



VILLAGE OF PALATINE

VILLAGE HALL - COUNCIL CHAMBERS 200 E. WOOD STREET
PALATINE, IL 60067-5339 – (847) 359-9050
<http://www.palatine.il.us>

ZONING BOARD OF APPEALS

AGENDA • DECEMBER 11, 2018

Village Hall - Council Chambers

Regular Meeting

7:00 PM

I. CALL TO ORDER

II. APPROVAL OF MINUTES

1. Zoning Board of Appeals - Regular Meeting - Nov 27, 2018 7:00 PM

III. PUBLIC HEARING

1. 214 S Greeley Street

Special Use to permit a portion of a detached garage to be located in the floodplain pursuant to Section 6.08 (d) (2) (h) of the Palatine Code of Ordinances - Appendix B - Subdivision, Site Development and Floodplain Regulations.

2. 652 N Quentin Road

Variation to permit lot coverage to be 48 percent instead of the maximum permitted 45 percent pursuant to Section 10.06 (g) (1) (b) of the Palatine Zoning Ordinance.

Variation to permit an accessory structure (shed) to be located in an easement pursuant to Section 6.01 (a)(3)(c) of the Palatine Zoning Ordinance.

Variation to permit an accessory structure (garage) to be 3 feet from the side lot line instead of the minimum required set back 5 feet pursuant to Section 6.01 (a) (2) (b) of the Palatine Zoning Ordinance.

Variation to permit total square footage accessory structures to be 1022 square feet instead of the maximum 700 square feet per Section 6.01 (a) (1) of the Palatine Zoning Ordinance.

Variation to permit a driveway to exceed the driveway width to 35 feet instead the maximum 30 feet pursuant to Section 7.04 (i)(3) of the Palatine Zoning Ordinance.

IV. COMMUNICATIONS

V. ADJOURNMENT



VILLAGE OF PALATINE

VILLAGE HALL - COUNCIL CHAMBERS 200 E. WOOD STREET
PALATINE, IL 60067-5339 – (847) 359-9050
<http://www.palatine.il.us>

ZONING BOARD OF APPEALS MINUTES • NOVEMBER 27, 2018

Village Hall - Council Chambers

Regular Meeting

7:00 PM

I. CALL TO ORDER

Attendee Name	Title	Status	Arrived
Brent Larson	Commissioner	Absent	
Cindy Roth-Wurster	Commissioner	Present	
Jan Wood	Commissioner	Present	
Jerry Luszcak	Commissioner	Present	
Theodore McGinn	Commissioner	Present	
Kevin Cavanaugh	Commissioner	Present	
James Dittrich	Commissioner	Present	
John Pirog	Commissioner	Present	

Staff present: Ms. Katie Rivard and Ms. Lyn Bremanis

II. APPROVAL OF MINUTES

1. Zoning Board of Appeals - Regular Meeting - Nov 13, 2018 7:00 PM - **Accepted**
Mr. Luszcak made a motion to approve the minutes of November 13, 2018; seconded by Mr. Dittrich.

Sworn in staff: Ms. Katie Rivard and Ms. Lyn Bremanis

RESULT:	ACCEPTED [UNANIMOUS]
MOVER:	Jerry Luszcak, Commissioner
SECONDER:	James Dittrich, Commissioner
AYES:	Roth-Wurster, Wood, Luszcak, McGinn, Cavanaugh, Dittrich, Pirog
ABSENT:	Larson

Minutes Acceptance: Minutes of Nov 27, 2018 7:00 PM (Approval of Minutes)

III. PUBLIC HEARING

1. 1299 N. Arbor Lane - **Recommended to Approve**

Notice was published in the Daily Herald on November 12, 2018 and mailed to the owners of the surrounding properties.

Petitioner's Exhibits:

1. Application for Special Use
2. Proof of Ownership
3. Plat of Survey
4. Site Plan
5. Elevations and Floor Plan
6. Public Notice

Sworn in petitioner Mr. Carl Fielder 600 Morris Ave Schaumburg, IL-contractor

Mr. Fielder stated they are asking to build a 4 seasons room where presently there is a wood deck. He stated it would be slid over slightly and the added concrete patio would be encroaching on the rear yard setback by approx. 15ft. Mr. Fielder stated it sticks out about same as deck. He stated they have spoken to the neighbors and there were no objections.

Mr. Cavanaugh asked if there is currently anything in the easement like landscaping

Mr. Fielder stated they won't go into easement but there is slight vegetation and grass.

Ms. Bremanis referred to slides to show location.

Ms. Wood asked staff if the existing deck needed a variation

Ms. Bremanis stated there was nothing on file.

Ms. Wood asked how long the deck was there

Mr. Fielder stated as long as the survey.

Sworn in Amab Malik 1299 N Arbor Ln Owner

Mr. Malik stated they bought the property in 1998 and the deck was already there.

Ms. Bremanis gave a brief summary of the request explaining the sunroom will be setback the same as the existing deck. She stated they are adding a patio that meets the building code so will not require relief. She explained the sun room is a one story addition that meets height code and they are under in lot coverage at 33%. Ms. Bremanis referred to the slides to show existing conditions. She stated community services and engineering have reviewed and have no comments.

Mr. Cavanaugh asked about the 40 ft setback being from easements
Ms. Bremanis stated no it is from the property line

STAFF RECOMMENDATION:

The existing residence has a rear yard setback of approximately 40 feet. Any addition would require a setback reduction. The proposed single story addition will be located in place of an existing deck and would still be under the maximum building and lot coverage. In addition there are homes in the area that currently do not meet the rear yard setbacks and this should not change or alter the character of the neighborhood. Therefore, Staff recommends approval for the Special Use, subject to the following condition:

1. The Special Use shall substantially conform to the site and elevation plans submitted by the architect, Carl Fielder on 10/30/18, except as such plans may be changed to conform to Village Codes and Ordinances.

There were no further questions. The public hearing was closed.

Mr. McGinn made a motion to approve subject staff's conditions; seconded by Ms. Roth-Wurster.

DELIBERATIONS:

Mr. McGinn stated it is a straight forward request and the neighbors have no objections. He stated both building and lot coverage meets code so should not cause any problems with flooding. He spoke to the standards pointing out it will not alter the neighborhood.

Ms. Wood agreed with Mr. McGinn stating it will not have a negative impact and will not have issues with public health safety and welfare.

Ms. Wood summarized that this request has met the standards and was unanimously approved by a vote of 7-0. This item will go to Village Council on December 10, 2018.

RESULT:	RECOMMENDED TO APPROVE [UNANIMOUS]
MOVER:	Theodore McGinn, Commissioner
SECONDER:	Cindy Roth-Wurster, Commissioner
AYES:	Roth-Wurster, Wood, Luszczak, McGinn, Cavanaugh, Dittrich, Pirog
ABSENT:	Larson

2. 235 W. Northwest Highway - **Recommended to Approve**

Notice was published in the Daily Herald on November 12, 2018 and mailed to the owners of the surrounding properties.

Petitioner's Exhibits:

1. Application for Special Use
2. Proof of Ownership
3. Plat of Survey
4. Site Plan
5. Floor Plan
6. Business Plan
7. Public Notice

Sworn in petitioners:

Mr. Adam Stein, architect, 802 N. 109th St. Milwaukee, WI

Ms. Lisa Fisher 376 Toccoa Lane, Volo, IL

Mr. David Keiser, Manager of Design Construction, Milwaukee, WI

Ms. Fisher stated Team Rehab is a group of clinician owned outpatient orthopedic physical therapy clinics. She stated they will have approximately 3 employees with a maximum patient of about 8.

Ms. Rivard gave a brief summary of request explain the property is zoned B-2 and contains a multi-tenant building with Subway and Dunkin Donuts currently there. She stated the request will occupy approximately 3100 sq. ft. She spoke to the proposed hours being Monday-Thursday 7am-7pm, Friday 7am-5pm with peak hours being 7am-9am, 11am-1pm and 4pm-6pm. Ms. Rivard stated they require appointments. She referred to the slides to show the floor plan. She referred to the site plan slide and spoke to the parking calculations and how it will not be an issue. Ms. Rivard referred to the slides to show the existing conditions. She stated there were no concerns identified by any of the departments.

STAFF RECOMMENDATION:

The proposed physical therapy clinic will occupy the 2 remaining vacant tenant spaces within the subject multi-tenant center. The previously approved use for the subject tenant space was a pizza restaurant, which required a parking variation of 1 space. The required parking for medical uses is 1 parking space per 300 square feet. Based on this calculation, the center is over parked by 9 parking spaces. Additionally, Staff took into consideration the amount of parking that would be required if the maximum number of employees and patients were present at one time. For instance, if there were 3 employees and 8 patients with the potential for an additional 8 patients in the waiting room, 55 parking spaces would be required, which meets Code. The clinic has indicated their peak hours of operation will be 3 2-hour windows in the morning, lunch, and evening. Dunkin' Donuts, at 2,000 square feet, is the largest tenant in this building, with their busiest customer times in the morning times and more drive-through centric in

use. Furthermore, Subway's busiest hours are typically lunch and evenings. With that being said, Staff does not have any parking concerns related to the proposed use. Therefore, Staff recommends approval of the Special Use and Variation subject to the following condition:

1. The Special Use shall substantially conform to the floor plan prepared by DA Logic Design and Architecture, Inc., dated 10/16/2018, and the business plan prepared by the Scott Detiveaux (Team Rehabilitation Physical Therapy, dated 10/23/18, except as such plan may be changed to conform to Village Codes and Ordinances.

There were no further questions. The public hearing was closed.

Mr. Cavanaugh made a motion to approve subject staff's conditions; seconded by Mr. Luszczak

DELIBERATIONS:

Mr. Cavanaugh stated it is straightforward with a space that has been vacant for a while. He stated he has no issues and thinks it meets the standards for special use and will be a good addition to the space.

Ms. Roth-Wurster agreed with Mr. Cavanaugh stating it looks like it will be a good use for the space

Ms. Wood spoke to the challenges of anything in the space in the early morning because of traffic. She stated she doesn't think it will conflict because of the drive thrus, Subways in and out service and their clientele will be spaced out throughout the day.

Ms. Wood summarized that this request has met the standards and was unanimously approved by a vote of 7-0. This item will go to Village Council on December 10, 2018.

RESULT:	RECOMMENDED TO APPROVE [UNANIMOUS]
MOVER:	Kevin Cavanaugh, Commissioner
SECONDER:	Jerry Luszczak, Commissioner
AYES:	Roth-Wurster, Wood, Luszczak, McGinn, Cavanaugh, Dittrich, Pirog
ABSENT:	Larson

IV. COMMUNICATIONS

Village Council approved the dyslexia center at 123 N. Plum Grove Road.

The next meeting is Tuesday, December 11, 2018. There are two items on the agenda.

V. ADJOURNMENT

1. Motion to Adjourn - **Motion Carried by Voice Vote**

Ms. Roth-Wurster made a motion to adjourn; seconded by Mr. Dittrich.

RESULT:	MOTION CARRIED BY VOICE VOTE [UNANIMOUS]
MOVER:	Cindy Roth-Wurster, Commissioner
SECONDER:	James Dittrich, Commissioner
AYES:	Roth-Wurster, Wood, Luszczak, McGinn, Cavanaugh, Dittrich, Pirog
ABSENT:	Larson

**VILLAGE OF PALATINE
Zoning Board of Appeals**

SCHEDULED 12/11/18 07:00 PM

CASE STAFF STATEMENT (ID # 4960)

214 S Greeley Street

TO: Palatine Zoning Board of Appeals
Jan Wood, Chair

FROM: Lyn Bremanis

PETITIONER: Kendall Yeager

CASE NUMBER: 18-97

ADDRESS: 214 S Greeley Street

PROPOSAL:

Special Use to permit an accessory structure to be located in the floodplain pursuant to Section 6.08 (d) (2) (h) of the Palatine Code of Ordinances - Appendix B - Subdivision, Site Development and Floodplain Regulations.

<u>LOCATION:</u> 214 S Greeley Street District 2 (Lamerand)	<u>CURRENT ZONING:</u> R-2 Single Family Residential
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SURROUNDING CONDITIONS:

<u>North:</u>	R-2 Single Family Residential
<u>South:</u>	R-2 Single Family Residential
<u>East:</u>	R-2 Single Family Residential
<u>West:</u>	R-2 Single Family Residential

BACKGROUND:

The petitioner is requesting to replace a detached garage that is partially encumbered by the flood plain. Thus, the petitioner is requesting:

Special Use to permit an accessory structure to be located in the floodplain.

SITE ANALYSIS:

The Subject Property is zoned R-2 Single Family and contains a single-family residence.

The Petitioner is seeking a Special Use to replace an existing garage that is in disrepair. As an existing condition, the current garage is partially - approximately 170 square feet -

encumbered by the floodplain. While the proposed garage is approximately 69 square feet larger (existing 503 square feet, proposed 572 square feet), the section encumbered by the flood plain will remain the same.

The top of foundation of the garage is required to be at Base Flood Elevation (BFE) at 730.20. The garage floor will remain at the existing 730.5.

The proposed garage is 13 feet in height meeting code (15 feet maximum)

Both building and lot coverage meet Code at 21% and 45% (max 35% and 45% permitted).

DEPARTMENTAL REVIEWS:

Community Services	No issues identified
Engineering	No issues identified
Environmental Health	N/A
Fire Prevention	N/A
Public Works	N/A
Police	N/A

STANDARDS FOR SPECIAL USE: Since this Petition is not for a use publicly operated or traditionally affected with the public interest, those standards under Section 14.05 D (2) and (3) are applicable. Specifically, the Petitioners must show that the Special Use, if granted, will be operated in a manner consistent with the public health, safety, and welfare, and that the Special Use will not have a negative impact on the value of surrounding properties. The Petition for a Special Use is attached, and the Petitioners have attempted to address the required standards.

STAFF RECOMMENDATION:

While the floodplain encumbers a section of the proposed detached garage, the Village Engineer has reviewed this proposal and does not have any specific concerns regarding its replacement. Additionally, the Petitioner is replacing an existing detached garage that is in current disrepair and not increasing the square footage in the flood plain. In addition, the lot coverage will still meet code. Therefore, Staff recommends approval of the proposed Special Use, subject to the following conditions:

1. The Special Use shall substantially conform to the site plan and elevations submitted by the Contractor, on 10/08/2018 except as such plans may be changed to conform to Village Codes and Ordinances.

Case Staff Statement (ID # 4960)
Meeting of December 11, 2018

ATTACHMENTS:

- Aerial
- Application
- Plat of Survey
- Topographical Map
- Site Plan
- Elevations
- Public Notice

214 S Greeley Street

3.1.a

VILLAGE OF
PALATINE

168 S

186 S

200 S

210 S

214 S

220 S

228 S

236 S

225 S

231 S

237 S

241 S

249 S

122 W

248 S

W DANIELS RD

S GREELEY ST

S SMITH ST

Hawthorne Park

0 60 120
1 in. = 55 ft. Feet



Packet Pg. 12

Attachment: Aerial (214 S Greeley Street - SU garage in flood plain)



SPECIAL USE & VARIATION APPLICATION

Department of Planning & Zoning

200 E. Wood Street · Palatine, IL · 60067-5339
Telephone: (847) 359-9047 · Fax (847) 963-6247

Office Use Only	Project Planner	Zoning Case # 18-97
	Filing Fee 115	Notification Deadline
	ZBA Public Hearing Date	Village Council Date



Background Information	PETITIONER(S)		Business Name (if applicable)	
	KENDALL YEAGER			
	Subject Property Address 214 S. GREELEY PALATINE IL 60067			
	AUTHORIZED AGENT (if applicable)		Business Name (if applicable)	
	Ricky Construction, Inc			
	Address 141 E. Anita Ave Mount Prospect IL 60056		City/State/Zip Code	
	Telephone (847) 299-2221	Fax (847) 495-2132	Email rickyconstruction@gmail.com	
	Relationship to Petitioner (contractor, architect, etc.) contractor			
	TYPE OF APPLICATION (check one)			
	☒ Special Use ☐ Special Use Amendment ☐ Variation			
Existing Zoning District		Existing Land Use residential garage	Proposed Land Use residential garage	
Generally describe your request: <u>Take down detached old garage aprx. 22x22 and rebuild new 26x22=572SF</u> <u>hip roof 4/12 pitch in the same location at 5.'50 side set back</u> <u>6" above the grade, not changing any grades.</u>				

Attachment: Application (214 S Greeley Street - SU garage in flood plain)

PALATINE

SPECIAL USE

Required Materials

- ☐ Filing Fee of \$ _____
- ☐ Application Form
- ☐ Plat of Survey (must show all current improvements and be sealed by an Illinois certified surveyor)
- ☐ Site Plan & Floor plan (dimension, location, and setbacks of all existing and proposed buildings) – **one 11x17 copy each, electronic version preferred**
- ☐ Real Estate Interest Disclosure Form (see attached)
- ☐ Proof of Ownership or Lease (e.g. Title Insurance Policy, Deed, or Purchase Contract)
- ☐ Business Plan (if applicable; including, but not limited to nature of business, hours of operation, number of employees, and menu)

Additional Materials (as required by the Village)

- ☐ Elevation Plan (front, side, and rear elevations of a proposed building), and/or Floor Plan (proposed interior layout) – **one 11x17 copy of each plan, electronic versions preferred**
- ☐ Engineering Plans (must indicate existing conditions, topography, storm water management, tree preservation, utility connections, detention calculations, and a cost estimate)
- ☐ Photographs (e.g. ground-level or aerials)
- ☐ Other materials as deemed necessary by the Village

Petitioner Justification

The Petitioner is required to present specific evidence related to each of the following standards to justify the request (paraphrased from Section 14.05 of the Palatine Zoning Ordinance). Answer the items below and attach a separate sheet if necessary. **If you are applying for a Variation only, you do not need to answer these items.**

1. The use is deemed necessary for the public convenience at that location

Yes - existing structure need to be replace
 & need a larger garage to fit 2 cars
 & storage

2. The use is designed, located, and proposed to be operated that the public health, safety and welfare will be protected

Yes - NO NEGATIVE EFFECT

3. The use will not cause substantial injury to nearby property values

Yes - NO NEGATIVE EFFECT

Replacing A GARAGE improve neighborhood

4. With respect to live entertainment uses, the use shall not:

- a. Produce noise levels so great as to constitute an unreasonable interference for persons outside the confines of the establishment
- b. Impose undue health, sanitation or safety burdens on the village
- c. Create excessive demands on the Village of Palatine Police Department
- d. Be of a nature otherwise prohibited by law or village ordinance

5. For fence standards, see Section 14.05 of the Palatine Zoning Ordinance

N/A

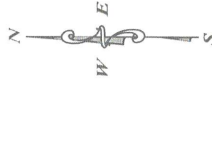
Attachment: Application (214 S Greeley Street - SU garage in flood plain)

Jens K. Doe
Professional Land Surveyors, P.C.
PLAT OF SURVEY

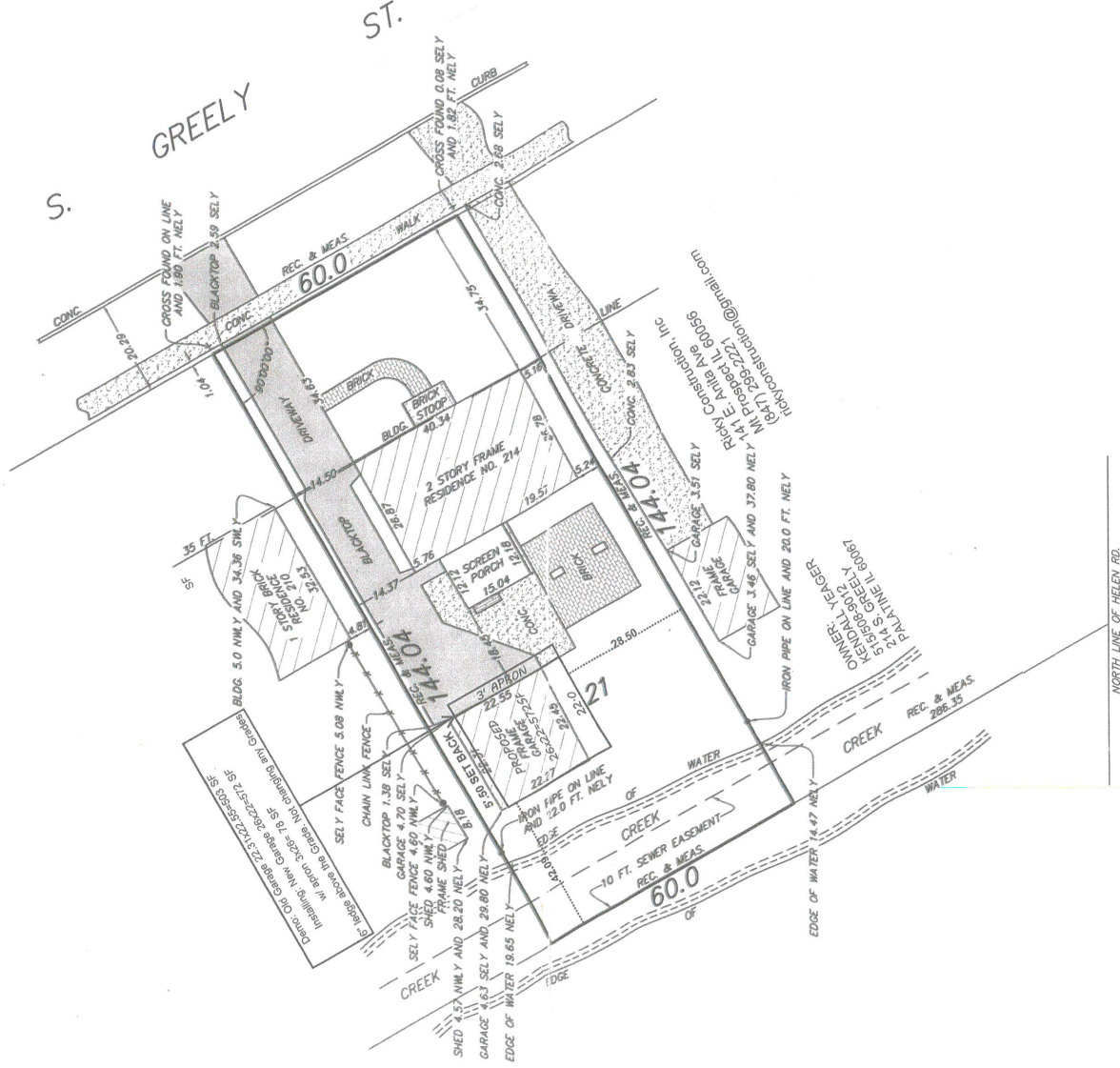
ORDER NO.
17-0495

LOT 21 IN BLOCK 21 IN ARTHUR T. MCINTOSH AND COMPANY'S PLUM GROVE ROAD
DEVELOPMENT IN SECTIONS 22 AND 23, TOWNSHIP 42 NORTH, RANGE 10, EAST OF
THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

COMMONLY KNOWN AS: 214 S. GREELEY ST., PALATINE, ILLINOIS.



Scale - 1 inch = 20 feet



NOTE:
The legal description noted on this plat is a copy of the land survey order
placed by the client and for accuracy MUST Be compared with the Deed.
For building restrictions refer to your Abstract, Deed or Contract.

Compare distance between points before building and
report any discrepancy to this office immediately.

Dimensions shown hereon are not to be assumed or scaled.

Dimensions shown hereon are in feet and decimal parts thereof.

Field work completion date : August 8, 2017.

ORDERED BY:
SASSAN & SASSAN

State of Illinois)
County of Cook)

JENS K. DOE PROFESSIONAL LAND SURVEYORS, P.C., does hereby certify that a survey has been made under its
direction, by an Illinois Professional Land Surveyor of the property described hereon and that the plat hereon shown is a
correct representation of said survey.

Chicago, Illinois, Dated this 9th Day of August 2017.

This professional service conforms to the current Illinois minimum standards for a boundary survey.
JENS K. DOE PROFESSIONAL
LAND SURVEYORS, P.C.



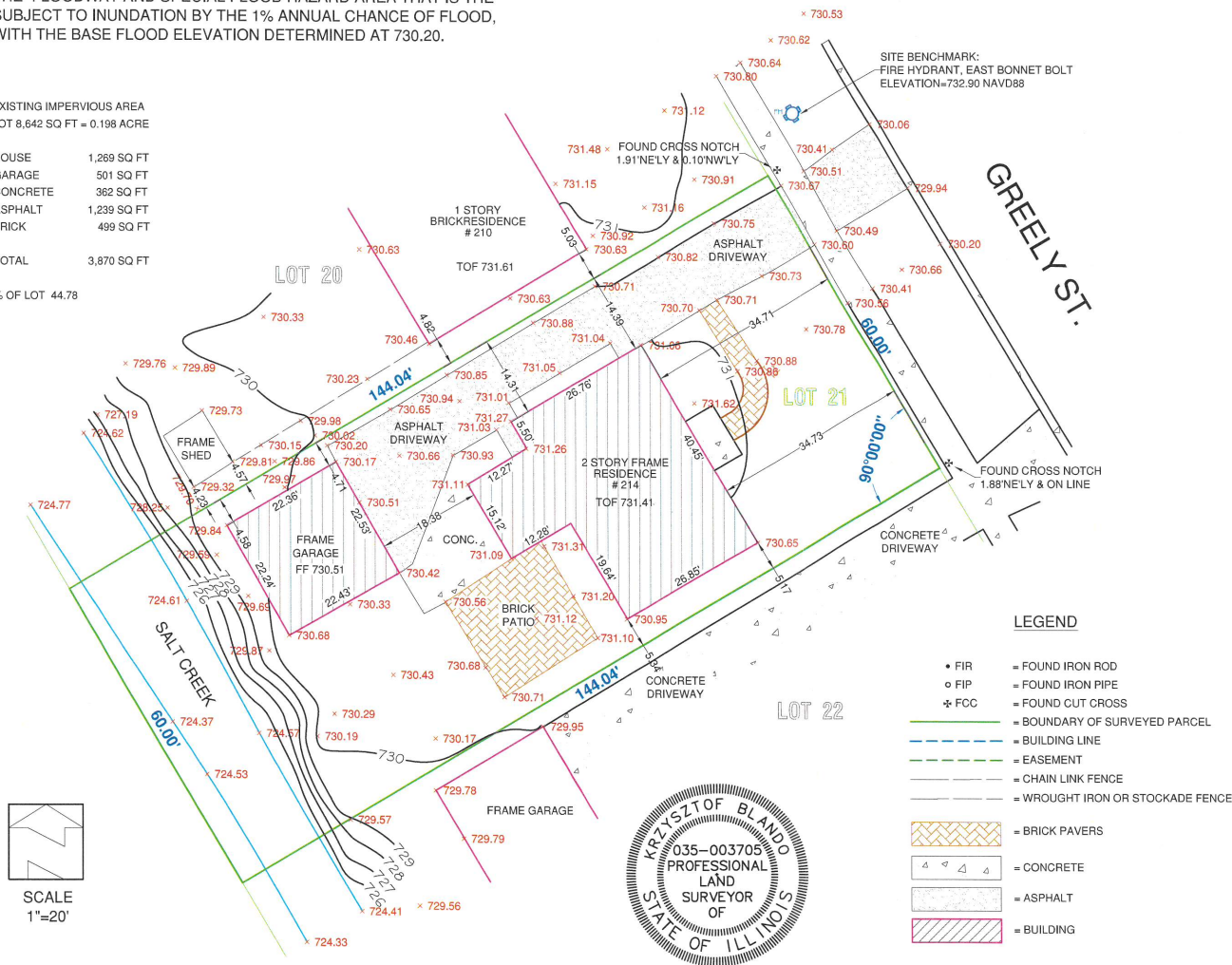
PER FLOOD INSURANCE RATE MAP NO. 17031C0181J, REVISED AUGUST 19, 2008, PART OF THE SUBJECT PROPERTY IS LOCATED IN THE FLOODWAY AND SPECIAL FLOOD HAZARD AREA THAT IS THE SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE OF FLOOD, WITH THE BASE FLOOD ELEVATION DETERMINED AT 730.20.

EXISTING IMPERVIOUS AREA
LOT 8,642 SQ FT = 0.198 ACRE

HOUSE 1,269 SQ FT
GARAGE 501 SQ FT
CONCRETE 362 SQ FT
ASPHALT 1,239 SQ FT
BRICK 499 SQ FT

TOTAL 3,870 SQ FT

% OF LOT 44.78



LEGEND

- FIR = FOUND IRON ROD
- FIP = FOUND IRON PIPE
- ✱ FCC = FOUND CUT CROSS
- = BOUNDARY OF SURVEYED PARCEL
- - - = BUILDING LINE
- - - = EASEMENT
- - - = CHAIN LINK FENCE
- - - = WROUGHT IRON OR STOCKADE FENCE
- [Pattern] = BRICK PAVERS
- [Pattern] = CONCRETE
- [Pattern] = ASPHALT
- [Pattern] = BUILDING

TOPOGRAPHICAL SURVEY

LEGAL DESCRIPTION:

LOT 21 IN BLOCK 21 IN ARTHUR T. MCINTOSH AND COMPANY'S PLUM GROVE ROAD DEVELOPMENT IN SECTIONS 22 AND 23, TOWNSHIP 42 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

PIN : 02-22-216-021-0000

Commonly Known as: 214 S. GREELEY ST.
PALATINE, IL 60067

STATE OF ILLINOIS)
)S.S.
COUNTY OF KANE)

THIS IS TO CERTIFY THAT THE PLAT SHOWN HEREON IS A CORRECT REPRESENTATION OF A SURVEY PERFORMED AT AND UNDER MY DIRECTION. THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY. ALL DIMENSIONS SHOWN ARE IN FEET AND DECIMAL PARTS THEREOF.

GIVEN UNDER MY HAND AND SEAL THIS 14TH DAY OF OCTOBER, A.D. 2018.

K. Blomdo

KRZYSZTOF BLANDO
ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 3705
LICENSE EXPIRES 1/1/20

ORDER NO. 2018/180
DRAWN BY CP
CHECKED KB
APPROVED KB
FIELD DATE 01/15/18
SCALE 1" = 20'

Prepared for:
RICKY CONSTRUCTION, INC.
141 E. ANITA AVE
MT PROSPECT IL 60056
(847) 299-2221
RICKYCONSTRUCTION@GMAIL.COM

Prepared by:
ACORN CONSULTANTS LTD.
1340 GIESE ROAD
BATAVIA, ILLINOIS 60510
TEL: (630) 608-9933
kblando@comcast.net

S. G R E E L Y S T.

PROPOSED DETACHED FRAME GARAGE FOR KENDALL YEAGER 214 S. GREELEY STREET PALATINE, ILLINIOS 60067

GENERAL NOTES

1. ALL CODES HAVING JURISDICTION SHALL BE OBSERVED STRICTLY IN CONSTRUCTION OF THE PROJECT INCLUDING ALL APPLICABLE STATE, CITY AND COUNTY BUILDING, ZONING, ELECTRICAL, MECHANICAL, PLUMBING AND FIRE CODES. CONTRACTOR SHALL VERIFY ALL CODE REQUIREMENTS AND BRING ANY DISCREPANCIES BETWEEN CODE REQUIREMENTS AND THE CONSTRUCTION DOCUMENTS TO THE ATTENTION OF THE COMPANY.
2. ALL CODES TRADE STANDARDS AND MANUFACTURER'S INSTRUCTIONS REFERENCED IN THE CONTRACT DOCUMENTS SHALL BE LATEST EDITION.
3. DETAILS AND SECTION ON THE DRAWINGS ARE SHOWN AT SPECIFIC LOCATIONS AND ARE INTENDED TO SHOW GENERAL REQUIREMENTS THROUGHOUT. DETAILS NOTED "TYPICAL" IMPLY ALL CONDITIONS TREATED SIMILARLY MODIFICATIONS TO BE MADE BY CONTRACTOR TO ACCOMMODATE MINOR VARIATIONS.
4. ALL DRAWINGS SHALL BE FULLY COORDINATED BY CONTRACTOR TO VERIFY ALL DIMENSIONS. LOCATE DEPRESSED SLABS, SLOPES, DRAINS, OUTLETS, RECESSES, REGRETS, BOLT SETTINGS, SLEEVES, ETC.
5. THE CONTRACTOR SHALL VERIFY AND PROTECT ALL SERVICES LINES AND EXISTING SITE AREA FROM DETERIORATION OR DAMAGE.
6. THE COMPANY SHALL NOT BE RESPONSIBLE FOR THE SAFETY AND CONSTRUCTION PROCEDURES, TECHNIQUES OR THE FAILURE OF THE BUILDER TO CARRY OUT THE WORK IN ACCORDANCE WITH THE DRAWINGS OR THE REQUIRED CODES.
7. CONTRACTOR SHALL BRING ERRORS AND OMISSIONS WHICH MAY OCCUR IN CONTRACT DOCUMENT TO THE ATTENTION OF THE COMPANY IN WRITING, AND WRITTEN INSTRUCTION SHALL BE OBTAINED BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR WILL BE HELD RESPONSIBLE FOR THE RESULTS OF ANY ERRORS, DISCREPANCIES OR OMISSIONS IN THE CONTRACT DOCUMENTS OF WHICH THE CONTRACTOR FAILED TO NOTIFY THE COMPANY BEFORE CONSTRUCTION AND OR FABRICATIONS OF THE WORK.
8. THE CONTRACTOR AND SUBCONTRACTOR SHALL VERIFY ALL DIMENSIONS AND JOB CONDITIONS AT THE JOB SITE SUFFICIENTLY IN ADVANCE OF WORK TO BE PERFORMED TO ASSURE THE ORDERLY PROGRESS OF THE WORK.
9. CONTRACTORS SHALL MAINTAIN THE PREMISES CLEAN AND FREE OF ALL TRASH, DEBRIS, AND SHALL PROTECT ALL ADJACENT WORK FROM DAMAGE, SOILING, PAINT, OVERSUPPLY, ETC. ALL FIXTURES, EQUIPMENT, GLAZING, FLOORS ETC. SHALL BE LEFT CLEAN AND READY FOR OCCUPANCY UPON COMPLETION OF THE PROJECT.
10. ALL MANUFACTURER'S PRINTED WARNINGS FOR HANDLING OF PRODUCTS MUST BE STRICTLY OBSERVED. THE WORDS "OR EQUAL" ARE TO BE ASSUMED WHENEVER A SPECIFIC MANUFACTURER IS NOTED, HOWEVER ALL SUBSTITUTIONS MUST BE APPROVED BY THE CONSECUTION MANAGER.

CONCRETE NOTES

1. ALL CONCRETE FOOTINGS TO BEAR ON SOLID UNDISTURBED SOIL WITH A MINIMUM BEARING CAPACITY OF 3000 LB. PER SQ. FT. AND TO A DEPTH OF 24" BELOW GRADE.
2. CONCRETE CONTRACTOR TO VERIFY ALL FIELD CONDITIONS AND DIMENSIONS TO INSURE PROPER LOCATION OF CONCRETE WORK.
3. ALL CONCRETE SHALL HAVE A 28 DAY STRENGTH OF 3000 LB. SQ. IN. CONCRETE FLATWORK TO BE LEVEL AND TO HAVE A BROOM FINISH.
4. ALL STEEL REINFORCEMENT SHALL BE A.S.T.M. 615 GRADE 60, NEW FILLET STEEL AND SHALL HAVE DEFORMATION CONFORM TO A-305.
5. DETAILING, BENDING AND PLACING OF ALL STEEL REINFORCEMENT SHALL COMPLY WITH THE LATEST EDITION OF A.C.I.
6. FORMS SHALL NOT BE STIPPED FROM CONCRETE WALLS SOONER THAN 48 HOURS FROM TIME OF POUR.
7. BREAK OFF WALL TIES BEFORE DAMPROOFING.
8. THERE SHALL BE NO UNEVEN BACKFILL AGAINST FOUNDATION WALL BACKFILLING SHALL NOT OCCUR UNTIL FRAMING IS COMPLETED.
9. BACKFILLING WITH SAND OR OTHER APPROVED GRANULAR FILL IN AREAS WHERE CAST IRON AND OR CLAY TILES PIPES ARE TO BE INSTALLED, AS WELL AS EXCAVATED AREAS WHERE SLAB ON GRADE TO BE POURED.
10. NO BACKFILLING SHALL OCCUR SOONER THAN SEVEN DAYS AFTER POURING CONCRETE.

MOISTURE PROTECTION NOTES

1. ROOFER SHALL WORK WITH CONTRACTORS FURNISHING ITEMS EXTENDING THROUGH ROOF TO INSURE WATERTIGHT CONNECTION IN ACCORDANCE WITH THE ROOFING MANUFACTURER'S SPECIFICATIONS.
2. SEALANT FOR CAULKING SHALL BE TREMCO "MONO" ONE PART ACRYLIC SEALANT MANUFACTURED BY THE TREMCO MANUFACTURING COMPANY. CAULK ALL JOINTS BETWEEN SIMILAR AND DISSIMILAR MATERIALS, INTERIOR AND EXTERIOR AS DETAILED AND REQUIRED TO PREVENT AIR AND WATER INFILTRATION. COLOR BY OWNER.
3. PROVIDE 26 GAUGE G.I. METAL FLASHING AT ALL MISCELLANEOUS FLASHING THAT HAVE NOT BEEN SPECIFIED.
4. METAL SILLS, COPINGS, FLASHING AND MISCELLANEOUS FLASHING TO FORMED ALUMINUM WITH BAKED ACRYLIC FINISH. PROVIDE CONCEALED ANCHORS.
5. SHINGLE ROOFING TO HAVE FIBERGLASS BASED ASPHALT SHINGLE OVER 30 LB. FELT UNDERLAYMENT PER SHINGLE MANUFACTURER'S SPECIFICATIONS. MANUFACTURER TO BE GAF OR APPROVED EQUAL MATCH EXISTING COLOR AS CLOSE AS POSSIBLE.
6. APPROVED CORROSION RESISTIVE FLASHING SHALL BE PROVIDED AT TOP AND ALL SIDES OF ALL EXTERIOR WINDOW AND DOOR OPENINGS. SIMILAR FLASHING SHALL BE INSTALLED AT THE INTERSECTION OF CHIMNEYS AND THE MASONRY CONSTRUCTION WITH FRAME WALLS.
7. PROVIDE ICE SHIELD BY W.R. GRACE OR EQUAL TO EXTEND FROM EDGES OF EAVE TO A POINT 36" INSIDE EXTERIOR WALL LINE.

CARPENTRY NOTES

1. PROVIDE ALL CARPENTRY WORK WITHIN AS SHOWN. INSTALL ALL MILLWORK ROUGH AND FINISHED HARDWARE.
2. WOOD STRUCTURAL MEMBERS TO HAVE MINIMUM LUMBER STRESS GRADE AS FOLLOWS. DOUGLAS FIR NUMBER 2 OR SOUTHERN PINE NUMBER 2 MEDIUM GRAIN (Fg=1250 PSI SINGLE, Fb=1450 PSI REPETITIVE) MAXIMUM ALLOWABLE MOISTURE CONTENT SHALL BE 19%.
3. PROVIDE SOLID WOOD B LOCKING NOT OVER 6 FEET ON CENTER ON ALL WOOD JOISTS.
4. PROVIDE BLOCKING OF CONSTRUCTION HEM FIR AS SHOWN OR AS NECESSARY FOR SUPPORT OF FURRED SPACES, FRAMING FOR MILLWORK & OTHER FINISHED MATERIALS WITH ALL NAILS BOLTS & DEVICES NECESSARY FOR RIGID SUPPORT OF WORK.
5. PROVIDE ALL NECESSARY ITEMS OF BUILDER'S HARDWARE TO ASSEMBLE AND OR SECURE WORK AS SHOWN OR SPECIFIED UNDER CARPENTRY OR MILLWORK. DO ALL REFITTING OR ADJUSTING FOR A PERIOD OF ONE YEAR AFTER FINAL PAYMENT AND AT NO COST TO THE OWNER. AFTER REFITTING, REFINISH WOODWORK AS SPECIFIED FOR ORIGINAL INSTALLATION.
8. ROOF SHEATHING TO BE 5/8" DFPA EXTERIOR PLYWOOD UNLESS OTHERWISE NOTED ON DRAWINGS.
9. EXTERIOR WOOD TRIM TO BE WESTERN RED CEDAR, CONSTRUCTION GRADE FOR EXPOSED AREAS.
10. PROVIDE FIRE STOPPING ACCORDING TO LOCAL CODE.
11. ALL HEADERS SHALL MEET THE REQUIREMENTS OF THE TABLES SET FORTH IN THE 1986 CABO 182 FAMILY DWELLING CODE, SECTION R-402.6.
12. PROVIDE TREATED 2X SILL PLATE AGAINST CONCRETE.
13. DO ALL JOISTS UNDER ALL PARALLEL PARTITIONS.
14. PROVIDE WOOD PLATE ON TOP OF ALL STEEL BEAMS.
15. PROVIDE DOUBLE RAFTERS AND HEADERS AROUND ALL ROOF OPENINGS.

TABLE OF CONTENT

- A1- SITE PLAN, NOTES, - GENERAL NOTES, CODES
A2- FOUNDATION PLAN - FIRST FLOOR PLAN -
A3- NORTHWEST ELEVATION - SOUTHWEST ELEVATION - SOUTHEAST ELEVATION-NORTHEAST ELEVATIONS TYPICAL SECTION

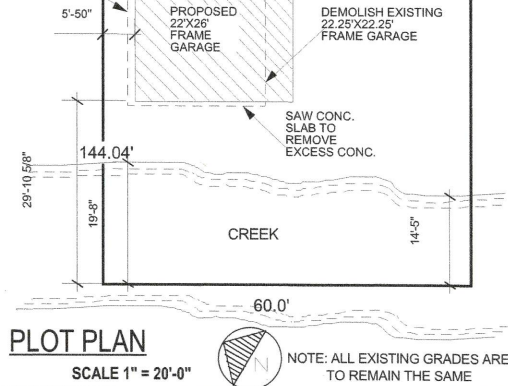
SCOPE OF WORK

26'-0" X 22'-0" FRAME GARAGE

All work must conform to the Following:

International Residential Code 2009 w/ village amendments
International Building Code 2009 edition with village amendments
International Mechanical Code, 2009 edition with village amendments
International Fuel Gas Code, 2009 edition w/ village amendments
International Energy Conservation Code 2015 edition
International Fire Code, 2009 Edition w/ village amendments
Life Safety Code NFPA 101, 2000 edition
National Electrical Code, 2011 edition w/ village amendments
Illinois Plumbing Code 2014 edition
Illinois Accessibility Code, Latest edition

SAW CONC. SLAB TO PROVIDE 5'-50" MIN. SIDEYARD



RICKY CONSTRUCTION, INC
141 E. ANIATA AVE. MT PROSPECT, IL 60056
847-299-2221

PROPOSED DETACHED FRAME GARAGE
FOR
KENDALL YEAGER 214 S. GREELEY STREET
PALATINE, ILLINIOS 60067

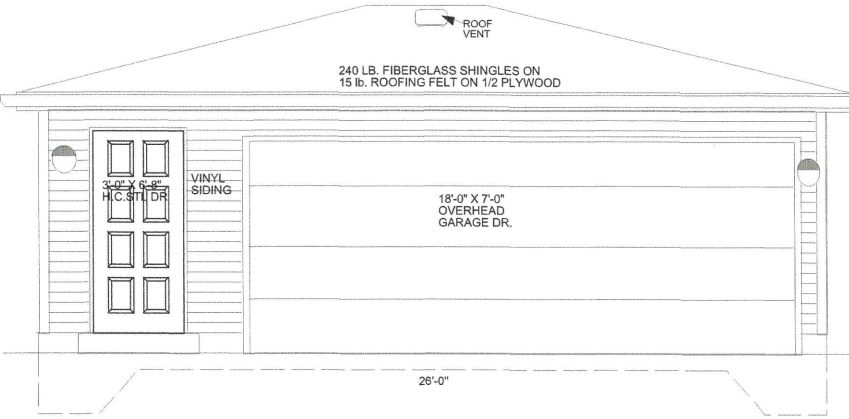
COVER SHEET- SITE PLAN- NOTES- CODES

SHEET NUMBER

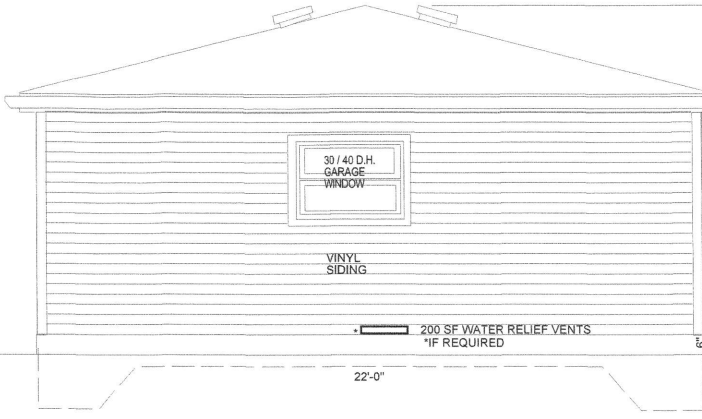
A1

OF SHEETS

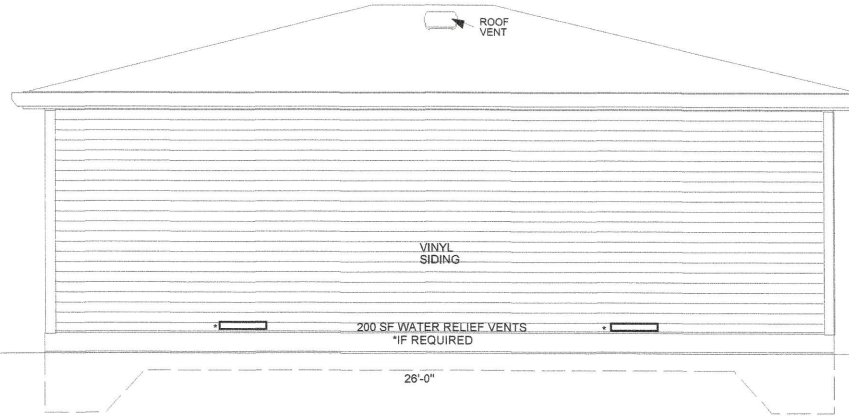
Attachment: Site Plan (214 S Greeley Street - SU garage in flood plain)



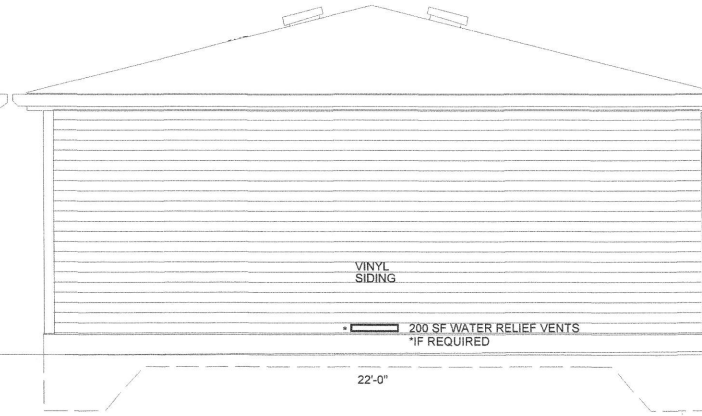
NORTHEAST ELEVATION
SCALE 1/4" = 1'-0"



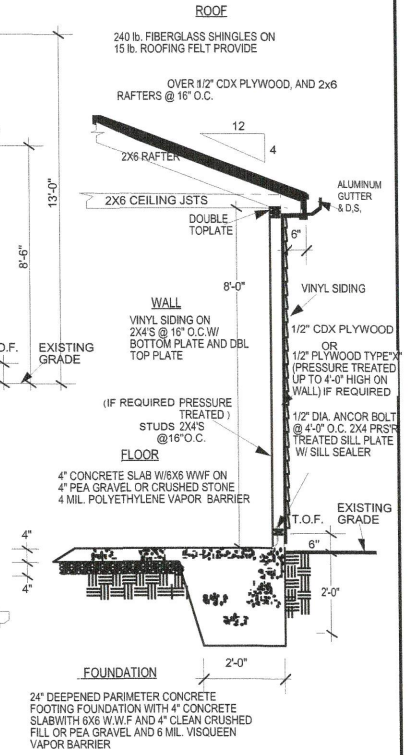
SOUTHEAST ELEVATION
SCALE 1/4" = 1'-0"



SOUTHWEST ELEVATION
SCALE 1/4" = 1'-0"



NORTHWEST ELEVATION
SCALE 1/4" = 1'-0"



TYPICAL SECTION

SCALE 1/2" = 1'-0"

RICKY CONSTRUCTION INC. 141 E. ANITA AVE. MT PROSPECT, IL 60056 847-289-2221	SHEET NUMBER
PROPOSED DETACHED FRAME GARAGE FOR	A3
KENDALL YEAGER 214 S. GREELEY STREET PALATINE, ILLINIOS 60067	OF SHEETS
ELEVATIONS - TYPICAL SECTION	

PUBLIC NOTICE
 A public hearing will be held before the Palatine Zoning Board of Appeals on Tuesday, December 11, 2018 at 7:00 P.M. in the Village Council Chambers in the Palatine Village Hall, 200 E. Wood Street, relative to a request for the following:
Special Use to permit a portion of a detached garage to be located in the floodplain pursuant to Section 6.08 (d) (2) (h) of the Palatine Code of Ordinances-Appendix B-Subdivision, Site Development and Floodplain Regulations.
 The property is commonly known as 214 S. Greeley Street (02-22-216-021). The Petitioner would like to replace a detached garage that is partially located in the flood plain.
 The above petition has been filed by Kendall Yeager and is available for examination in the office of the Village Clerk, 200 E. Wood Street.
 FILE #: 18-97
 VILLAGE OF PALATINE
 Jan Wood, Chair
 Palatine Zoning Board of Appeals
 DATED: This 26th day of November, 2018
 Published in Daily Herald
 November 26, 2018 (4513656)

CERTIFICATE OF PUBLICATION

Paddock Publications, Inc.

Daily Herald

Corporation organized and existing under and by virtue of the laws of the State of Illinois, DOES HEREBY CERTIFY that it is the publisher of the **DAILY HERALD**. That said **DAILY HERALD** is a secular newspaper and has been circulated daily in the Village(s) of Algonquin, Antioch, Arlington Heights, Aurora, North Aurora, Bannockburn, Barrington, Barrington Hills, Lake Barrington, North Barrington, South Barrington, Bartlett, Batavia, Buffalo Grove, Burlington, Campton Hills, Carpentersville, Cary, Crystal Lake, Deerfield, Deer Park, Des Plaines, Elburn, East Dundee, Elgin, South Elgin, Elk Grove Village, Fox Lake, Fox River Grove, Franklin Park, Geneva, Gilberts, Glenview, Grayslake, Green Oaks, Gurnee, Hainesville, Hampshire, Hanover Park, Hawthorn Woods, Highland Park, Highwood, Hoffman Estates, Huntley, Inverness, Island Lake, Kildeer, Lake Bluff, Lake Forest, Lake in the Hills, Lake Villa, Lake Zurich, Libertyville, Lincolnshire, Lindenhurst, Long Grove, Melrose Park, Montgomery Morton Grove, Mt. Prospect, Mundelein, Niles, Northbrook, Northfield, Northlake, Palatine, Park Ridge, Prospect Heights, River Grove, Riverwoods, Rolling Meadows, Rosemont, Round Lake, Round Lake Beach, Round Lake Heights, Round Lake Park, Schaumburg, Schiller Park, Sleepy Hollow, St. Charles, Streamwood, Sugar Grove, Third Lake, Tower Lakes, Vernon Hills, Volo, Wadsworth, Wauconda, Waukegan, West Dundee, Wheeling, Wildwood, Wilmette

County(ies) of Cook, Kane, Lake, McHenry

and State of Illinois, continuously for more than one year prior to the date of the first publication of the notice hereinafter referred to and is of general circulation throughout said Village(s), County(ies) and State.

I further certify that the DAILY HERALD is a newspaper as defined in "an Act to revise the law in relation to notices" as amended in 1992 Illinois Compiled Statutes, Chapter 715, Act 5, Section 1 and 5. That a notice of which the annexed printed slip is a true copy, was published November 26, 2018 in said DAILY HERALD.

IN WITNESS WHEREOF, the undersigned, the said PADDOCK PUBLICATIONS, Inc., has caused this certificate to be signed by, this authorized agent, at Arlington Heights, Illinois.

PADDOCK PUBLICATIONS, INC.
 DAILY HERALD NEWSPAPERS

BY *Danula Baitz*
 Authorized Agent

Control # 4513656

Attachment: Public Notice (214 S Greeley Street - SU garage in flood plain)

**VILLAGE OF PALATINE
Zoning Board of Appeals**

SCHEDULED 12/11/18 07:00 PM

CASE STAFF STATEMENT (ID # 4961)

652 N Quentin Road

TO: Palatine Zoning Board of Appeals
Jan Wood, Chair

FROM: Lyn Bremanis

PETITIONER: John Wrzesinski

CASE NUMBER: 18-73

ADDRESS: 652 N Quentin Road

PROPOSAL:

Variation to permit lot coverage to be 48 percent instead of the maximum permitted 45 percent pursuant to Section 10.06 (g) (1) (b) of the Palatine Zoning Ordinance.

Variation to permit an accessory structure (shed) to be located in an easement pursuant to Section 6.01 (a)(3)(c) of the Palatine Zoning Ordinance.

Variation to permit an accessory structure (garage) to be 3 feet from the side lot line instead of the minimum required set back 5 feet pursuant to Section 6.01 (a) (2) (b) of the Palatine Zoning Ordinance.

Variation to permit total square footage accessory structures to be 1022 square feet instead of the maximum 700 square feet per Section 6.01 (a) (1) of the Palatine Zoning Ordinance.

Variation to permit a driveway to exceed the driveway width to 35 feet instead the maximum 30 feet pursuant to Section 7.04 (i)(3) of the Palatine Zoning Ordinance.

<u>LOCATION:</u> 652 N Quentin Road District 1 (Millar)	<u>CURRENT ZONING:</u> R-2 Single Family Residential
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SURROUNDING CONDITIONS:

<u>North:</u>	R-2 Single Family Residential
<u>South:</u>	R-2 Single Family Residential
<u>East:</u>	R-2 Single Family Residential
<u>West:</u>	R-2 Single Family Residential

BACKGROUND:

The Petitioner is requesting relief for the work completed without a permit including adding pavement, replacing a shed in an easement adding accessory structures and making changes to an existing garage. Therefore, the Petitioner is requesting the following relief:

- **Variation to permit lot coverage to be 48 percent instead of the maximum permitted 45 percent.**
- **Variation to permit an accessory structure (shed) to be located in an easement.**
- **Variation to permit an accessory structure (garage) to be 3 feet from the side lot line instead of the minimum required set back 5 feet.**
- **Variation to permit total square footage accessory structures to be 1022 square feet instead of the maximum 700 square feet.**
- **Variation to permit a driveway to exceed the driveway width to 35 feet instead the maximum 30 feet.**

SITE ANALYSIS:

- The Subject Property is zoned R-2 Single Family and contains a single-family home, detached garage, and associated shed in the rear of the property. It was annexed into the Village in 1991. Through a complaint, the Village became aware of multiple instances of work without a permit on the subject property. The following work was done without a permit:
 - An addition was added to the south side of the principal structure that encroaches into the side yard setback. The Petitioner is proposing to remove a section of the addition to meet the side yard setback.
 - The existing driveway was widened which now exceeds the 25-foot maximum width within 5 feet of the property line and 35 width for the remainder of the driveway. The Petitioner is proposing to remove a section of the pavement to meet the 25 foot width at the lot line. If this is done then only a variation for the 35 foot width would be required.
 - An existing shed was replaced in the rear yard that is in an easement. This requires a variation. The Petitioner is required to obtain utility company signoff.
 - A detached garage was altered without a permit that is less than 5 feet from the lot line. This would require a variation.
- The garage, shed, and gazebos put the accessory structures over the allowable

700 square feet at 1022 square feet thus requiring a variation.

- Lot coverage is approximately 48% requiring a variation.
- Building coverage meets code at 28 %, maximum 35% required.

DEPARTMENTAL REVIEWS:

Community Services	No Issues Identified
Engineering	No Issues Identified
Environmental Health	N/A
Fire Prevention	N/A
Public Works	N/A
Police	N/A

STANDARDS FOR A VARIATION: Standards for a Variation are found in Section 14.03 D (1) and (2) of the Zoning Code. Specifically, the Petitioners must show that the property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations governing the district in which it is located; that the plight of the owner is due to unique circumstances; and that the variation, if granted, will not alter the essential character of the locality. The Petition for Variation is attached, and the Petitioners have attempted to address the required standards.

STAFF RECOMMENDATION:

The petitioner obtained a new plat of survey showing the existing conditions, which includes the work completed without a permit. The Petitioner is proposing to remove the following: 1) a section of the house addition that encroaches into the required side yard setback; 2) a section of pavement to reduce the existing driveway width to meet the 25-foot maximum allowable width at the lot line; and, 3) the carport located in front of the garage. A stop work order and citations were issued for these violations. The adjudication process is being managed separately from this process. The Petitioner has applied for the necessary building permits, which are now under review.

While the encroachment of the garage into the required side yard setback is an existing condition, the Petitioner removed a substandard addition at the rear of the garage without a permit in order to revert it back to its original footprint. Thus, a Variation is required. The garage location has not changed and the improvements should not alter the essential character of the neighborhood.

The previous shed was located in the easement; however, the Zoning Ordinance requires the Petitioner to seek zoning relief to permit a new structure (shed) in an

easement.

Lastly, once the Petitioner removes the section of the house addition encroaching in the required setback, the house addition will meet the required setbacks per the Zoning Ordinance. However, the house addition is a component of the lot coverage calculations, which requires a Variation.

Ultimately, the Village is not able to assess the impact of the Code related non-conformities and any legally non-conforming statuses due to the work complete without a permit. The Petitioner indicates that some of the improvements were also made prior to the current owner purchasing the property. The appropriate process step is to seek the necessary relief from the Code, based upon the current condition of the property. Therefore, Staff recommends action at the discretion for the requested variations. If the Zoning Board of Appeals recommends approval, Staff recommends the following conditions:

1. The Variations shall substantially conform to the site plan prepared by the Architect, John Kevin A. Panek Architect LLC dated 11/2/18, except as such plans may be changed to conform to Village Codes and Ordinances.

ATTACHMENTS:

- Aerial
- Application
- Aerial Comparison
- Plat of Survey
- Site Plan
- Detailed Site Plan
- Public Notice

3.2.a

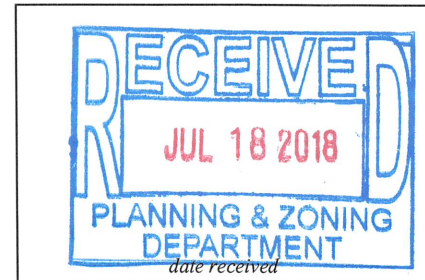


VILLAGE OF PALATINE

SPECIAL USE & VARIATION APPLICATION

Department of Planning & Zoning
200 E. Wood Street • Palatine, IL • 60067-5339
Telephone: (847) 359-9047 • Fax (847) 963-6247

Office Use Only	Project Planner <i>LYN BREMANIS</i>	Zoning Case # <i>18-73</i>
	Filing Fee <i>232</i>	Notification Deadline
	ZBA Public Hearing Date	Village Council Date



Background Information	PETITIONER(S)		Business Name (if applicable)	
	<i>652 N. QUENTIN RD.</i>		<i>BEST WINDOWS INC. / JOHN WRZESINSKI</i>	
	Subject Property Address			
	<i>PALATINE, IL 60067</i>			
	AUTHORIZED AGENT (if applicable)		Business Name (if applicable)	
	Address		City/State/Zip Code	
	Telephone	Fax	Email	
	Relationship to Petitioner (contractor, architect, etc.)			
	TYPE OF APPLICATION (check one)			
	☒ Special Use ☐ Special Use Amendment ☐ Variation			
Existing Zoning District		Existing Land Use	Proposed Land Use	
		<i>RESIDENTIAL</i>	<i>RESIDENTIAL</i>	
Generally describe your request:				
<i>ASKING FOR A VARIANCE FOR LOT COVERAGE AND DRIVEWAY WIDTH.</i>				

Attachment: Application (652 N Quentin Road - SU VAR accessory structures, lot coverage, driveway width)

Required Materials

- ☐ Filing Fee of \$ 232.00
- ☐ Application Form
- ☐ Plat of Survey (must show all current improvements and be sealed by an Illinois certified surveyor)
- ☐ Site Plan & Floor plan (dimension, location, and setbacks of all existing and proposed buildings) – **one 11x17 copy each, electronic version preferred**
- ☐ Real Estate Interest Disclosure Form (see attached)
- ☐ Proof of Ownership or Lease (e.g. Title Insurance Policy, Deed, or Purchase Contract)

Additional Materials (as required by the Village)

- ☐ Elevation Plan (front, side, and rear elevations of a proposed building), and/or Floor Plan (proposed interior layout) – **one 11x17 copy of each plan, electronic versions preferred**
- ☐ Engineering Plans (must indicate existing conditions, topography, storm water management, tree preservation, utility connections, detention calculations, and a cost estimate)
- ☐ Photographs (e.g. ground-level or aerials)
- ☐ Other materials as deemed necessary by the Village

Petitioner Justification

The Petitioner is required to present specific evidence related to each of the following standards to justify the request (paraphrased from Section 14.03 of the Palatine Zoning Ordinance). Answer the items below and attach a separate sheet if necessary. ***If you are applying for a Special Use only, you do not need to answer these items.***

1. That the property cannot yield a reasonable return if used only under the conditions allowed by the regulations governing the zoning district in which it is located

IT WILL BE DIFFICULT TO SELL IN THE FUTURE DUE TO HOW DANGEROUS IT IS TO BACK OUT ONTO A BUSY 4 LANE ROAD, I.E. QUENTIN RD.

2. That the plight of the owner is due to unique circumstances

IT IS VERY UNSAFE TO BACK OUT ON TO QUENTIN RD. FROM MY DRIVEWAY, BY HAVING A TURNAROUND, I CAN EXIT AND ENTER HEAVY TRAFFIC IN A SAFER MANNER

3. That the variation, if granted, will not alter the essential character of the locality

THE NEIGHBOR TO THE SOUTH HAS A SIMILAR DRIVEWAY FOR THE SAME REASON.

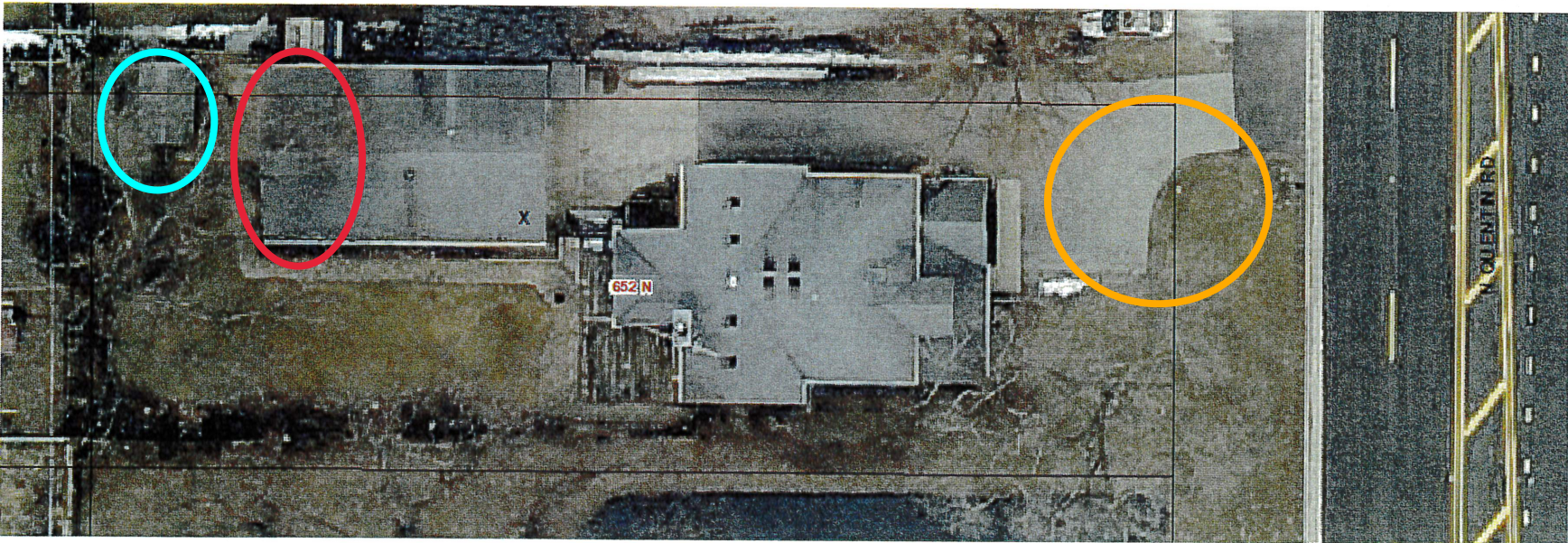
4. In order to supplement the above standards, the Zoning Board of Appeals may also consider the following:

- a. The particular surroundings, shape, or topographical conditions of the property
- b. A unique hardship for the property not generally applicable to other properties in the same zoning district
- c. The request is not based on a desire to make more money out of the property
- d. The petitioner has not created the alleged hardship for the property
- e. The request will not be detrimental to the public welfare or other properties in the neighborhood
- f. The request will not impair the supply of light and air to adjacent properties, substantially increase the danger of fire, endanger the public safety, or substantially diminish or impair neighboring property values

Aerial from 2017



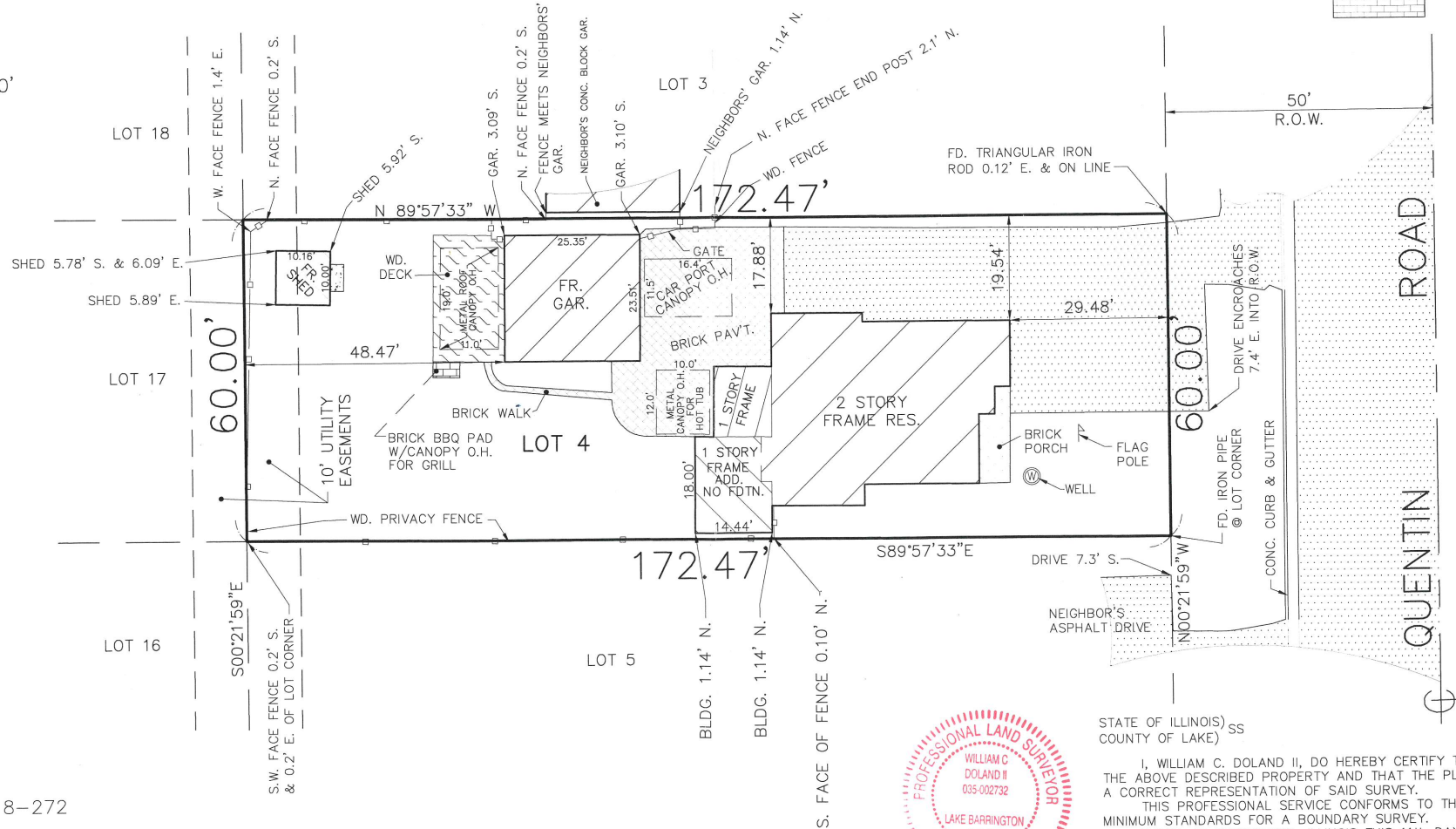
Aerial from 2013



LEGEND

COMMONLY KNOWN AS: 652 N QUENTIN ROAD, PALATINE, IL
PERMANENT INDEX NO.: 02-16-208-014

SCALE: 1" = 20'



PROJECT NO.: 18-272

ACCURATE SURVEY SERVICE, INC.
28 W. 123 INDUSTRIAL AVE.

STATE OF ILLINOIS) SS
COUNTY OF LAKE)

I, WILLIAM C. DOLAND II, DO HEREBY CERTIFY THAT I HAVE SURVEYED THE ABOVE DESCRIBED PROPERTY AND THAT THE PLAT HEREON DRAWS A CORRECT REPRESENTATION OF SAID SURVEY.

THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLIN
MINIMUM STANDARDS FOR A BOUNDARY SURVEY.

ADDED CANOPY OVERHANGS ON OCTOBER 9, 2018.
REVISED SHED DIMENSIONS ON OCTOBER 10, 2018.

ADDED CANOPY OVERHANGS ON OCTOBER 9, 2018.
REVISED SHED DIMENSIONS ON OCTOBER 10, 2018.

Wrzesinski Residence

652 N. Quentin Road Palatine, Illinois 60067

GENERAL NOTES:

- A. The Bidders shall thoroughly examine all the drawings and specifications of the proposed project's scope of work.
- B. The Bidders shall visit and examine the project and site and make all necessary investigations required to inform themselves fully as to all conditions and difficulties that may be encountered in the complete execution of all work in accordance with the contract documents (drawings and specifications).
- C. The General Contractor shall layout the proposed work and be responsible for all lines, elevations and measurements. The General Contractor shall exercise precautions to verify property lines and minimal yard set backs and height restrictions.
- D. The General Contractor shall field verify all dimensions before and during construction and notify the Architect of any discrepancies before proceeding with the work.
- E. The General Contractor shall be responsible for locating any/all underground utilities prior to the start of excavation and make good on all items damaged during construction.
- F. All debris shall be removed and properly disposed of off-site in accordance with the laws of local jurisdiction. No debris shall be burned or buried on site.
- G. It shall be the responsibility of the General Contractor to keep the building and grounds clear at all times.
- NOTES:
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE APPLICABLE CODES AND ORDINANCES OF THE VILLAGE OF PALATINE, ILLINOIS.
- CONTRACTOR SHALL REVIEW ALL REQUIREMENTS OF THE WORK AND SHALL VERIFY SAME WITH THE VILLAGE OF PALATINE, ILLINOIS.
- ALL BUILDING PERMITS AND FEES SHALL BE SECURED AND PAID FOR BY THE CONTRACTOR.
- THE CONSTRUCTION AREA SHALL BE SECURED WITH FENCING OR OTHER METHODS TO ASSURE THE SAFETY OF THE PUBLIC, OCCUPANTS AND TRADES.
- THE CONTRACTOR AND SUBCONTRACTORS SHALL HOLD HARMLESS THE OWNER AND THE ARCHITECT AND SHALL INDEMNIFY SAME AGAINST ANY AND ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES ARISING OUT OF OR RESULTING FROM THE PERFORMANCE OF THE WORK.
- DO NOT SCALE DRAWINGS.
- CONTRACTOR TO VERIFY ALL DIMENSIONS AND SITE CONDITIONS AND SHALL ASSUME FULL RESPONSIBILITY FOR SAME BEFORE COMMENCING THE WORK. CONTRACTOR TO REPORT ANY DISCREPANCIES TO THE ARCHITECT.
- IT IS UNDERSTOOD AND AGREED BY THE OWNER AND CONTRACTOR THAT THE ARCHITECT'S SERVICE DOES NOT INCLUDE CONSTRUCTION OBSERVATION OR REVIEW OF THE CONTRACTORS PERFORMANCE OR ANY OTHER CONSTRUCTION PHASE SERVICES. THE OWNER AND THE CONTRACTOR ASSUME ALL RESPONSIBILITY FOR INTERPRETATION OF THE CONTRACT DOCUMENTS AND WAIVE ANY AND ALL CLAIMS AGAINST THE ARCHITECT THAT MAY BE IN ANY WAY CONNECTED THERETO. THE OWNER AND CONTRACTOR AGREE TO FULLY INDEMNIFY AND HOLD THE ARCHITECT HARMLESS FOR ANY LOSS, CLAIM OR FOR DEFENSE ARISING OR RESULTING FROM THE PERFORMANCE OF SUCH SERVICES BY OTHERS AND FROM ANY AND ALL CLAIMS ARISING FROM MODIFICATIONS, INTERPRETATIONS, ADJUSTMENTS OR CHANGES MADE TO THE CONTRACT DOCUMENTS TO REFLECT FIELD OR OTHER CONDITIONS.

THE CONTRACTOR AND SUBCONTRACTORS SHALL HOLD HARMLESS THE OWNER AND THE ARCHITECT AND SHALL INDEMNIFY SAME AGAINST ANY AND ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES ARISING OUT OF OR RESULTING FROM THE PERFORMANCE OF THE WORK.

DO NOT SCALE DRAWINGS.

CONTRACTOR TO VERIFY ALL DIMENSIONS AND SITE CONDITIONS AND SHALL ASSUME FULL RESPONSIBILITY FOR SAME BEFORE COMMENCING THE WORK. CONTRACTOR TO REPORT ANY DISCREPANCIES TO THE ARCHITECT.

IT IS UNDERSTOOD AND AGREED BY THE OWNER AND CONTRACTOR THAT THE ARCHITECT'S SERVICE DOES NOT INCLUDE CONSTRUCTION OBSERVATION OR REVIEW OF THE CONTRACTORS PERFORMANCE OR ANY OTHER CONSTRUCTION PHASE SERVICES. THE OWNER AND THE CONTRACTOR ASSUME ALL RESPONSIBILITY FOR INTERPRETATION OF THE CONTRACT DOCUMENTS AND WAIVE ANY AND ALL CLAIMS AGAINST THE ARCHITECT THAT MAY BE IN ANY WAY CONNECTED THERETO. THE OWNER AND CONTRACTOR AGREE TO FULLY INDEMNIFY AND HOLD THE ARCHITECT HARMLESS FOR ANY LOSS, CLAIM OR FOR DEFENSE ARISING OR RESULTING FROM THE PERFORMANCE OF SUCH SERVICES BY OTHERS AND FROM ANY AND ALL CLAIMS ARISING FROM MODIFICATIONS, INTERPRETATIONS, ADJUSTMENTS OR CHANGES MADE TO THE CONTRACT DOCUMENTS TO REFLECT FIELD OR OTHER CONDITIONS.

SITE NOTES:

- A. The Contractor shall immediately remove surplus excavated soil from the site upon excavation. Any and all soil needed to be retained for back fill shall be temporarily stored in stockpile areas as indicated on the plans.
- B. For plans and specifications of water service, storm sewer, septic system, site grading, pool and tree protection, see civil engineering drawings.
- C. Contractor shall provide temporary tree protection fence as required to control limits of construction.
- D. Provide new concrete splash blocks at all new downspout locations. All downspouts to splash at grade.
- E. The Contractor shall field verify all dimensions before and during construction and notify the Architect of all discrepancies.

OWNER:

John Wrzesinski
652 N. Quentin Road
Palatine, Illinois 60067
708.204.2446

ARCHITECT:

Kevin A. Panek Architect, L.L.C.
1625 Churchill Road
Schaumburg, Illinois 60195
847.466.5067 kevin@KAPArchitects.com

BUILDING CODES: (with amendments)

Village of Palatine Code of Ordinances
International Building Code, 2009
International Residential Code, 2009
International Mechanical Code, 2009
International Fuel Gas Code, 2009
International Energy Conservation Code, 2015
Illinois Plumbing Code, 2014
National Electrical Code, 2011

SITE DATA:

ZONING DISTRICT: R-2

ESTABLISHED FRONT YARD: 30'

SQUARE FOOTAGE OF LOT: 10,320

BUILDING HEIGHT: +/-24'-2"

MINIMUM YARD SETBACKS

FRONT YARD: 30.00'

NORTH SIDE YARD: 5.00'

SOUTH SIDE YARD: 5.00'

REAR YARD: 40.00'

AVERAGE WIDTH OF LOT: 60.00'

FIRE SPRINKLER PROVIDED: NO

LOAD DESIGN CRITERIA

FLOOR LIVE LOAD 40 PSF

ROOF LIVE LOAD 25 PSF

GROUND SNOW LOAD 25 PSF

BASIC WIND SPEED 90 MPH

DRAWING INDEX:

- A 0.1 Cover Sheet
Site Plan / General Notes
Demolition Plan
Foundation Plan
First Floor Construction Plan
North Elevation
West Elevation
South Elevation
Building Section
- A 1.0

USE	LIVE LOAD (PSF)
ATTICS WITHOUT STORAGE	10
ATTICS WITH LIMITED STORAGE	20
HABITABLE ATTICS AND ATTICS SERVED WITH FIXED STAIRS	30
BALCONIES (EXTERIOR) AND DECKS	40
FIRE ESCAPES	40
GUARDRAILS AND HANDRAILS	100#
GUARDRAIL IN-FILL COMPONENTS	50#
PASSENGER VEHICLE GARAGES	50#
ROOMS OTHER THAN SLEEPING	40
SLEEPING ROOMS	30
STAIRS	40#

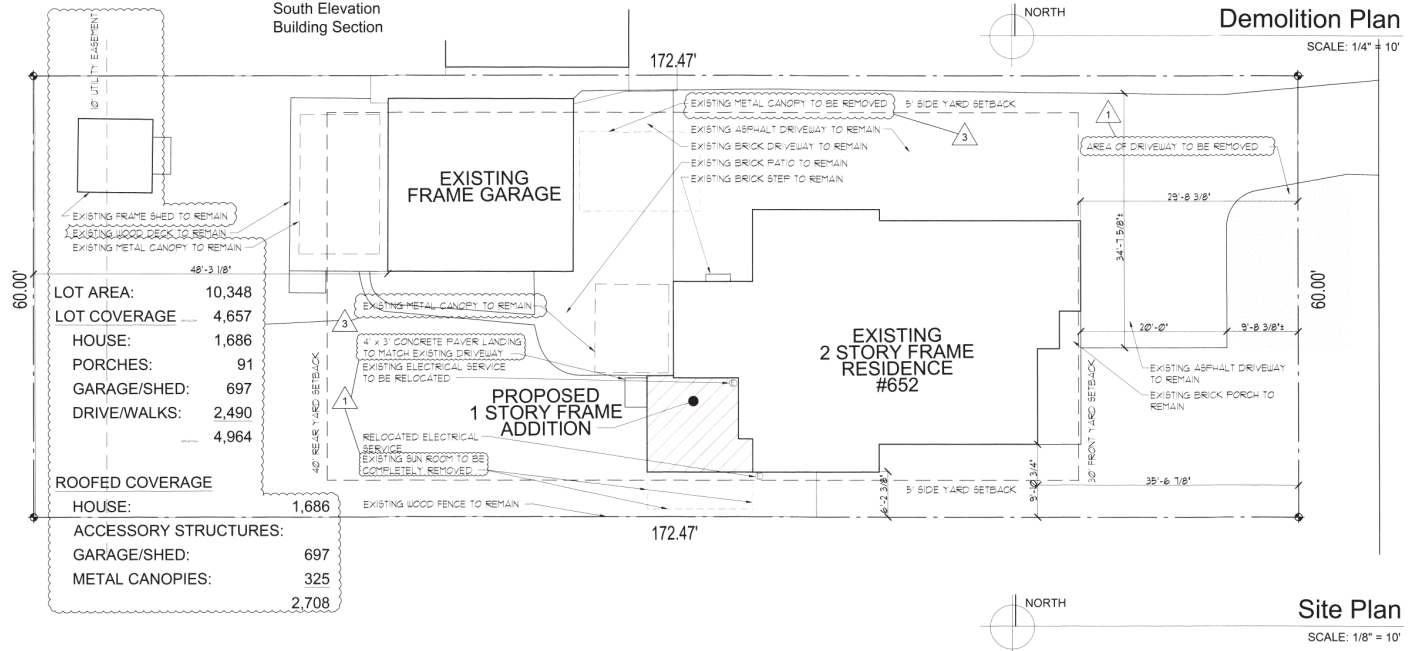
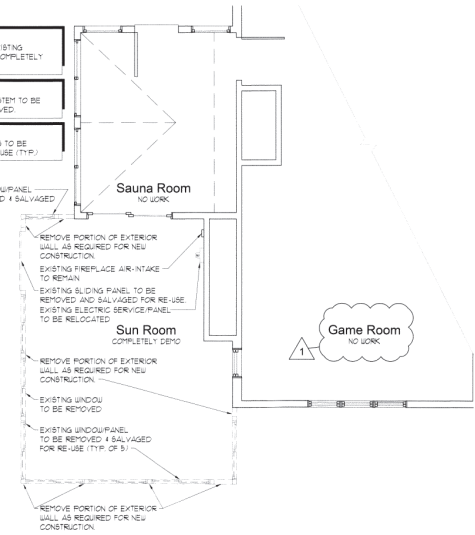
LIGHT & VENT SCHEDULE:								
LEVEL	ROOM NAME	ROOM NO.	AREA (SQ. FT.)	REQUIRED LIGHT	ACTUAL LIGHT	REQUIRED VENT	ACTUAL VENT	REMARK
FIRST	SUN ROOM	101	128.1	20.7	10.55	0.07	13.36	
FIRST	3 SEASON ROOM	102	160.68	2.85	4.62	6.21	276.1	

GENERAL DEMOLITION NOTES:

- A. The contract to include all labor, material, equipment, and services necessary to complete the partial demolition of the existing residence as indicated on the plans and the removal of all debris from the site.
- B. All demolition shall be performed in orderly and careful manner.
- C. All debris to be removed and properly disposed of off-site in accordance with the laws of the local jurisdiction. No debris shall be burned or buried on the site.
- D. It is the responsibility of the General Contractor to keep the building and grounds clear at all times. Demolition debris shall be removed from the site in a timely manner as work progresses.
- E. Any existing doors, millwork, fixtures, hardware, and/or miscellaneous items identified by the Owner or Architect to be salvaged shall be carefully removed prior to the start of demolition to prevent damage and stored as directed by the job superintendent in a location approved by the Owner.
- F. All demolition shall be stored and braced as required by sound industry practice.

WALL TYPES - Demolition

SYMBOL	DESCRIPTION
	Existing construction -- to remain
	Existing construction -- to be completely removed
	Existing construction -- remove existing wall finish to face of stud (existing framing to remain)



I have prepared or caused to be prepared, under my direct supervision, the attached plans and specifications and state that to the best of my knowledge and belief, comply with the applicable Codes and Building Regulations of Palatine, Illinois.

Signed
August 6, 2018
Date

This drawing may not be used or reprinted without the written consent of Kevin A. Panek Architect L.L.C.

Revised for Permit 11.02.18
Revised for Permit 08.06.18
Revised for Permit 07.18.18
Revised for Permit 06.19.18
Preliminary Bid 05.31.18
Issued for: Date

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www.KAPArchitects.com
License #184-000626

Wrzesinski Residence

652 N. Quentin Road
Palatine, Illinois 60067

Drawing Index
Notes
Demolition Plan

Date 05.29.2018
Job No. 18013

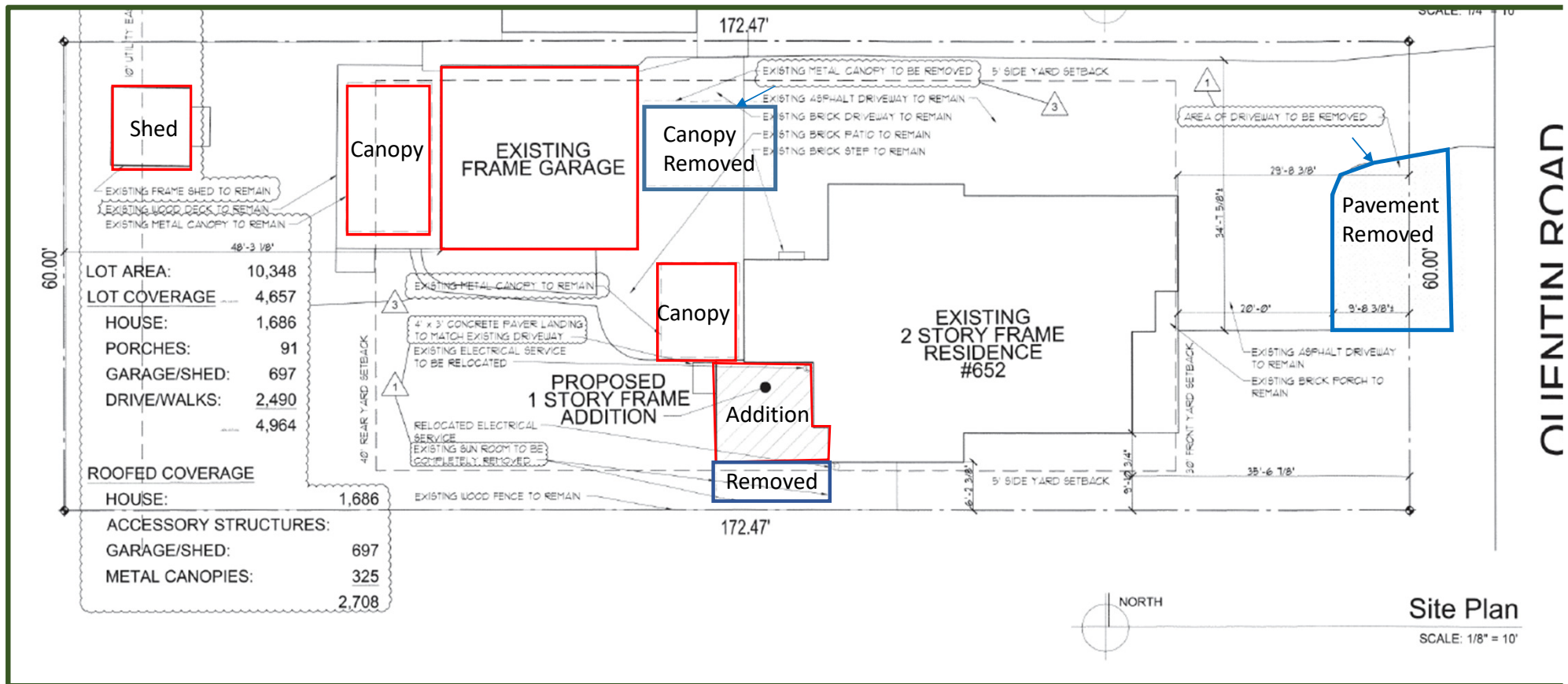
Sheet No. A 0.1

STATE OF ILLINOIS
KEVIN A. PANEK
0201-015784
REGISTERED ARCHITECT

EXPIRES NOVEMBER 30, 2018

Attachment: Site Plan (652 N Quentin Road - SU VAR accessory structures, lot coverage, driveway width)

652 N Quentin Road



Attachment: Detailed Site Plan (652 N Quentin Road - SU VAR accessory structures, lot coverage, 652 N Quentin Road)

PUBLIC NOTICE
 A public hearing will be held before the Palatine Zoning Board of Appeals on Tuesday, December 11, 2018 at 7:00 P.M. in the Village Council Chambers in the Palatine Village Hall, 200 E. Wood Street, relative to a request for the following:
 Variation to permit lot coverage to be 48 percent instead of the maximum permitted 45 percent pursuant to Section 10.06 (g) (1) (b) of the Palatine Zoning Ordinance.
 Variation to permit an accessory structure (shed) to be located in an easement pursuant to Section 6.01 (a)(3)(c) of the Palatine Zoning Ordinance.
 Variation to permit an accessory structure (garage) to be 3 feet from the side lot line instead of the minimum required set back 5 feet pursuant to Section 6.01 (a) (2) (b) of the Palatine Zoning Ordinance.
 Variation to permit total square footage accessory structures to be 1022 square feet instead of the maximum 700 square feet per Section 6.01 (a) (1) of the Palatine Zoning Ordinance.
 Variation to permit a driveway to exceed the driveway width to 35 feet instead of the maximum 30 feet pursuant to Section 7.04 (i)(3) of the Palatine Zoning Ordinance.
 The property is commonly known as 652 N Quentin Road (02-16-208-014).
 The Petitioner is requesting relief from lot coverage, setbacks, accessory structures, and driveway width, through improvements already made to the property. The above petition has been filed by John Wrzesinski and is available for examination in the office of the Village Clerk, 200 E. Wood Street.
 FILE #: 18-73
 VILLAGE OF PALATINE
 Jan Wood, Chair
 Palatine Zoning Board of Appeals
 DATED: This 26th day of November, 2018
 Published in Daily Herald
 November 26, 2018 (4513657)

CERTIFICATE OF PUBLICATION

Paddock Publications, Inc.

Daily Herald

Corporation organized and existing under and by virtue of the laws of the State of Illinois, DOES HEREBY CERTIFY that it is the publisher of the **DAILY HERALD**. That said **DAILY HERALD** is a secular newspaper and has been circulated daily in the Village(s) of Algonquin, Antioch, Arlington Heights, Aurora, North Aurora, Bannockburn, Barrington, Barrington Hills, Lake Barrington, North Barrington, South Barrington, Bartlett, Batavia, Buffalo Grove, Burlington, Campton Hills, Carpentersville, Cary, Crystal Lake, Deerfield, Deer Park, Des Plaines, Elburn, East Dundee, Elgin, South Elgin, Elk Grove Village, Fox Lake, Fox River Grove, Franklin Park, Geneva, Gilberts, Glenview, Grayslake, Green Oaks, Gurnee, Hainesville, Hampshire, Hanover Park, Hawthorn Woods, Highland Park, Highwood, Hoffman Estates, Huntley, Inverness, Island Lake, Kildeer, Lake Bluff, Lake Forest, Lake in the Hills, Lake Villa, Lake Zurich, Libertyville, Lincolnshire, Lindenhurst, Long Grove, Melrose Park, Montgomery, Morton Grove, Mt. Prospect, Mundelein, Niles, Northbrook, Northfield, Northlake, Palatine, Park Ridge, Prospect Heights, River Grove, Riverwoods, Rolling Meadows, Rosemont, Round Lake, Round Lake Beach, Round Lake Heights, Round Lake Park, Schaumburg, Schiller Park, Sleepy Hollow, St. Charles, Streamwood, Sugar Grove, Third Lake, Tower Lakes, Vernon Hills, Volo, Wadsworth, Wauconda, Waukegan, West Dundee, Wheeling, Wildwood, Wilmette

County(ies) of Cook, Kane, Lake, McHenry
 and State of Illinois, continuously for more than one year prior to the date of the first publication of the notice hereinafter referred to and is of general circulation throughout said Village(s), County(ies) and State.

I further certify that the DAILY HERALD is a newspaper as defined in "an Act to revise the law in relation to notices" as amended in 1992 Illinois Compiled Statutes, Chapter 715, Act 5, Section 1 and 5. That a notice of which the annexed printed slip is a true copy, was published November 26, 2018 in said DAILY HERALD.

IN WITNESS WHEREOF, the undersigned, the said PADDOCK PUBLICATIONS, Inc., has caused this certificate to be signed by, this authorized agent, at Arlington Heights, Illinois.

PADDOCK PUBLICATIONS, INC.
 DAILY HERALD NEWSPAPERS

BY *Danula Baltz*
 Authorized Agent

Control # 4513657

Attachment: Public Notice (652 N Quentin Road - SU VAR accessory structures, lot coverage, driveway width)