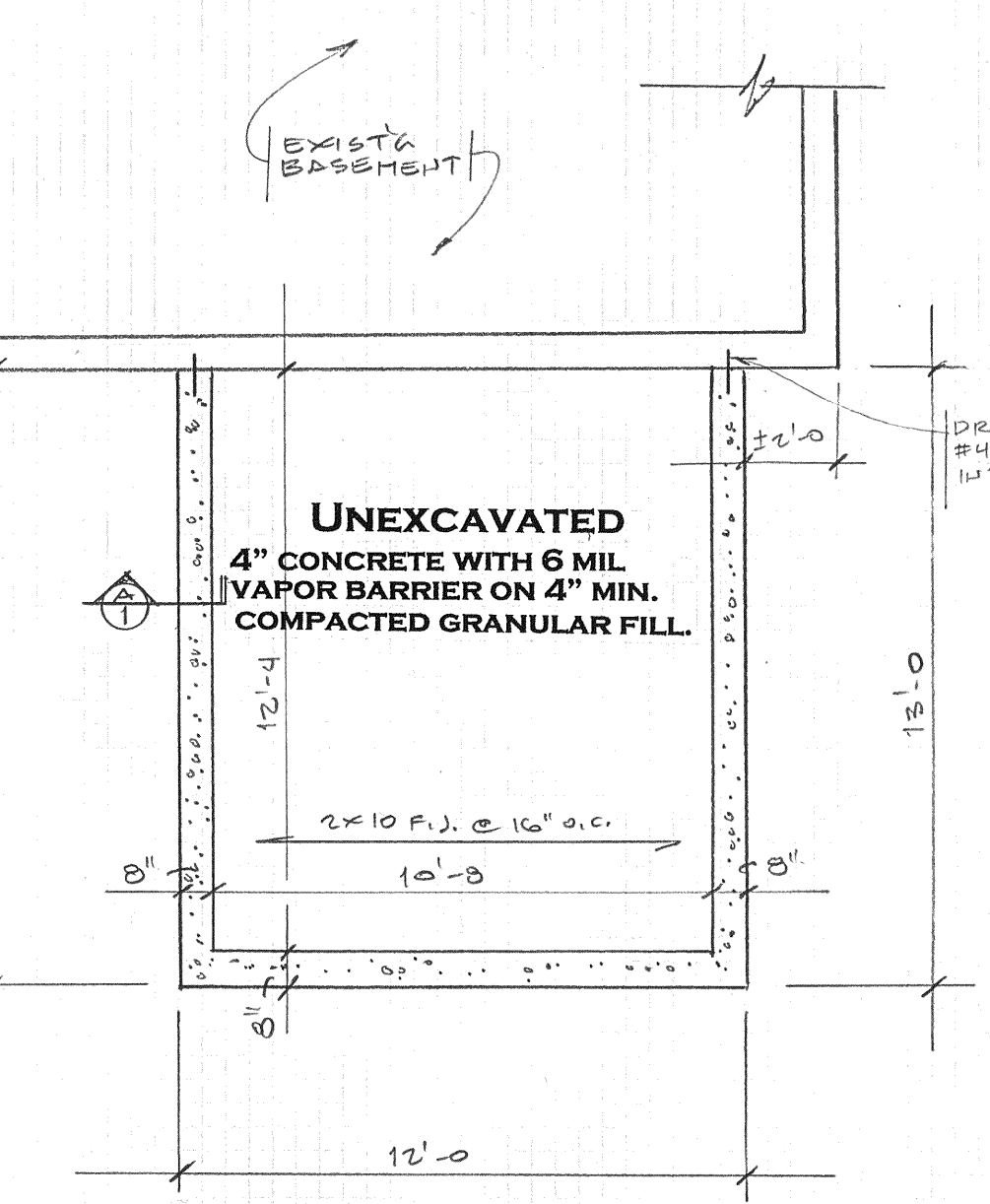
THIS PROJECT IS DESIGNED PER THE CODES ADOPTED BY THE VILLAGE OF PALATINE:

Abbreviation	Code
IRC	International Residential Code, 2009 Edition
IBC	International Building Code, 2009 Edition
IMC	International Mechanical Code, 2009 Edition
IFGC	International Fuel Gas Code, 2009 Edition
IECC	International Energy Conservation Code, 2015 Edition
NEC	National Electrical Code, 2011 Edition
IPC	International Plumbing Code, 2014 Edition
IAC	Illinois Accessibility Code, Latest Edition
PCO	Palatine Code of Ordinances
NFPA	Life Safety Code, NFPA 101, 2000 Edition
IFC	International Fire Code, 2009 Edition

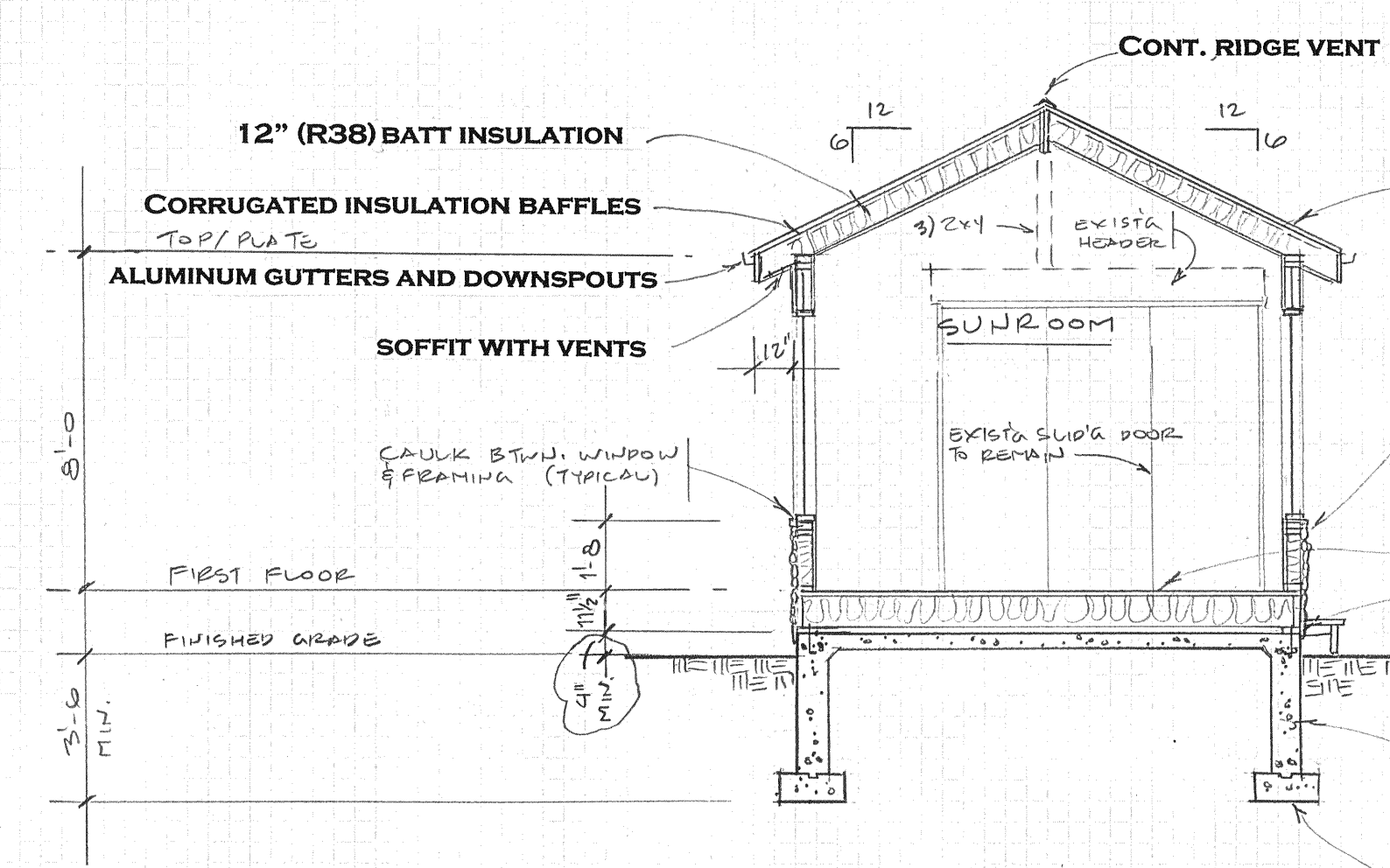
- LEGEND:**
- | | | |
|--------------|--|-------------------------------|
| BACKFILL | 2" (R38) BATT INSULATION | PULL CHAIN LIGHT FIXTURE |
| GRAVEL | CORRUGATED INSULATION BAFFLES | SURFACE MOUNTED LIGHT FIXTURE |
| CONCRETE | ALUMINUM GUTTERS AND DOWNSPOUTS | WALL MOUNTED LIGHT FIXTURE |
| MASONRY | SOFFIT WITH VENTS | RECESSED LIGHT FIXTURE |
| STEEL | CHALK STAIN WINDOW & FRAMING (TYPICAL) | SMOKE DETECTOR (110V, INTER.) |
| WOOD FRAME | FIRST FLOOR | EXHAUST FAN (VENTED OUTSIDE) |
| ROUGH WOOD | FINISHED GRADE | CEILING FAN |
| FINISH WOOD | | FLOOR DRAIN (TO SAN. SEWER) |
| BATT INSUL. | | FLUORESCENT LIGHT FIXTURE |
| RIGID INSUL. | | CARBON MONOXIDE DETECTOR |
| GLASS | | |



FIRST FLOOR PLAN
1/4"=1'-0"

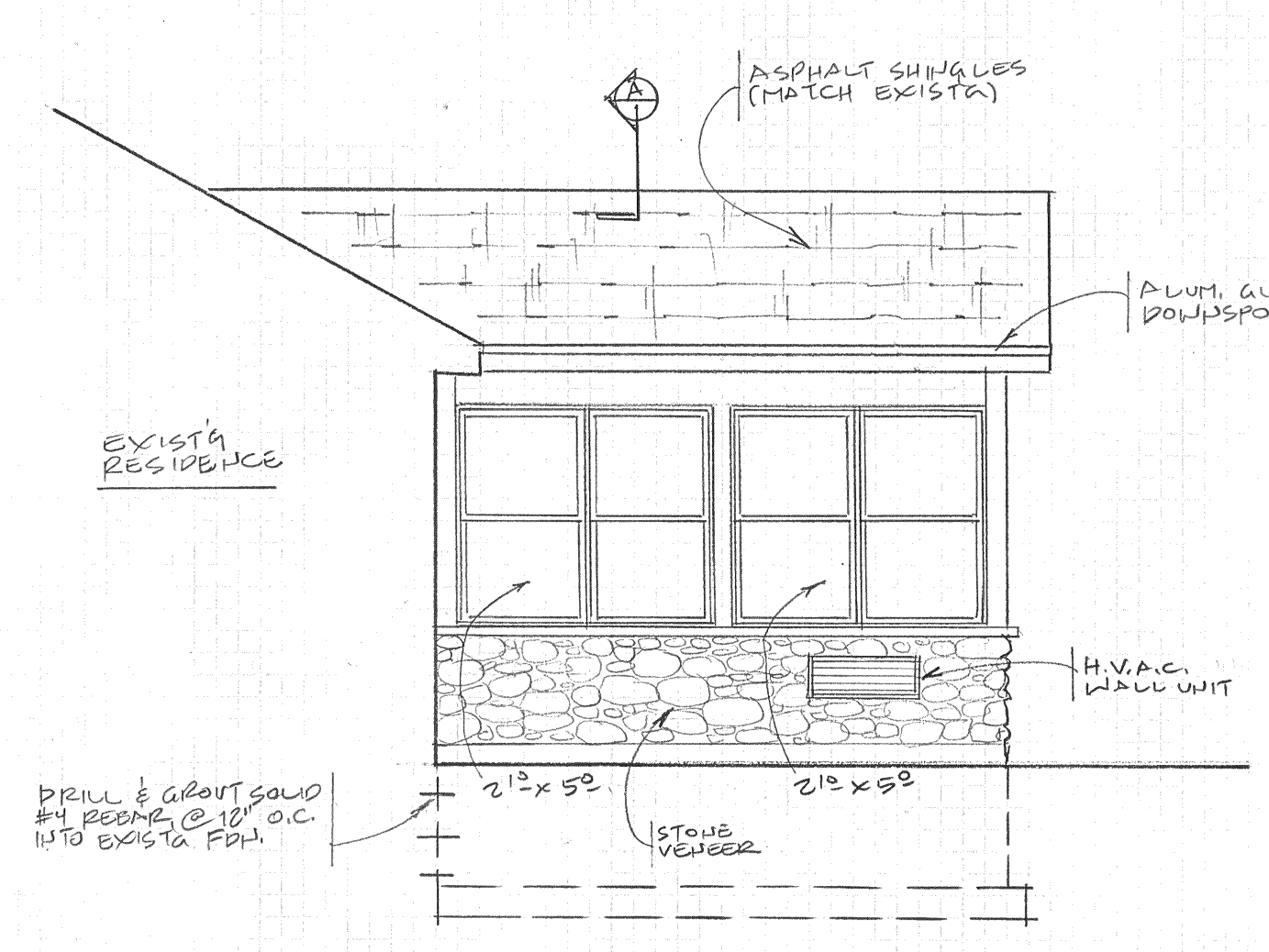


FOUNDATION PLAN
1/4"=1'-0"

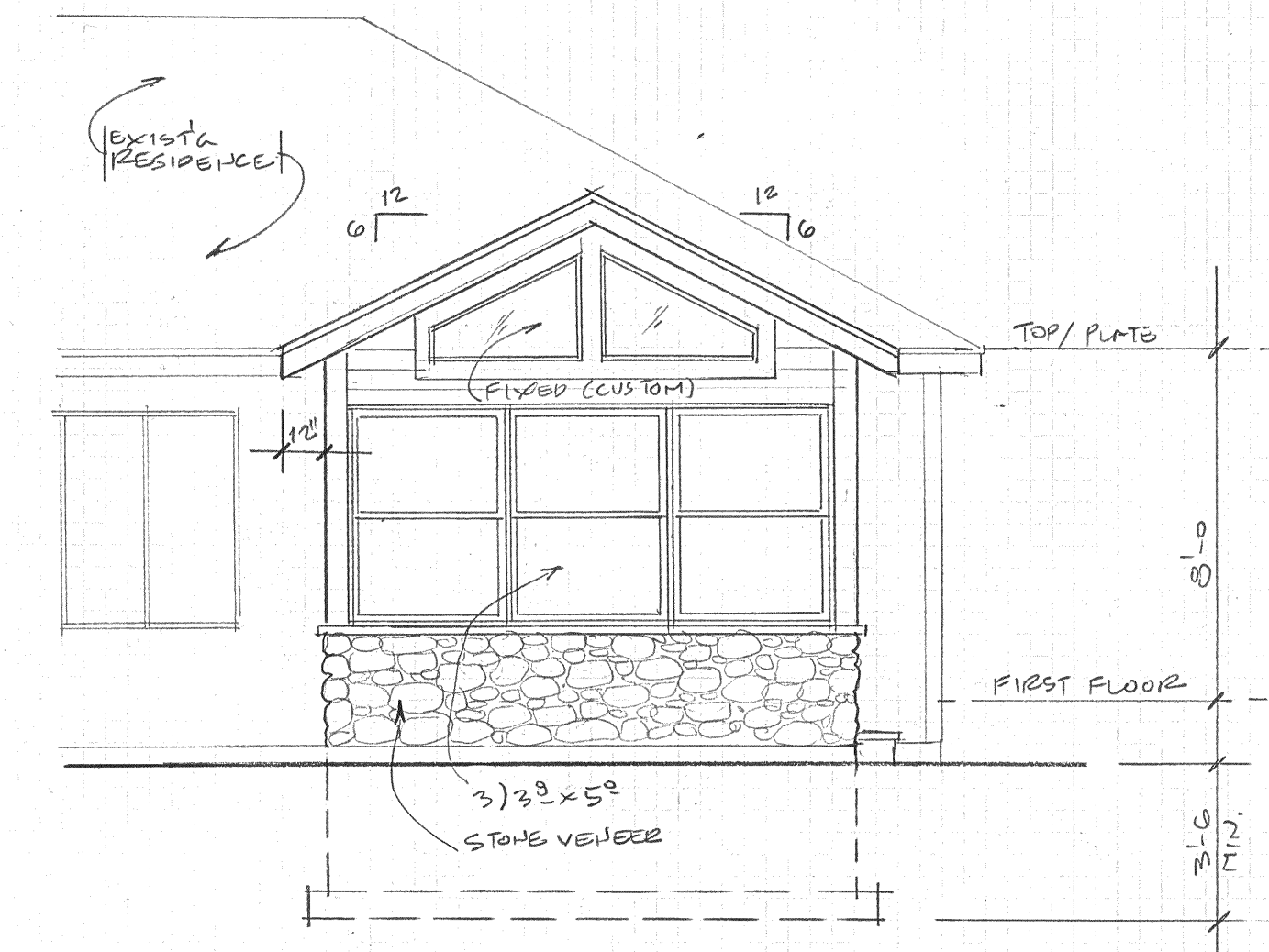


SECTION A
1/4"=1'-0"

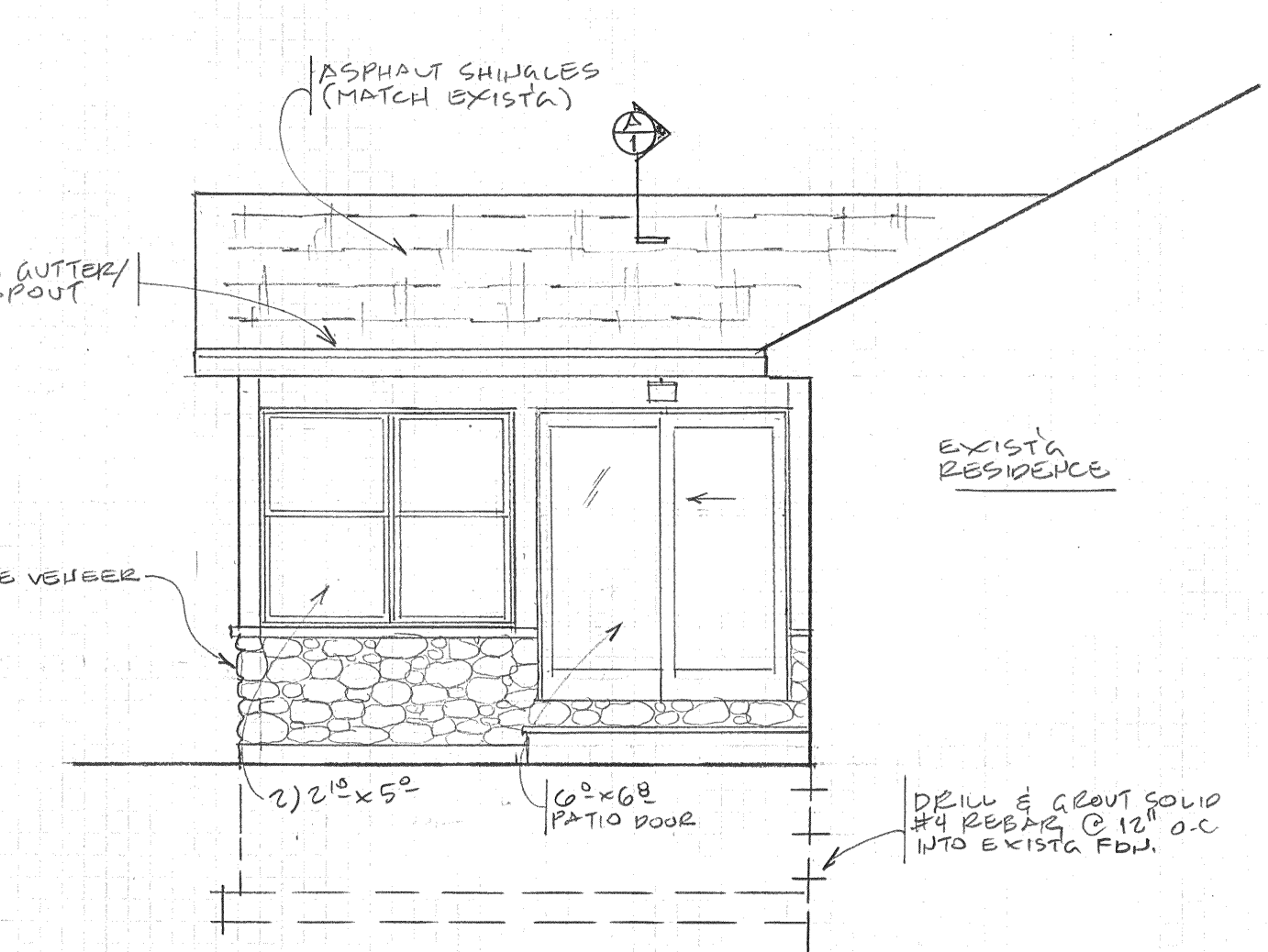
- ROOF CONSTRUCTION:**
40 YEAR ARCHITECTURAL GRADE ASPHALT SHINGLES ON 15 LB ROOFING PAPER, ON 1/2" OSB PLYWOOD ROOF SHEATHING, ON 2X12 RAFTERS @ 16" O.C., BEADBOARDED WP. CLU.
- WALL CONSTRUCTION:**
CULTURED STONE VENEER ON TYVEK AIR INFILTRATION BARRIER, ON 1/2" OSB SHEATHING ON 2X4 WOOD STUDS @ 16" O.C. WITH 3 1/2" (R13) BATT INSULATION, 1/2" VERAPLAN.
- FLOOR CONSTRUCTION:**
CERAMIC TILE (WOOD GRAIN PATTERN) ON:
3/4" T & G PLYWOOD GLUED AND SCREWED ON 2X10 FLOOR JOISTS @ 16" O.C. w/ 9" (R30) BATT INSULATION,
4" CONC. SLAB, 6 MIL VAPOR BARRIER, 4" MIN. COMPACTED GRANULAR FILL.
- TREATED 2X6 SILL PLATE, SILL SEALER, 1/2" X 10" ANCHOR BOLTS @ 6'-0" O.C.,
2 ANCHOR BOLTS MIN PER PLATE, 12" MAX. FROM EACH BOARD END.
- 8" CONCRETE FOUNDATION WALL WITH 2 #5 REBARS TOP & BOTTOM
- 16" X 8" CONCRETE FOOTING ON UNDISTURBED SOIL.



RIGHT SIDE ELEVATION
1/4"=1'-0"



BACK ELEVATION
1/4"=1'-0"



LEFT SIDE ELEVATION
1/4"=1'-0"

PUBLIC NOTICE

A public hearing will be held before the Palatine Zoning Board of Appeals on Tuesday, January 23, 2018 at 7:00 P.M. in the Village Council Chambers in the Palatine Village Hall, 200 E. Wood Street, relative to a request for the following:

Special Use to permit a sunroom addition to be set back 32 feet from the rear lot line instead of the required 45 feet pursuant to Section 10.03 (c) (11) of the Palatine Zoning Ordinance. The property is commonly known as 715 S. White Willow Bay (PIN# 02-21-307-048).

The Petitioners are proposing to remove an existing wood deck and construct a sunroom off the rear of their home.

The above petition has been filed by Larry and Laurie Gerlach and is available for examination in the office of the Village Clerk, 200 E. Wood Street.

FILE #: 17-102
VILLAGE OF PALATINE
Jan Wood, Chair
Palatine Zoning Board of Appeals

DATED: This 8th day of January, 2018.
Published in Daily Herald
January 8, 2018 (4490582)

CERTIFICATE OF PUBLICATION

Paddock Publications, Inc.

Northwest Suburbs
Daily Herald

Corporation organized and existing under and by virtue of the laws of the State of Illinois, DOES HEREBY CERTIFY that it is the publisher of the **Northwest Suburbs DAILY HERALD**. That said **Northwest Suburbs DAILY HERALD** is a secular newspaper, published in Arlington Heights and has been circulated daily in the Village(s) of:

Arlington Heights, Barrington, Barrington Hills, Bartlett, Buffalo Grove, Deer Park, Des Plaines, Elk Grove, Hanover Park, Hoffman Estates, Inverness, Mt Prospect, Palatine, Prospect Heights, Rolling Meadows, Schaumburg, South Barrington, Streamwood, Wheeling

County(ies) of Cook

and State of Illinois, continuously for more than one year prior to the date of the first publication of the notice hereinafter referred to and is of general circulation throughout said Village(s), County(ies) and State.

I further certify that the Northwest Suburbs DAILY HERALD is a newspaper as defined in "an Act to revise the law in relation to notices" as amended in 1992 Illinois Compiled Statutes, Chapter 715, Act 5, Section 1 and 5. That a notice of which the annexed printed slip is a true copy, was published January 8, 2018 in said Northwest Suburbs DAILY HERALD.

IN WITNESS WHEREOF, the undersigned, the said PADDOCK PUBLICATIONS, Inc., has caused this certificate to be signed by, this authorized agent, at Arlington Heights, Illinois.

PADDOCK PUBLICATIONS, INC.
DAILY HERALD NEWSPAPERS

BY

Paula Baitz

Designee of the Publisher and Officer of the Daily Herald

Control # 4490582

Attachment: Public Notice (715 S. White Willow Bay - SU for rear yard setback)

**VILLAGE OF PALATINE
Zoning Board of Appeals**

SCHEDULED 01/23/18 07:00 PM

CASE STAFF STATEMENT (ID # 4162)

570 N. Smith Street

TO: Palatine Zoning Board of Appeals
Jan Wood, Chair

FROM: Katie Romack

PETITIONER: Dongyeol Lee & Jane Lee (Sakura Sushi & Grill)

CASE NUMBER: 17-92

ADDRESS: 570 N. Smith Street

PROPOSAL:

Special Use to permit a restaurant pursuant to Section 11.03 (d) (27) of the Palatine Zoning Ordinance.

<u>LOCATION:</u> 570 N. Smith Street District 6 (Helms)	<u>CURRENT ZONING:</u> B-2 General Business District
---	---

SURROUNDING CONDITIONS:

<u>North:</u>	B-2 General Business District (Harris Bank)
<u>South:</u>	U - Utility/Municipal (Palatine Township)
<u>East:</u>	B-2 General Business District
<u>West:</u>	B-2 General Business District (Maaco)

BACKGROUND:

The Petitioners are proposing to operate a Japanese and Korean dine-in restaurant in the former Fortune Kookie Restaurant. Therefore, the Petitioners are requesting:

- **Special Use to permit a restaurant**

SITE ANALYSIS:

- The Subject Property is zoned B-2 General Business District and the lot size is approximately 21,000 square feet.
- The Petitioners are proposing to operate a Japanese and Korean restaurant.
- The Petitioners have other locations in Naperville, Clarendon Hills, and Schaumburg.
- The hours of operation would be 11:00 AM to 10:00 PM Monday through Thursday, 11:00 AM to 10:30 PM on Friday, 11:30 AM to 10:30 PM on Saturday and 12:00 PM to 9:00 PM on Sunday.

- There would be approximately 10 employees.
- The floor plan indicates seating for up to 116 people.
- Based on the number of seats, 46 parking spaces are required (1 space per 2.5 seats). There are 47 existing parking spaces.

DEPARTMENTAL REVIEWS:

Community Services	No issues identified.
Engineering	No issues identified.
Environmental Health	No issues identified.
Fire Prevention	N/A
Public Works	N/A
Police	N/A

STANDARDS FOR SPECIAL USE: Since this Petition is not for a use publicly operated or traditionally affected with the public interest, those standards under Section 14.05 D (2) and (3) are applicable. Specifically, the Petitioners must show that the Special Use, if granted, will be operated in a manner consistent with the public health, safety, and welfare, and that the Special Use will not have a negative impact on the value of surrounding properties. The Petition for a Special Use is attached, and the Petitioners have attempted to address the required standards.

STAFF RECOMMENDATION:

The proposed restaurant will occupy the former Fortune Kookie restaurant, which has been vacant for more than 6 months. With the proposed number of seats, the restaurant has adequate parking available. Staff believes the proposed restaurant is a compatible use at this location and should not have a negative impact on the surrounding properties. Therefore, Staff recommends approval of the Special Use subject to the following condition:

1. The Special Use shall substantially conform to the business plan prepared by the Petitioners, Dongyeol Lee and Jane Lee, and the floor plan prepared by Jakl-Brandeis Architects Ltd. dated 01/05/2018, except as such plans may be changed to conform to Village Codes and Ordinances.

ATTACHMENTS:

- Aerial 570 N. Smith Street
- Application
- Business Plan
- Plat of Survey
- Plans

Case Staff Statement (ID # 4162)
Meeting of January 23, 2018

- Public Notice

3.3.a

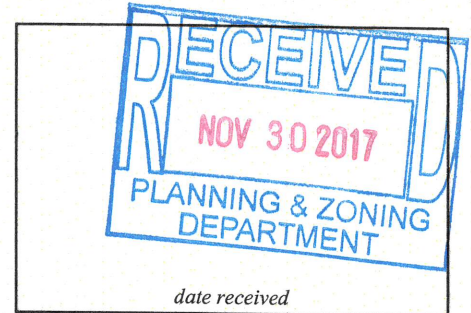


VILLAGE OF PALATINE

SPECIAL USE & VARIATION APPLICATION

Department of Planning & Zoning
200 E. Wood Street • Palatine, IL • 60067-5339
Telephone: (847) 359-9047 • Fax (847) 963-6247

Office Use Only	Project Planner <i>Katie Romack</i>	Zoning Case # <i>17-92</i>
	Filing Fee <i>842</i>	Notification Deadline
	ZBA Public Hearing Date <i>1/23/17</i>	Village Council Date



Background Information	PETITIONER(S) <i>DONGYEOL LEE & JANE LEE</i>		Business Name (if applicable) <i>DRA</i> <i>Sakura Sushi & Grill</i>	
	Subject Property Address <i>570 N. Smith St. Palatine, IL 60067</i>			
	AUTHORIZED AGENT (if applicable) <i>800 W. CENTRAL RD. #113</i>		Business Name (if applicable) <i>DESIGN DESIGN</i>	
	Address <i>YOUNG LEE</i>		City/State/Zip Code <i>MT. PROSPECT, IL 60056</i>	
	Telephone <i>630-670-0535</i>	Fax	Email <i>DESIGNDESIGN@EMAIL</i>	
	Relationship to Petitioner (contractor, architect, etc.) <i>ARCHITECT</i>			
	TYPE OF APPLICATION (check one) ☒ Special Use ☐ Special Use Amendment ☐ Variation			
	Existing Zoning District <i>B2</i>	Existing Land Use <i>Commercial</i>	Proposed Land Use <i>Commercial</i>	
	Generally describe your request: <i>Opening Japanese d-i-ne-in Restaurant Proposed</i>			

Attachment: Application (570 N. Smith Street - SU for restaurant)

VILLAGE OF PALATINE

SPECIAL USE

Required Materials

- ☒ Filing Fee of \$ 842
- ☒ Application Form
- ☒ Plat of Survey (must show all current improvements and be sealed by an Illinois certified surveyor)
- ☒ Site Plan & Floor plan (dimension, location, and setbacks of all existing and proposed buildings) – **one 11x17 copy each, electronic version preferred**
- ☒ Real Estate Interest Disclosure Form (see attached)
- ☒ Proof of Ownership or Lease (e.g. Title Insurance Policy, Deed, or Purchase Contract)
- ☒ Business Plan (if applicable; including, but not limited to nature of business, hours of operation, number of employees, and menu)

Additional Materials (as required by the Village)

- ☐ Elevation Plan (front, side, and rear elevations of a proposed building), and/or Floor Plan (proposed interior layout) – **one 11x17 copy of each plan, electronic versions preferred**
- ☐ Engineering Plans (must indicate existing conditions, topography, storm water management, tree preservation, utility connections, detention calculations, and a cost estimate)
- ☐ Photographs (e.g. ground-level or aerials)
- ☐ Other materials as deemed necessary by the Village

Petitioner Justification

The Petitioner is required to present specific evidence related to each of the following standards to justify the request (paraphrased from Section 14.05 of the Palatine Zoning Ordinance). Answer the items below and attach a separate sheet if necessary. **If you are applying for a Variation only, you do not need to answer these items.**

1. The use is deemed necessary for the public convenience at that location

USED A RESTAURANT & KEEP AS RESTAURANT

2. The use is designed, located, and proposed to be operated that the public health, safety and welfare will be protected

ALL CONSTRUCTION WILL BE UNDER CONTROL OF CITY BUILDING DEPT. & GET INSPECTION BEFORE START BUSINESS

3. The use will not cause substantial injury to nearby property values

THE BUILDING STANDING IN RE SITE,

4. With respect to live entertainment uses, the use shall not:
- a. Produce noise levels so great as to constitute an unreasonable interference for persons outside the confines of the establishment
 - b. Impose undue health, sanitation or safety burdens on the village
 - c. Create excessive demands on the Village of Palatine Police Department
 - d. Be of a nature otherwise prohibited by law or village ordinance
5. For fence standards, see Section 14.05 of the Palatine Zoning Ordinance

Attachment: Application (570 N. Smith Street - SU for restaurant)

Business Plan

Agape One Inc., d/b/a Sakura Sushi & Grill

With previous and current successful experience in Japanese restaurant businesses (Sakua Sushi Japanese Restaurant at 1163 E. Ogden Ave, Naperville, IL., Sakura Nami at 439 Ogden Avenue, Clarendon Hills, IL., & Sakura Sushi at 175 W. Golf Rd, Schaumburg, IL), Agape One Inc (president: Dongyeol Lee) is planning to opening up another Japanese & Korean attraction (d/b/a Sakura Sushi & Grill) at 570 N. Smith Street, Palatine, IL 60067.

The business will be serving mainly Japanese and Korean dishes to its customers. It will be serving regular Sushi (price range from \$1.95 to \$4.25), Maki Rolls (price range from \$3.95 to \$15.95), Sashimi, Udon (Japanese noodle soup), bento (lunch box), teriyaki (price range from \$12.95 to \$15.95), party platter (price range from \$35 to \$135 for to go only) and dessert menu on order base for lunch and dinner.

However, it is believed that the biggest attraction of the subject business will be All You Can Eat option which allows customers enjoy unlimited appetizers, Sushi & Maki Rolls (\$14.99 for lunch and \$20.99 for dinner, a half price for kinds aged from 2 to 9). From its All You Can Eat menu, customers can make unlimited selections from its 19 different Maki Rolls, 17 different Sushi (12 for lunch), 17 different appetizers (11 for lunch). Its Maki Rolls will includes California roll, tuna roll, salmon rolls, shrimp roll, soft shell crab tempura roll & 14 other and its appetizers will include miso soup, salad, gyoza, sumai, tempura, bulgogi (Korean beef), chicken teriyaki & 4 others. 3 pieces of Sashimi will be served per an order of roll upon request and 1 Galbi (Korean short rib) will be served per an order of roll upon request. Besides, customers will be able to make their selections from daily chef's special menu as well.

The business will be open from 11:00AM to 10:00PM on Monday through Thursday, 11:00AM through 10:30PM on Friday, 11:30AM through 10:30PM on Saturday and 12:00PM through 9:00PM on Sunday. The management is planning to hire about 10 employees, including servers at the business.

The management is aware of 4 competitors within 1 mile radius from the subject location. However, the management also believe that its All You Can Eat Menu which can not be found elsewhere and quality of its food & service will differentiate the subject business from its competitors.

THIS IS TO CERTIFY THAT THIS MAP OF FLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 1816 INDIAN STANDARD DETAIL REQUIREMENTS FOR ALTA, NPS/A, NPS/B AND LITTLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NPS/A, AND INCLUDES ITEMS 1 AND 11 OF YALE A THRESHOLD.

SAKURA JAPANESE SUSHI
RESTAURANT INTERIOR
ALTERATION
670 N. SMITH STREET PALATINE, IL 60067

[illegible]

PROFESSIONAL STAMP

CERTIFICATION
I hereby certify that these documents
have been prepared and drawn under my
supervision and to the best of my
knowledge meet and comply with all
building and life safety code
requirements for COOK COUNTY, IL

EXPLOSIVE 730/2018
SHEET NUMBER
A-4
PAGE NUMBER
5 OF 9

KEMETRA
F.
BRANDIS
ON-SITE

EXP 11/20/2017

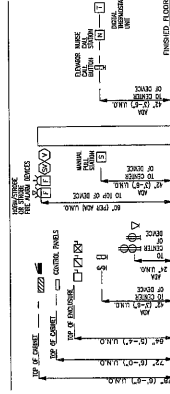
LIGHT PICTURE SCHEDULE				
MARK	DESCRIPTION	WHT / LAMP / NO. / TYPE / INTENS	1 / 0 / INTENS / REMARKS	
P1	ST. 1ST FLOOR	1000 / 100W	1	
P2	ST. 2ND FLOOR	1000 / 100W	1	
P3	ST. 3RD FLOOR	1000 / 100W	1	
P4	ST. 4TH FLOOR	1000 / 100W	1	
P5	ST. 5TH FLOOR	1000 / 100W	1	
P6	ST. 6TH FLOOR	1000 / 100W	1	
P7	ST. 7TH FLOOR	1000 / 100W	1	
P8	ST. 8TH FLOOR	1000 / 100W	1	
P9	ST. 9TH FLOOR	1000 / 100W	1	
P10	ST. 10TH FLOOR	1000 / 100W	1	
P11	ST. 11TH FLOOR	1000 / 100W	1	
P12	ST. 12TH FLOOR	1000 / 100W	1	
P13	ST. 13TH FLOOR	1000 / 100W	1	
P14	ST. 14TH FLOOR	1000 / 100W	1	
P15	ST. 15TH FLOOR	1000 / 100W	1	
P16	ST. 16TH FLOOR	1000 / 100W	1	
P17	ST. 17TH FLOOR	1000 / 100W	1	
P18	ST. 18TH FLOOR	1000 / 100W	1	
P19	ST. 19TH FLOOR	1000 / 100W	1	
P20	ST. 20TH FLOOR	1000 / 100W	1	
P21	ST. 21ST FLOOR	1000 / 100W	1	
P22	ST. 22ND FLOOR	1000 / 100W	1	
P23	ST. 23RD FLOOR	1000 / 100W	1	
P24	ST. 24TH FLOOR	1000 / 100W	1	
P25	ST. 25TH FLOOR	1000 / 100W	1	
P26	ST. 26TH FLOOR	1000 / 100W	1	
P27	ST. 27TH FLOOR	1000 / 100W	1	
P28	ST. 28TH FLOOR	1000 / 100W	1	
P29	ST. 29TH FLOOR	1000 / 100W	1	
P30	ST. 30TH FLOOR	1000 / 100W	1	
P31	ST. 31ST FLOOR	1000 / 100W	1	
P32	ST. 32ND FLOOR	1000 / 100W	1	
P33	ST. 33RD FLOOR	1000 / 100W	1	
P34	ST. 34TH FLOOR	1000 / 100W	1	
P35	ST. 35TH FLOOR	1000 / 100W	1	
P36	ST. 36TH FLOOR	1000 / 100W	1	
P37	ST. 37TH FLOOR	1000 / 100W	1	
P38	ST. 38TH FLOOR	1000 / 100W	1	
P39	ST. 39TH FLOOR	1000 / 100W	1	
P40	ST. 40TH FLOOR	1000 / 100W	1	
P41	ST. 41ST FLOOR	1000 / 100W	1	
P42	ST. 42ND FLOOR	1000 / 100W	1	
P43	ST. 43RD FLOOR	1000 / 100W	1	
P44	ST. 44TH FLOOR	1000 / 100W	1	
P45	ST. 45TH FLOOR	1000 / 100W	1	
P46	ST. 46TH FLOOR	1000 / 100W	1	
P47	ST. 47TH FLOOR	1000 / 100W	1	
P48	ST. 48TH FLOOR	1000 / 100W	1	
P49	ST. 49TH FLOOR	1000 / 100W	1	
P50	ST. 50TH FLOOR	1000 / 100W	1	
P51	ST. 51ST FLOOR	1000 / 100W	1	
P52	ST. 52ND FLOOR	1000 / 100W	1	
P53	ST. 53RD FLOOR	1000 / 100W	1	
P54	ST. 54TH FLOOR	1000 / 100W	1	
P55	ST. 55TH FLOOR	1000 / 100W	1	
P56	ST. 56TH FLOOR	1000 / 100W	1	
P57	ST. 57TH FLOOR	1000 / 100W	1	
P58	ST. 58TH FLOOR	1000 / 100W	1	
P59	ST. 59TH FLOOR	1000 / 100W	1	
P60	ST. 60TH FLOOR	1000 / 100W	1	
P61	ST. 61ST FLOOR	1000 / 100W	1	
P62	ST. 62ND FLOOR	1000 / 100W	1	
P63	ST. 63RD FLOOR	1000 / 100W	1	
P64	ST. 64TH FLOOR	1000 / 100W	1	
P65	ST. 65TH FLOOR	1000 / 100W	1	
P66	ST. 66TH FLOOR	1000 / 100W	1	
P67	ST. 67TH FLOOR	1000 / 100W	1	
P68	ST. 68TH FLOOR	1000 / 100W	1	
P69	ST. 69TH FLOOR	1000 / 100W	1	
P70	ST. 70TH FLOOR	1000 / 100W	1	
P71	ST. 71ST FLOOR	1000 / 100W	1	
P72	ST. 72ND FLOOR	1000 / 100W	1	
P73	ST. 73RD FLOOR	1000 / 100W	1	
P74	ST. 74TH FLOOR	1000 / 100W	1	
P75	ST. 75TH FLOOR	1000 / 100W	1	
P76	ST. 76TH FLOOR	1000 / 100W	1	
P77	ST. 77TH FLOOR	1000 / 100W	1	
P78	ST. 78TH FLOOR	1000 / 100W	1	
P79	ST. 79TH FLOOR	1000 / 100W	1	
P80	ST. 80TH FLOOR	1000 / 100W	1	
P81	ST. 81ST FLOOR	1000 / 100W	1	
P82	ST. 82ND FLOOR	1000 / 100W	1	
P83	ST. 83RD FLOOR	1000 / 100W	1	
P84	ST. 84TH FLOOR	1000 / 100W	1	
P85	ST. 85TH FLOOR	1000 / 100W	1	
P86	ST. 86TH FLOOR	1000 / 100W	1	
P87	ST. 87TH FLOOR	1000 / 100W	1	
P88	ST. 88TH FLOOR	1000 / 100W	1	
P89	ST. 89TH FLOOR	1000 / 100W	1	
P90	ST. 90TH FLOOR	1000 / 100W	1	
P91	ST. 91ST FLOOR	1000 / 100W	1	
P92	ST. 92ND FLOOR	1000 / 100W	1	
P93	ST. 93RD FLOOR	1000 / 100W	1	
P94	ST. 94TH FLOOR	1000 / 100W	1	
P95	ST. 95TH FLOOR	1000 / 100W	1	
P96	ST. 96TH FLOOR	1000 / 100W	1	
P97	ST. 97TH FLOOR	1000 / 100W	1	
P98	ST. 98TH FLOOR	1000 / 100W	1	
P99	ST. 99TH FLOOR	1000 / 100W	1	
P100	ST. 100TH FLOOR	1000 / 100W	1	

ELECTRICAL GENERAL NOTES:

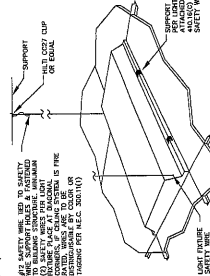
- [illegible]

ELECTRICAL LEGEND

- | | |
|---|---|
|  | 2' x 2' FLUORESCENT LIGHT FIXTURE |
|  | 2' x 4' FLUORESCENT LIGHT FIXTURE |
|  | FLUORESCENT LIGHT FIXTURE |
|  | 6" CANNED LIGHT |
|  | NAC INDICATES TO BE ON |
|  | WALL BRACKET LIGHT FIXTURE |
|  | SINGLE POLE SWITCH |
|  | THREE(3) WAY SWITCH |
|  | FOUR(4) WAY SWITCH |
|  | DUPLEX RECEPTACLE |
|  | QUADPLEX RECEPTACLE |
|  | WALL INTERRUPTOR DUPLEX RECEPTACLE |
|  | ADJUSTABLE FLOOR BOX WITH DUPLEX RECEPTACLE |
|  | PENDANT LIGHT |
|  | CEILING MOUNT EXT. SIGN (exterior use only) |
|  | WALL MOUNT EXT. SIGN (exterior use only) |
|  | EMERGENCY LIGHT (interior use only) |



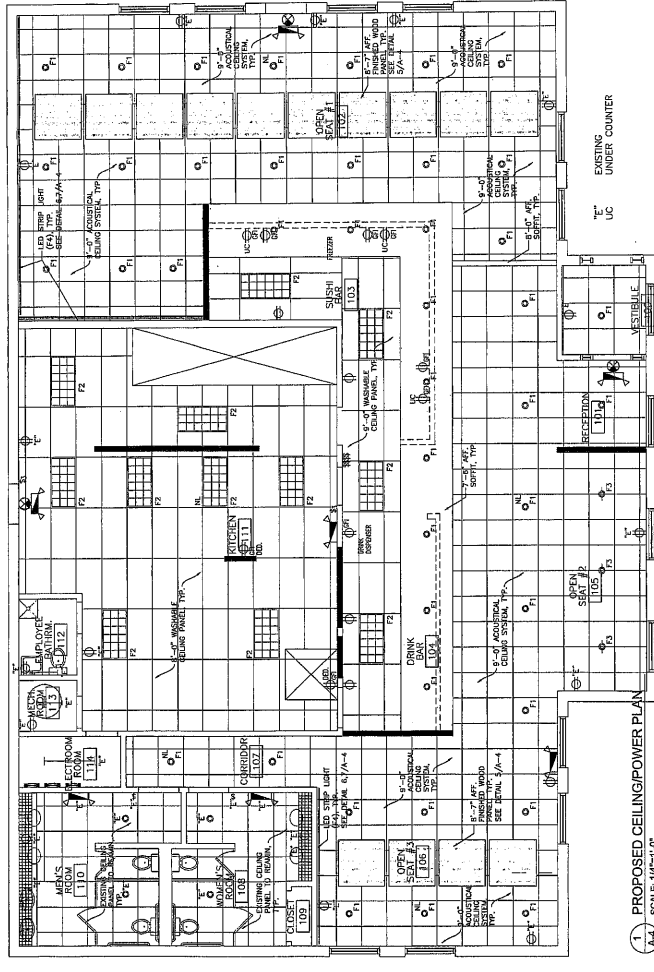
2 EQUIPMENT AND DEVICE MOUNTING REFERENCE



NOTE: ALL BIKES ARE TO BE TAUT WITH A MINIMUM OF 3 TURNS AROUND SELF - TYPICAL

3 RECESSED LIGHT FIXTURE SUPPORT

(A-4) SCALE: N.T.S.



STIC DANIEL SCHENKLE, MAIR

[illegible]

VOLTAGE: 200/220V, 3 PHASE, 4 WIRES

[illegible]

VOLTAGE: 208/120V, 3 PHASE, 4 WIRES

[illegible]

100% of employees

2. EQUIPMENT AND DEVICE MOUNTING REFERENCE

2.1. SCALE 1/8" = 1'-0"

1/2" GAP
12" HIGHER
12" WIDER
1/2" GAP
1/2" THICK WALL
EQUIPMENT AND DEVICE MOUNTING REFERENCE

2.2. SCALE 1/8" = 1'-0"

1/2" GAP
12" HIGHER
12" WIDER
1/2" GAP
1/2" THICK WALL
EQUIPMENT AND DEVICE MOUNTING REFERENCE

2.3. SCALE 1/8" = 1'-0"

1/2" GAP
12" HIGHER
12" WIDER
1/2" GAP
1/2" THICK WALL
EQUIPMENT AND DEVICE MOUNTING REFERENCE

2.4. SCALE 1/8" = 1'-0"

1/2" GAP
12" HIGHER
12" WIDER
1/2" GAP
1/2" THICK WALL
EQUIPMENT AND DEVICE MOUNTING REFERENCE

2.5. SCALE 1/8" = 1'-0"

1/2" GAP
12" HIGHER
12" WIDER
1/2" GAP
1/2" THICK WALL
EQUIPMENT AND DEVICE MOUNTING REFERENCE

2.6. SCALE 1/8" = 1'-0"

1/2" GAP
12" HIGHER
12" WIDER
1/2" GAP
1/2" THICK WALL
EQUIPMENT AND DEVICE MOUNTING REFERENCE

2.7. SCALE 1/8" = 1'-0"

1/2" GAP
12" HIGHER
12" WIDER
1/2" GAP
1/2" THICK WALL
EQUIPMENT AND DEVICE MOUNTING REFERENCE

2.8. SCALE 1/8" = 1'-0"

1/2" GAP
12" HIGHER
12" WIDER
1/2" GAP
1/2" THICK WALL
EQUIPMENT AND DEVICE MOUNTING REFERENCE

2.9. SCALE 1/8" = 1'-0"

1/2" GAP
12" HIGHER
12" WIDER
1/2" GAP
1/2" THICK WALL
EQUIPMENT AND DEVICE MOUNTING REFERENCE

2.10. SCALE 1/8" = 1'-0"

1/2" GAP
12" HIGHER
12" WIDER
1/2" GAP
1/2" THICK WALL
EQUIPMENT AND DEVICE MOUNTING REFERENCE

2.11. SCALE 1/8" = 1'-0"

1/2" GAP
12" HIGHER
12" WIDER
1/2" GAP
1/2" THICK WALL
EQUIPMENT AND DEVICE MOUNTING REFERENCE

2.12. SCALE 1/8" = 1'-0"

1/2" GAP
12" HIGHER
12" WIDER
1/2" GAP
1/2" THICK WALL
EQUIPMENT AND DEVICE MOUNTING REFERENCE

2.13. SCALE 1/8" = 1'-0"

1/2" GAP
12" HIGHER
12" WIDER
1/2" GAP
1/2" THICK WALL
EQUIPMENT AND DEVICE MOUNTING REFERENCE

2.14. SCALE 1/8" = 1'-0"

1/2" GAP
12" HIGHER
12" WIDER
1/2" GAP
1/2" THICK WALL
EQUIPMENT AND DEVICE MOUNTING REFERENCE

2.15. SCALE 1/8" = 1'-0"

1/2" GAP
12" HIGHER
12" WIDER
1/2" GAP
1/2" THICK WALL
EQUIPMENT AND DEVICE MOUNTING REFERENCE

2.16. SCALE 1/8" = 1'-0"

1/2" GAP
12" HIGHER
12" WIDER
1/2" GAP
1/2" THICK WALL
EQUIPMENT AND DEVICE MOUNTING REFERENCE

2.17. SCALE 1/8" = 1'-0"

1/2" GAP
12" HIGHER
12" WIDER
1/2" GAP
1/2" THICK WALL
EQUIPMENT AND DEVICE MOUNTING REFERENCE

2.18. SCALE 1/8" = 1'-0"

1/2" GAP
12" HIGHER
12" WIDER
1/2" GAP
1/2" THICK WALL
EQUIPMENT AND DEVICE MOUNTING REFERENCE

2.19. SCALE 1/8" = 1'-0"

1/2" GAP
12" HIGHER
12" WIDER
1/2" GAP
1/2" THICK WALL
EQUIPMENT AND DEVICE MOUNTING REFERENCE

2.20. SCALE 1/8" = 1'-0"

1/2" GAP
12" HIGHER
12" WIDER
1/2" GAP
1/2" THICK WALL
EQUIPMENT AND DEVICE MOUNTING REFERENCE

2.21. SCALE 1/8" = 1'-0"

1/2" GAP
12" HIGHER
12" WIDER
1/2" GAP
1/2" THICK WALL
EQUIPMENT AND DEVICE MOUNTING REFERENCE

2.22. SCALE 1/8" = 1'-0"

1/2" GAP
12" HIGHER
12" WIDER
1/2" GAP
1/2" THICK WALL
EQUIPMENT AND DEVICE MOUNTING REFERENCE

2.23. SCALE 1/8" = 1'-0"

1/2" GAP
12" HIGHER
12" WIDER
1/2" GAP
1/2" THICK WALL
EQUIPMENT AND DEVICE MOUNTING REFERENCE

2.24. SCALE 1/8" = 1'-0"

PUBLIC NOTICE
 A public hearing will be held before the Palatine Zoning Board of Appeals on Tuesday, January 23, 2018 at 7:00 P.M., in the Village Council Chambers in the Palatine Village Hall, 200 E. Wood Street, relative to a request for the following:
 Special Use to permit a restaurant pursuant to Section 11.03 (d) (27) of the Palatine Zoning Ordinance. The property is commonly known as 570 N. Smith Street (PIN# 02-15-200-033). The Petitioners are proposing to operate a restaurant. The above petition has been filed by Dongyeol Lee and Jane Lee (Sakura Sushi & Grill) and is available for examination in the office of the Village Clerk, 200 E. Wood Street.
 FILE #: 17-92
 VILLAGE OF PALATINE
 Jan Wood, Chair
 Palatine Zoning Board of Appeals
 DATED: This 8th day of January, 2018.
 Published in Daily Herald January 8, 2018 (4490581)

CERTIFICATE OF PUBLICATION

Paddock Publications, Inc.

Northwest Suburbs Daily Herald

Corporation organized and existing under and by virtue of the laws of the State of Illinois, DOES HEREBY CERTIFY that it is the publisher of the Northwest Suburbs DAILY HERALD. That said Northwest Suburbs DAILY HERALD is a secular newspaper, published in Arlington Heights and has been circulated daily in the Village(s) of:

Arlington Heights, Barrington, Barrington Hills, Bartlett, Buffalo Grove, Deer Park, Des Plaines, Elk Grove, Hanover Park, Hoffman Estates, Inverness, Mt Prospect, Palatine, Prospect Heights, Rolling Meadows, Schaumburg, South Barrington, Streamwood, Wheeling

County(ies) of Cook

and State of Illinois, continuously for more than one year prior to the date of the first publication of the notice hereinafter referred to and is of general circulation throughout said Village(s), County(ies) and State.

I further certify that the Northwest Suburbs DAILY HERALD is a newspaper as defined in "an Act to revise the law in relation to notices" as amended in 1992 Illinois Compiled Statutes, Chapter 715, Act 5, Section 1 and 5. That a notice of which the annexed printed slip is a true copy, was published January 8, 2018 in said Northwest Suburbs DAILY HERALD.

IN WITNESS WHEREOF, the undersigned, the said PADDOCK PUBLICATIONS, Inc., has caused this certificate to be signed by, this authorized agent, at Arlington Heights, Illinois.

PADDOCK PUBLICATIONS, INC.
DAILY HERALD NEWSPAPERS

BY *Danula Baitz*
 Designee of the Publisher and Officer of the Daily Herald

Control # 4490581

Attachment: Public Notice (570 N. Smith Street - SU for restaurant)