



VILLAGE OF PALATINE

VILLAGE HALL - COUNCIL CHAMBERS 200 E. WOOD STREET
PALATINE, IL 60067-5339 – (847) 359-9050
<http://www.palatine.il.us>

PLANNING AND ZONING COMMISSION

AGENDA • JUNE 10, 2025

Village Hall - Council Chambers

Regular Meeting

7:00 PM

I. CALL TO ORDER

II. MEETING MINUTES

1. Planning and Zoning Commission - Regular Meeting - May 27, 2025 7:00 PM

III. PUBLIC HEARING

1. 463 S. Warren Avenue

Variation to permit the principal structure to be set back 6 feet from the existing accessory structure, instead of the minimum required 10 feet.

2. 341 W. Northwest Highway - Special Use Amendment

Special Use Amendment for the expansion of an existing medical office.

IV. COMMUNICATIONS

V. ADJOURNMENT



VILLAGE OF PALATINE

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PLANNING AND ZONING COMMISSION

MINUTES • MAY 27, 2025

Village Hall - Council Chambers

Regular Meeting

7:00 PM

I. CALL TO ORDER

Attendee Name	Title	Status	Arrived
Patrick Noonan	Commissioner	Present	
Cindy Roth-Wurster	Commissioner	Present	
Eric Friedman	Vice Chairperson	Present	
Jan Wood	Chairperson	Present	
Rodney Bettenhausen	Commissioner	Present	
Robert Kolososki	Commissioner	Absent	
Kevin Cavanaugh	Commissioner	Present	
Stephen Fedota	Commissioner	Present	
Tim Schubert	Commissioner	Absent	

II. MEETING MINUTES

1. Planning and Zoning Commission - Regular Meeting - May 13, 2025 7:00 PM -
Accepted as Amended

RESULT:	ACCEPTED AS AMENDED [UNANIMOUS]
AYES:	Noonan, Roth-Wurster, Friedman, Wood, Bettenhausen, Cavanaugh, Fedota
ABSENT:	Kolososki, Schubert

Minutes Acceptance: Minutes of May 27, 2025 7:00 PM (Meeting Minutes)

III. PUBLIC HEARING

1. 501 N. Hicks Road - SU Dental Office - **Recommend To Approve**
SU-000172-2025 - 501 N HICKS RD

Notice was published in the Journal & Topics on May 8, 2025 and mailed to the owners of the surrounding properties.

Petitioner's Exhibits:

1. **AERIAL MAP**
2. **PLAT OF SURVEY**
3. **PROPOSED FLOOR PLAN**
4. **BUSINESS PLAN**
5. **ORDINANCE O-208-04**
6. **PUBLIC NOTICE**

Staff - Mr. Auer Provides Background:

The Subject Property is zoned B-1 - Shopping Center business and was most recently operated as a medical office. The Petitioner is proposing to operate a dental and dental cosmetics practice. Pursuant to 11.02(d)(15) of the Palatine Zoning Ordinance, the "B-1" zoning district requires medical office uses to be reviewed through the special use process.

Sworn in petitioner:

Balaji Singamsetti - 241 Taylor Court - Buffalo Grove, IL - Owner

Sharon Bogetz - 7300 N Western Avenue- Chicago, IL - Business Consultant

John Mazr - 3100 Dundee Road - Contractor

Ms. Bogetz states they have a contract for this property and plans to convert it into a dental office. The owners currently operate another office in Mundelein and anticipates hiring an associate. The doctor will work part-time at both locations. The practice will offer general and specialty dentistry, treating patients of all ages, with or without insurance. Services will be affordable for most patients and will include preventive and emergency care.

Ms. Bogetz provides details of the services to be offered: dentures, partials, crowns, fillings, and more. They will also offer clear aligner braces and have a specialist on staff for orthodontics.

The clinic will have 7 treatment rooms and a large reception area. It will include a business area and a lab at the first floor and the basement will be used for storage. There will be a private office for staff and doctor discussions. The practice will have 2 dentists, both CPR-certified and trained in OSHA and HIPAA regulations. Ms. Bogetz presents a floor plan. Chairman Wood notes that the layout allows for future growth.

Ms. Bogetz anticipates seeing 10-14 patients initially and expects the practice to grow. She plans for 3-5 chairs to start, with additional chairs to be added as the practice expands. The clinic will be fully built out and ready to accommodate future growth.

STAFF RECOMMENDATION:

The proposed use is contemplated as special use in the current "B-1" zoning district and is consistent with the previous medical office use and the envisioned business/commercial use of the property by the Comprehensive Plan's future land use map. Therefore, Staff recommends approval of the special use application. If the Planning and Zoning Commission recommends approval, Staff recommends the following conditions:

1. The Special Use shall substantially conform to the Floor Plan and Business Plan submitted by Balaji Singamsetti, except as such plans may be changed to conform to the Village's Codes and Ordinances.
2. In conjunction with the building permit review for the dental office, a landscaping plan/narrative and a pavement maintenance plan shall be submitted in a manner acceptable to the Director of Planning and Zoning.

There were no further questions. The public hearing was closed.

Commissioner Cavanaugh Made a motion to approve subject staff's conditions; seconded by Commissioner Noonan.

DISCUSSION:

Commissioner Noonan states that the request is straightforward.

Commissioner Fedota notes that there are no parking issues.

Commissioner Fedota inquired about the previous special use conditions and if there was any applicability to the proposed use and any storage of narcotics for use in the dental office.

Staff responded that the proposed conditions for the current use would apply, notwithstanding any medical licensure requirements or protocols.

Chairman Wood states that dental offices typically do not have high demand for parking during late hours and do not generate noise. She adds that the practice will include an experienced dentist, and the proposal meets the required standards.

Chairman Wood summarized that this request has met the standards and was unanimously approved by a vote of 7-0. This item will tentatively go to Village Council on Monday, June 9, 2025.

RESULT:	RECOMMEND TO APPROVE [UNANIMOUS]
AYES:	Noonan, Roth-Wurster, Friedman, Wood, Bettenhausen, Cavanaugh, Fedota
ABSENT:	Kolososki, Schubert

2. 605-619 E. Dundee Road - **Recommend to Deny**
VAR-000124-2024 - 605-619 E DUNDEE RD.

Notice was published in the Journal & Topics on May 9, 2025 and mailed to the owners of the surrounding properties.

Petitioner's Exhibits:

1. **SITE PLAN/SURVEY**
2. **ELEVATIONS**
3. **NARRATIVE**
4. **VARIATION JUSTIFICATION**
5. **REAL ESTATE DISCLOSURE**
6. **PUBLIC NOTICE**

Staff - Mr. Vyverberg provides background:

The Subject Property is the Deer Grove Centre shopping center on E. Dundee Road. The Petitioner, USAgain is proposing to locate a 160 square foot donation bin in the Deer Grove shopping center parking lot along Dundee Road. While the zoning code does only allow donation bins to be located on properties used for educational, institutional, religious, or not-for-profit uses, the Petitioners are requesting to locate the bin at a commercial shopping center and a variation and planned development amendment for the site plan changed proposed. The Petitioners are requesting a variation to allow a donation bin on a commercial shopping center property and not on a property used for educational, institutional, religious, or not for profit uses, as required by Code and a Planned Development Amendment to allow a site plan change to allow the donation bin to be placed in the shopping center parking lot (west of the Wells Fargo bank), which includes the removal of approximately 2-3 parking spaces.

Sworn in petitioner:

Andrew Proctor - 1555 W Hawthorne Lane., West Chicago, IL - Director of Government Relations - USAgain, LLC.

Mr. Proctor explains that the company operates in 15 states and 500 cities. He highlights growing issues with textile waste-17 million tons are disposed of annually-and a rising trend toward recycling. This year alone, they have collected 6.2 billion pounds of textiles.

He notes that their operation addresses many of the concerns municipalities have with collection bins, such as overflow and leftover garbage. The industry is at a reflection point, as smaller collection sites can no longer handle the volume of donations. With people purchasing more clothing, the need for efficient collection is increasing.

They currently collect 5,000 lbs. of textiles weekly. All drop spots are monitored, and staff receive alerts (pings) when bins are nearing capacity. Staff can verbally instruct individuals not to leave excess items, and personnel can be on-site within

an hour to remove overflow. The company is based in West Chicago.

Mr. Proctor states they have collected 260,000 pounds of textiles-equivalent to the weight of eight school buses or a blue whale. Collected clothes are distributed to thrift shops around the world, and the company incorporates a charitable component. Although it is a for-profit organization, they have planted 1.7 million trees in Africa for agricultural purposed, through donating a tree, every time the bin is filled.

Textiles are the fastest-growing category of waste. The company has been working in Palatine for about a year, aiming to establish a viable operation. It has already proven successful in other states such as California, Colorado, and New York, where similar initiatives are underway.

He explains that clothing producers will soon be required to fund systems for take-back and reuse, although demand for recycling is not yet sufficient. Reuse remains the most effective solution. Through their work, 14.8 billion tons of carbon dioxide and significant amounts of water have been saved.

The company is proposing a lease arrangement for a drop-off spot in partnership with Kimco, who owns the Deer Grove Centre shopping center. This could increase foot traffic and benefit the site. They currently operate 10 locations in the Chicago area, including Arlington Heights, with no reported issues.

The site in question is zoned as a Planned Development, which promotes flexibility and permits this type of land use. Mr. Proctor notes they are not attempting to establish this use in a residential area and believes this location is ideal. He is asking for flexibility and states their desire to be good stewards in the community, providing residents with a responsible place to dispose of textiles.

He references a letter of recommendation to include in the file from a trade organization, of which USAgain is a member. The letter reiterates the growing demand and rising costs of labor and fuel, and explains why it's no longer economically sensible to maintain many small standard collection points. A single, larger site makes more sense.

They are requesting use of three parking spaces. The building is already over-parked, so there are no concerns with the request. Mr. Proctor adds that any issue would fall under the property owner's responsibility, not the Village. The container has a 160 sq. ft. footprint and will not be visible from the main thoroughfare. A tree line on the property helps to conceal the container, so it does not detract from the overall aesthetics. The exterior of the container is white and sleek. He notes they have received many compliments and testimonials about the design.

USAgain recently attended a conference in Las Vegas, where there was strong interest in the concept, and he expressed a desire to expand its use. He emphasized that the initiative benefits public welfare by diverting textiles from landfills. Security is not an issue with the proposed setup.

Mr. Proctor states that launching the program on a test pilot basis would be ideal and is requesting initial approval. He notes that there is no legal precedent being set-it is a site-specific request.

Commissioner Friedman states that Mr. Proctor mentioned the desire for a larger-scale collection point and asks about the distance between the proposed Palatine location and the existing Arlington Heights site. Mr. Proctor responds that it is approximately 20 minutes away. He adds that they

are targeting sites with approximately 100,000 visits per month.

Commissioner Friedman inquires about lighting at the bin site. Mr. Proctor states that lighting is built into the unit. He mentions that the company has spent thousands of dollars on the design and presents a brochure as reference.

Commissioner Friedman then asks whether the bin is handicap-accessible and how an individual with impairments would be able to use it. Mr. Proctor replies that the bins do not currently include accessibility features, but signage would be posted offering a curbside collection option for individuals who need assistance.

Chair Wood notes that the application states the company also has other locations in Oswego, Chicago, and Skokie. Mr. Proctor confirms that is correct.

Chair Wood inquires if the company also offers smaller bins currently placed at approved Palatine locations and asks whether those would be removed if the larger bins were installed. Mr. Proctor states they would not remove the smaller bins as they still serve a purpose. The large bin would likely be the only one of its size in Palatine.

Chair Wood comments that the commercial center site is much larger than typically allowed and asks if the Illinois locations are situated in commercial corridors and if the bin sizes are similar. Mr. Proctor confirms yes and explains other areas where these bins are installed. He further explains that the smaller bins lead to higher maintenance costs, including expenses related to emptying them once or twice a week, fuel costs for large box trucks, and employee labor costs. Overall, the smaller bin model is less efficient compared to the larger bins. They anticipate relying more on larger sites going forward.

Chair Wood asks if other sites have security features such as cameras and if that is standard across their locations. Mr. Proctor states that security is a standard feature for the larger bins, while the smaller models do not include these features.

Chair Wood asks whether other areas have been considered in Palatine for charitable or similar collection spaces.

Mr. Proctor explains that Kimco requested the property, noting that it makes more sense to place the bins in large commercial centers. Commissioner Roth-Wurster mentions the location of the existing site in Arlington Heights.

Mr. Proctor states that the donation program currently operates about 450 smaller bins successfully. The larger monitored bins provide a better solution and benefit both Kimco and the location itself. Logistically, this program has been established for some time. Code standards for the units date back to 2012. The bins are solar-powered and monitored to ensure proper use.

Mr. Proctor adds that demand for clothing and shoes is evolving and increasing. He notes that curbside collection does not work well as items get mixed in with regular trash, and that this drop-off system is the better solution.

Commissioner Roth-Wurster asks if the company appeared before the Arlington Heights board.

Mr. Proctor replied that the bin location was placed, prior to his involvement with

USAgain.

Chair Wood clarifies that the bins are for clothing only. Mr. Proctor confirms they accept clothing, shoes, books, and other miscellaneous items.

Commissioner Fedota expresses some confusion about the larger units being serviced daily and questions the profitability of servicing them. He expresses mixed feelings about sending staff to each large facility every day.

Mr. Proctor explains that a separate team handles the drop boxes. They visit approximately 20 sites per day. It is not feasible to monitor smaller bins individually, but the larger bins have technology that alerts staff when they need servicing. Although visiting 20 sites daily is costly, the system is more efficient because smaller bins require weekly visits that add up in expense.

Commissioner Fedota asks if the major tenants or big box stores on the property have been contacted.

Mr. Proctor responds that they would not do anything to jeopardize relationships with existing tenants.

Commissioner Fedota asks whether the notice of the request goes to the lessee. Staff member Mr. Vyverberg explains that, per Village Code, property owners are notified via Public Notice and certified mailings and the public hearing sign was placed along the frontage.

Commissioner Bettenhausen inquires whether, out of the 100 properties used since 2020, any bins have been removed. Mr. Proctor replies that approximately 20-25 bins have been removed for a variety of reasons, including ownership changes, code changes, or low usage (bins not filling up).

Chair Wood asks whether the company offers any bin sizes between the 5-foot and 20-foot models.

Mr. Proctor states they do not. The larger units are modified shipping containers, manufactured by a contracted company.

Commissioner Noonan asks whether it would be possible to rent vacant storefronts or small interior spaces instead.

Mr. Proctor states that doing so would be significantly more costly due to staffing and utility expenses. He mentions that they have considered expanding into thrift store operations but have not done so yet.

Commissioner Noonan comments that such an approach could be groundbreaking.

Commissioner Friedman asks if the camera system on the larger bins records activity and whether it is effective as a deterrent. Mr. Proctor confirms that it does record and has been successful. They are able to provide footage to police if needed.

Commissioner Bettenhausen notes that there are a lot of malls in the Chicago area.

Mr. Proctor responds that their business development team is actively working on expansion. Currently, about 80% of their operations are in California, but they are pursuing opportunities in other states as well. He mentions they often structure their placements as part of a package deal. USAgain has been involved and

participated in policy level discussions on textile waste in California, with additional such discussions in New York, Washington state and Colorado. USAgain helped author and contribute to a bill that will create the first textile extended producer responsibility program. This requires that the producers of the clothes have to take responsibility for recycling them. Such things as carpet padding and home insulation purposes.

Chair Wood asks if the Deer Grove property owners approached them. She comments that the process is ongoing and notes that Village staff and ordinance requirements are not currently in favor. She references another nearby town and asks if they are still pursuing the Palatine location and what their current thinking is.

Mr. Proctor responds that they have met with the Palatine Chamber of Commerce and are still very interested in this site. He expresses a strong desire to be part of the Palatine community and does not want to give up on the location, believing it is a good fit.

Mr. Vyverberg explains that the original ordinance was put in place due to repeated complaints about donation boxes on commercial properties. The issues involved aesthetics and property owners being unaware of bins placed on their sites. These concerns led to staff drafting the current regulations. He also notes that running a storefront is often not profitable for textile collection. He discusses the environmental impacts of textile waste and mentions that the Village of Palatine currently offers curbside textile recycling through a program called Simple Recycling.

Chair Wood acknowledges that much has changed since the ordinance was first created and notes the presence of vacant storefronts. Mr. Vyverberg reiterates that the guidelines were established in 2012 due to bins being illegally placed on commercial properties and zoning enforcement complaints, without oversight. He clarifies that the petitioner is requesting a variance from a 13-year-old code. While he understands their business model, he emphasizes that staff must consider the full context of the regulations and ordinance limitations. Chair Wood inquired about the other USAgain bins in Palatine and whether those would be maintained. Mr. Proctor confirmed that those boxes would be maintained. He also referenced USAgain worked with a similar ordinance and municipal resistance in Oswego.

Mr. Fedota asked if the Petitioner has spoken with any of the tenants.

Mr. Proctor indicated that they have not, but did send the required certified mailing.

Staff also outlined the notice to the property owner and post public hearing sign.

STAFF RECOMMENDATION:

The donation bin ordinance regulations were established in 2012 to delineate the appropriate land use locations for such donation bins. Commercial shopping centers were excluded from the eligible locations, due to potential conflicts with the underlying legislative intentions. Additionally, the Village began experiencing specific zoning enforcement issues created, which were created with the illegal locating of donation bins throughout the commercial shopping centers along the Rand Road and Dundee Road corridors. Additionally, stand-alone commercial uses were also having donation bins “dropped” at various locations in the Village.

As the subject property is a commercial shopping center, the proposed location is in direct conflict with the ordinance requirements and the size of the bin is significantly larger what is allowed by Code.

Therefore, Staff recommends denial of the requested variation and planned development amendment. If the Planning and Zoning Commission recommends approval, Staff recommends that the approval is subject to the site plan, business plan and elevation. Staff would also recommend that a business license would be required.

Commissioner Roth-Wurster asks if a six-month review would be possible and whether the Village still allows that type of conditional review. She inquires if it would be considered in this case.

Mr. Vyverberg explains that a six-month review has been used in other situations-such as restaurants requesting extended hours-but in this case, staff would not recommend it, as the request does not comply with current code requirements. He also summarized that there is the ability to request textile recycling through a curbside pick-up program for Village residents.

Chair Wood asked if Staff anticipated any changes to the current ordinance requirements. Mr. Vyverberg indicated that he is not anticipating any changes to the donation bin Code.

Mr. Proctor states that he would be open to a six-month test pilot. He is willing to return for review or allow the variance to expire. He acknowledges the opposition but emphasizes that the industry is changing. He believes this is a valuable service and reiterates that curbside collection is ineffective. Their model offers a better, proven method for textile recycling.

There were no further questions. The public hearing was closed.

Commissioner Cavanaugh Made a motion to approve subject staff's conditions; seconded by Commissioner Fedota.

DISCUSSION:

Chair Wood comments that this is a tough decision because there is a noble cause behind the effort to reduce textile waste. There is clearly a need, and this proposed solution would address that problem. The applicant has explained how the bin is monitored and already operating at other locations, which seems to resolve many of the common concerns. However, the proposal does not meet code requirements and is not operated by an institutional or nonprofit entity. She acknowledges the merits of the idea but emphasizes that the two main issues are its size and the fact that it does not comply with the ordinance. She states she is not satisfied with the proposal and reiterates that it is not located in a designated commercial corridor. She inquired if the Petitioner looked elsewhere in Palatine for a compliant site, recognizing the Staff recommendation and ordinance requirements.

Commissioner Cavanaugh states that, taken as a whole, the reason the bins are so large is because storefront operations are not economically viable. While it is a well-intentioned effort and seems successful in California, he believes the

economic model doesn't make sense within the Village of Palatine.

Mr. Proctor indicated that they did not, as this was a package deal with Kimco.

Commissioner Friedman says the potential for success is a factor in their consideration.

Chair Wood adds that the applicant is pursuing the concept as a for-profit venture.

Commissioner Friedman continues, noting that the ordinance, as currently written, was designed for smaller, unmonitored, non-powered bins. There was a reason for those restrictions regarding use and placement. While the proposal offers enhanced features like monitoring, the current location-right at the front of the lot-is not appropriate. He suggests that placing the bin on the side of the property would be more acceptable, and that a shipping container should not be positioned as it currently is on this property.

Commissioner Roth-Wurster states that she appreciates the monitoring component of the proposal. She agrees that smaller bins fill quickly and are unattractive. The 2012 ordinance was written for those smaller bins, and in her opinion, that part of the code is outdated. She believes the standards for granting a variation should evolve. She references standards such as reasonable return, business license, and the plight of the owner, though notes that "plight of the owner" is not typically included in the standard for donation bins. Regarding locality, she feels this is a good location for consumer access and is not concerned about the size of the bin. With the built-in security and monitoring, she is more inclined to support the proposal. She indicates that the donation bins are a solution to the textile waste circumstances, with a monitored bin that is solar powered and maintained. Mr. Proctor indicates that the industry is evolving.

Mr. Proctor discussed curb side textile recycling and that it does not work for textile reuse donations. Things get mixed in and contaminated and has to be recycled. The industry is not there yet.

Chair Wood asked if only clothes are accepted. Mr. Proctor indicated that clothes, shoes. If miscellaneous items like books and Tupperware are included, USAgain would accept and then sell them.

Chair Wood compares the request to one for a larger sign, asking if it should be treated the same way. While she acknowledges the benefits of reducing waste, she points out that the request is for a for-profit operation, which makes the decision more difficult.

Commissioner Fedota comments on the signage, stating that the bin includes illuminated signage, but no sign permit is required since it is a freestanding box. The signage is therefore unregulated. He adds that the Village has already adopted a residential curbside textile recycling service, which currently exists and is being utilized. In his view, there is already a viable solution in place.

Commissioner Noonan commends the petitioner for the effort and innovation, stating that the proposal is no different in purpose than residential street recycling. While he supports the overall concept, he concludes that the proposed location is not the right fit at this time.

A motion was made by Commissioner Cavanaugh to approve the request for a donation collection center. The motion was seconded by Commissioner Fedota.

The motion failed with a vote of (1) in favor and (6) opposed.

A second motion was made by Commissioner Cavanaugh to Deny the request for a donation collection center.

The motion was seconded by Commissioner Noonan.

The motion was approved to Deny with a vote of (6) in favor and (1) opposed.

This item will tentatively go to Village Council on Monday June 9, 2025

RESULT:	RECOMMEND TO DENY [6 TO 1]
AYES:	Noonan, Friedman, Wood, Bettenhausen, Cavanaugh, Fedota
NAYS:	Roth-Wurster
ABSENT:	Kolososki, Schubert

IV. COMMUNICATIONS**V. ADJOURNMENT**

**VILLAGE OF PALATINE
Planning and Zoning Commission**

SCHEDULED 06/10/25 07:00 PM

STAFF REPORT (ID # 9891)

463 S. Warren Avenue

TO: Palatine Planning and Zoning Commission
Jan Wood, Chair

FROM: Lyn Bremanis

PETITIONER: Brad Lotzer

PLAN NUMBER: VAR-000180-2025

BACKGROUND:

The Subject Property is zoned R-1C Single Family Residential and is approximately 19,162 square feet. The property was annexed into the Village in 1960 and currently consists of a single-family residence with a patio and detached garage in the rear yard.

The Petitioner has an active building permit to construct an addition off the rear of the home. As part of the building permit submission, the plat of survey depicting the previous detached garage was submitted with the permit application. The plat of survey, submitted with the permit was not updated to show the current size and location of the detached garage. When spot a spot survey was completed it was discovered that the addition is only 6 feet from the existing detached garage. Therefore, the Petitioner is requesting the following:

Variation to permit the principal structure to be set back 6 feet from the existing accessory structure, instead of the minimum required 10 feet.

Surrounding Zoning/Uses:

North:	R-1C Single Family Residential
South:	R-1C Single Family Residential
East:	R-1C Single Family Residential
West:	R-1C Single Family Residential

KEY ISSUES:

- The Petitioner is proposing to build a 436 square foot addition in the rear of the property. Once the foundation was poured and a spot survey was completed it was determined that the addition is only 6 feet from the existing detached garage instead of the required 10 feet. Construction was halted and the owners applied for a Variation to allow the continued construction of the addition.

- Due to the current principal and accessory structures' configuration, any substantial addition would require relief.
- Both building and lot coverage meet code.

STANDARDS FOR A VARIATION: Standards for a Variation are found in Section 14.03 D (1) and (2) of the Zoning Code. Specifically, the Petitioners must show that the property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations governing the district in which it is located; that the plight of the owner is due to unique circumstances; and that the variation, if granted, will not alter the essential character of the locality. The Petition for Variation is attached, and the Petitioners have attempted to address the required standards.

STAFF RECOMMENDATION:

The net effect to the requested relief is internal to the property. Additionally, the required 10-foot separation (between principal and accessory structures) is a current Code requirement, which Staff has been evaluating for a potential amendment to further reduce the required separation. The Code requirement predated the current fire separation codes and requirements. Since the house and garage meet all other setback requirements, the proposed addition should not impact the surrounding property owners or alter the essential character of the neighborhood. Therefore, Staff recommends approval of the Variation, subject to the following conditions:

1. The Variation shall substantially conform to the site plan and elevations submitted by the Petitioner, revised 05/07/2025, except as such plans may be changed to conform to Village Codes and Ordinances.

ATTACHMENTS:

- Aerial Map
- Application
- Plat of Survey
- Current approved building permit plans
- Public Notice



Attachment: Aerial Map (463 S Warren Ave - VAR Setback)

 0 50 100
 ft

Print Date: 6/2/2025

Notes

Disclaimer: The GIS Consortium and MGP Inc. are not liable for any use, misuse, modification or disclosure of any map provided under applicable law. This map is for general information purposes only. Although the information is believed to be generally accurate, errors may exist and the user should independently confirm for accuracy. The map does not constitute a regulatory determination and is not a base for engineering design. A Registered Land Surveyor should be consulted to determine precise location boundaries on the ground.



VARIATION APPLICATION

Department of Planning & Zoning

200 E. Wood Street · Palatine, IL · 60067-5339
Telephone: (847) 359-9047 · Fax (847) 963-6247

Petitioner Name

Brad Lotzer

Business Name (if applicable)

Click or tap here to enter text.

Property Owner (if different from Petitioner)

Click or tap here to enter text.

Subject Property Address

463 S. Warren Avenue

Please provide a description of your proposed request:

We are requesting a variation from the detached garage setback to the primary structure for the new addition that was built 6'-6" from the detached garage where 10' is the minimum requirement

Petitioner Justification

Variations shall not be granted except on findings based upon the evidence in each specific case. Please address the following standards as these will be used in considering the specific relief you are seeking.

That the property cannot yield a reasonable return if used only under the conditions allowed by the regulations governing the zoning district in which it is located:

The existing garage is actually larger and closer on the property compared to the plat of survey that was submitted and approved with the new addition. Because of this the new addition is 6'-6" instead of 10' from the existing garage. In any other village this would be allowed and the distance meets the code minimum with the provided fire protections in the eave and the wall systems.

That the plight of the owner is due to unique circumstances:

The plight of the owner is due to the unique combination of circumstances due to the existing garage, the plat of survey being incorrect and approved and the foundation and framing being in place where if the minimum 10' were to be addressed now then the owner would be financially and functionally impacted. The owner is pregnant and currently sleeping on the floor of the house while the addition is being added. She lives with animals and kids that would be

greatly impacted by any delay in the construction or a redesign. All codes are met except for the village requirement of separation.

That the Variation, if granted, will not alter the essential character of the locality:

The variance will not impact the essential character. The addition uses all the same materials and building techniques of the existing house and neighboring houses. The nonconforming portion is in the rear yard and not even visible to the street.

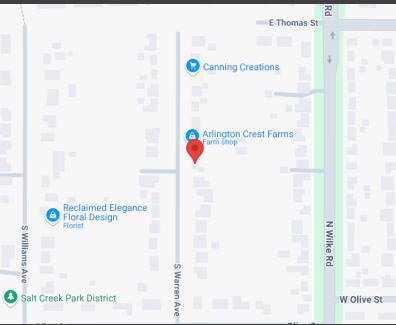
In order to supplement the above standards, the Planning and Zoning Commission may also consider the following:

- a. **The particular surroundings, shape, or topographical conditions of the property.**
- b. **A unique hardship for the property not generally applicable to other properties in the same zoning district.**
- c. **The request is not based on a desire to make more money out of the property.**
- d. **The petitioner has not created the alleged hardship for the property.**
- e. **The request will not be detrimental the public welfare or other properties in the neighborhood.**
- f. **The request will not impair supply of light and air to adjacent properties, substantially increase the danger of fire, endanger the public safety, or substantially diminish or impair neighboring property values.**

This requested variation will not affect the look of the neighbor hood or impact the health safety or wellness of the buildings. All fire or code concerns are addressed and the a building official said the reason for the 10' minimum is for fire protection aesthetics. Because the proposed nonconforming condition exists in the rear yard. it will not impact the overall look and we believe the purposes of the minimum setback are addressed in this variation.



www.exactaland.com | office: 773.305.4011



PROPERTY ADDRESS:
463 S WARREN AVENUE, PALATINE, ILLINOIS 60074

SURVEY NUMBER: 2502.4874

DATE SIGNED: 03/04/25 **FIELD WORK DATE:** 2/28/2025

REVISION DATE(S):
(REV.1 3/5/2025) (REV.1 3/4/2025)

POINTS OF INTEREST
NONE VISIBLE

STATE OF ILLINOIS } SS
COUNTY OF LASALLE }

THIS IS TO CERTIFY THAT THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY. GIVEN UNDER MY HAND AND SEAL THIS DATE HEREON.



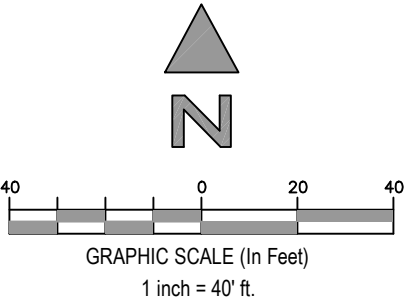
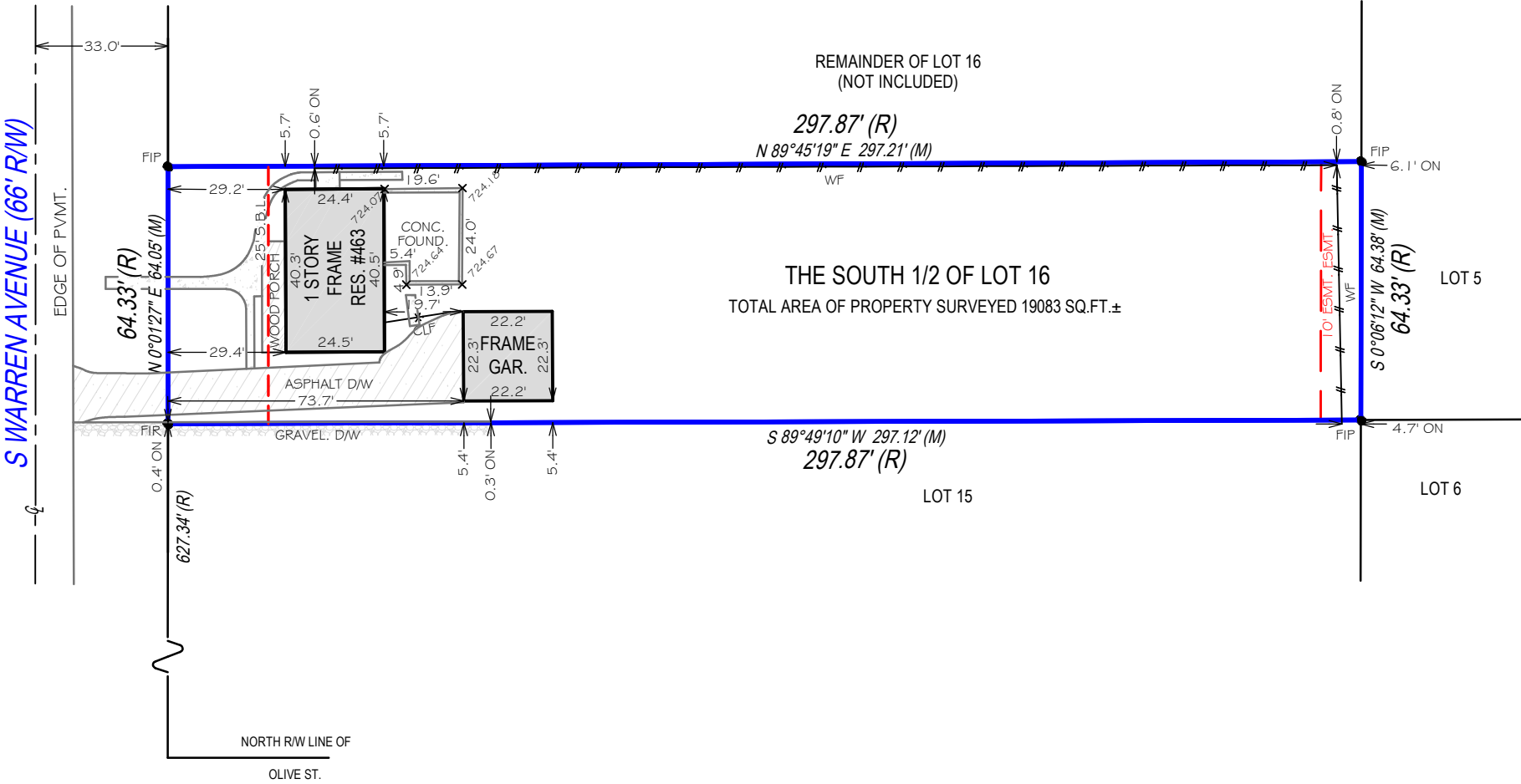
ILLINOIS PROFESSIONAL LAND SURVEYOR No. 2971
LICENSE EXPIRES 11/30/2026
EXACTA LAND SURVEYORS, LLC
PROFESSIONAL DESIGN FIRM 184008059-0008



Exacta Land Surveyors, LLC
PDF # 184008059
o: 773.305.4011
316 East Jackson Street | Morris, IL 60450



2502.4874
PLAT OF SURVEY
COOK COUNTY, ILLINOIS



Attachment: Plat of Survey (463 S Warren Ave - VAR Setback)

PROPERTY ADDRESS: 463 S WARREN AVENUE, PALATINE, ILLINOIS 60074	
SURVEY NUMBER: 2502.4874	
CERTIFIED TO: 	
DATE OF SURVEY: 03/04/25	
BUYER:	
LENDER:	
TITLE COMPANY:	
COMMITMENT DATE:	CLIENT FILE NO:
LEGAL DESCRIPTION: THE SOUTH 1/2 OF LOT 16 IN ROBERT BARTLETT'S ARLINGTON CREST ESTATES SUBDIVISION, A SUBDIVISION OF PART OF THE SOUTHEAST 1/4 OF SECTION 24 AND PART OF THE NORTHEAST 1/4 OF SECTION 25, TOWNSHIP 42 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.	
FLOOD ZONE INFORMATION:	

GENERAL SURVEYORS NOTES:

1. The Legal Description used to perform this survey was supplied by others. This survey does not determine nor imply ownership of the lands or any fences shown hereon. Unless the Title Commitment Number and Date is referenced on this survey, an examination of the abstract of title was NOT performed by the signing surveyor to determine which instruments, if any, are affecting this property.
2. The purpose of this survey is to establish the boundary of the lands described by the legal description provided and to depict the visible improvements thereon for a pending financial transaction. Underground footings, utilities, or other service lines, including roof eave overhangs were not located as part of this survey. Unless specifically stated otherwise the purpose and intent of this survey is not for any construction activities or future planning.
3. If there is a septic tank or drain field shown on this survey, the location depicted hereon was either shown to the surveyor by a third party or it was estimated by visual above ground inspection. No excavation was performed to determine its location.
4. This survey is exclusively for a pending financial transaction and only to be used by the parties to whom it is certified.
5. Alterations to this survey map and report by other than the signing surveyor are prohibited.
6. Dimensions are in feet and decimals thereof.
7. Any FEMA flood zone data contained on this survey is for informational purposes only. Research to obtain said data was performed at www.fema.gov and may not reflect the most recent information.
8. Unless otherwise noted "SIR" indicates a set iron rebar, 5/8 inch in diameter and twenty-four inches long.
9. The symbols reflected in the legend and on this survey may have been enlarged or reduced for clarity. The symbols have been plotted at the approximate center of the field location and may not represent the actual shape or size of the feature.
10. Points of Interest (POI's) are select above-ground improvements, which may appear in conflict with boundary, building setback or easement lines, as defined by the parameters of this survey. These POI's may not represent all items of interest to the viewer. There may be additional POI's which are not shown or called-out as POI's, or which are otherwise unknown to the surveyor.
11. Utilities shown on the subject property may or may not indicate the existence of recorded or unrecorded utility easements.
12. The information contained on this survey has been performed exclusively by and is the sole responsibility of Exacta Land Surveyors, LLC. Additional logos or references to third party firms are for informational purposes only.
13. Due to varying construction standards, building dimensions are approximate and are not intended to be used for new construction or planning.
14. Surveyor bearings are used for angular reference and are used to show angular relationships of lines only and are not related or orientated to true or magnetic north. Bearings are shown as surveyor bearings, and when shown as matching those on the subdivision plats on which this survey is based, they are to be deemed no more accurate as the determination of a north orientation made on and for those original subdivision plats. North 00 degrees East is assumed and upon preparation of this plat, the resulting bearing between found points as shown on this survey is the basis of said surveyor bearings as defined and required to be noted by Illinois Administrative Code Title 68, Chapter VII, Sub-Chapter B, Part 1270, Section 1270.56, Paragraph B, Sub-Paragraph 6, Item k.
15. THIS SURVEY IS A PROFESSIONAL SERVICE IN COMPLIANCE WITH THE MINIMUM STANDARDS OF THE STATE OF ILLINOIS. NO IMPROVEMENTS SHOULD BE MADE ON THE BASIS OF THIS PLAT ALONE. PLEASE REFER ALSO TO YOUR DEED, TITLE POLICY AND LOCAL ORDINANCES. THIS DOCUMENT MAY ONLY BE USED BY THE PARTIES TO WHICH IT IS CERTIFIED.

SURVEYORS LEGEND:		3.1.c	
LINETYPES		ABBREVIATIONS	
	Boundary Line	(C) - Calculated	FIP - Found Iron Pipe
	Center Line	(D) - Deed	FIPC - Found Iron Pipe & Cap
	Chain Link or Wire Fence	(F) - Field	FIR - Found Iron Rod
	Easement	(M) - Measured	FIRC - Found Iron Rod & Cap
	Edge of Water	(P) - Plat	FN - Found Nail
	Iron Fence	(R) - Record	FN&D - Found Nail & Disc
	Overhead Lines	(S) - Survey	FRRSPPK - Found Rail Road Spike
	Structure	A/C - Air Conditioning	GAR - Garage
	Survey Tie Line	AE - Access Easement	GM - Gas Meter
	Vinyl Fence	ANE - Anchor Easement	ID - Identification
	Wall or Party Wall	ASBL - Accessory Setback Line	IE/EE - Ingress/Egress Easement
	Wood Fence	B/W - Bay/Box Window	ILL - Illegible
SURFACE TYPES		BC - Block Corner	INST - Instrument
	Asphalt	BFP - Backflow Preventer	INT - Intersection
	Brick or Tile	BLDG - Building	IRRE - Irrigation Easement
	Concrete	BLK - Block	L - Length
	Covered Area	BM - Benchmark	LAE - Limited Access Easement
	Water	BR - Bearing Reference	LB# - License No. (Business)
	Wood	BRL - Building Restriction Line	LBE - Limited Buffer Easement
SYMBOLS		BSMT - Basement	LE - Landscape Easement
	Benchmark	C - Curve	LME - Lake/Landscape Maintenance Easement
	Center Line	C/L - Center Line	LS# - License No. (Surveyor)
	Central Angle or Delta	C/P - Covered Porch	MB - Map Book
	Common Ownership	C/S - Concrete Slab	ME - Maintenance Easement
	Control Point	CATV - Cable TV Riser	MES - Mitered End Section
	Catch Basin	CB - Concrete Block	MF - Metal Fence
	Elevation	CH - Chord Bearing	MH - Manhole
	Fire Hydrant	CHIM - Chimney	MHWL - Mean High Water Line
	Find or Set Monument	CLF - Chain Link Fence	NR - Non-Radial
	Guywire or Anchor	CME - Canal Maintenance Easement	NTS - Not to Scale
	Manhole	CO - Clean Out	NAVD88 - North American Vertical Datum 1988
	Tree	CONC - Concrete	NGVD29 - National Geodetic Vertical Datum 1929
	Utility or Light Pole	COR - Corner	OG - On Ground
	Well	CS/W - Concrete Sidewalk	ORB - Official Records Book
		CUE - Control Utility Easement	ORV - Official Record Volume
		CVG - Concrete Valley Gutter	O/A - Overall
		D/W - Driveway	O/S - Offset
		DE - Drainage Easement	OFF - Outside Subject Property
		DF - Drain Field	OH - Overhang
		DH - Drill Hole	OHL - Overhead Utility Lines
		DUE - Drainage & Utility Easement	OHWL - Ordinary High Water Line
		ELEV - Elevation	ON - Inside Subject Property
		EM - Electric Meter	P/E - Pool Equipment
		ENCL - Enclosure	PB - Plat Book
		ENT - Entrance	PC - Point of Curvature
		EOP - Edge of Pavement	PCC - Point of Compound Curvature
		EOW - Edge of Water	PCP - Permanent Control Point
		ESMT - Easement	PI - Point of Intersection
		EUB - Electric Utility Box	PLS - Professional Land
		F/DH - Found Drill Hole	
		FCM - Found Concrete Monument	
		FF - Finished Floor	
			Surveyor
			PLT - Planter
			POB - Point of Beginning
			POC - Point of Commencement
			PRC - Point of Reverse Curvature
			PRM - Permanent Reference Monument
			PSM - Professional Surveyor & Mapper
			PT - Point of Tangency
			PUE - Public Utility Easement
			R - Radius or Radial
			R/W - Right of Way
			RES - Residential
			RGE - Range
			ROE - Roof Overhang Easement
			RP - Radius Point
			S/W - Sidewalk
			SBL - Setback Line
			SCL - Survey Closure Line
			SCR - Screen
			SEC - Section
			SEP - Septic Tank
			SEW - Sewer
			SIRC - Set Iron Rod & Cap
			SMWE - Storm Water Management Easement
			SN&D - Set Nail and Disc
			SQFT - Square Feet
			STL - Survey Tie Line
			STY - Story
			SV - Sewer Valve
			SWE - Sidewalk Easement
			TBM - Temporary Bench Mark
			TEL - Telephone Facilities
			TOB - Top of Bank
			TUE - Technological Utility Easement
			TWP - Township
			TX - Transformer
			TYP - Typical
			UE - Utility Easement
			UG - Underground
			UP - Utility Pole
			UR - Utility Riser
			VF - Vinyl Fence
			W/C - Witness Corner
			W/F - Water Filter
			WF - Wood Fence
			WM - Water Meter/Valve Box
			WV - Water valve

ADDITION TO THE LOTZER RESIDENCE

PROJECT DATA

PROJECT LOCATION:	463 S WARREN AVE
ZONING DISTRICT:	R-1C
LOT AREA:	19,119 SF
PIN:	02-24-404-069-0000
MAX LOT COVERAGE: (35%) PROPOSED LOT COVERAGE:	6,691 SF 3,161 SF
MAX BUILDING COVERAGE (25%) PROPOSED BUILDING COVERAGE:	4,779 SF 1,758 SF
MAX BUILDING HEIGHT:	36'-0"
PROPOSED BUILDING HEIGHT:	EX 13'-9"
LOCATION AREAS:	
BASEMENT FIRST FLOOR GARAGE	997 SF 1,433 SF 325 SF
TOTAL SQUARE FOOTAGE:	1,433 SF

DESIGN CRITERIA

FLOOR SLEEPING ROOMS OTHER ROOMS VEH. GARAGES	40# LL - 10# DL 40# LL - 10# DL 50# LL - 10# DL
WALL	60# PLF OR ACTUAL LOAD 20 PSF WIND 0'-20' HEIGHT 25 PSF WIND 21'-29' HEIGHT 30 PSF WIND 30' HEIGHT AND ABOVE
CEILING UNHAB W/O STOR UNHAB LIM STOR HAB W/ FIX STAIR	10# LL - 10# DL 20# LL - 10# DL 30# LL - 10# DL
WIND SPEED	115 MPH 3 SECOND GUST & 89 NOMINAL
ROOF	30# LL (SNOW) - 10# DL (ALL SLOPES)
CATHEDRAL	30# LL - 15# DL (ALL SLOPES)
EXT DECK	40# LL - 10# DL
EXT BALCONY	40# LL - 10# DL
STAIRS	40# LL + 300# CONCENTRATED LOAD
GUARD & HANDRAILS	200# LL AT ANY DIRECTION APPLIED AT THE TOP
FROST DEPTH	42" (3'-6")
STRUCTURAL FRAMING LUMBER BASE VALUE (USE NO MULTIPLIERS AGAINST BASE VALUE) GRADE #2 SPECIES SPF DOMESTIC OR CANADIAN BASE Fb 875	
SPECIFY MANUFACTURER AND NAME OF SPECIFIC BEAM PRODUCT WITH THE CURRENT SIZE, Fb, AND E VALUES PER MANUFACTURER	
MANUFACTURER - TRUS-JOIST PRODUCT - LVL HEADERS & BEAMS MICRO-LAM	

APPLICABLE CODES - PALATINE

ALL WORK PERFORMED AND MATERIALS USED SHALL COMPLY WITH THE FOLLOWING:	
BUILDING CODE	2021 INTERNATIONAL RESIDENTIAL CODE WITH AMENDMENTS
MECHANICAL CODE	2021 INTERNATIONAL MECHANICAL CODE
ELECTRICAL CODE	2020 NATIONAL ELECTRICAL CODE WITH AMENDMENTS
PLUMBING CODE	ILLINOIS PLUMBING CODE WITH AMENDMENTS
ENERGY CODE	2021 ILLINOIS ENERGY CONSERVATION CODE WITH STATE AMENDMENTS
-ALL APPLICABLE LOCAL AND STATE CODES, ORDINANCES, AND REGULATIONS. -MANUFACTURERS' SPECIFICATIONS AND TRADE ASSOCIATIONS RECOMMENDATIONS. -ACCEPTED ENGINEERING AND CONSTRUCTION PRACTICES.	

CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA

GROUND SNOW LOAD	WIND DESIGN				SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM			WINTER DESIGN TEMP	ICE BARRIER UNDER LAYMENT REQ.	FLOOD HAZARDS CHAPTER VILLAGE CODE	AIR FREEZING INDEX	MEAN ANNUAL TEMP
	SPEED (MPH)	TOPO EFFECTS	SPECIAL WIND REGION	WIND-BORNE DEBRIS ZONE		WTHRING	FROST LINE DEPTH	TERMITES					
25	115	NO	NO	NO	b	SEVERE	42"	MOD TO HEAVY	-4	YES	NOV 6 2000	2000	47.6

ABBREVIATIONS

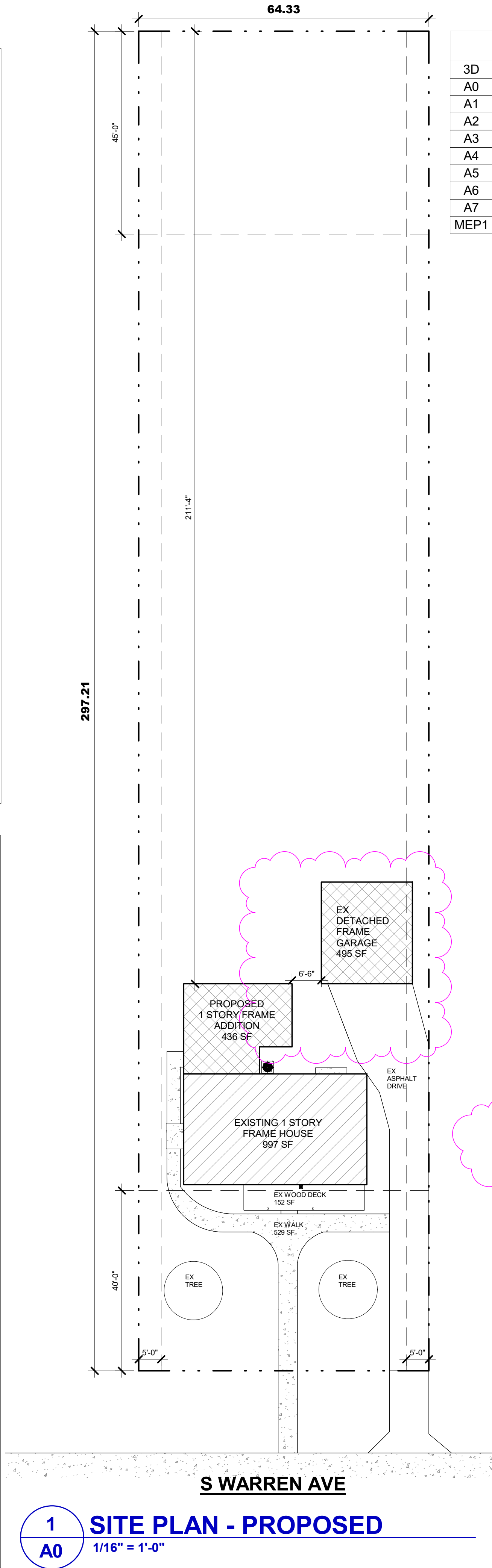
A.B.	ANCHOR BOLT	L.	LINEN
ABV	ABOVE	LAM.	LAMINATE
A.C.	AIR CONDITIONING	LAV.	LAVATORY
ACOUS.	ACOUSTIC	LL	LIVE LOAD
ADJ.	ADJUSTABLE	LP	LOW POINT
A.F.F.	ABOVE FINISH FLOOR	MAX.	MAXIMUM
ALUM.	ALUMINUM	MC	MEDICINE CABINET
ALT.	ALTERNATE	MECH	MECHANICAL
A.P.	ACCESS PANEL	MED	MEDIUM
APPROX.	APPROXIMATE	MIN	MINIMUM
ARCH.	ARCHITECTURAL	MISC	MISCELLANEOUS
@	AT	ML	MICROLAM
BD	BOARD	MO	MASONRY OPENING
BI	BUILT-IN	MRBL	MARBLE
BLDG	BUILDING	MTL	METAL
BOT.	BOTTOM	MW	MICROWAVE
B/	BOTTOM OF	NIC	NOT IN CONTRACT
BRG.	BEARING	NO	NUMBER
BRG. PL.	BEARING PLATE	NOM	NOMINAL
B.U.R.	BUILT UP ROOFING	NTS	NOT TO SCALE
CRPT	CARPET	O	OVEN
CABT	CABINET	OA	OVERALL
C.I.	CAST IRON	OC	ON CENTER
C.J.	CEILING JOISTS	OPP	OPPOSITE
C.J.T.	CONSTRUCTION JOINTS	OPT.	OPTIONAL
CL	CENTERLINE	PERF.	PERFORATED
CLG.	CEILING	PL	PLATE
CL.	CLOSET	P LAM	PLASTIC LAMINATE
C.M.U.	CONCRETE MASONRY UNIT	PLYWD	PLYWOOD
C. O	CASED OPENING	PSF	POUNDS PER SQUARE FOOT
COL.	COLUMN	PSI	POUNDS PER SQUARE INCH
CONC.	CONCRETE	PVC	POLYVINYLCHLORIDE
CONST.	CONSTRUCTION	QT	QUARRY TILE
CONT.	CONTINUOUS	R	RADIUS
C.T.	CERAMIC TILE	RD	ROOF DRAIN
C.W.	COLD WATER	R & S	ROD AND SHELF
DEMO.	DEMOLITION	REC	RECESSED
DIA.	DIAMETER	REF	REFRIGERATOR
DIAG.	DIAGONAL	REG	REGULAR
DIM.	DIMENSION	REINF	REINFORCE
DISP.	DISPOSAL	RM	ROOM
DIV.	DIVISION	RO	ROUGH OPENING
DL	DEAD LOAD	RR	ROOF RAFTERS
DN.	DOWN	SECT	SECTION
DWGS.	DRAWINGS	SHLV	SHELVES
D.S.	DOWNSPOUT	SHT	SHEET
D.W.	DISHWASHER	SHWR	SHOWER
EA.	EACH	SHTG	SHEATHING
EX.	EXISTING	SIM	SIMILAR
EIFS	EXTERIOR INSULATION FINISH SYSTEM	SL	SLIDING
EQ	EQUAL	SPEC	SPECIFICATION
EXP.	EXPANSION	SQ	SQUARE
ELECT.	ELECTRICAL	SF	SQUARE FOOT
ELEV.ELEVATION		SS	SANITARY SUMP
EQUIP.	EQUIPMENT	STD	STANDARD
EQUIV.	EQUIVALENT	STL	STEEL
E.W	EACH WAY	STOR	STORAGE
F	FURNACE	STRUCT	STRUCTURE
FD	FLOOR DRAIN	SUSP	SUSPENDED
FE	FIRE EXTINGUISHER	T & B	TOP AND BOTTOM
FF	FINISH FLOOR	T/	TOP OF
FIN.	FINISH	TEL	TELEPHONE
FIXT	FIXTURE	T & G	TONGUE AND GROOVE
FLR	FLOOR	THK	THICK
FLSHG	FLASHING	TJI	TRUST JOIST
FDN	FOUNDATION	TOP	TOP OF PLATE
FO	FACE OF	TV	TELEVISION
FS	FOOTING SUMP	TYP	TYPICAL
FTG	FOOTING	UC	UNDER COUNTER
FURN	FURNACE	UON	UNLESS OTHERWISE NOTED
GA	GAUGE	VCT	VINYL COMPOSITION TILE
GALV	GALVANIZED		
GFI	GROUND FAULT INTERRUPT	VERT	VERTICAL
GLU-LAM	GLUE LAMINATED BEAM	VIF	VERIFY IN FIELD
GYP.	GYPSUM	WI/	WITH
HD	HEAD	WC	WATER CLOSET
HDR	HEADER	WIC	WALK IN CLOSET
HT	HEIGHT	WD	WOOD
HM	HOLLOW METAL	WDO	WINDOW
HORZ	HORIZONTAL	WH	WATER HEATER
HP	HIGH POINT	W/O	WITHOUT
HTG	HEATING	WP	WATERPROOF
HVAC	HEATING VENTILATE AIR CONDITIONING	WT	WEIGHT
	INTERIOR	WWF	WELDED
INT.			WIRE FABRIC

SITE PLAN NOTES

- INFORMATION ON THIS DRAWING IS ACCUMULATED FROM EXISTING DOCUMENTATION AND MUST BE CONFIRMED BY THE CONTRACTOR AND COORDINATED WITH THE ARCHITECT PRIOR TO CONSTRUCTION. ARCHITECTURAL SITE PLAN IN FOR SCHEMATIC PURPOSES ONLY. SEE SITE ENGINEERING PLAN AND LANDSCAPE PLAN FOR ADDITIONAL INFORMATION.
- VERIFY LOCATIONS OF ALL UTILITIES AND OTHER BUILDING SERVICES PRIOR TO EXCAVATION.
- PROVIDE REQUIRED WORK TO ACCOMMODATE EXISTING UTILITIES OR OTHER BUILDING SERVICES.
- PROTECT EXISTING LANDSCAPING DURING CONSTRUCTION, TO GREATEST EXTENT POSSIBLE.
- PROVIDE TEMPORARY CONSTRUCTION/SECURITY FENCING AROUND ALL OPEN EXCAVATIONS; HEIGHT AS REQ'D BY LOCAL CODES.
- VERIFY LOCATIONS OF ALL MATERIAL STOCKPILES AND DUMPSTERS WITH OWNER.
- CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS PRIOR TO COMMENCING WITH THE WORK. ANY DISCREPANCIES IN FIELD CONDITIONS ARE TO BE REPORTED TO THE ARCHITECT BEFORE PROCEEDING.
- PLEASE NOTIFY THE ARCHITECT IMMEDIATELY IF THERE ARE ANY DISCREPANCIES IN THE CONSTRUCTION DOCUMENTS.
- STATE LAW: BEFORE DIGGING, CALL JULIE (811 OR 1-800-892-0123) FOR LOCATION OF PUBLIC AND PRIVATE UTILITIES AT WORK SITE. 48 HOUR NOTICE IS REQUIRED.
- THE HOUSE SHALL PASS A BLOWER DOOR TEST AND A COPY OF THE RESULTS SHALL BE PROVIDED TO THE BUILDING DEPARTMENT PRIOR TO SCHEDULING THE FINAL INSPECTIONS.
- CONSTRUCTION DEBRIS AND REFUSE CONTAINMENT SHALL BE REQUIRED FOR ALL JOB SITES. CONTAINMENT SHALL OCCUR ON THE PROPERTY THAT IS THE SUBJECT OF THE PERMIT & SHALL BE WITHIN A DUMPSTER, STRUCTURE, OR CONTAINER THAT CAN BE COVERED TO PREVENT WINDBLOWN DEBRIS. ALL SUCH DUMPSTERS, STRUCTURES, OR CONTAINERS SHALL BE COVERED AT ALL TIMES WHEN NO WORK IS BEING PERFORMED ON THE PROPERTY THAT IS THE SUBJECT OF THE PERMIT.
- ALL DISTURBED PARKWAY LAWN AREAS WILL BE RESTORED WITH NEW SOD ON 6" OF TOPSOIL. ALL SOD SHALL BE WATERED AS REQ'D TO SUSTAIN GROWTH.
- ALL PARKWAY TREES SHALL HAVE A SNOW FENCE THAT EXTENDS TO THE DRAIN LINE. NO TRAFFIC SHALL GO OVER THE ROOT SYSTEM.
- SURFACE DRAINAGE TO BE DIVERTED FROM STRUCTURE SO AS NOT TO CREATE A HAZARD ON THIS OR ADJACENT PROPERTY. GRADE FROM FOUNDATION TO DROP A MINIMUM OF 6" IN 10'-0". PROVIDE SWALES OR DRAINS TO ENSURE DRAINAGE FROM STRUCTURE AND ADJACENT PROPERTY.
- TOILET FACILITIES SHALL BE PROVIDED AT ALL JOB SITES PER ILLINOIS PLUMBING CODE. THIS WILL BE A CONDITION OF THE PERMIT.
- PROVIDE AND MAINTAIN A 5'-0" HIGH FENCE ALONG THE FULL LENGTH OF INTERIOR SIDE YARDS UNTIL EXTERIOR CONSTRUCTION IS COMPLETE.
- PROVIDE AND MAINTAIN A 5'-0" HIGH CONSTRUCTION FENCE DURING NON-WORKING HOURS THAT WILL ENCLOSE ALL OPEN EXCAVATIONS UNTIL FOUNDATION IS BACK-FILLED & FIRST FLOOR DECK IS COMPLETED.
- ERECT PROTECTIVE SNOWFENCE PRIOR TO ANY CONSTRUCTION ACTIVITY. DO NOT STORE ANY EQUIPMENT OR MATERIALS WITHIN THE PROTECTION AREA. REMOVE THE PROTECTIVE SNOW FENCE ONLY AFTER CONSTRUCTION IS COMPLETE.
- ALL TREES ARE TO BE PROTECTED DURING CONSTRUCTION WITH FENCING FOR EVERY 1" OF TREE DIAMETER. MAINTAIN 1'-0" DISTANCE AWAY FOR FENCING.
- MAINTAIN EXISTING DRAINAGE PATTERNS. ANY DRAINAGE ISSUES THAT MAY ARISE FROM THE CONSTRUCTION ASSOCIATED WITH THIS PERMIT WILL BE ADDRESSED BY THE PERMITTEE.
- RESTORE PARKWAY AND PAVEMENT TO PRE-CONSTRUCTION CONDITIONS.

ENERGY CODE COMPLIANCE NOTES

- ENERGY CODE COMPLIANCE DESIGN BY PRESCRIPTIVE MEANS. CLIMATE ZONE : 5
MAX. GLAZING U-FACTOR: 0.30
ACTUAL U-FACTOR:
MIN. SKYLIGHT U-FACTOR: 0.55
ACTUAL SKYLIGHT U-FACTOR: SHGC : N R
MIN. CEILING R-VALUE: 49
ACTUAL CEILING R-VALUE: 49
MIN. FRAME WALL R-VALUE: 30 OR 20 + 5 OR 13+10
ACTUAL WALL R-VALUE: 30 (CLOSED CELL FOAM INSULATION)
MIN. FLOOR R-VALUE: 30
ACTUAL FLOOR R-VALUE:
MIN. BASEMENT R-VALUE: 15 OR 19
ACTUAL BASEMENT R-VALUE:
GC TO PROVIDE PERMANENT CERTIFICATE TO BE POSTED ADJACENT TO ELECTRICAL PANEL INDICATING INSULATION AND ENERGY VALUES FOR BUILDING INSULATION, FENESTRATION AND DUCT SYSTEMS. SPRAY FOAM BOX SILLS AND SILL PLATES, AND ADD R-15 HIGH DENSITY FRICTION FIT BATT INSULATION.
- ALL PENETRATIONS THROUGH THERMAL ENVELOPE SHALL BE ADEQUATELY SEALED BY CAULK, GASKET, WEATHERSTRIPPING OR OTHER BARRIER MEANS PER 2021 IECC REQUIREMENTS. ALL WINDOWS AND EXTERIOR DOOR JAMBS ARE TO BE SEALED WITH LOW-EXPANSION FOAM. ALL BOTTOM PLATES ON EXTERIOR WALLS SHALL BE GLUED TO SUB-FLOOR.
- ALL FIREPLACES SHALL HAVE GASKETED DOORS & OUTSIDE COMBUSTION AIR.
- ALL RECESSED LIGHTING IN THERMAL ENVELOPE SHALL BE SEALED TO PREVENT AIR LEAKAGE. ALL RECESSED DOWNLIGHTING TO BE IC-RATED.
- PROVIDE PROGRAMMABLE THERMOSTATS FOR EACH ZONE WITH SETBACK AND MANUAL OVERRIDE.
- ALL DUCTWORK SHALL BE ADEQUATELY SEALED. ALL SUPPLY DUCTWORK IN UNCONDITIONED ATTIC TO HAVE R-8 INSULATION. ALL OTHER DUCTWORK TO HAVE R-6 INSULATION. HVAC CONTRACTOR SHALL PROVIDE EITHER POST-CONSTRUCTION OR ROUGH-IN TEST OF TOTAL AIR LEAKAGE FOR DUCT SYSTEMS.
- ALL MECHANICAL SYSTEM PIPING CAPABLE OF CARRYING FLUIDS ABOVE 105 DEG F OR BELOW 55 DEG F SHALL BE INSULATED TO A MINIMUM OF R-3. ALL HOT WATER LINES TO HAVE R-3 PIPE INSULATION & MANUAL SWITCH FOR RECIRC. PUMP.
- ALL ACCESS HATCHES/DOORS TO UNCONDITIONED SPACE SHALL BE INSULATED & WEATHERSTRIPPED.
- 100% OF ALL LIGHTING TO HAVE HIGH-EFFICACY BULBS.
- FURNACE: +90% AFUE
WATER HEATER: +95% AFUE
A/C: 13+ SEER
SHGC: 0.27 OR BTR
- WINDOWS, SKYLIGHTS AND SLIDING GLASS DOORS SHALL HAVE AN AIR INFILTRATION RATE NO MORE THAN 0.3 CFM PER SF, AND SWINGING DOORS NO MORE THAN 0.5 CFM PER SF.



SHEET INDEX - ARCHITECTURAL		
3D	3D VIEWS	01/08/2025
A0	COVER SHEET	05/07/2025
A1	EXISTING DRAWINGS	01/08/2025
A2	FOUNDATION & BASEMENT PLANS	01/14/2025
A3	FIRST FLOOR PLAN	05/07/2025
A4	ROOF PLAN & STAIR DETAILS	01/08/2025
A5	ELEVATIONS	01/08/2025
A6	STRUCUTRAL DETAILS	01/08/2025
A7	SPECIFICATIONS	01/08/2025
MEP1	MEP PLANS	01/14/2025

PROJECT SCOPE OF WORK

PROPOSAL
THE PROPOSAL FOR THE FOLLOWING:

OPTION 1: DESIGN BUILD A 3-BEDROOM, 1-BATH, 2ND FLOOR CAPE-COD ADDITION WITH DORMERS.

OPTION 2: DESIGN BUILD A 14 X 24 1-STORY MASTER SUITE AND REWORK THE EXISTING BEDROOM FOR ACCESS.

OPTION 3: DESIGN BUILD A 14 X 14 1-STORY BEDROOM ADDITION REWORKING 1-BEDROOM FOR ACCESS.

SITE SETBACKS (R-1C)

	REQUIRED	PROPOSED
FRONTYARD	40'-0"	EX TO REMAIN
INTERIOR SIDEYARD	5'-0"	EX TO REMAIN
INTERIOR SIDEYARD	5'-0"	EX TO REMAIN
REARYARD	45'-0"	211'-4"
HEIGHT - MEAN 30'-0"	PEAK 36'-0"	EX TO REMAIN

IMPERVIOUS SF

WALKS/DRIVEWAY	1,251 SF
PATIO/DECK/STAIRS	152 SF
HOUSE EX GARAGE	1,433 SF 495 SF
TOTAL	3,331 SF

SITE PLAN LEGEND

---	PROPERTY LINE
---	SETBACK LINE
---	EASEMENT LINE
—E—	ELECTRIC SERVICE
—G—	GAS SERVICE
—(—(—(—	STORM SEWER
—<—<—	SANITARY SEWER
—W—	WATER SERVICE
—X—	FENCE



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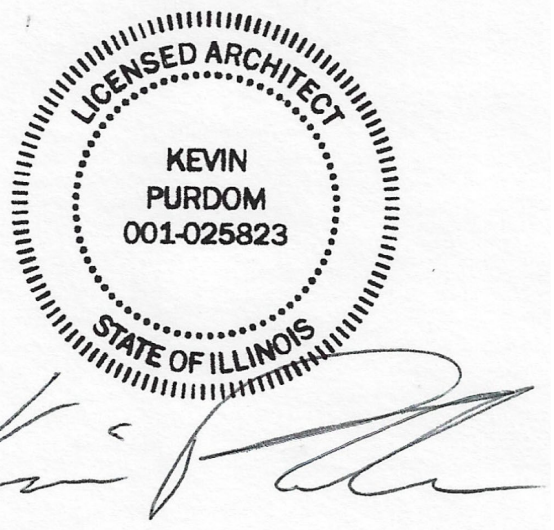
ADDITION TO THE LOTZER RESIDENCE

463 S WARREN AVENUE
PALATINE, IL 60074

DATE
05/07/2025

ISSUE DATE	
01/08/2025	1 - PERMIT
01/14/2025	2 - PERMIT COMMENTS
05/07/2025	3 - ADDENDUM 01

KEVIN PURDOM, ARCHITECT
1275 E DAVIS ST. ARLINGTON HEIGHTS, IL 600C
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SHEET TITLE
COVER SHEET

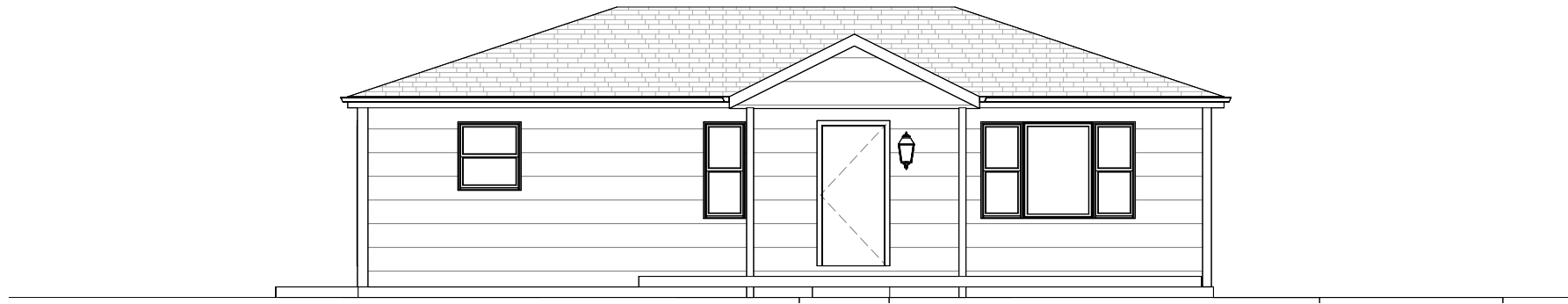
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A0

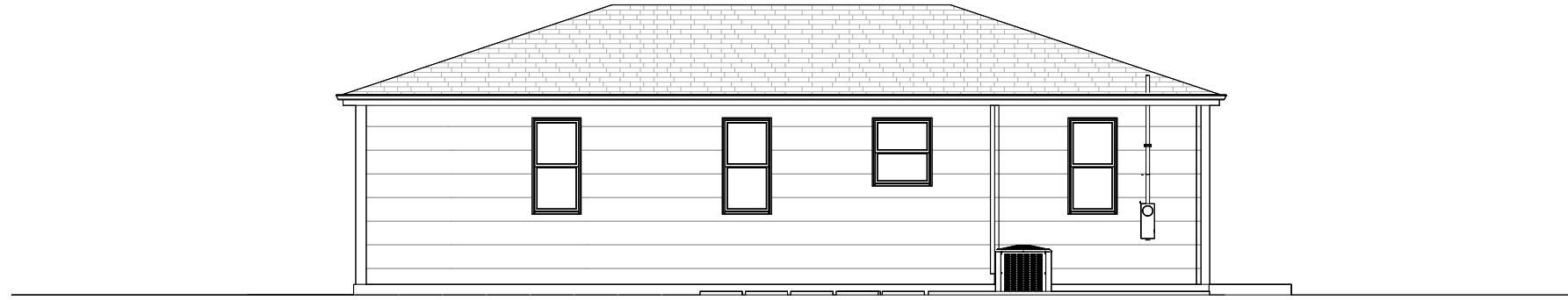
PLAT OF SURVEY NTS



EXISTING 100 AMP
ELECTRICAL PANEL



1 SOUTH ELEVATION - EXISTING FRONT
A1 1/8" = 1'-0"



2 NORTH ELEVATION - EXISTING REAR



3 EAST ELEVATION - EXISTING SIDE
A1 1/8" = 1'-0"



4 WEST ELEVATION - EXISTING SIDE
A1 1/8" = 1'-0"



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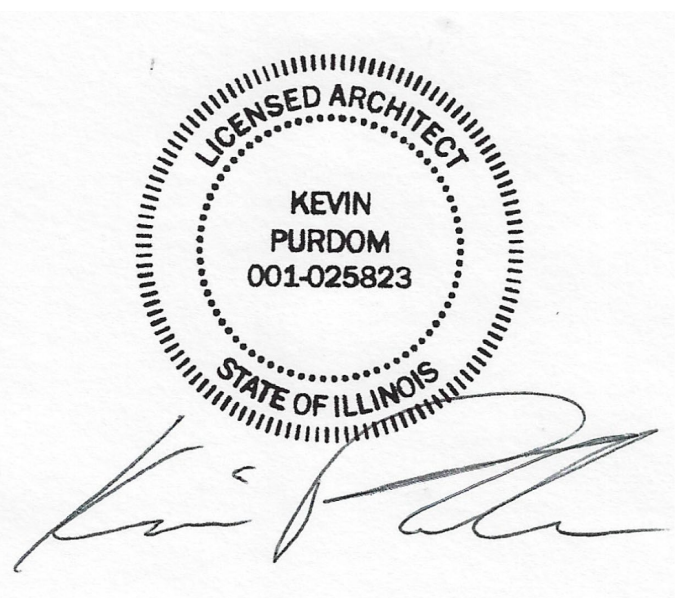
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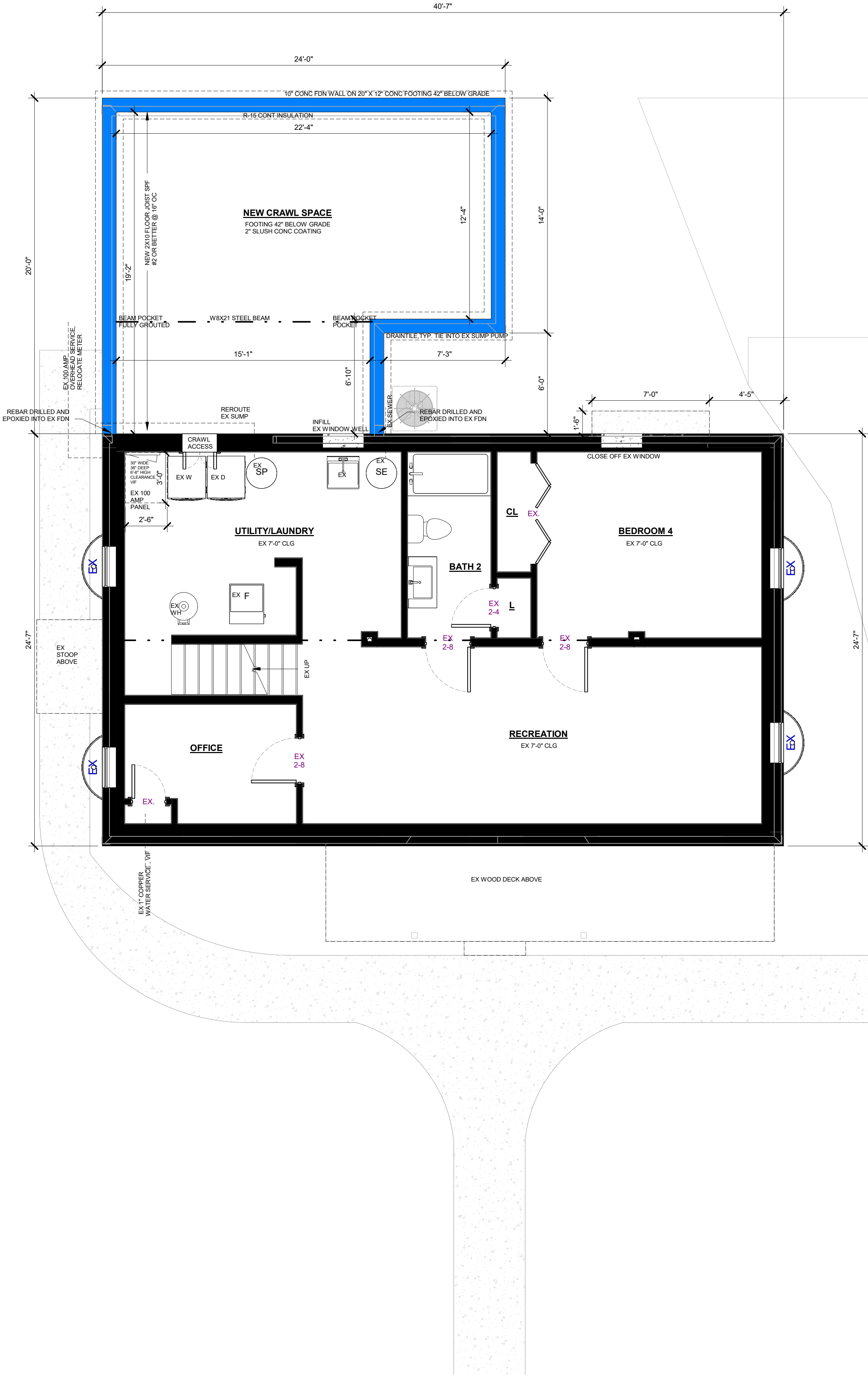
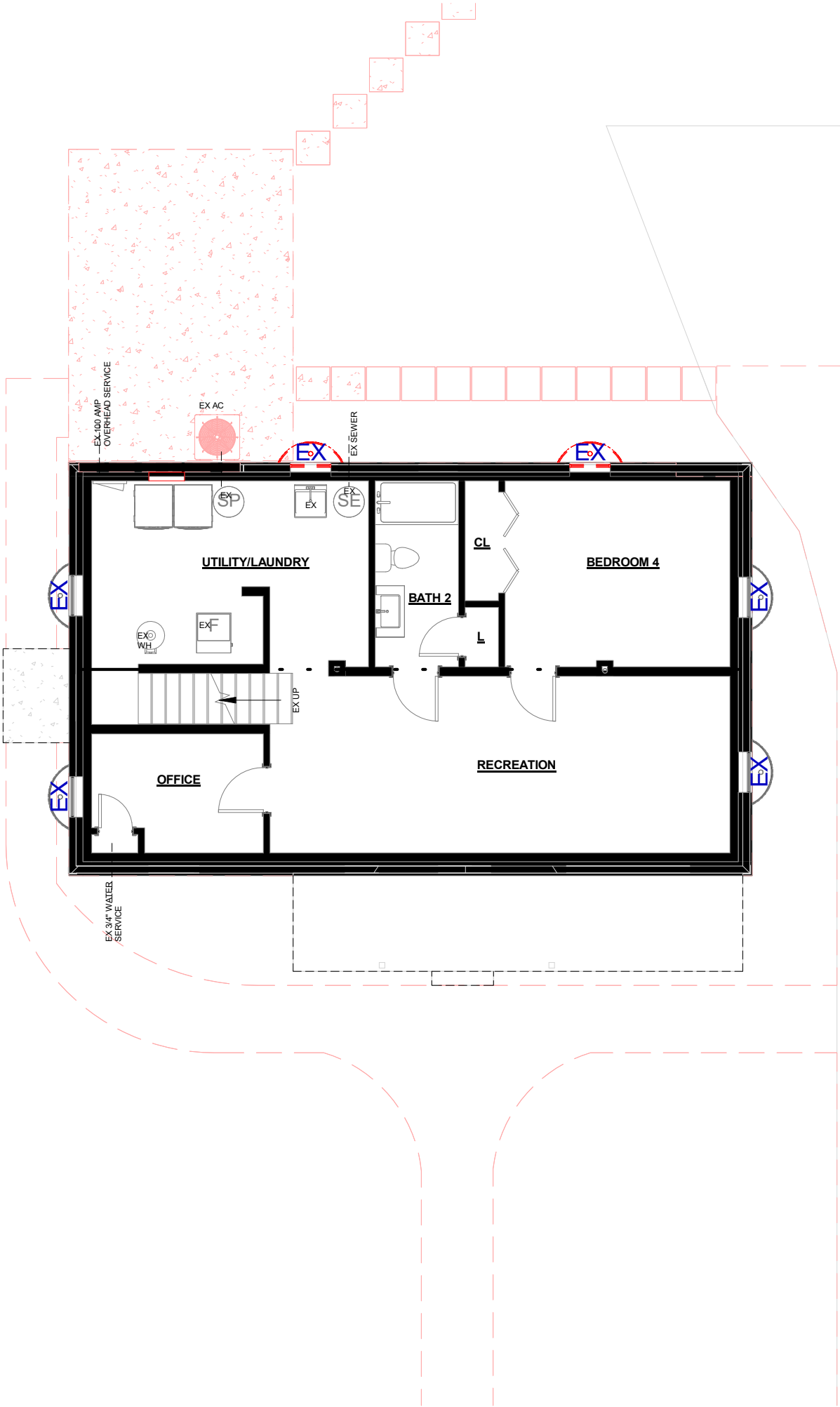
SHEET TITLE
EXISTING DRAWINGS

SHEET NUMBER

A1

WALL LEGEND - SUB LEVEL

LOCATION	U.L. NO.	FIRE RATING	CONSTRUCTION	DESCRIPTION
EXTERIOR (1)	---	---	=====	10" CONCRETE FOUNDATION WALL W/ 2 - #5 TOP, MID & BOTTOM ON 20" X 10" CONCRETE FOOTING
EXTERIOR (2)	---	---	=====	12" TRENCH CONC. FOUNDATION WALL W/ 2 - #5 TOP & BOTTOM MIN. 42" BELOW GRADE
INTERIOR - 1	---	---	=====	2 X 4 WD STUDS @ 16" OC W/ 5/8" DRYWALL EACH FACE
INTERIOR - 2 (PLUMBING)	---	---	=====	2 X 6 WD STUDS @ 16" OC W/ 5/8" DRYWALL EACH FACE
INTERIOR - 3 (PERIMETER)	---	---	=====	FOUNDATION WALL W/ 2X4 STUD WALL @ 16" OC OFFSET 2" FROM FOUNDATION WALL TO ALLOW FOR R-21 CAVITY INSULATION + 5/8" DRYWALL (INT)
EXISTING WALLS	---	---	████████	
NEW CONSTRUCTION	---	---	▒▒▒▒▒▒	

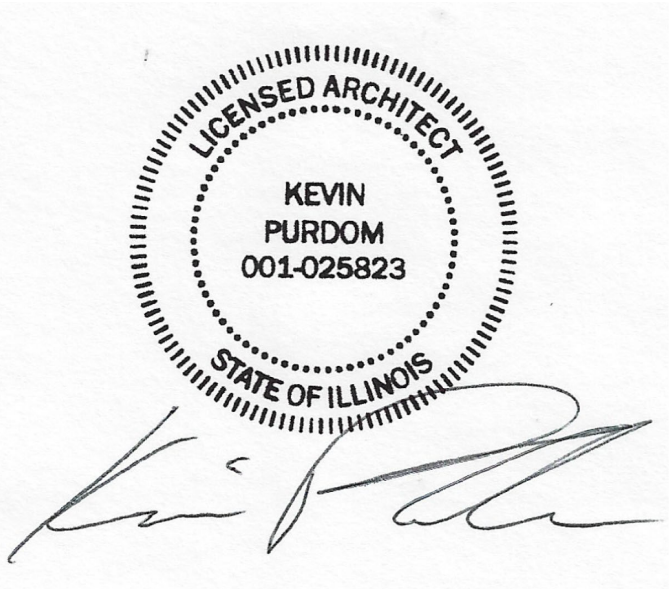


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SHEET TITLE
FOUNDATION & BASEMENT PLANS

SHEET NUMBER

A2

WALL LEGEND - FIRST + SECOND FLOORS				
LOCATION	U.L. NO.	FIRE RATING	CONSTRUCTION	DESCRIPTION
EXTERIOR (1)	---	---		2 X 6 WD STUDS @ 16" OC W/ 5/8" DRYWALL (INT) 1/2" OSB (EXT) [R-30] FOAM CAVITY INSULATION
EXTERIOR (GARAGE)	---	1 HR		2 X 6 WD STUDS @ 16" OC W/ 5/8" DRYWALL (INT) 1/2" OSB (EXT)
INTERIOR - 1	---	---		2 X 4 WD STUDS @ 16" OC W/ 5/8" DRYWALL EACH FACE
INTERIOR - 2 (PLUMBING)	---	---		2 X 6 WD STUDS @ 16" OC W/ 5/8" DRYWALL EACH FACE
INTERIOR - 3 (GARAGE)	---	1 HR		2 X 6 WD STUDS @ 16" OC W/ 5/8" DRYWALL (INT) 5/8" "X" (GAR) [R-30] FOAM CAVITY INSULATION
EXISTING WALLS	---	---		
NEW CONSTRUCTION	---	---		



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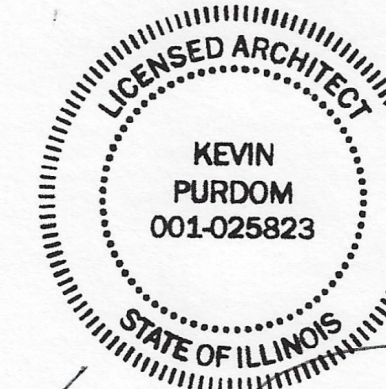
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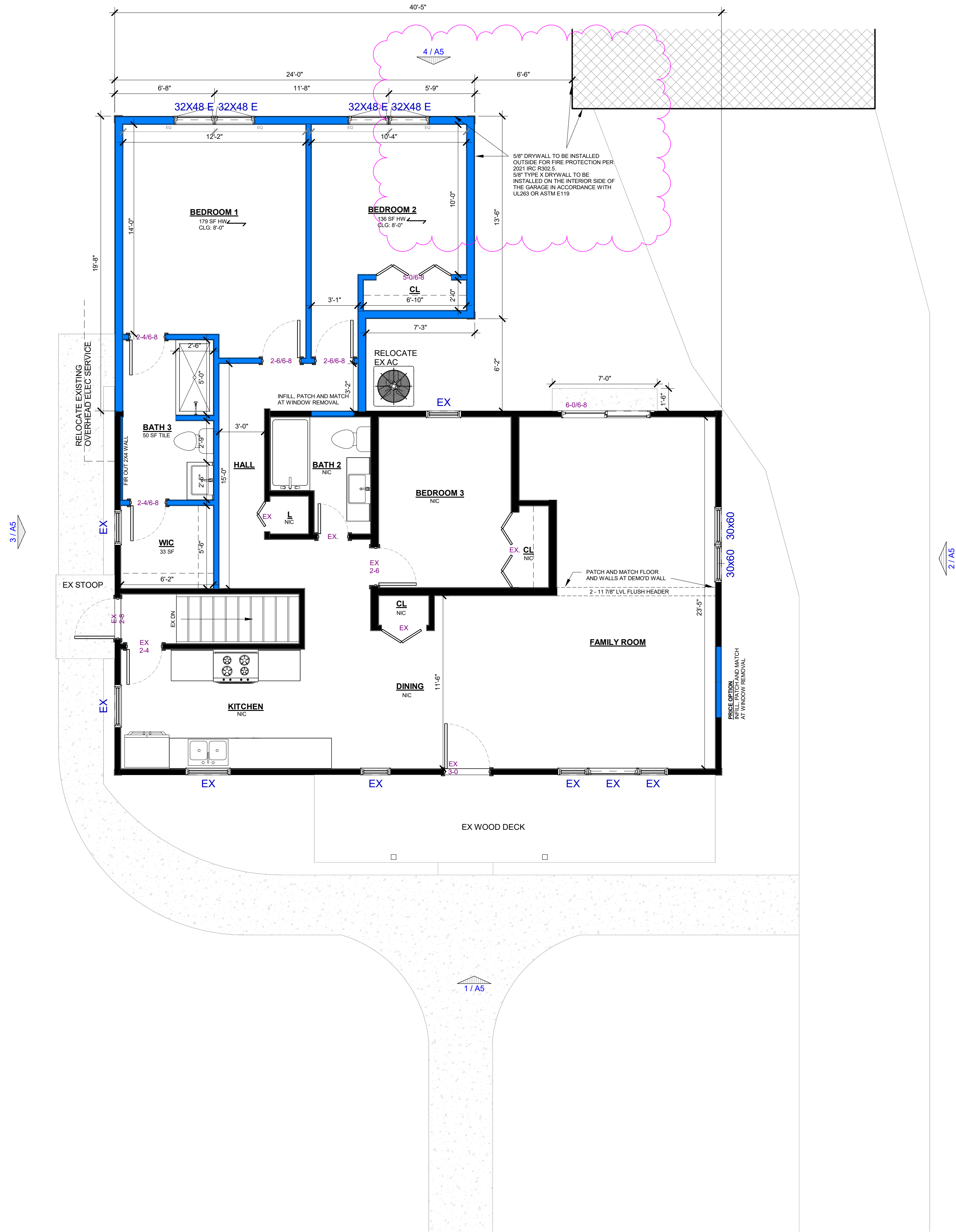
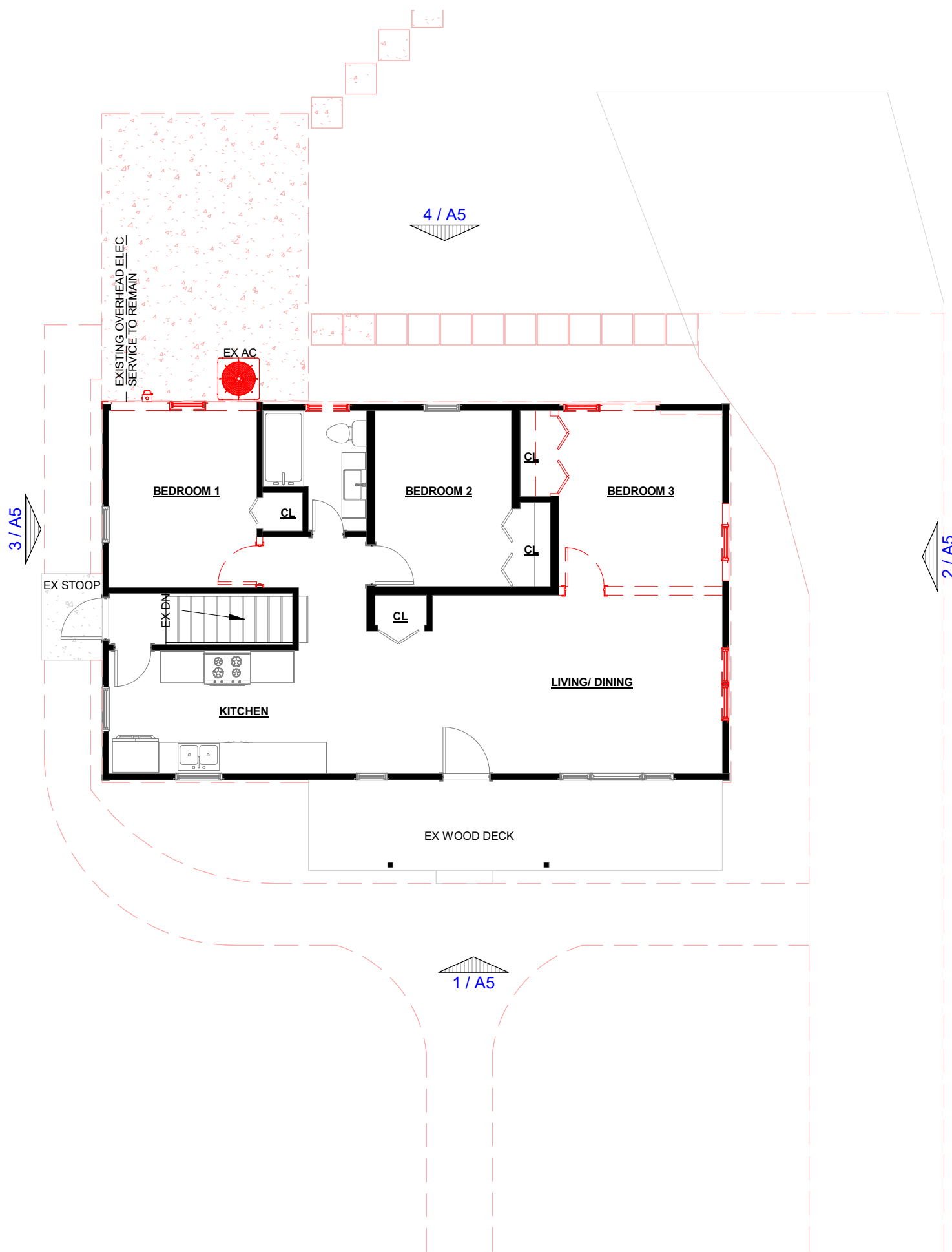
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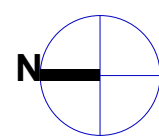
SHEET TITLE
FIRST FLOOR PLAN

SHEET NUMBER

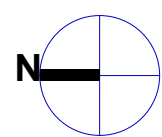
A3



1 FIRST FLOOR - EX/DEMO
A3 1/8" = 1'-0"



2 FIRST FLOOR - PROPOSED
A3 1/4" = 1'-0"

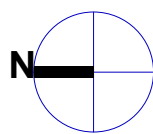


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A4

1 ROOF PLAN
A4 1/4" = 1'-0"





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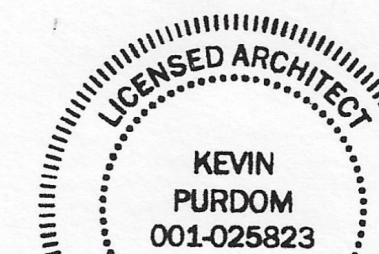
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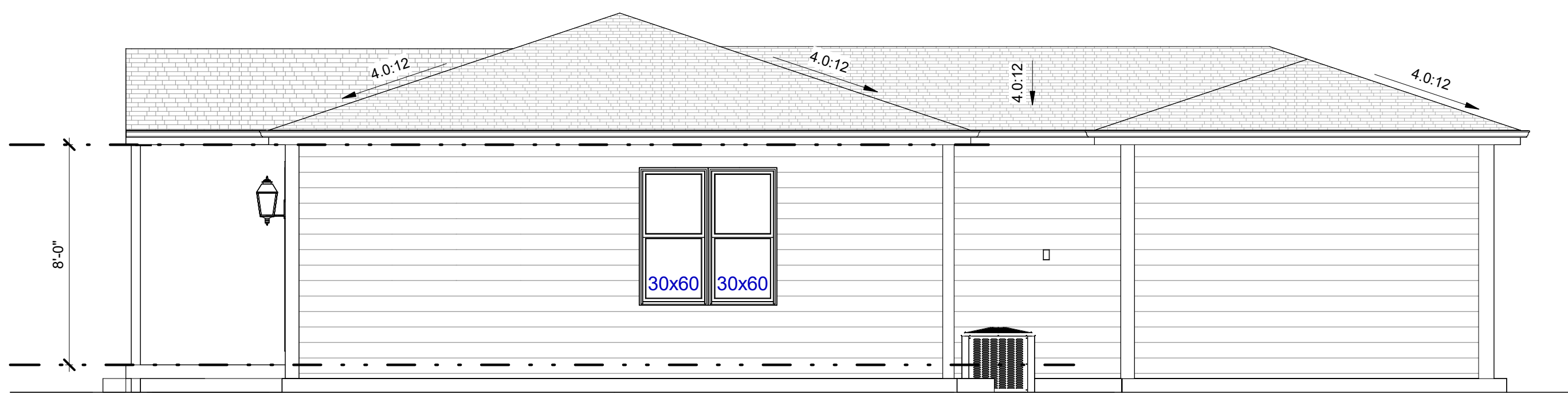
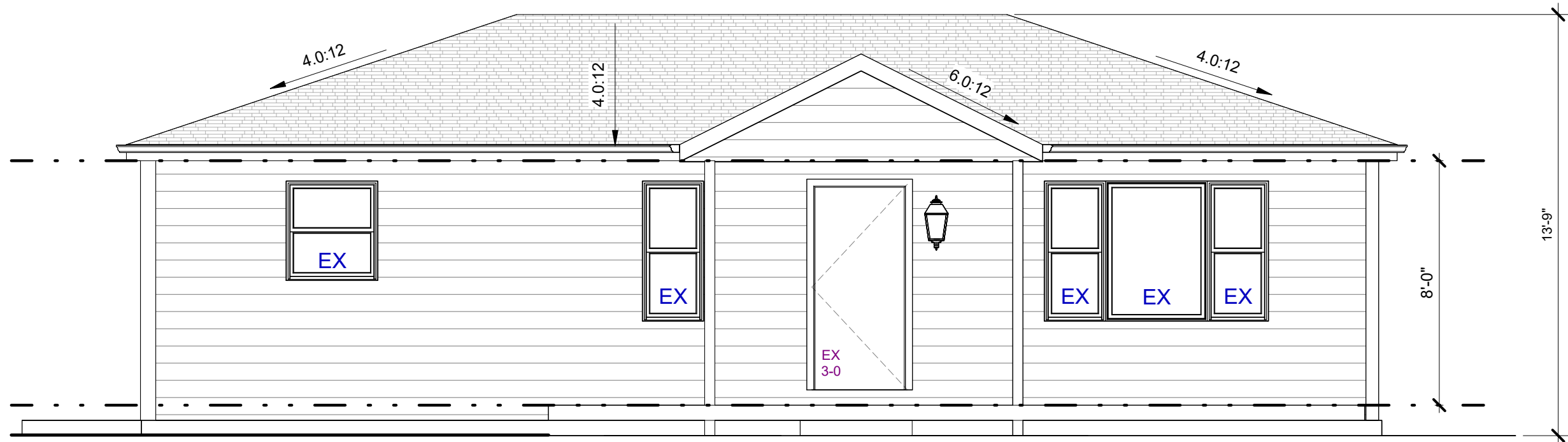
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SHEET TITLE
ELEVATIONS

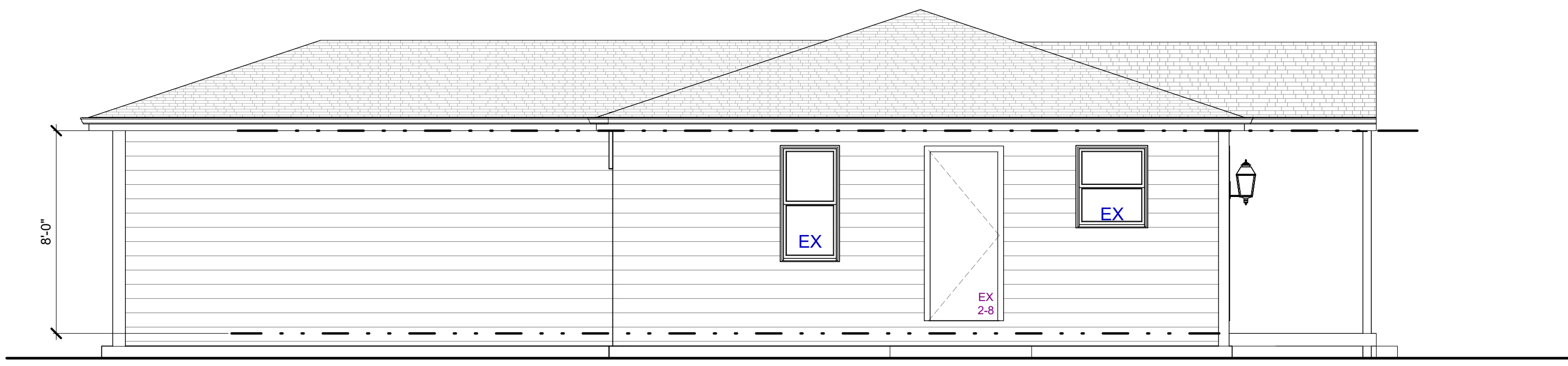
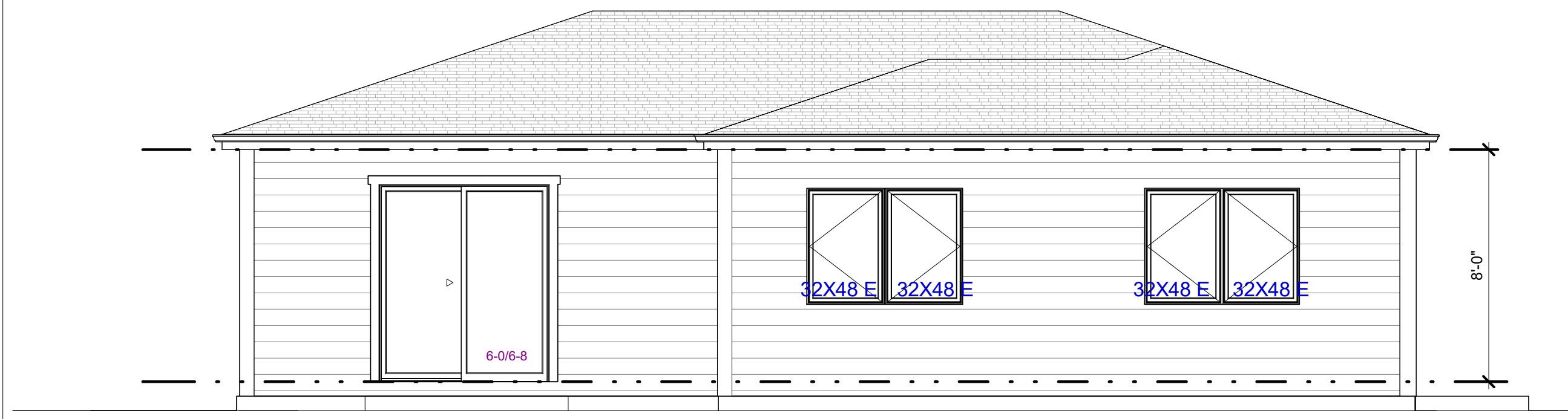
SHEET NUMBER

A5



1 SOUTH ELEVATION - PROPOSED FRONT
A5 1/4" = 1'-0"

2 EAST ELEVATION - PROPOSED SIDE
A5 1/4" = 1'-0"



4 NORTH ELEVATION - PROPOSED REAR
A5 1/4" = 1'-0"

3 WEST ELEVATION - PROPOSED SIDE
A5 1/4" = 1'-0"

WINDOW NOTES:

- WINDOW SIZES : ROUGH OPENING TO BE VERIFIED IN FIELD W/ CHOSEN WINDOW MANUF. & CONTRACTOR PRIOR TO CONSTRUCTION
- GLASS SIZES TO BE FOLLOWED AS CLOSE AS POSSIBLE PER DIFFERENT MANUF.
- BEDROOM WINDOWS TO HAVE EGRESS HARDWARE & FOLLOW EGRESS REQUIREMENTS AS LABELED ON ELEVATIONS
- WINDOWS IN WHICH THE BOTTOM EDGE OF THE WINDOW IS LESS THAN 18" ABOVE THE TOP OF THE FLOOR ARE REQUIRED TO BE TEMPERED.
- FIELD VERIFY EMERGENCY ESCAPE & RESCUE OPENINGS IN SLEEPING ROOMS
EGRESS WINDOW REQUIREMENTS
PROVIDE A NET CLEAR OPENING OF 5.7 SF OR GREATER, ACHIEVED BY SIMPLY OPENING THE WINDOW
PROVIDE A NET CLEAR OPENING OF 5.0 SF OR GREATER FOR GRADE LEVEL WINDOWS.
A MINIMUM CLEAR WIDTH OF 20"
A MINIMUM CLEAR HEIGHT OF 24"
A SILL HEIGHT OF LESS THAN 44" AFF
ALL NEW WINDOWS TO HAVE A MAX. U-FACTOR OF 0.30
- ALL BATHROOM GLASS AND GLASS IN AREAS OF HAZARD SHALL BE SAFETY GLAZING, PERMANENTLY ETCHED, AND THE ETCHING SHALL BE VISIBLE AFTER INSTALLATION TO VERIFY COMPLIANCE. SECTION: IRC R308.4
- E = EGRESS
F= FROSTED PRIVACY GLASS
T= TEMPERED AFETY GLASS
EX = EXISTING WINDOW TO REMAIN

ELEVATION MATERIALS							
LOCATION	HATCH PATTERN	DESCRIPTION	MANUF.		HATCH PATTERN	DESCRIPTION	MANUF.
SIDING (1)		HORIZ VINYL LAP SIDING [MATCH EX]		TRIM AND FASCIA		TRIM [MATCH EX]	
ROOFING (1)		ASPHALT SHINGLES [MATCH EX]		SOFFIT AND FASCIA		ALUMINUM - VENTED [MATCH EX]	
DOORS		STYLE TBD, WHITE SIMILAR TO EX		GUTTERS, DOWNSPOUTS		ALUMINUM [WHITE] OPTION TO REPLACE EX GUTTERS	
WINDOWS		VINYL INT/EXT WHITE [MATCH EX]					



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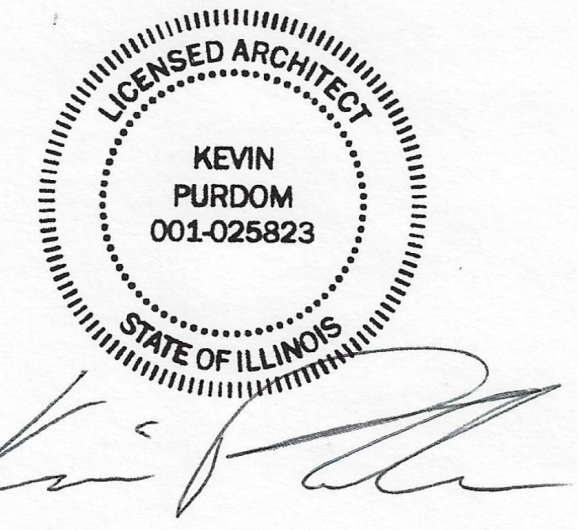
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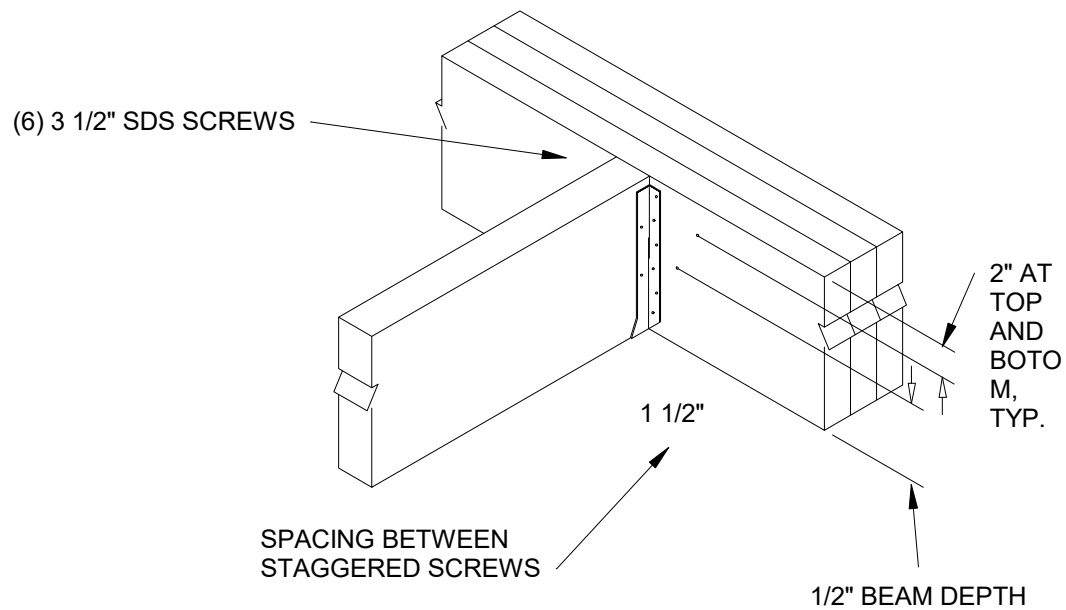
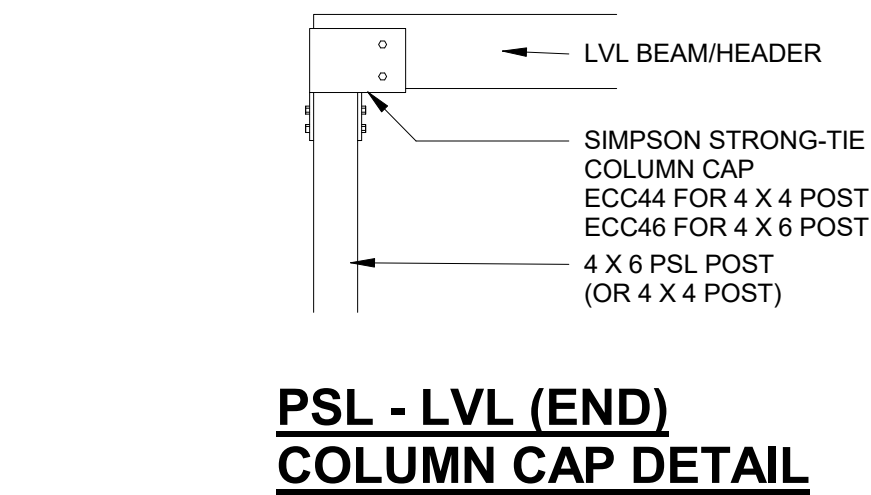
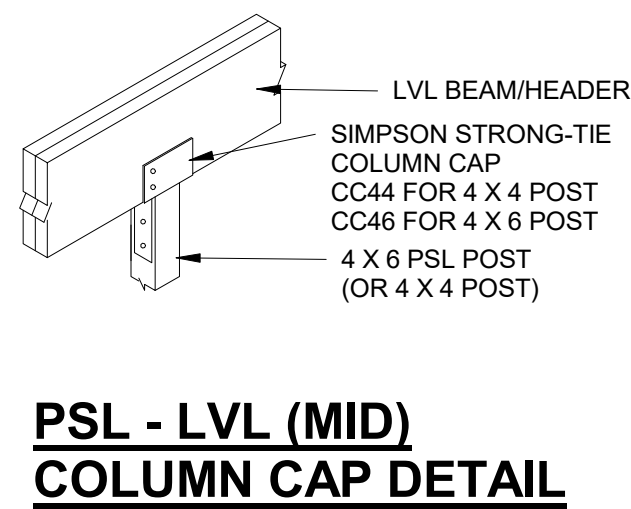
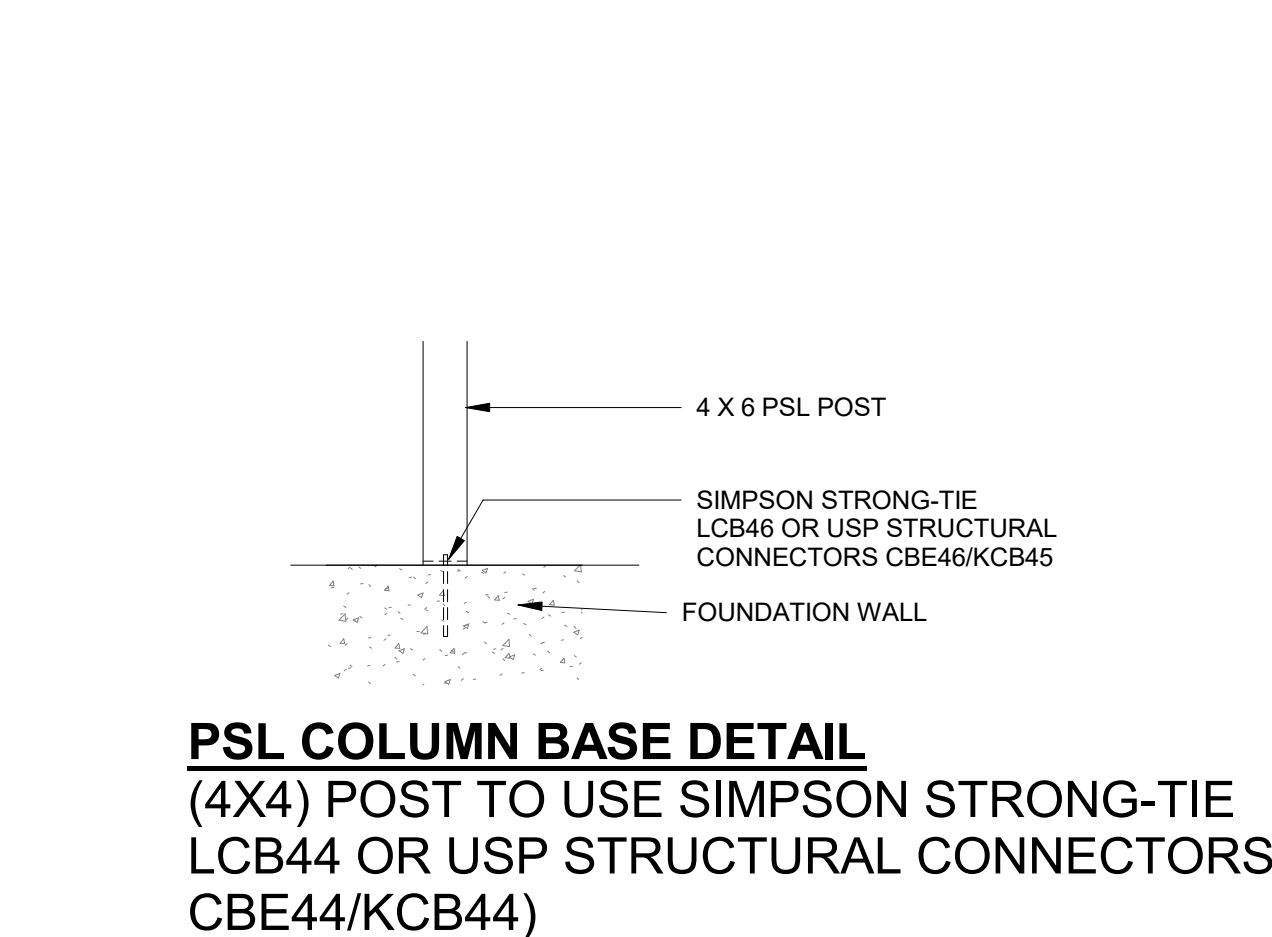
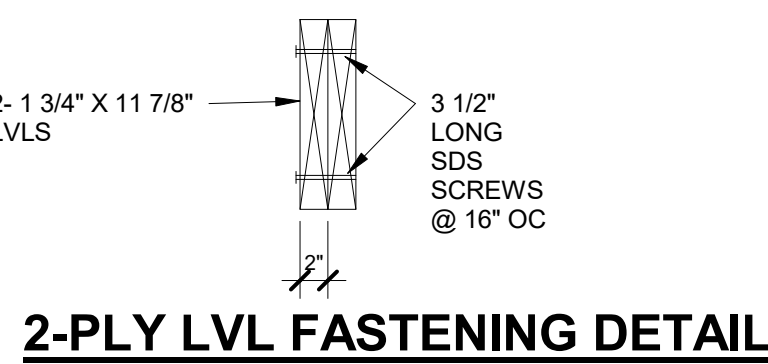
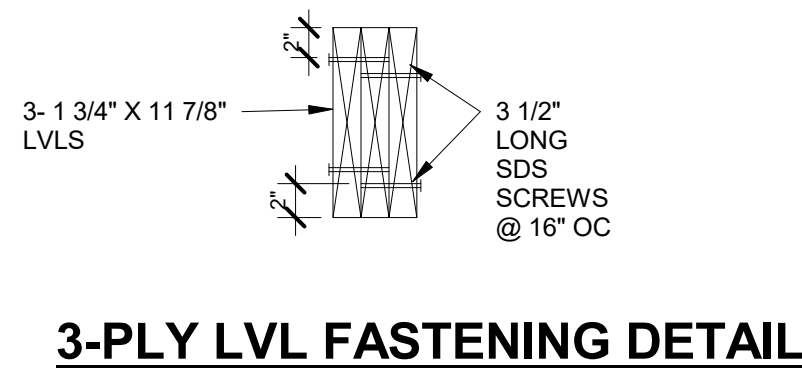
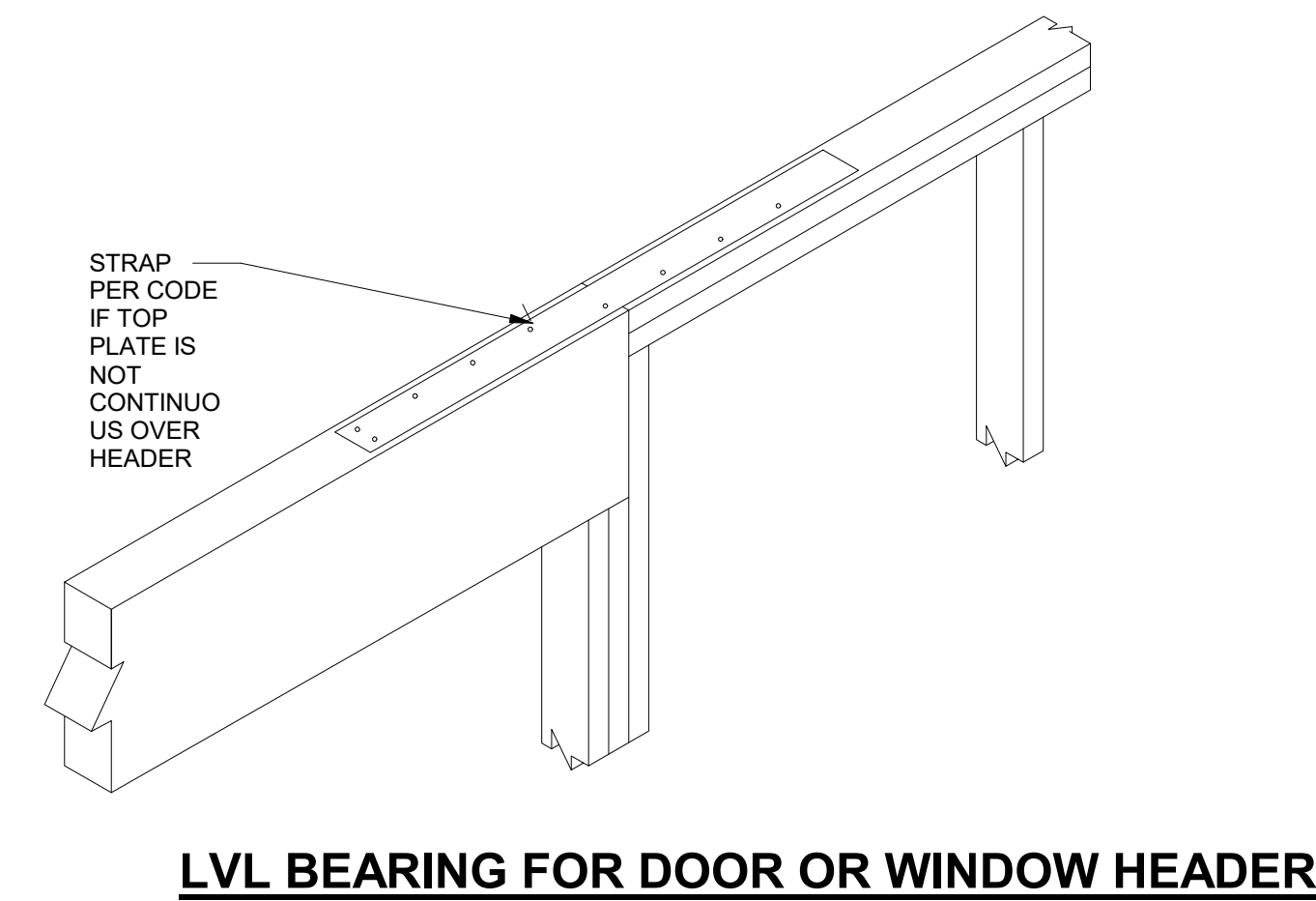
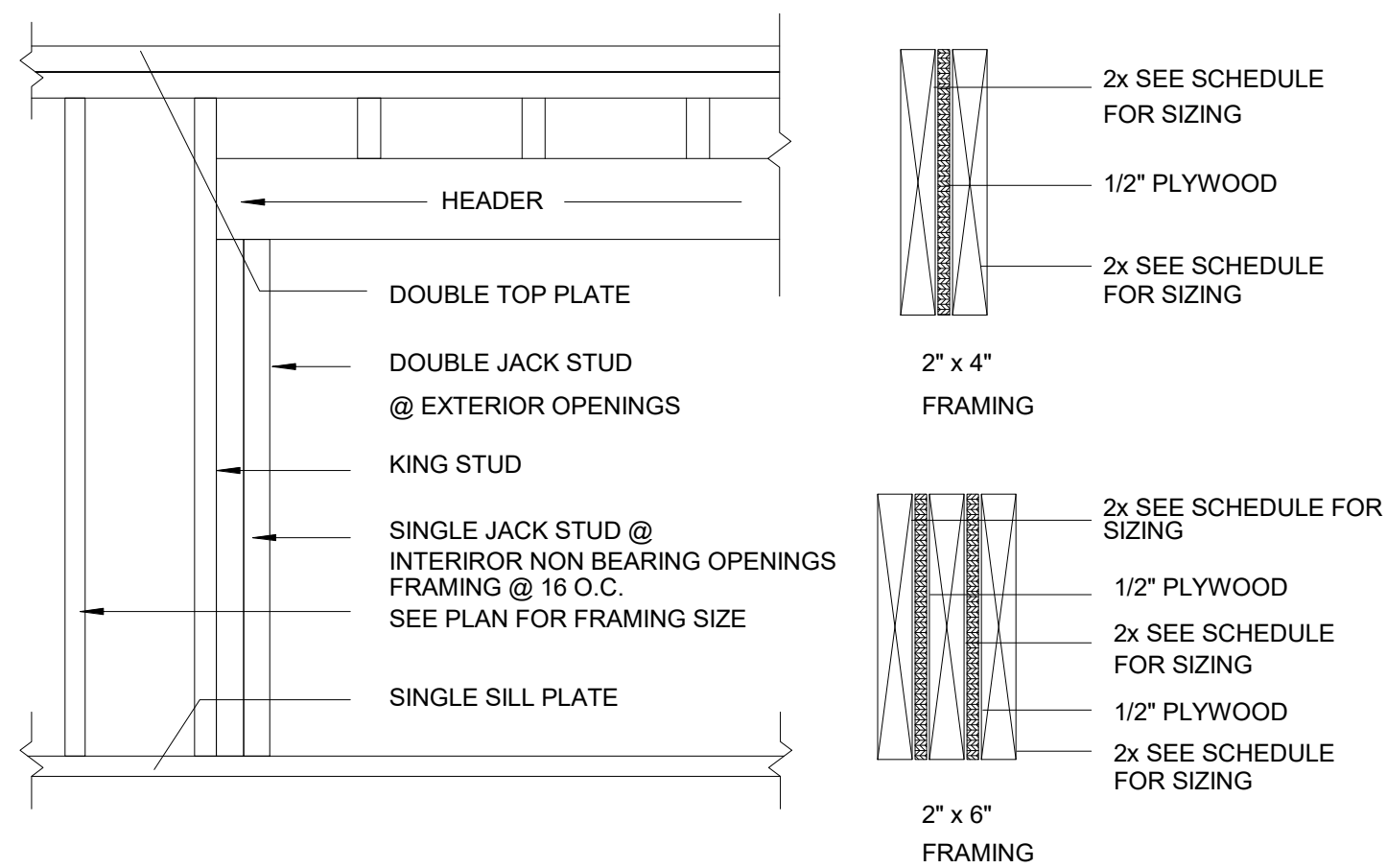
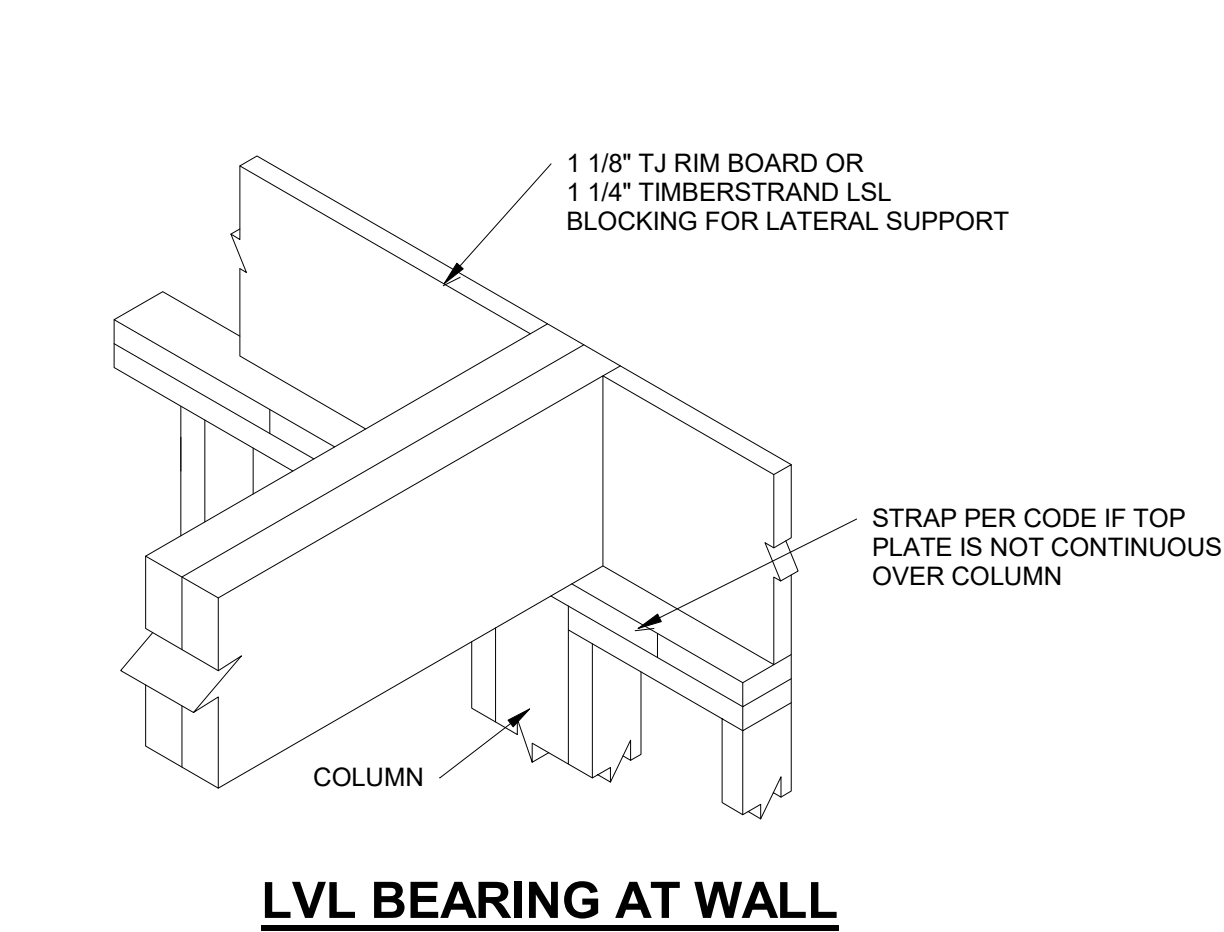
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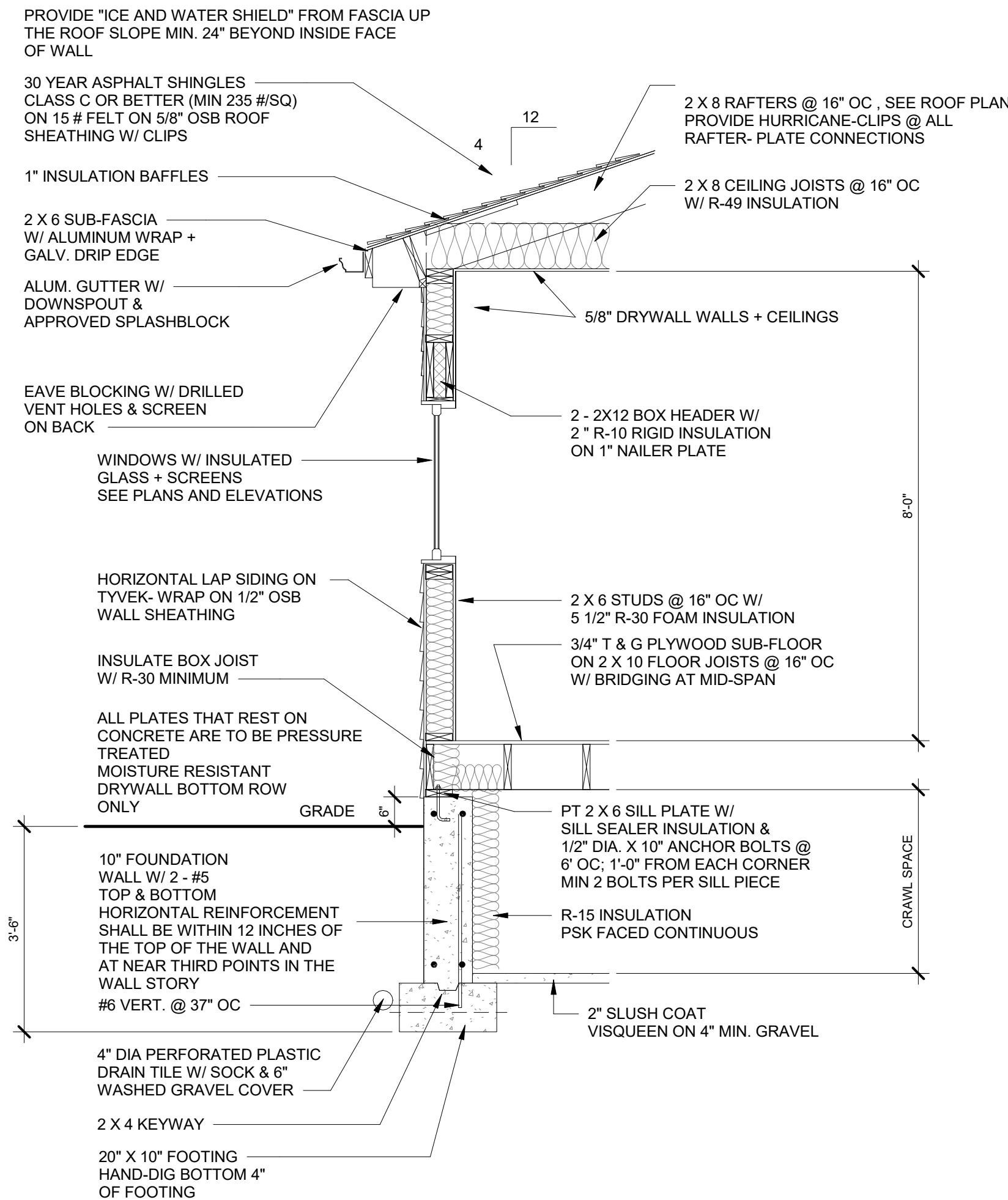
A6



FACE MOUNT HANGERS:
3 1/2" X 9 1/2" - 18" LVL = HHUS410 W/ 16D NAILS
5 1/4" X 14"-20" LVL = HGUS5.50/12 W/ 16D NAILS

DOOR & WINDOW WOOD HEADER SIZES (U.N.O)		
SPAN/OPENING	HEADER SIZE	# JACKS
LESS THAN 3'-0"	2 - 2X6	1
3'-0" - 3'-8"	2 - 2X8	1
3'-8" - 4'-6"	2 - 2X10	1
4'-6" - 5'-6"	2 - 2X12	1
GREATER THAN 5'-6"	SEE PLAN	2

WOOD HEADER/BEAM SUPPORT COLUMNS			
BEAM/HEADER	COLUMN (IN 2X4 WALL)	COLUMN (IN 2X6 WALL)	DETAIL
DIMENSIONAL LUMBER (2X10, 2X8, 2X6, 2X4)	(EA END) 2X4 JACK 2X4 KING STUD	(EA END) 2X6 JACK 2X6 KING STUD	
DIMENSIONAL LUMBER (2X12)	(EA END) (2) 2X4 JACK 2X4 KING STUD	(EA END) (2) 2X6 JACK 2X6 KING STUD	
2 - 1 3/4" LVLS ALL 12" LVLS TO BE 11 7/8"	(EA END) (2) 2X4 JACK 2X4 KING STUD	(EA END) (2) 2X6 JACK 2X6 KING STUD	
3 - 1 3/4" LVLS ALL 12" LVLS TO BE 11 7/8"	(EA END) (2) 2X4 JACK 2X4 KING STUD	(EA END) (2) 2X6 JACK 2X6 KING STUD	





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SHEET TITLE
SPECIFICATIONS

SHEET NUMBER

A7

DIVISION 2-SITEWORK

- CLEAR AREA OF SITE AT LOCATION OF CONSTRUCTION OF ALL EXISTING GROWTH AND VEGETATION,REMOVING DEBRIS FROM SITE. STOCKPILE TOPSOIL ON SITE WHERE APPROVED BY BUILDING INSPECTOR.
- STAKE CORNERS OF BUILDING FOR OWNER AND ARCHITECT'S REVIEW AND APPROVAL PRIOR TO EXCAVATION. CONTRACTOR SHALL ANTICIPATE ADJUSTMENTS TO THE ORIGINAL STAKED LOCATION OF THE BUILDING
- FOOTINGS SHALL BEAR ON UNDISTURBED SOIL AT THE ELEVATIONS SHOWN ON THE DRAWINGS OR IF OVER-EXCAVATED; COMPACTED FILL SHALL BE PLACED TO THE ELEVATIONS REQUIRED FOR BEARING. A MINIMUM 3'-6" COVER FOR FROST PROTECTION SHALL BE MAINTAINED FOR EXTERIOR FOOTINGS
- NO BACKFILLING SHALL OCCUR SOONER THAN SEVEN (7) DAYS AFTER POURING OF CONCRETE.
- BACKFILLING MATERIALS SHALL BE CLEAN SAND FOR INSIDE FOUNDATIONS AND EXCAVATED SAND, GRAVEL OR CLAY FOR EXTERIOR OF FOUNDATIONS PLACED IN SUCCESSIVELY HORIZONTAL LAYERS ON OVER 8" THICK, LOOSE MEASUREMENT, WITH EACH LAYER THOROUGHLY COMPACTED AND PLACED TO AVOID DAMAGE TO THE FOUNDATION WALLS, FOOTINGS OR OTHER WORK IN PLACE.
- BACKFILL WITH SAND OR OTHER APPROVED GRANULAR FILL IN AREAS WHERE CAST IRON AND CLAY TILE PIPES ARE TO BE INSTALLED AS WELL AS EXCAVATED AREAS WHERE SLAB ON GRADE WILL BE POURED.
- FURNISH AND INSTALL 4" OF COMPACTED PEA GRAVEL FILL FOR ALL AREAS TO RECEIVE INTERIOR CONCRETE SLABS AND EXTERIOR CONCRETE WORK. FILL TO BE COMPACTED TO 90% OF MAXIMUM DENSITY.
- THE SITE SHALL BE ROUGH GRADED AND EXCESS DIRT HAULED AWAY. NO BLACK DIRT OR LANDSCAPING IS ALLOWED
- FINAL GRADE ENTIRE AREA OF CONSTRUCTION TO 1" IN TEN (10) FEET USING TOP SOIL FROM STOCKPILE.
- A MINIMUM PERIMETER CHAIN-LINK FENCING OF FIVE (5) FEET IN HEIGHT SHALL BE REQUIRED.

DIVISION 3 - CONCRETE

- PROVIDE ALL CONCRETE WORK, FOR ALL TRADES REQUIRED TO COMPLETE THIS PROJECT. WORK INCLUDES, BUT IS NOT LIMITED TO, FOOTINGS, FOUNDATION WALLS, PIERS, FLOOR SLABS AND WALKS.
- CONCRETE WORK SHALL COMPLY WITH THE LATEST VERSION OF "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE" (ACI 318) AND "SPECIFICATIONS FOR STRUCTURAL CONCRETE" (ACI 301).
- READY-MIXED CONCRETE SHALL COMPLY WITH ASTM C 94
- FOR PROJECT SITE MIXING, MEASURE, BATCH, AND MIX CONCRETE MATERIAL AND CONCRETE, ACCORDING TO ASTM C 94. MIX CONCRETE MATERIALS IN APPROPRIATE DRUM - TYPE BATCH MACHINE MIXER.
- ALL FOOTINGS SHALL BEAR ON MINIMUM 3000 PSF. UNDISTURBED SOIL.
- CONCRETE USED FOR ALL EXTERIOR FLATWORK SHALL BE SIX (6) BAG PORTLAND CEMENT PER CUBIC YARD OF CONCRETE, 1/2" SAND, 1/2" GRAVEL, 1/2" PORTLAND CEMENT PER CUBIC YARD (3500 PSI)
- CONCRETE USED FOR FOUNDATION WALLS, FOOTINGS AND ALL OTHER CONCRETE IN FORMS SHALL BE FIVE (5) BAG PORTLAND CEMENT PER CUBIC YARD (3000 PSI).
- COMPLY WITH CONCRETE REINFORCING STEEL INSTITUTE'S RECOMMENDED PRACTICE FOR PLACING REINFORCING BARS, FOR DETAILS AND METHODS OF REINFORCEMENT PLACEMENT, AND SUPPORTS, AND AS HEREIN SPECIFIED
- REINFORCING STEEL SHALL CONFORM TO ASTM A615, GRADE 60. LAP CONTINUOUS BARS 36 DIAMETERS, UNLESS OTHERWISE NOTED. PROVIDE CORNER BARS OF SAME SIZE AND SPACING AS HORIZONTAL WALL REINFORCEMENT
- MAKE PROVISIONS IN THE FOUNDATION AND FOOTINGS FOR THE PASSAGE OF THE 4" PLASTIC AND CAST IRON DRAIN TILE WHEN POURING CONCRETE.
- FURNISH AND INSTALL 4" DRAIN TILE AROUND THE OUTSIDE PERIMETER OF EXCAVATED LOWER LEVELS AS SHOWN. DRAIN TILE CONNECTION TO SUMP PIT SHALL BE MADE USING 4" CAST IRON PIPE.
- FORMS SHALL NOT BE STRIPPED FROM CONCRETE WALLS SOONER THAN 48 HOURS FROM TIME OF POUR.
- BREAK OFF WALL TIMES BEFORE DAMP-PROOFING.
- ON ALL EXTERIOR SURFACES OF FOUNDATION AND FOOTINGS, SPRAY ONE COAT OF "KOPERS" LIQUID ASPHALT 480 TO WITHIN SIX (6) INCHES OF THE TOP OF THE FOUNDATION WALL.
- PROVIDE TROWEL FINISH TO MONOLITHIC SLAB SURFACES TO BE EXPOSED-TO-VIEW, AND SLAB SURFACES TO BE COVERED WITH RESIDENT FLOORING, CARPET, CERAMIC, OR QUARRY TILE, PAINT OR OTHER THIN FILM FINISH COATING SYSTEM. PROVIDE A LEVEL SURFACE PLANE SO THAT DEPRESSIONS BETWEEN HIGH SPOTS DO NOT EXCEED 1/8" UNDER A 10' STRAIGHT EDGE.
- ALL EXTERIOR FLATWORK SHALL HAVE A MEDIUM BROOM FINISH, UNLESS NOTED OTHERWISE
- PROVIDE SPOT SURVEY AT THE COMPLETION OF BACKFILL TO ARCHITECT AND LOCAL JURISDICTION, SHOWING ALL FOUNDATION DIMENSIONS AND DIMENSIONS OF FOUNDATION TO ALL PROPERTY LINES.

DIVISION 5 - METALS

- ALL STRUCTURAL STEEL TO BE A-36.
- ALL STRUCTURAL STEEL BOLTS TO BE A MINIMUM OF 3/4" A-325, UNO USE METAL OR OTHER APPROVED SHIMS UNDER STEEL BEAMS AND COLUMNS. WOOD SHIMS ARE NOT ALLOWED.
- ALL STRUCTURAL STEEL TO RECEIVE ON SHOP COAT OF RUST INHIBITIVE PAINT.
- PROVIDE 2" X 6" X 1/2" BASE PLATES UNDER ALL COLUMNS (U.O.N.)
- ALL BEAMS TO BE BOLTED TO COLUMNS AT 2 LOCATIONS (MINIMUM)
- PROVIDE 1/2" CAP PLAT E'S WITH (4) 3/4" DIAMETER BOLTS AT ALL COLUMNS.
- ANCHOR RODS (BOLTS) SHALL CONFORM TO ASTM A1554.
- STRUCTURAL STEEL SHALL CONFORM TO ASTM A36 OR ASTM A992 WITH 36,000 PSI MINIMUM YIELD STRENGTH.
- PIPE COLUMNS SHALL CONFORM TO ASTM A63--GRADE B WITH 35,000 PSI MINIMUM YIELD STRENGTH.
- ALL STEEL WORK SHALL BE FABRICATED AND ERECTED TO CONFORM WITH THE LATEST AISC SPECS.
- SHOP CONNECTIONS SHALL BE WELDED OR BOLTED; FIELD CONNECTIONS SHALL BE BOLTED.
- WELDING SHALL CONFORM TO THE LATEST AMERICAN WELDING SOCIETY SPECS. & MADE WITH A5.1 OR A5.5, E70XXX ELECTRODES & IN ACCORDANCE WITH THE LATEST AWS D1.1 STRUCTURAL WELDING CODE.
- ALL WELDERS SHALL BE CERTIFIED BY A LABORATORY OF RECOGNIZED STANDING.
- THE CONTRACTOR SHALL BRACE VERTICALLY AND/OR HORIZONTALLY. ALL THE CONSTRUCTION WHICH MAY BE UNSTABLE PENDING ITS FINAL INTEGRATION AND/OR INTERACTION WITH ADJACENT ELEMENTS OF PERMANENT CONSTRUCTION, WHICH WOULD ELIMINATE THE NEED FOR INTERIOR BRACING.

CODE NOTES:

WHOLE-HOUSE MECHANICAL VENTILATION SYSTEMS SHALL BE DESIGNED IN ACCORDANCE WITH SECTIONS M1507.3.1 THROUGH M1507.3.3.

M1507.3.1 SYSTEM DESIGN

THE WHOLE-HOUSE VENTILATION SYSTEM SHALL CONSIST OF ONE OR MORE SUPPLY OR EXHAUST FANS, OR A COMBINATION OF SUCH, AND ASSOCIATED DUCTS AND CONTROLS. LOCAL EXHAUST OR SUPPLY FANS ARE PERMITTED TO SERVE AS SUCH A SYSTEM. OUTDOOR AIR DUCTS CONNECTED TO THE RETURN SIDE OF AN AIR HANDLER SHALL BE CONSIDERED AS PROVIDING SUPPLY VENTILATION.

M1507.3.2 SYSTEM CONTROLS

THE WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM SHALL BE PROVIDED WITH CONTROLS THAT ENABLE MANUAL OVERRIDE.

M1507.3.3 MECHANICAL VENTILATION RATE

THE WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM SHALL PROVIDE OUTDOOR AIR AT A CONTINUOUS RATE OF NOT LESS THAN THAT DETERMINED IN ACCORDANCE WITH TABLE M1507.3.3(1).

R319.1: SITE NUMBERS

THE ADDRESS NUMBER SHALL BE 6 INCHES IN HEIGHT, ON A CONTRASTING BACKGROUND, AND INSTALLED ON OR OVER THE PRIMARY ENTRANCE OF THE DWELLING.

DIVISION 6 - WOODS AND PLASTICS

- ALL WOOD FRAMING SHALL COMPLY WITH AFFA'S "MANUAL FOR WOOD FRAME CONSTRUCTION"
- ALL LUMBER SHALL CONFORM TO U.S. PRODUCT STANDARD PS-20 AND APPLICABLE RULES OF LUMBER GRADING AGENCIES CERTIFIED BY THE AMERICAN LUMBER STANDARDS COMMITTEE BOARD OF REVIEW. FACTORY MARK EACH PIECE OF LUMBER WITH GRADE STAMP OF GRADING AGENCY.
- ALL PLYWOOD SHALL CONFORM TO U.S. PRODUCT STANDARD PS-1 AND SHALL BE GRADE MARKED. PLYWOOD CONSTRUCTION SHALL CONFORM TO THE "PLYWOOD CONSTRUCTION GUIDE" OF THE AMERICAN PLYWOOD ASSOCIATION.
- STRESS GRADE LUMBER SHALL CONFORM TO THE "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION" WITH AN ALLOWABLE FB = 1100 PSI EXCEPT WHERE NOTED OTHERWISE ON PLANS AND FOR MICRO-LAMS.
- TREAT ROUGH CARPENTRY SUCH AS: WOOD SILLS, SLEEPERS, BLOCKING, FURRING, STRIPPING, AND SIMILAR CONCEALED MEMBERS IN CONTACT WITH CONCRETE.
- INSTALL FLOOR JOISTS W/ CROWN EDGE UP AND SUPPORT ENDS OF EACH MEMBER WITH NOT LESS THAN 1 1/2" OF BEARING ON WOOD OR METAL, OR 3" ON MASONRY, WHERE SUPPORTED ON WOOD MEMBERS, ATTACH BY TOE-NAILING OR USING METAL FRAMING ANCHORS, WHERE FRAMED INTO WOOD SUPPORTING MEMBERS, USE LEDGERS OR METAL JOIST ANCHORS. FRAME OPENINGS WITH HEADER AND TRIMMERS SUPPORTED BY METAL JOIST HANGERS.
- DO NOT NOTCH IN MIDDLE THIRD OF JOISTS; LIMIT NOTCHES TO 1/6 DEPTH OF JOIST, 1/3 AT ENDS.
- DO NOT BORE HOLES LARGER THAN 1/3 DEPTH OF JOIST; DO NOT LOCATE CLOSER THAN 2" FROM TOP OR BOTTOM.
- PROVIDE SOLID BLOCKING OF 2" NOMINAL THICKNESS BY DEPTH OF JOIST AT ENDS OF JOISTS UNLESS NAILED TO HEADER OR BAND.
- PROVIDE 1X3 CROSS BRACING WITH MAXIMUM SPACING OF 8'-0" OC
- PROVIDE DOUBLE JOISTS UNDER ALL BEARING PARTITIONS.
- PROVIDE DOUBLE JOISTS AND HEADERS AT STAIR OPENINGS.
- NOTCH RAFTERS TO FIT EXTERIOR WALL PLATES AND TOE NAIL OR USE METAL FRAMING ANCHORS. DOUBLE RAFTERS TO FORM HEADER AND TRIMMERS AT OPENINGS IN ROOF FRAMING, IF ANY, AND SUPPORT WITH METAL HANGERS, WHERE RAFTERS ARE AT A RIDGE, PLACE DIRECTLY OPPOSITE EACH OTHER AND NAIL TO RIDGE MEMBER OR USE METAL RIDGE HANGERS, AT VALLEYS. PROVIDE RAFTER OF SAME THICKNESS AS REGULAR RAFTERS AND 2" DEEPER. BEVEL ENDS OF JACK RAFTERS FOR FULL BEARING AGAINST VALLEY RAFTERS. AT HIPs, PROVIDE HIP RAFTER OF SAME THICKNESS AS REGULAR RAFTERS AND 2" DEEPER. BEVEL ENDS OF JACK RAFTERS FOR FULL BEARING. RICHIP/VALLEY RAFTERS SHALL NOT BE LESS IN WIDTH THAN THE CUT END OF THE RAFTER BEING SERVED.
- AGAINST HIP RAFTER. PROVIDE COLLAR BEAM (TIES) AS INDICATED OR, IF NOT INDICATED, PROVIDE 1X6 NOMINAL SIZE BOARDS BETWEEN EVERY THIRD PAIR OF RAFTERS, BUT NOT MORE THAN 48" O.C. LOCATE BELOW RIDGE MEMBER, AT THIRD POINT OF RAFTER SPAN. CUT ENDS TO FIT ROOF SLOPE AND NAIL TO RAFTERS.
- INSTALL 2X CEILING JOISTS COMPLYING WITH MANUFACTURERS REQUIREMENTS. FACE NAIL TO END OF PARALLEL RAFTERS. WHERE CEILING JOISTS ARE AT RIGHT ANGLES TO RAFTERS, PROVIDE ADDITIONAL SHORT JOISTS PARALLEL TO RAFTERS FROM WALL PLATE TO FIRST JOIST; NAIL TO ENDS OF RAFTERS AND TO TOP PLATE AND NAIL TO FIRST JOIST OR ANCHOR WITH FRUITS, WHERE APPLICABLE.
- ALL EXTERIOR AND BEARING PARTITIONS SHALL HAVE STUDS AT 16" OC WITH DOUBLE 2X TOP PLATE, MINIMUM LAP 48" AND A2 X SOLE PLATE.
- ALL INTERIOR NON-BEARING PARTITIONS SHALL HAVE STUDS @ 16" OC.
- ALL CORNERS AND INTERSECTIONS SHALL BE NOT LESS THAN THREE OR MORE STUDS.
- VERIFY WALLS ARE FRAMED WITH 2X-2X L HEADERS WITH 1/2" PLYWOOD SPACERS EXCEPT WHERE OTHERWISE NOTED.
- ALL SUBFLOORS TO BE 3/4" T & G PLYWOOD DECKING GLUED AND NAILED AS PER SPECIFICATIONS OF THE AMERICAN PLYWOOD ASSOCIATION/
- PROVIDE 1/2" T & G PLYWOOD UNDERLAYMENT GLUED AND NAILED UNDER R ALL FLOORS TO RECEIVE CARPETING.
- EXTERIOR WALL SHEATHING SHALL BE 1/2" EXTERIOR GRADE PLYWOOD. NAIL AT EDGES WITH 10D NAILS AT 6" O.C. AND 12" O.C. AT INTERMEDIATE STUDS.
- ROOF SHEATHING TO BE 5/8" EXTERIOR GRADE PLYWOOD.
- FASCIA BOARD, RAKES RAKE TRIM BD. SHINGLE MOULD AND TRIM BOARDS TO BE CEDAR UNLESS OTHERWISE NOTED.
- PROVIDE FIRESTOPPING AT ALL FURRING, PARTITIONS AND OUTSIDE STUD WALLS AT THE LEVEL OF EACH FLOOR OR CEILING AND AT THE JUNCTURE OF ROOF RAFTERS AND WALLS. PROVIDE ADDITIONAL FIRESTOPPING AS REQUIRED BY CODE.
- BLOCKING SHALL BE INSTALLED WHERE NEEDED, PARTICULARLY KITCHENS, BATHS, CLOSETS, AND STAIRS.
- ALL FINISH WOOD FLOORING, TRIM, DOORS NO JAMBS SHALL BE LEFT IN THE BUILDING FOR MINIMUM OF TWO (2) WEEKS PRIOR TO INSTALLATION, BUT NOT PRIOR TO THE COMPLETION OF DRYWALL WORK.
- ALL SUPPLY REGISTERS IN WOOD FLOORS TO MATCH SPECIFICATION OF FLOOR. REGISTERS SHALL BE FLUSH WITH SURROUNDING FLOORING
- REWORK EX STAIRS: TREADS, HANDRAILS, AND NEWEL POSTS
- HANDRAILS HAVING MINIMUM AND MAXIMUM HEIGHTS OF 34 INCHES AND 38 INCHES, MEASURED VERTICALLY FROM THE NOSING OF THE TREADS, SHALL BE PROVIDED ON AT LEAST ON SIDE OF STAIRWAYS OF THREE OR MORE RISERS. ALL REQUIRED HANDRAILS SHALL BE CONTINUOUS THE FULL LENGTH OF THE STAIRS. BOTH ENDS SHALL BE RETURNED OR SHALL TERMINATE IN NEWEL POSTS OR SAFETY TERMINALS.
- HANDRAILS ADJACENT TO A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1/2" BETWEEN THE WALL AND THE HANDRAIL. HANDRAILS SHALL HAVE A CIRCULAR CROSS SECTION WITH A DIAMETER OF 1 1/4" TO 2".
- INTERIOR WOOD TRIM SHALL BE PERPENDICULAR SPEC.
- STAIRS TO HAVE A MINIMUM TREAD DEPTH OF 10" MEASURED NOSING TO NOSING, AND ALL TREADS IN A STAIRWAY SHALL BE EQUAL.
- STAIRS TO HAVE A MAXIMUM STEP RISER HEIGHT OF 7 3/4" AND THE MAXIMUM DIFFERENCE BETWEEN THE TALLEST AND SMALLEST RISER SHALL NOT BE GREATER THAN 3/8"
- CUTS, NOTCHES AND HOLES BORED IN TRUSSES, LAMINATED VENEER LUMBER, GLUE LAMINATED MEMBERS OR I- JOISTS ARE NOT PERMITTED UNLESS THE EFFECTS OF SUCH ARE SPECIFICALLY ADDRESSED
- EXTERIOR LOAD BEARING WALLS WITH PLATES CUT, DRILLED OR NOTCHED MORE THAN 50% OF THE WIDTH OF THE STAIR SHALL HAVE A GALVANIZED METAL TILE 16 GAUGE AND 1 1/2" WIDE FASTENED TO EACH PLATE.
- EXTERIOR BEARING WALLS WITH STUDS DRILLED WITHIN 5/8" OF THE FACE OF THE STUD SHALL BE REINFORCED WITH A STRUCTURAL STUD SHOE.

FIRE PROTECTION

- PROVIDE FIRE-BLOCKING CONFORMING TO IRC R602.8
- IN COMBUSTIBLE CONSTRUCTION WHERE THERE IS USABLE SPACE BOTH ABOVE AND BELOW THE CONCEALED SPACE OF A FLOOR/CEILING ASSEMBLY, DRAFT STOPPING SHALL BE INSTALLED SO THAT THE AREA OF THE CONCEALED SPACE DOES NOT EXCEED 500 SF OR 25 FT IN ANY HORIZONTAL DIRECTION. DRAFT STOPPING SHALL BE DIVIDED IN EQUAL AREAS.
- FIRESTOPPING TO BE INSTALLED AT ALL PLATE PENETRATIONS, SOFFITS, FURRED SPACES CONCEALED SPACES, ETC. AS PER THE BUILDING CODE.
- FIELD VERIFY CODE COMPLIANT FIRESTOPPING IS PROVIDED AT THE FOLLOWING LOCATIONS
 - CONCEALED SPACES OF STUD WALLS & PARTITIONS, INCLUDING FURRED SPACES, AT THE CEILING & FLOOR LEVEL & AT 10'-0" INTERVALS BOTH HORIZONTAL AND VERTICAL.
 - ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL & HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILINGS, COVE CEILING, ETC.
 - CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN.
 - OPENINGS AROUND VENTS, PIPES, DUCTS, CHIMNEYS AND FIREPLACES AT THE CEILING AND FLOOR LEVEL.
- WHEN ALTERATIONS, REPAIRS OR ADDITIONS REQUIRING A PERMIT OCCUR, THE ENTIRE BUILDING SHALL BE PROVIDED WITH SMOKE DETECTORS LOCATED AS REQUIRED FOR NEW DWELLINGS (IRC R317.1.1) SMOKE DETECTORS SHALL BE INSTALLED IN EACH SLEEPING ROOM, OUTSIDE OF EACH SEPARATE SLEEPING AREA VICINITY OF BEDROOMS & ON EACH ADDITIONAL STORY INCLUDING BASEMENTS BUT NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS. IN SPLIT LEVEL HOMES A SMOKE DETECTOR NEED BE INSTALLED ON UPPER LEVEL IF LOWER LEVEL IS LESS THAN FULL STORY BELOW. SMOKE DETECTORS SHALL HAVE BATTERY BACKUP (IRC R317.1) VERIFY EXISTING, ADD AS NEEDED IN SPACES IN AREAS WHERE NO OTHER WORK IS DONE WE WILL CONSIDER USING BATTERY ONLY DEVICES. SMOKE DETECTORS IN EXISTING AREAS ARE NOT TO BE HARDWIRED.
- FOAM PLASTIC FINISHES AND CORES SHALL BE IGNITION PROTECTED OR HAVE A FLAME SPREAD RATING OF NOT MORE THAN 75 AND SMOKE-DEVELOPED RATING OF NOT MORE THAN 450 WHEN TESTED IN MAX. THICKNESS INTENDED FOR USE. (IRC R318.1.1) THE APPROVED TESTS: ASTM E 83, FM 4880, UL 4104, ASTM E 152 OR UL 1715. (R318.3)

DIVISION 7 - THERMAL AND MOISTURE PROTECTION

- EXTERIOR WALLS SHALL HAVE R-30 FOAM INSULATION WITH 6 MIL VAPOR BARRIER INSTALLED TOWARDS THE INTERIOR
- LIVING UNITS WITH UNHEATED AREAS ABOVE SHALL HAVE R-49 INSULATION WITH PROTECTIVE BAFFLES AT EA VES TO ALLOW FOR AIR FLOW AND HAVE AN INTEGRAL VAPOR BARRIER. INSTALLED TOWARDS THE INTERIOR.
- PROVIDE SOUND ATTENUATION BLANKETS AT ALL WASTE LINES AT FLOOR AND WALL CAVITIES. PROVIDE SOFT CLOSED-CELL FOAM OR DENSE GLASS FIBER SLEEVES NOMINALLY 1" LONG AND 1/2" THICK BETWEEN UN-INSULATED PIPES AND HANGERS THERE SHOULD BE NO DIRECT CONNECT BETWEEN THE PLUMBING AND STUDS OR DRYWALL.
- CANTILEVERED PROJECTIONS SHALL HAVE R-30 BATT INSULATION WITH INTEGRAL VAPOR BARRIER INSTALLED TOWARDS THE INTERIOR.
- DOOR AND WINDOW SHIM SPACES SHALL BE FULLY STUFFED OR FOAMED WITH INSULATION
- ALL BAND SILLS SHALL BE INSULATED WITH R-21 BATT INSULATION WITH INTEGRAL VAPOR BARRIER INSTALLED TOWARDS THE INTERIOR.
- ALL SKYLIGHTS SHALL BE FLASH ED WITH APPROPRIATE FLASHING PROVIDED BY MANUFACTURER AND INSTALLED IN ACCORDANCE WITH MANUFACTURER 'S INSTRUCTIONS
- CAULK ALL JOINTS BETWEEN SIDING AND CORNER BOARDS, SOFFITS, BRICK MOLDS, WOOD TRIM AND SILLS, CAULK ALL INTERSECTIONS BETWEEN COUNTER TOPS AND WALLS, BATHTUBS, SHOWER BASES. TILE AND TOPS OF ALL PAINTED BASEBOARDS.
- FLASH AT HEAD OF ALL EXTERIOR DOOR AND WINDOW OPENINGS WITH GALVANIZED SHEET METAL DRIP CAPS DRIP CAP NAILING FIN INTEGRAL WITH WINDOWS IS ACCEPTABLE
- GUTTERS AND DOWNSPOUTS SHALL BE PRE-FINISHED ALUMINUM AND HAVE A MINIMUM PITCH OF 1/16" PER FOOT (COLOR PER OWNER)
- INSTALL RIDGE VENTS IN ACCORDANCE WITH MANUFACTURER 'S RECOMMENDATIONS FOR INSTALLATION ON AN ASPHALT SHINGLE ROOF
- INSTALL ROOFING AND FLASHING IN ACCORDANCE WITH NATIONAL ASSOCIATION RECOMMENDATIONS
- ASPHALT ROOF SHINGLES -O WENS CORNING OAKRIDGE ARCHITECTURAL PREMIUM, VERIFY COLOR W/ OWNER
- FELT UNDERLAYMENT SHALL BE 15LB 36" WIDE
- PROVIDE WATERPROOF UNDERLAYMENT UNDER SHINGLES AT ALL ROOF EDGES TO 2' FROM INTERIOR WALL AND VALLEYS.
- ALL HOT WATER PIPING SHALL BE INSULATED TO A MINIMUM OF R-3.
- EXTERIOR WALLS SHALL HAVE CONTINUOUS AIR BARRIER, INCLUDING BATHTUBS.
- THE VAPOR BARRIER SEAMS SHALL BE SEALED WITH COMPATIBLE GLUE.

DIVISION 8 - DOORS AND WINDOWS

- WINDOWS TO BE AS MANUFACTURED
 - ALL GLASS SHALL BE 1/2" TEMPERED INSULATION LOW 'E' FOR WINDOWS
 - 3/4" TEMPERED INSULATION LOW 'E' EXTERIOR DOORS.
 - EXTERIOR FRAMES: CLAD (COLOR TO BE SELECTED BY OWNER FROM STANDARD LINE)
 - SCREENS: AT ALL OPERABLE WINDOWS. FRAME FINISH (MATCH EX. VERIFY WITH OWNER)
- GENERAL TYPES AND APPROXIMATE QUANTITIES OF DOOR HARDWARE WOULD BE ANTICIPATED BY THE CONTRACTOR TO HELP ESTIMATE INSTALLATION AND OTHER WORK. IN ADDITION TO LOCK SETS, ANTICIPATE 3 HINGES AND A WALL MOUNTED STOP PER EACH SWING DOOR. COORDINATE HARDWARE MOUNTING LOCATIONS WITH OWNER.
- FACTORY FIT DOORS TO SUIT FRAME-OPENING SIZES INDICATED ON THE DRAWINGS. PROVIDE 1/8" CLEARANCE AT HEADS, JAMBS, AND BETWEEN PAIRS OF DOORS. PROVIDE 1/2" CLEARANCE FROM BOTTOM OF DECORATIVE FLOOR FINISH, WHERE THRESHOLD OCCURS. PROVIDE 3/8" FROM BOTTOM OF DOOR TO TOP OF THRESHOLD. BEVEL DOORS 1/8" IN 2 INCHES AT LOCK AND HINGE EDGES
- PROVIDE APPROVED SAFETY GLAZING AT HAZARDOUS LOCATIONS OR WHERE CODE REQUIRES.
- PROVIDE THE FOLLOWING DOORS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS:
 - FRONT DOOR
 - INTERIOR DOORS:
- COORDINATE INSTALLATION OF WINDOWS AND DOORS WITH OWNERS SECURITY CONSULTANT AS REQ'D

DIVISION 9 - FINISHES

- ALL WALLS TO BE 5/8" GYPSUM BOARD (GLUED AND SCREWED TYPICAL AND SCREWED ONLY AT WALLS W/ VISQUEEN VAPOR RETARDER.
- ALL CEILINGS TO BE 5/8" GYPSUM BOARD (MATCH EXISTING IN AREAS TO BE PATCHED) GLUED AND SCREWED TO STUDS
- WHERE GAS FURNACE IS CONFINED IN A CLOSET OR UTILITY ROOM, 5/8" TYPE "X" GYPSUM BOARD ON WALLS AND CEILING.
- PROVIDE GREEN BOARD ON ALL WET AREAS AND "DUROCK" AT SIDES OF SHOWER AND TUB ENCLOSURES TO RECEIVE TILE.
- FLOOR FINISHED TO BE AS NOTED ON PLANS.
- PROVIDE TILE WHERE INDICATED ON THE DRAWINGS. PROVIDE TILE INSTALLATION MATERIALS COMPLYING WITH ANSI STANDARDS REFERENCED IN "SETTING MATERIAL" AND "GROUTING MATERIAL" ARTICLES. ALL CERAMIC TILE TO BE INSTALLED IN THINSET.
- INSTALL CERAMIC TILE IN ACCORDANCE WITH ICA'S "HANDBOOK FOR CERAMIC TILE INSTALLATION" RECOMMENDATIONS FOR THE INSTALLATION REQUIRED.
- PROVIDE 3/4" THICK X 2 1/4" WIDE, SOLID, CLEAR, PLAIN SAWN WOOD STRIP FLOORING TO MATCH EXISTING, WHERE INDICATED ON THE PLANS FOR WOOD. PROVIDE 15# FELT AS A VAPOR BARRIER. DIRECTION AS SOWN ON PLANS. INSTALL, SAND AND FINISH IN ACCORDANCE WITH NATIONAL OAK FLOORING MANUFACTURER ASSOC. INC. REVIEW STAIN COLOR W/ OWNER. PROVIDE TRANSITION STRIP IN SAME SPECIES AND GRADE AS WOOD FLOORING WHERE FLOORING ABUTS DISSIMILAR FLOORING MATERIAL.
- PROVIDE WOOD GRILLS WHERE HVAC SUPPLIES ARE LOCATED IN FLOORS RECEIVING WOOD AND TO BE FLUSH WITH FINISHED FLOOR.
- ALL DRYWALL SURFACES AND PAINTED WOODWORK TO RECEIVE ONE (1) COAT OF PRIMER, TWO (2) FINISH LATEX PAINT COATS.
- STAINED WOODWORK TO RECEIVE ONE (1) COAT STAIN AND TWO (2) COATS VARNISH WITH STEEL WOOL BETWEEN COATS.

DIVISION 15 - MECHANICAL

- CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS, AND EQUIPMENT TO COMPLETE THE DESIGN AND INSTALLATION OF HEATING, COOLING, AND VENTILATING SYSTEMS, INCLUDING BUT NOT LIMITED TO HEATING PLANT DISTRIBUTION, AIR CONDITIONING SYSTEM, HUMIDIFICATION, TEMPERATURE (PROGRAMMABLE THERMOSTATS) AND HUMIDIFICATION CONTROLS. ELECTRONIC AIR CLEANERS, EXHAUST FANS, GAS FIRED EQUIPMENT FLUES AND APPLIANCE VENTS.
- ENTIRE SYSTEM SHALL CONFORM TO APPLICABLE ASHRAE AND SMACNA STANDARDS. CONTRACTOR SHALL CALCULATE HEAT LOSS AND GAIN, SIZE ALL DUCTS AND EQUIPMENT TO GUARANTEE SYSTEM WILL HEAT HOUSE TO 74 DEGREE AT 16 DEGREE TEMPERATURE OUTSIDE TEMPERATURE WITH 15 M.P.H. WINDS AND COOL HOUSE TO 74 DEGREE F AT 95 DEGREE OUTSIDE TEMPERATURE.
- CONTRACTOR TO PROVIDE THE NUMBER, MANUF. AND EFFICIENCY OF FURNACES, A/C COMPRESSOR AND ASSOC. EQUIPMENT REQ'D TO MEET THE MECHANICAL HEATING AND COOLING SPECIFICATIONS AT TIME OF BID SUBMITTAL.
- IF PORTION OF HVAC SYSTEM IS LOCATED OUTSIDE THE BUILDING ENVELOPE, ALL DUCTS, AIR HANDLERS, FILTER BOZES, AND BUILDING CAVITIES USED AS DUCTS SHALL BE SEALED. DUCT TIGHTNESS SHALL BE VERIFIED BY A THIRD PARTY BY EITHER:
 - POST CONSTRUCTION LEAK TEST PROVING THAT LEAKAGE TO OUTDOORS SHALL BE LESS THAN OR EQUAL TO 8CFM PER 100 SF OF CONDITIONED FLOOR AREA OR TOTAL LEAKAGE OF LESS THAN 12 CFM PER 100 SF OF CONDITIONED FLOOR AREA HWNE TESTED AT .1" WATER GRADIENT.
 - ROUGH IN LEAK TEST PROVING THAT LEAKAGE SHALL BE LESS THAN 6CFM PER 100 SF OF CONDITIONED FLOOR AREA INCLUDING THE AIR HANDLER OR 4 CFM PER 100 SF OF CONDITIONED FLOOR AREA WHEN TESTED AT .1" WATER GRADIENT.

- MECHANICAL CONTRACTOR TO REVIEW LAYOUT OF SUPPLY AND RETURN GRILLES WITH ARCHITECT AND OWNER IN FIELD PRIOR TO INSTALLATION.
- PROVIDE COMBUSTION AIR FOR FURNACES AND WATER HEATERS IN ACCORDANCE WITH NFPA 54. INSTALL LOUVERED DOOR OR 2 TRANSFER GRILLS (MIN 100 SQ. IN. EA) WITHIN 12 OF FLOOR AND CEILING
- ALL DOWNSPOUTS TO BE 4" X 10" UNLESS NOTED OTHERWISE. ALL SUPPLY REGISTERS IN WOOD FLOORS TO MATCH SPECIFICATION OF FLOOR, AND TO BE FLUSH WITH WOOD FLOORS.
- ALL SUPPLY, RETURN AND EXHAUST DUCT OPENINGS SHALL BE COVERED WITH SCREENING DURING CONSTRUCTION.
- JOINTS AND SEAMS OF SUPPLY AND RETURN DUCTS TO BE SECURED PROPERLY AND SUBSTANTIALLY AIRTIGHT.
- ALL SHEETS METAL DUCT SYSTEMS TO HAVE SUFFICIENT IN-LINE DAMPERS FOR BALANCING PURPOSES.
- TYPE 'B' FLUES TO BE INSTALLED IN ACCORDANCE WITH THEIR LISTINGS AND MANUFACTURER'S INSTRUCTIONS.
- CHIMNEY OR VENT CONNECTORS SHALL HAVE A RISE OF AT LEAST 1/4" TO THE FOOT OF RUN AND BE SECURELY SUPPORTED.
- ALL GAS LINES TO GAS APPLIANCES SHALL BE RUN BY PLUMBING CONTRACTOR AND PROVIDED WITH A SHUT-OFF VALVE AT THE APPLIANCE.
- HEATING CONTRACTOR TO RUN ALL CONDENSATE LINES TO FLOOR DRAIN.
- SEWER PIPE TO PENETRATE FOUNDATION WALLS SHALL BE DUCTILE IRON OR SCHEDULE 40 PVC PIPE TO EXTEND TO VIRGIN SOIL ON THE EXTERIOR AND 6" CLEAN OUT WITHIN 5'-0" OF FOUNDATION. ALL MISSION COUPLINGS SHALL BE THE NON-SHEAR TYPES.
- PLASTIC (PVC) PIPING FOR WASTE AND VENT AND COPPER WATER SUPPLY PIPING SHALL CONFORM TO LATEST ASTM SPECIFICATIONS FOR RESIDENTIAL USE.
- ABOVE GROUND POTABLE WATER PIPING SHALL BE TYPE L COPPER AND UNDERGROUND POTABLE WATER PIPING SHALL BE TYPE K COPPER.
- PROVIDE CLEANOUTS AT EVERY CHANGE OF DIRECTION AND IN ANY RUN WITH A BEND GREATER THAN 45 DEGREES.
- PROVIDE 12" AIR CHAMBERS AT EACH HOT AND COLD WATER LINE AT EVERY FIXTURE.
- AIR CHAMBERS IN A RISER SHALL BE 24"
- THE FOOTING DRAIN SHALL BE COVERED WITH A MINIMUM OF SIX (6) INCHES OF WASHED GRAVEL (SIZES ONE-INCH TO THREE-FOURTH INCH) TO A POINT NOT LESS THAN THREE(3) INCHES ABOVE THE TOP OF THE FOOTING AND COVERED WITH RESIN
- STACK TEST IS REQUIRED ON ALL WASTE AND VENT PIPING AT THE TIME OF THE ROUGH AND UNDERGROUND INSPECTIONS.
- 75 PSI AIR TEST OR WATER PRESSURE REQ'D ON WATER PIPING AT TIME OF ROUGH INSPECTION.
- 25 PSI AIR TEST REQ'D ON ALL GAS PIPING AT THE TIME OF THE ROUGH.
- ALL EXISTING PLUMBING THAT MAY POSE A HEALTH OR SAFETY HAZARD MUST BE REVISED TO MEET THE ILLINOIS PLUMBING CODE AND LOCAL ORDINANCES.
- FLOOR DRAIN TRAPS AND DRAINS, INSTALLED BELOW A CONCRETE FLOOR OR UNDERGROUND SHALL NOT BE LESS THAN FOUR (4) INCHES IN DIAMETER.
- ALL TRAP AND P-TRAPS, WHIRLPOL, OR SINKING TUB SHALL BE 2"
- A 3" FULL SIZE STACK IS REQ'D FOR ALL WATER CLOSETS UNLESS REVENTED BACK TO MAIN FULL SIZE STACK WITHIN TWENTY FEET.
- ALL FLOOR DRAINS MUST BE VENTED A MINIMUM OF 2".
- ALL RETURNS SHALL BE DUCTED, USE OF WALL CAVITY FOR RETURN AIR PROHIBITED.
- ALL EXHAUST FANS SHALL RUN TO EXTERIOR AIR, VENTING TO WITHIN ONE(1) FOOT OF ROOF VENT WITH TRAP IS NOT PERMITTED.
- DRYER TO BE VENTED DIRECTLY TO EXTERIOR AND PROVIDED WITH BACK DRAFT DAMPERS.
- ALL EQUIPMENT AND APPLIANCES, INCLUDING THE AIR CONDITIONER, WATER HEATER AND FURNACE, SHALL BE INSTALLED IN ACCORDANCE WITH THEIR LISTINGS AND THE MANUFACTURER'S INSTRUCTIONS. A COPY OF THE MANUFACTURER'S INSTALLATION INSTRUCTIONS MUST BE PROVIDED ON SITE AT THE TIME OF INSPECTION.
- HVAC SYSTEM SHALL BE CONTROLLED BY A PROGRAMMABLE THERMOSTAT.
- WATER SERVICE FROM MAIN TO BUILDING TO BE INSTALLED BY A LICENSED PLUMBER.
- NEW FURNACE ROOM TO HAVE FLOOR DRAIN AND SINGLE SPRINKLER HEAD IF REQ'D BY LOCAL CODE.

DIVISION 16 - ELECTRICAL

- ELECTRIC PANEL AMPERAGE SHALL BE NOTED ON MEP FLOOR PLANS.
- ALL EQUIPMENT INSTALLED OUTDOORS SHALL BE WEATHER PROOF.
- ALL WP RECEPTACLES SHALL BE WEATHER-PROOF AND HAVE GROUND FAULT INTERRUPTER.
- ALL INTERIOR RECEPTACLES SHALL BE OF THE GROUNDED TYPE.
- ALL OUTLETS DESIGNATED TO BE GFI ARE TO BE U.L. LISTED FOR OUTLETS, NOT STANDARD OUTLETS CONNECTED TO A GFI CIRCUIT. GFI CIRCUITS MAY ONLY BE USED FOR THOSE THOSE DIRECT-WIRED APPLIANCES AND FIXTURES THAT REQUIRE GFI PROTECTION.
- VERIFY MOUNTING HEIGHT OF ELECTRICAL DEVICES AT WALLS IN FIELD WITH OWNER AND ARCHITECT. COORDINATE LOCATIONS OF ALL ELECTRICAL DEVICES, INCLUDING RECESSED LIGHT FIXTURES, WITH OWNER AND ARCHITECT IN FIELD PRIOR TO INSTALLATION OF CONDUIT.
- ALL DIRECTLY CONNECTED HVAC AND KITCHEN APPLIANCES TO BE DIRECT WIRED BY ELECTRICIAN.
- CONTRACTOR SHALL VERIFY POWER REQUIREMENTS FOR ALL APPLIANCES IN FIELD PRIOR TO WIRING.
- ALL RECESSED ELECTRICAL FIXTURES SHALL BE LOCATED A MINIMUM OF 2" FROM ANY SURROUNDING WOOD.
- RECESSED FIXTURES INSTALLED IN INSULATED CEILINGS TO BE "IC" TYPE.
- EXERCISE CARE WITH CONDUIT AND ELECTRIC BOX WHEN SWITCHES OR RECEPTACLES ARE AT POCKET DOOR LOCATIONS TO INSURE DOOR DOES NOT SCRAPE AGAINST CONDUIT OR ELECTRIC BOX.
- AT LEAST 90% OF THE LAMPS IN THE PERMANENTLY INSTALLED LIGHT FIXTURES MUST BE HIGH EFFICIENCY BULBS
- ALL TELEPHONE WIRING SHALL BE "HOME-RUN". ALL WIRING SHALL BE CATEGORY 5/ TWISTED PAIR.
- CLOSET INCANDESCENT FIXTURES MUST BE MOUNTED A MINIMUM OF TWELVE (12)" INCHES AWAY FROM THE NEAREST POINT OF STORAGE. RECESSED INCANDESCENT, RECESSED FLUORESCENT AND SURFACE MOUNTED FLUORESCENT FIXTURES MUST BE MOUNTED A MINIMUM OF SIX (6)" INCHES AWAY FROM THE NEAREST POINT OF STORAGE. LIGHT FIXTURES IN CLOSETS MUST HAVE A COMPLETELY ENCLOSED LAMP. ELECTRICAL DEVICES SUCH AS RECEPTACLES, SWITCHES AND JACKS SHALL BE VERIFIED WITH OWNER.
- EXHAUST FANLIGHTS SHALL BE BROAN OR EQUAL. VERIFY W/ OWNER.
- PROVIDE SMOKE DETECTORS PER CODE. ALL DETECTORS TO BE INTERCONNECTED.
- RECESSED CAN LIGHT FIXTURES AT DAMP LOCATIONS SHALL BE WATERPROOF (VERIFY STYLE W/ OWNER)
- ALL BRANCH CIRCUITS THAT SUPPLY 125 VOLTS, SINGLE PHASE, 15 AND 20 AMPERE OUTLETS INSTALLED IN DWELLING UNIT BEDROOMS, FAMILY ROOM, DINING ROOM, LIVING ROOM, LIBRARY, DEN, SUNROOM, GREAT ROOM, CLOSET, HALLWAY OR SIMILAR ARE OUTLETS SHALL BE PROTECTED BY AN ARC-FAULT CIRCUIT INTERRUPTER LISTED TO PROVIDE PROTECTION OF THE ENTIRE BRACH CIRCUIT
- ALL EQUIPMENT SHALL BE U.L. APPROVED OR ANY OTHER NATIONALLY RECOGNIZED TESTING COMPANY.
- ALL RECEPTACLES SHALL BE GROUNDED AS REQUIRED BY ARTICLE 250-146
- COUNTERTOP RECEPTACLES ARE TO BE INSTALLED SO NO POINT ALONG THE WALL LINE IS MORE THAN TWENTY-FOUR (24) INCHES FROM A RECEPTACLE OUTLET.
- COUNTERTOPS TWELVE INCHES (12") OR LARGER REQUIRE A RECEPTACLE.
- ALL OUTSIDE LIGHTS SHALL BE U.L. APPROVED FOR WET OR DAMP LOCATIONS AS REQUIRED BY SECTION 410.4.
- INSTALL WALL RECEPTACLES SO THAT NO POINT ALONG THE FLOOR LINE IN ANY WALL SPACE IS MORE THAN 6 FEET MEASURED HORIZONTALLY FROM AN OUTLET IN THAT SPACE. (ARTICLE 210.52(A)(1))
- TAMPER RESISTANT RECEPTACLES ARE REQUIRED.
- ALL CEILING OUTLET ELECTRICAL BOXES SHALL BE CAPABLE OF SUPPORTING CEILING FANS.

Attachment: Current approved building permit plans (463 S Warren Ave - VAR Suback)



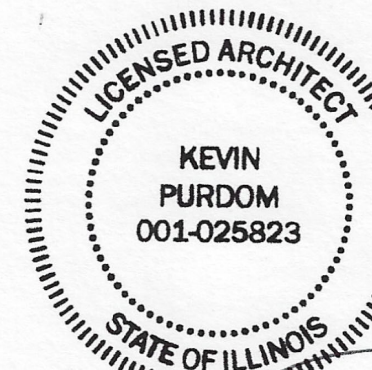
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ADDITION TO THE LOTZER RESIDENCE

463 S WARREN AVENUE
PALATINE, IL 60074

DATE	
01/14/2025	
ISSUE DATE	
01/08/2025	1 - PERMIT
01/14/2025	2 - PERMIT COMMENTS

KEVIN PURDOM, ARCHITECT
1275 E DAVIS ST. ARLINGTON HEIGHTS, IL 600C
PHONE: (847)255-2322
EMAIL: KEVINJRCDB@GMAIL.COM
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DIRECTION AND THAT TO THE BEST OF MY
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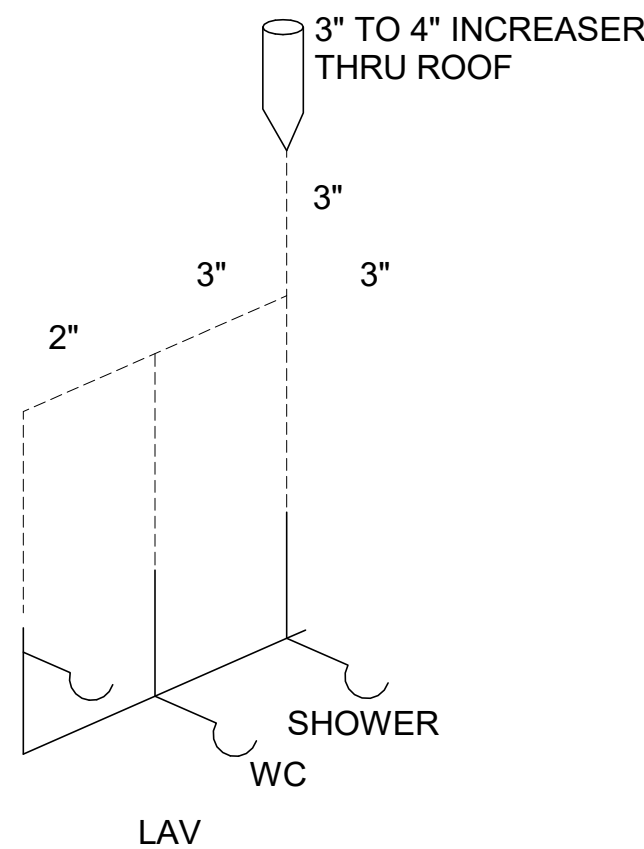
CERT NO. 001.025823 DATE: 01/14/2025
EXP. 11/30/2026

SHEET TITLE
MEP PLANS

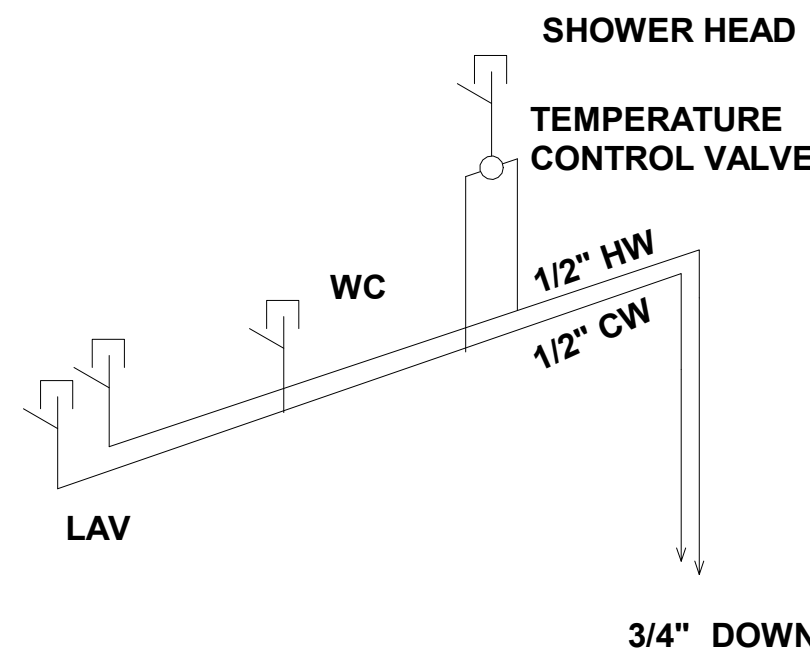
SHEET NUMBER

MEP1

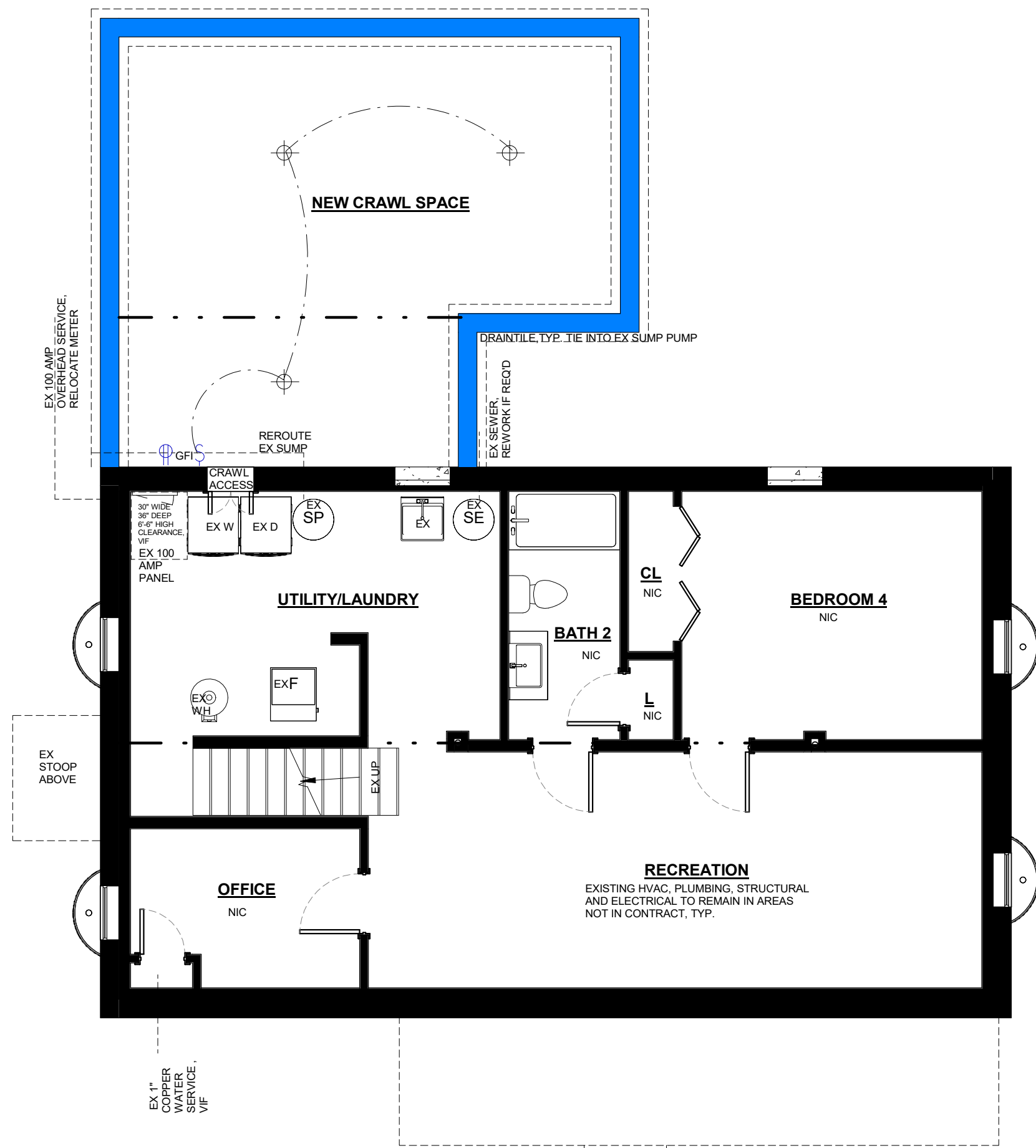
WATER SUPPLY AND WASTE DIAGRAMS - NTS



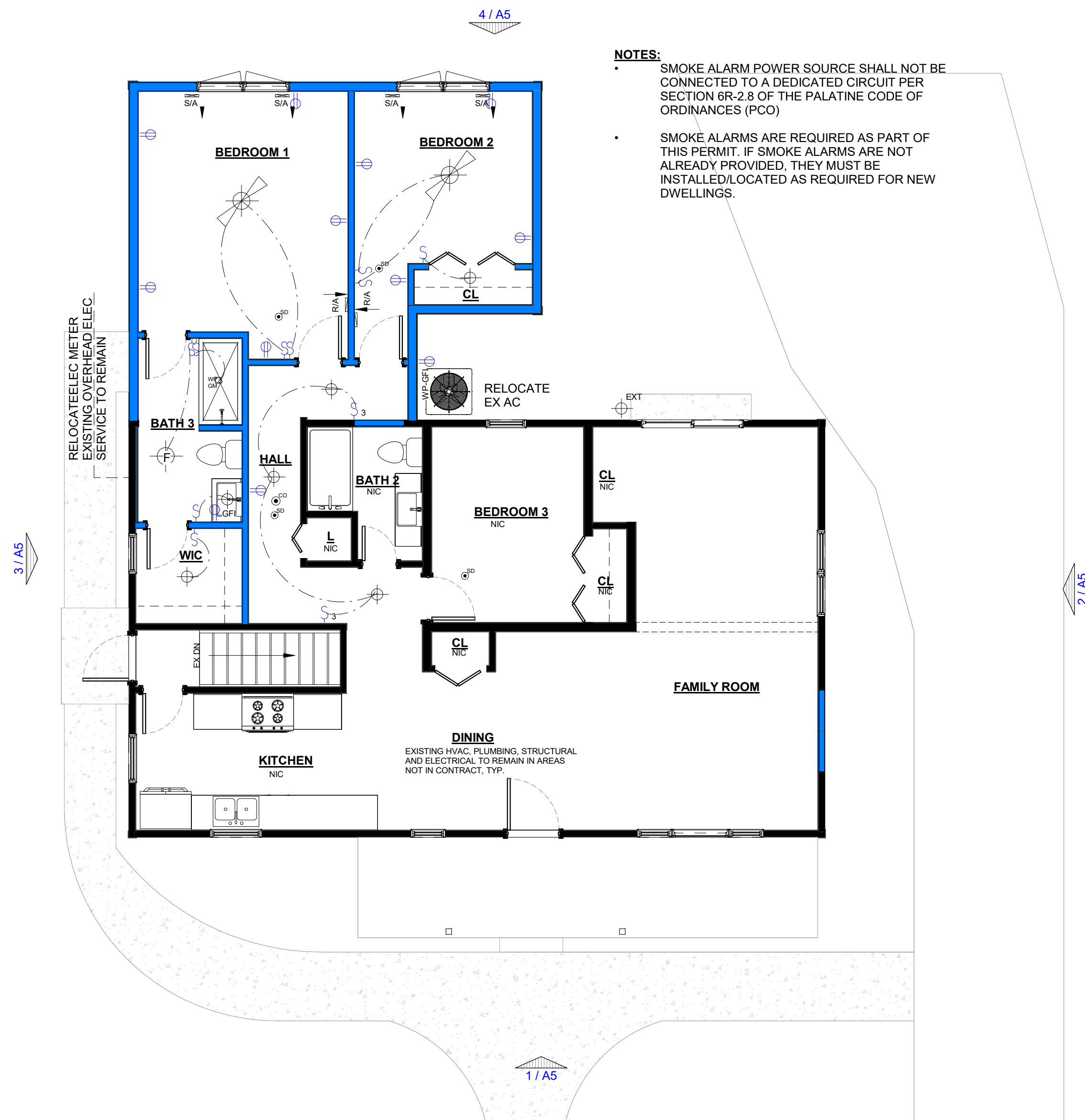
1ST NEW BATH WASTE & VENT DIAGRAM
N.T.S.
NEW WASTE & VENT PIPING TO BE PVC SCHEDULE 40.



1ST FLOOR NEW BATH WATER PIPING DIAGRAM
N.T.S.
ALL SUPPLY PIPING TO BE COPPER TYPE "L"



1 BASEMENT - MEP PLAN
MEP1 3/16" = 1'-0"



2 FIRST FLOOR - MEP PLAN
MEP1 3/16" = 1'-0"

ELECTRICAL LAYOUT LEGEND

	GARBAGE DISPOSAL		SWITCHED OUTLET		110V SMOKE DETECTOR INTERCONNECTED W/ BATTERY BACKUP
	GFCI PROTECTED OUTLET		JUNCTION BOX		110 V COMBO C.O. DETECTOR INTERCONNECTED W/ BATTERY BACK-UP
	WATERPROOF		SINGLE SWITCH (D = DIMMER, T = TIMER)		HOOD
	WET LOCATION -WATERPROOF GFCI W/ "WHILE IN USE" COVER		USB OUTLET		MICROWAVE
	DIMMER		RECESSED LIGHT FIXTURE (IC RATED)		UNDER-CABINET LIGHT
	PULL CHAIN		PENDANT LIGHT		WALL MOUNTED FIXTURE
	JAMB SWITCH		CABINET PUCK LIGHT		DISCONNECT
	DISHWASHER		SURFACE MOUNTED LIGHT		EXISTING RECESSED CAN LIGHT
	REFRIGERATOR		CEILING MOUNTED LIGHT FIXTURE (EXTERIOR GRADE)		EXISTING JUNCTION BOX
	DUPLEX RECEPTABLE - 220V		CEILING FIXTURE W/ FAN APPROVED JUNCTION BOX		
	DUPLEX POWER OUTLET		DOOR BELL		

ELECTRIC NOTES:

- ALL RECEPTACLES IN BEDROOMS TO BE ARC-FAULT INTERRUPTER (AFCI) TYPE
- LIGHT IN SHOWERS TO BE LISTED FOR WET LOCATIONS
- OUTLET BOXES SUPPORTING CEILING FANS LESS THAN 70 LBS. BUT MORE THAN 35 LBS. SHALL BE MARKED WITH MAX. WEIGHT TO BE SUPPORTED PER ART. 314.27 (C) OF THE 2017 NEC.
- RECEPTACLE RATING FOR A 20-AMP CIRCUIT SHALL BE 20 AMPS PER SECTION 6-4.1 OF THE PALATINE CODE OF ORDINANCES

PLUMBING LEGEND

	FROST PROOF HOSE BIBB W/ VACUUM BREAKER PROTECTION
	GAS VALVE

MECHANICAL LEGEND

	FAN / CEILING FIXTURE
	EXHAUST FAN
	PROGRAMMABLE THERMOSTAT
	HI/LOW RETURN AIR GRILLE
	SUPPLY REGISTER

PLUMBING FIXTURE SCHEDULE

FIXTURE	MANUF/MODEL	QUANTITY	WSFU PER	WSFU
LAVATORY (LAV)		3	1	3
WATER CLOSET (WC)		3	3	9
TUB (W/P)		2	2	4
SHOWER (SHOW-1)		1	2	2
KITCHEN SINK (K SINK)		1	2	2
WASHER/DRYER (W/D)		1	2	2
LAUNDRY TUB (UTIL)		1	3	3
DISHWASHER (DW)		1	1	1
TOTAL FIXTURES		13	--	26

PER ILLINOIS PLUMBING CODE 1" DIAMETER WATER SERVICE IS REQUIRED.
EX 1" COPPER TO BE SUFFICIENT FOR UPGRADES.

- ALL COPPER VENT / WASTE PIPE TO BE 'M' TYPE
- ALL COPPER ABOVE GROUND TO BE 'L' TYPE
- ALL COPPER BELOW GROUND TO BE 'K' TYPE
- ALL COPPER FITTINGS TO BE FORGED WITH NO LEAD SOLDER FLUX.
- ALL PVC TO BE SCH. 40 TO MEET CODE
- ALL PVC FITTINGS TO BE DMV WITH PURPLE PRIMER AND CLEAR PVC CEMENT
- 24" AIR CHAMBERS ON ALL MAIN WATER RISERS.
- 12" AIR CHAMBERS ON ALL FIXTURES
- SHUT OFF STOPS ON ALL FIXTURES.

TOTAL W.S.F.U.	PIPE SIZE	METER SIZE
1-19	3/4"	3/4"
20-29	1"	3/4"
30-34	1"	1"
35-59	1 1/2"	1"
60-99	1 1/2"	1 1/2"
100-119	2"	1 1/2"
120-249	2"	2"



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LOTZER RESIDENCE
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PALATINE, IL 60074

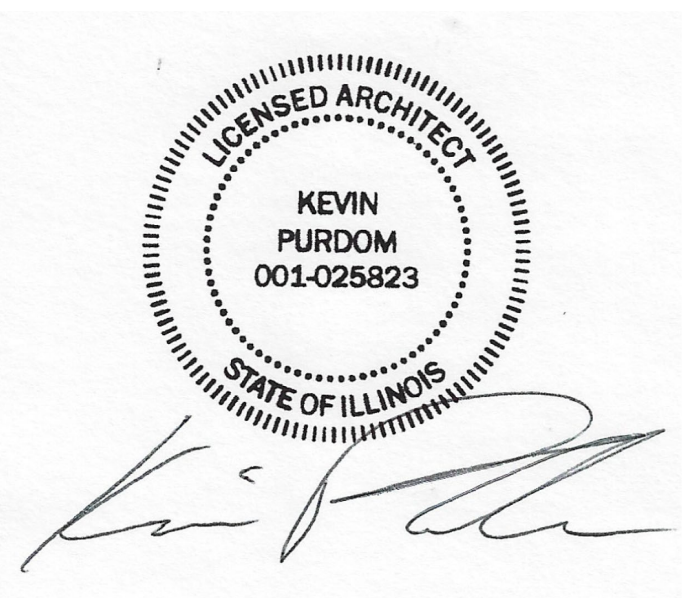
DATE

01/08/2025

ISSUE DATE	
01/08/2025	1 - PERMIT

KEVIN PURDOM, ARCHITECT

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CERT NO. 001.025823 DATE: 01/08/2025
EXP. 11/30/2026

SHEET TITLE
3D VIEWS

SHEET NUMBER

3D



EXISTING REAR RENDERING - FOR DESIGN PURPOSED ONLY



PROPOSED REAR RENDERING - FOR DESIGN PURPOSED ONLY

NOTE: THESE RENDERINGS ARE NOT INDICATIVE OF FINAL FINISHES AND COLORS. FOR VISUAL DESIGN REPRESENTATION ONLY, VERIFY WITH OWNER FINAL SELECTIONS

Attachment: Current approved building permit plans (463 S Warren Ave - VAR Setback)

CERTIFICATE OF PUBLICATION

DES PLAINES JOURNAL, INC., a corporation organized and existing under and by virtue of the laws of the State of Illinois, does hereby CERTIFY that it is the publisher of the:

Journal & Topics Newspapers
AKA Des Plaines Journal, Inc.
622 Graceland Ave.
Des Plaines, IL 60016-4556

and that said newspaper(s) is a secular newspaper of general circulation and has been published weekly in the

(Village) (Town) (City) (Township) of PALATINE 463 S. WARREN AVE.



County of COOK

and State of Illinois, continuously for more than one year prior to date of the first publication of the notice attached hereto, and that said newspaper(s) complies with the requirements of Paragraphs 5 and 10, Chapter 100, of the Illinois Revised Statutes.

Further, that the notice, of which the attached is a true copy, was published ONE times in the said newspaper(s), namely once each week for ONE successive week(s) and that the first publication of said notice was made on the 22ND day of MAY, A.D. 2025, and the last publication thereof was made on the 22ND day of MAY, A.D. 2025.

Your Legal appeared in
the following Journal & Topics
Newspapers
(Des Plaines Journal, Inc.)

- ☐ Des Plaines Journal
- ☐ Elk Grove Village Journal
- ☐ Mt. Prospect Journal
- ☐ Niles Journal
- ☐ Park Ridge-Golf Mill Journal
- ☐ Prospect Heights Journal
- ☐ Rosemont Journal
- ☐ Arlington Heights Topics
- ☐ Buffalo Grove Topics
- ☒ Palatine Topics
- ☐ Rolling Meadows Topics
- ☐ Wheeling Topics
- ☐ Suburban Journal
- ☐ Northwest Journal
- ☐ Glenview Journal



Mary Alice Wenzl

IN WITNESS WHEREOF, THE **DES PLAINES JOURNAL, INC.**, has caused this certificate to be signed and its corporate seal affixed hereto at Des Plaines, Illinois this 22ND day of MAY, A.D., 2025.

By Todd Wenzel

President

Title of Corporate Officer

County of Cook
State of Illinois

Subscribed and sworn to before me this 22ND day of MAY, A.D., 2025.

My commission expires the 15TH day of JULY, A.D., 2025.

Attachment: Public Notice (463 S Warren Ave - VAR Setback)

PUBLIC NOTICE

A Public Hearing will be held before the Village of Palatine Planning and Zoning Commission on Tuesday June 10, 2025 at 7 PM, in the Village Council Chambers in Palatine Village Hall, 200 E. Wood Street, relative to a request for the following:

Variation to permit the principal structure to be set back 6 feet from the existing accessory structure, instead of the minimum required 10 feet.

The property is commonly known as 463 S. Warren Avenue.

The Petitioner is constructing an addition to the principal structure, which is approximately 6 feet from existing detached garage.

The above petition has been filed by Brad Lotzer, and is available for examination in the office of the Village Clerk, 200 E. Wood Street.

FILE #: VAR-000180-2025 VILLAGE OF PALATINE

Jan Wood, Chair
Palatine Planning and Zoning Commission

DATED: This 22nd day of May 2025

Attachment: Public Notice (463 S Warren Ave - VAR Setback)

VILLAGE OF PALATINE
Planning and Zoning Commission

SCHEDULED 06/10/25 07:00 PM

STAFF REPORT (ID # 9881)

341 W. Northwest Highway - Special Use Amendment

TO: Palatine Planning and Zoning Commission
Jan Wood, Chair

FROM: R. Auer

PETITIONER: Jason Carey, Greater Family Health

PLAN NUMBER: SU-000177-2025

BACKGROUND:

The Subject Property is zoned "B-2", General Business District and the Subject Tenant Space is approximately 2,300 square feet and currently vacant. Its previous use was a cosmetology school. The petitioner represents the medical office use adjacent to the subject tenant space located at 345 W. Northwest Highway. The petitioner is seeking approval for a Special Use Amendment (amending Ord. O-60-21) to expand the existing medical office into the subject property. Therefore, the Petitioner is requesting the following:

**Special use amendment to permit a medical office use expansion
at the subject property.**

Surrounding Zoning/Uses:

North:	Planned Development District (Palatine Vision Center Medical Office)
South:	Manufacturing District (ComEd Utility property)
East:	Manufacturing District (ComEd Utility property)
West:	Planned Development District (Hidden Prairie Subdivision)

KEY ISSUES:

- The existing medical office at 345 Northwest Highway was granted Special Use approval in June 2021.
- Following the incorporation of the subject property, the total area of the medical office is projected at 7,600 square feet. The existing medical office space is approximately 5,300 square feet in area.
- This floor plan expansion increases existing services, and does not introduce any new services. Existing hours of operation will remain between 8:00am - 7:30pm

Monday through Sunday.

- The business plan submitted by the applicant describes the increase in staffing alongside the expansion. The expansion will immediately raise the number of staff by five (full-time employees) to a total of 22. As operations adapt to the increased capacity, the petitioner foresees a maximum of 27 staff.
- Palatine, IL parking regulations require that business uses provide one parking space for every 300 square feet of gross floor area. At 7,600 square feet, the number of required parking spaces for the proposed medical office is 29. The Stevens Pointe center contains 158 standard parking spaces - exceeding a minimum parking requirement of 110 spaces.
- Staff visited the site across multiple dates and times to survey parking conditions. During each visit, many parking spaces across the Stevens Pointe commercial development were vacant/available.
- With the provided spaces exceeding the required number, and the abundance of parking during site review, Staff does not anticipate the proposal creating negative parking impacts.

STANDARDS FOR SPECIAL USE: Since this Petition is not for a use publicly operated or traditionally affected with the public interest, those standards under Section 14.05 D (2) and (3) are applicable. Specifically, the Petitioners must show that the Special Use, if granted, is so designed, located, and proposed to be operated that the public health, safety, and welfare will be protected and will not cause substantial injury to the value of other property in the neighborhood in which it is located.

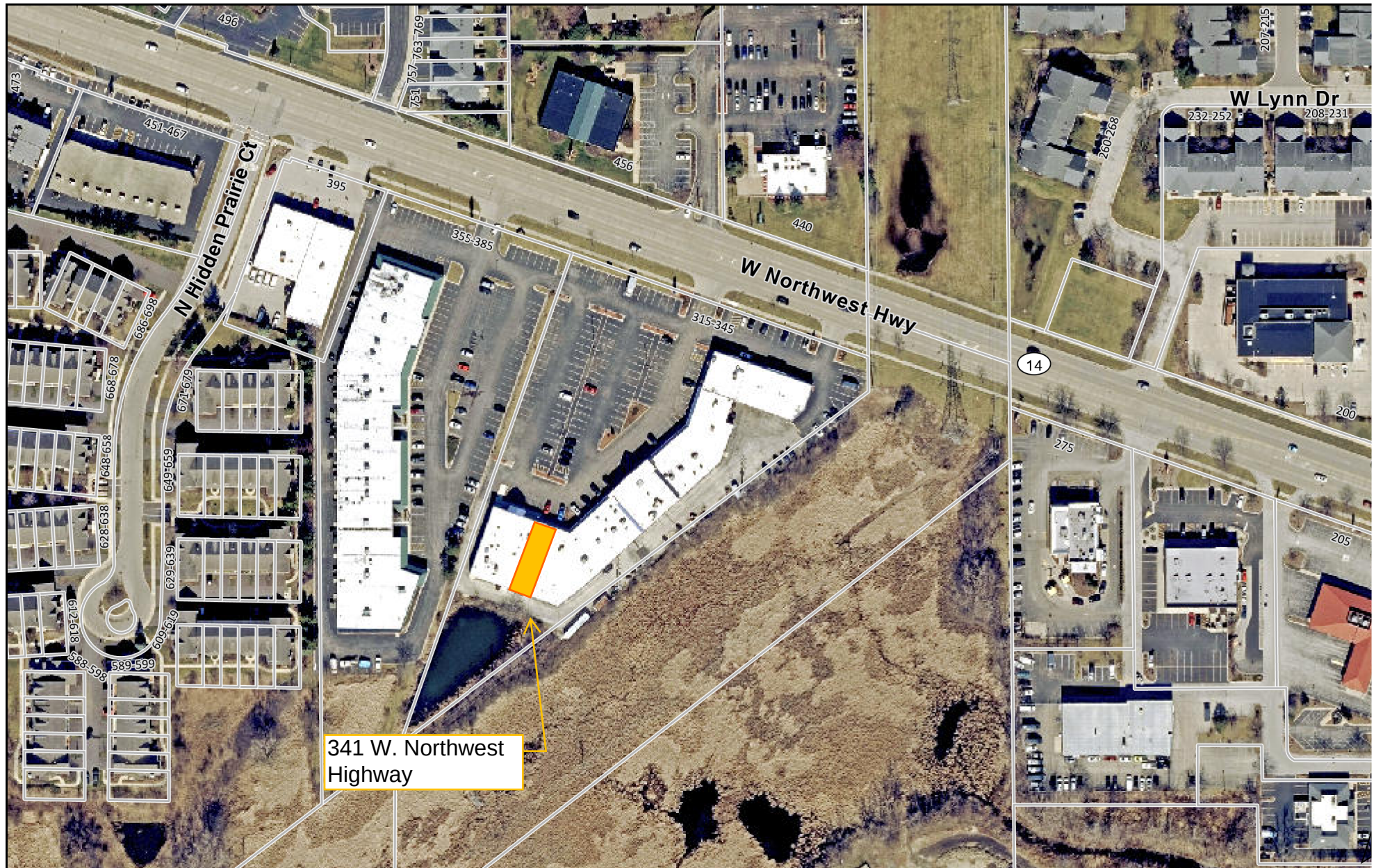
STAFF RECOMMENDATION:

The proposed medical office will occupy a vacant tenant space and is located within a zoning district that permits medical office uses via special use approval. The existing medical office business has no history of parking issues or code enforcement. Last, the shopping center parking lot exceeds its minimum parking space requirements. Staff does not anticipate unfavorable parking conditions as the medical use expands. Therefore, Staff recommends approval of the Special Use Amendment subject to the following condition(s):

1. The Special Use shall substantially conform to the floor plan prepared by Sharp Architects, Inc., and the business plan submitted by the Jason Carey, Petitioner (Greater Family Health), on 05/12/25, except as such plan may be changed to conform to Village Codes and Ordinances.

ATTACHMENTS:

- Aerial Map
- Application
- Proposed Floor Plan
- Business Plan
- Existing Special Use Ordinance - Medical Use at 345 W. Northwest Highway
- Plat of Survey
- Public Notice



0 300 600
ft

Print Date: 6/3/2025

Notes

Disclaimer: The GIS Consortium and MGP Inc. are not liable for any use, misuse, modification or disclosure of any map provided under applicable law. This map is for general information purposes only. Although the information is believed to be generally accurate, errors may exist and the user should independently confirm for accuracy. The map does not constitute a regulatory determination and is not a base for engineering design. A Registered Land Surveyor should be consulted to determine precise location boundaries on the ground.



SPECIAL USE APPLICATION

Department of Planning & Zoning

200 E. Wood Street • Palatine, IL • 60067-5339
Telephone: (847) 359-9047 • Fax (847) 963-6247

Petitioner Name

Jason Carey

Business Name (if applicable)

Greater Family Health, LLC

Subject Property Address

341 W NORTHWEST HWY Palatine, IL 60067

Please provide a description of your proposed request:

Greater Family Health is proposing to expand our operations at 345 W. Northwest Hwy by expanding and consuming the leasehold immediately adjacent at 341 W. Northwest Hwy. The additional space will be incorporated into our existing Health Center location allowing for an increase in medical services in the specialties of family medicine, pediatrics, obstetrics & gynecology and substance use disorder through medication assisted treatment.

Petitioner Justification

Special Uses shall not be granted except on findings based upon the evidence in each specific case. Please address the following standards as these will be used in considering the specific relief you are seeking.

That use deemed necessary for the public convenience at that location. Explain:

Greater Family Health provides quality affordable health care to individuals at or below 200% of the Federal Poverty Level. Currently, since opening in March 2022, we have experienced strong demand for quality affordable services and have fully maximized the care capacity at our existing location. Have this additional space will allow for more individuals to access care in Palatine as opposed to a location that is not convenient to the patient.

The use is designed, located, and proposed to be operated that the public health, safety, welfare will be protected. Explain:

Greater Family Health is a Joint Commission-accredited and Primary Care Medical Home certified entity. As such, we are held to the highest quality and patient safety standards available for healthcare provision. We currently operate 9 full-time health center locations in various communities in the northwest suburbs of Chicago. Public health and safety are key components to our care philosophy. In 2024, Greater Family Health received 5 national awards provided by the Department of Health and Human Services and Health Resources Services Administration. Included in these awards was the National Health Center quality

The use will not cause substantial injury to nearby property values. Explain:

As stated above, Greater Family Health operates 9 full time health center locations in various communities including at 345 W. Northwest Hwy., Palatine, IL 60067 since March 2022. There has not been any evidence of substantial injury to property values as a result of our Health Center activities.

Attachment: Application (341 W. Northwest Highway - Special Use Amendment Medical Office)

In order to supplement the above standards, the Planning and Zoning Commission may also consider the following:

With respect to front yard fencing and fencing in a rear yard/side yard abutting a street, the following additional standards must be met:

a. Will meet the following aesthetic criteria:

- i. Will not destroy existing vistas in the area;
- ii. Will enhance the appearance of the homes and the streets in the area; and
- iii. Will not detract from the overall appearance of the community; or

b. The fencing is found to be necessary to protect private property or the safety of the inhabitants of the property.

This improvement is aligned with the above regulations.

A2

REVISED CONCEPT PLAN

PALATINE COMMUNITY HEALTH CENTER - EXPANSION

345 W. NORTHWEST HWY, PALATINE, ILLINOIS

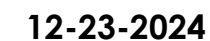
■ SHARP ARCHITECTS INC. ■ 125. N. FIRST STREET, SUITE D ■ DEKALB, IL 60115 ■ 815-517-1050 ■ WWW.SHARPPARCHITECTSINC.COM ■



Attachment: Proposed Floor Plan (341 W. Northwest Highway - Special Use Amendment Medical Office)

12-23-2024

GREATER FAMILY HEALTH



Greater Family Health Village of Palatine – Special Use Application Business Plan/Project Description Expansion into 341 W. Northwest Hwy. , Palatine, IL 60067

Greater Family Health is a non-profit, Joint Commission accredited, Federally Qualified Health Center. Founded and incorporated in 1998, Greater Family Health has been a section 330 Grantee since 2002 and has been accredited by the Joint Commission since 2007. Our mission continues to be **to provide quality affordable health care for all, including those without the ability to pay.**

Greater Family Health provides comprehensive health care at various locations in the western and northwestern suburbs of Chicago including 9 full-time Health Centers and 2 part-time service sites. Through these sites, in calendar year 2024, Greater Family Health provided care to 75,795 patients through 241,491 completed visits.

Our location at 345 W. Northwest Hwy within the Stevens Point Center in Palatine, IL opened in March 2022. This Health Center has experienced very strong patient demand, and we have already maximized our care capacity. For the 12-month period of May 1, 2024 through April 30, 2025, this location provided care to 6,527 patients through 16,310 completed appointments.

Greater Family Health is proposing to expand our Palatine location to continue to meet the community demand for quality, affordable healthcare. We currently have an active lease amendment to consume the space immediately adjacent to our location, 341 W. Northwest Hwy, which would provide an additional 2,300 sq ft and thus our total combined new leasehold would be 8,600 sq ft (5,300 existing + 2,300 additional). The lease amendment is included as part of our application. Also enclosed with our application, you will find a space concept plan of what the combined Health Center would look like along with a demo plan which shows the current layout of the two existing spaces.

Because of the expansion, the Health Center will now have the following characteristics;

- Larger waiting room and 1 additional reception check-in workstation
- Larger outside lab room to accommodate 2 phlebotomists
- 4 additional medical examination rooms for a total of 12
- A second clinical charting area to accommodate the additional care team members
- 1 additional office for our Care Manager to meet with patients to help support completion of their treatment plan
- A larger meeting room to accommodate staff training and departmental meetings

Operationally, our expanded location at 341-345 W. Northwest Hwy will maintain our current operating hours and be open 64 hours each week: from 8:00 am – 7:30 pm Monday – Thursday, and from 8:00 am – 5:00 pm Friday and Saturday. We will

continue to provide care in the specialties of family medicine, pediatrics, obstetrics & gynecology, mental health and substance use disorder through medication assisted treatment. Based on our historical care volume, we believe that at least 2,000 additional patients will receive care as a result of our expansion. Currently, we provide approximately 52 visits per day. We anticipate that this will increase to about 80 per day because of our additional care capacity once the space is fully operational with full patient demand.

Currently, this location has approximately 17 employees working concurrently. We propose to initially add 2.0 FTE Medical Practitioners. To assist these practitioners in care provision, we will employ 2.0 FTE Certified Medical/Nursing Assistants. Greater Family Health is also proposing to hire 1.0 FTE additional Receptionist. Therefore, the total concurrent staff will be 22 upon the opening of the additional space. Once fully operational, we anticipate the total concurrent employee count will be capped at 27.

In summary, our proposed expansion project will further increase access to quality, affordable primary health care services, improve health outcomes and reduce health disparities. Additional residents will have ready access to the full range of primary, preventive and enabling health care services.

ORDINANCE NO. O-60-21

**AN ORDINANCE GRANTING A SPECIAL USE TO PERMIT A
MEDICAL OFFICE AT 345 W. NORTHWEST HIGHWAY**

Published in pamphlet form by authority of the
Mayor and Village Council of the Village of Palatine
on June 21, 2021

ORDINANCE NO. 0-60-21

**AN ORDINANCE GRANTING A SPECIAL USE TO PERMIT
A MEDICAL OFFICE AT 345 W. NORTHWEST HIGHWAY**

WHEREAS, pursuant to a petition and public hearing on June 8, 2021, of which public notice was given as required by law, the Zoning Board of Appeals of the Village of Palatine, in accordance with the Zoning Ordinance of the Village of Palatine, in such case made and provided, has held such public hearing and reported their findings relative to a request for a Special Use to permit a medical office pursuant to Section 11.03 (d) (42) of the Palatine Zoning Ordinance, on the following legally described property:

LOT 2 IN KUNTZE'S FIRST INDUSTRIAL ADDITION TO PALATINE, A SUBDIVISION OF PART OF THE NORTHWEST QUARTER AND PART OF THE NORTHEAST QUARTER OF SECTION 15, TOWNSHIP 42 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN IN COOK COUNTY, ILLINOIS.

commonly known as 345 W. Northwest Highway (02-15-200-012-0000)

NOW, THEREFORE, BE IT ORDAINED, by the Mayor and Village Council of the Village of Palatine, Cook County, Illinois, acting in the exercise of their home rule power that:

SECTION 1: A Special Use to permit a medical office pursuant to Section 11.03 (d) (42) of the Palatine Zoning Ordinance, is hereby granted, subject to the following condition(s):

1. The Special Use shall substantially conform to the floor plan prepared by Sharp Architects, Inc., and the business plan submitted by the Jason Carey Petitioner (previously Greater Elgin Family Health Center, now Greater Family Health), on 4/19/21, except as such plan may be changed to conform to Village Codes and Ordinances.

SECTION 2: That a copy of the public notice and the report of the hearing be attached hereto and form a part of this ordinance.

SECTION 3: That this ordinance shall be in full force and effect from and after its passage and approval as provided by law.

PASSED: This 21 day of June, 2021

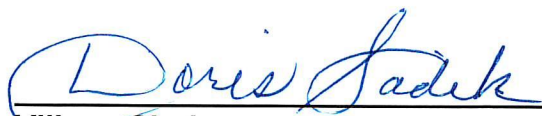
AYES: 5 NAYS: 0 ABSENT: 1 PASS: 0

APPROVED by me this 21 day of June, 2021



Mayor of the Village of Palatine

ATTESTED and FILED in the office of the Village Clerk this
21 day of June, 2021



Village Clerk

Greater Elgin Family Care Center Village of Palatine – Special Use Application Business Plan/Project Description

Greater Elgin Family Care Center (GEFCC) is a non-profit, Joint Commission accredited, Federally Qualified Health Center headquartered in Elgin, IL. Founded and incorporated in 1998, GEFCC has been a section 330 Grantee since 2002, and has been accredited by the Joint Commission since 2007. Our mission is to provide quality affordable health care for all, including those without the ability to pay.

Greater Elgin Family Care Center provides comprehensive health care at various locations in the western and northwestern suburbs of Chicago including seven (7) full-time Health Centers and two (2) part-time service sites. Through these sites, in calendar year 2020, GEFCC provided care to 60,695 patients through 166,015 completed visits.

Greater Elgin Family Care Center is proposing to operate a full-time Health Center location at 345 W. Northwest Highway within the Stevens Point Center in Palatine, IL. GEFCC and the property owner has completed a signed Letter of Intent (LOI) to lease, which is attached for your reference. Furthermore, we are actively working with to finalize the components of the actual lease document pending the decision of this special use application.

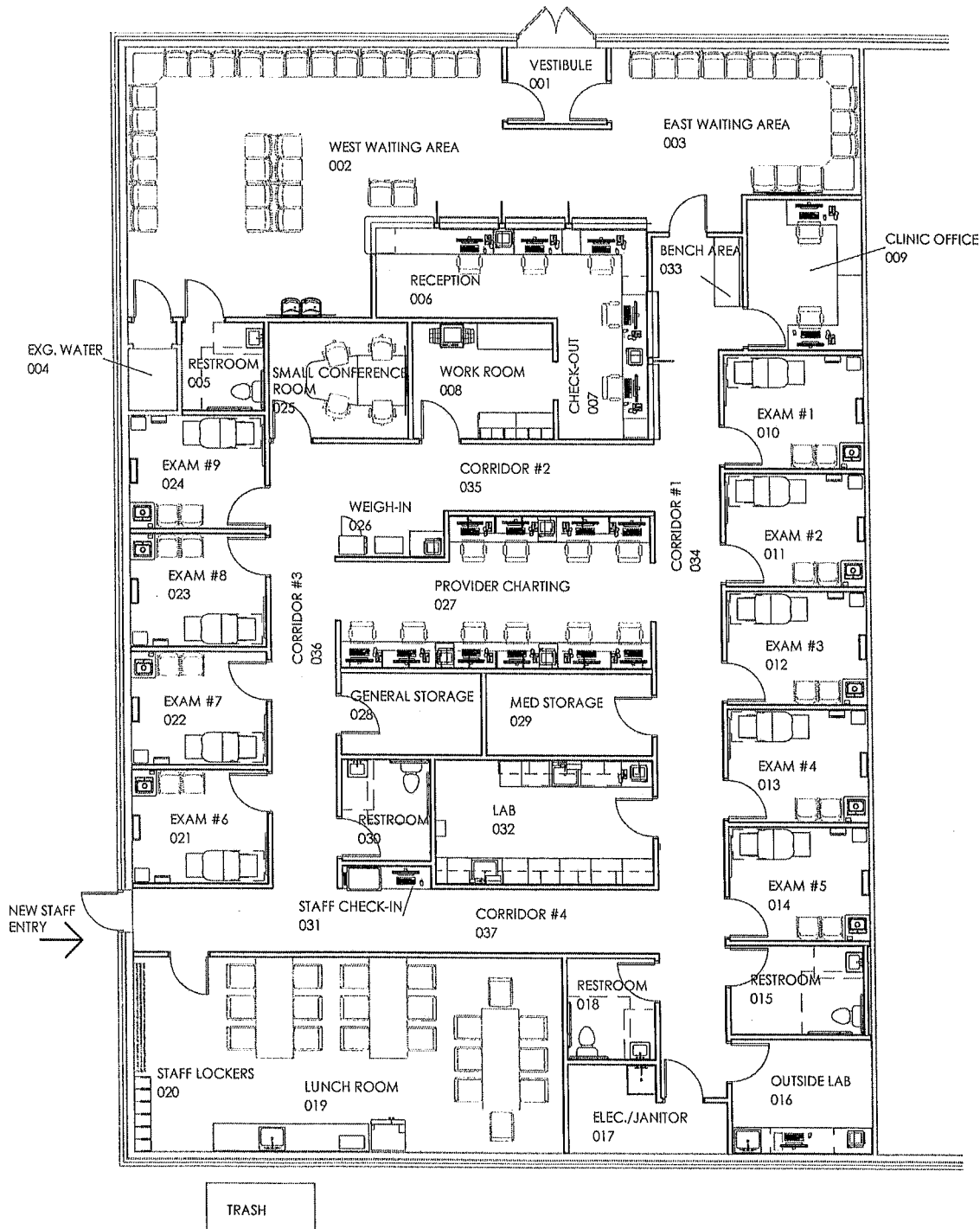
Greater Elgin Family Care Center is proposing to complete a renovation of 345 W. Northwest Highway of the Stevens Point Center in Palatine, IL. The proposed floor plan has been developed by Sharp Architects, Inc and is attached for your reference. The Health Center will contain a reception/waiting area, 9 examination rooms, 4 restrooms, a clinical charting area, internal laboratory for wave testing and immunization storage, 2 storage rooms, 1 outside lab room for phlebotomy services, 1 staff shared office, 1 small meeting room and 1 employee breakroom.

Greater Elgin Family Care Center has a significant amount of experience in managing health center renovations. Since 2015, GEFCC has undergone 7 various health center renovations. Each renovation was completed by qualified contractors and in full compliance with municipality building code requirements.

Operationally, our proposed location at 345 W. Northwest Hwy will be open 64 hours each week: from 8:00 am – 7:30 pm Monday – Thursday, and from 8:00 am – 5:00 pm Friday and Saturday. We plan to offer primary care services in the specialties of Family Practice and Pediatrics. In addition, GEFCC has the ability to offer OB/GYN and Behavioral Health services should be evidence of this need in the community. Based on our historical operations, we are that at least 2,000 patients will receive care within the first 12 months of this site opening. Initially, we plan to provide care to approximately 50 individuals on a daily basis with that number growing to approximately 80 individuals once the health center reaches its full operation potential.

Staffing at 345 W. Northwest Hwy will initially consist of 1.0 FTE Family Medicine Physician, 1.0 FTE Pediatrician, and 2.0 FTE Advanced Practice Professional. To assist these practitioners in care provision, we will employ 5.0 FTE Certified Medical/Nursing Assistants. GEFCC is also proposing to hire 1.0 FTE Health Benefits Specialist and 5.0 FTE Receptionists. GEFCC will provide on-site leadership and supervision by employing 1.0 FTE Clinical Operations Manager and a 1.0 FTE Clinic Coordinator. Lastly, Phlebotomy services will be offered through a contractual relationship with Laboratory Corporation of America. Greater Elgin Family Care Center anticipates that at full capacity no more than 22 staff members will be present at any one point in time.

In summary, our proposed project will increase access to quality, affordable primary health care services, improve health outcomes and reduce health disparities. All residents will have ready access to the full range of required primary, preventive and enabling health care services. In addition, we believe this project will result in additional revenue for the other tenants of the Stevens Point Center due to the additional consumer traffic that will visit the retail center as a result of our Health Center.



A1 CONCEPT PLAN

**345 W. NORTHWEST HWY
PALATINE, ILLINOIS**

■ SHARP ARCHITECTS INC ■ 125 N. 1ST ST., STE D ■ DEKALB, IL 60115 ■ 815-517-1050 ■ WWW.SHARPARCHITECTSINC.COM ■

4-12-2021

PUBLIC NOTICE
A public hearing will be held before the Palatine Zoning Board of Appeals on Tuesday, June 8, 2021 at 7:00 PM, in the Village Council Chambers in the Palatine Village Hall, 200 E. Wood Street, relative to a request for the following:

Special Use to permit a medical office pursuant to Section 11.03 (d) (42) of the Palatine Zoning Ordinance. The property is commonly known as 345 W. Northwest Highway (02-15-200-012-0000).

The Petitioner is requesting a Special Use to open a medical office, Greater Elgin Family Care, in the Steven's Point shopping center. The above petition has been filed by Jason Carey and is available for examination in the office of the Village Clerk, 200 E. Wood Street.

FILE #: 21-42
VILLAGE OF PALATINE
Jan Wood, Chair
Palatine Zoning Board
of Appeals

DATED: This 24th day of May, 2021
Published in Daily Herald
May 24, 2021 (4564085)

CERTIFICATE OF PUBLICATION

Paddock Publications, Inc.

Northwest Suburbs

Daily Herald

Corporation organized and existing under and by virtue of the laws of the State of Illinois, DOES HEREBY CERTIFY that it is the publisher of the **Northwest Suburbs DAILY HERALD**. That said **Northwest Suburbs DAILY HERALD** is a secular newspaper, published in Arlington Heights and has been circulated daily in the Village(s) of: Arlington Heights, Barrington, Barrington Hills, Bartlett, Buffalo Grove, Deer Park, Des Plaines, Elk Grove, Franklin Park, Glenview, Hanover Park, Hoffman Estates, Inverness, Melrose Park, Morton Grove, Mt Prospect, Niles, Northbrook, Northfield, Northlake, Palatine, Park Ridge, Prospect Heights, River Grove, Rolling Meadows, Rosemont, Schaumburg, Schiller Park, South Barrington, Streamwood, Wheeling, Wilmette

County(ies) of Cook

and State of Illinois, continuously for more than one year prior to the date of the first publication of the notice hereinafter referred to and in general circulation throughout said Village(s), County(ies) and State

I further certify that the Northwest Suburbs DAILY HERALD is a newspaper as defined in "an Act to revise the law in relation to notices as amended in 1992 Illinois Compiled Statutes, Chapter 715, Act 5, Section 1 and 5. That a notice of which the annexed printed slip is a copy, was published 05/24/2021 in said Northwest Suburbs DAILY HERALD.

IN WITNESS WHEREOF, the undersigned, the said PADDOCK PUBLICATIONS, Inc., has caused this certificate to be signed by, its authorized agent, at Arlington Heights, Illinois.

PADDOCK PUBLICATIONS, INC.
DAILY HERALD NEWSPAPERS

BY

Daule Baltz

Designee of the Publisher and Officer of the Daily Herald

Control # 4564085

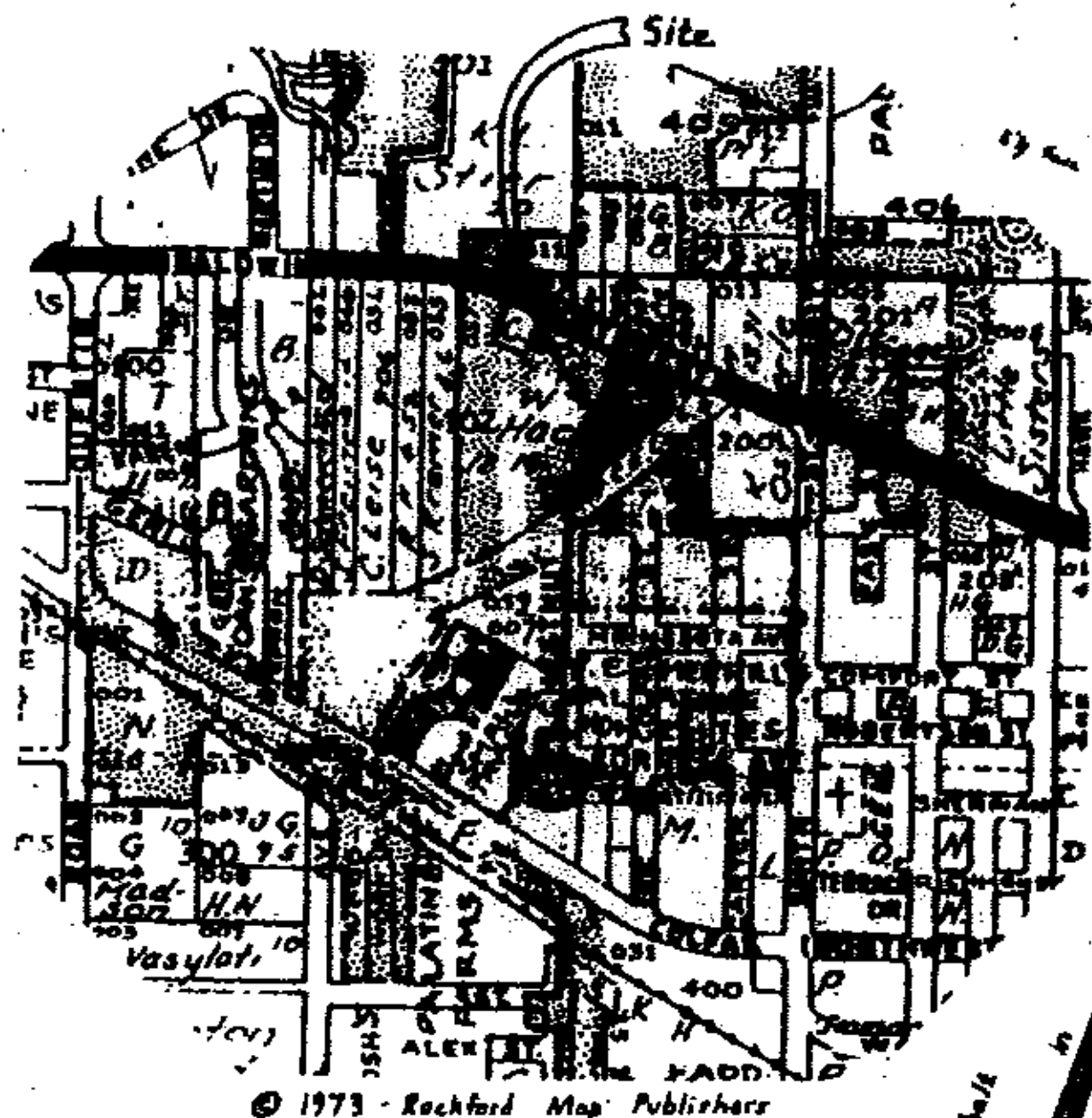
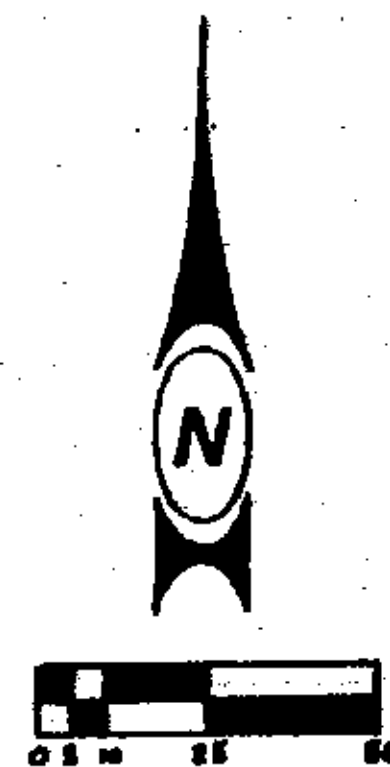
Attachment: Existing Special Use Ordinance - Medical Use at 345 W. Northwest Highway - Special Use

ALTA / ACSM LAND TITLE SURVEY

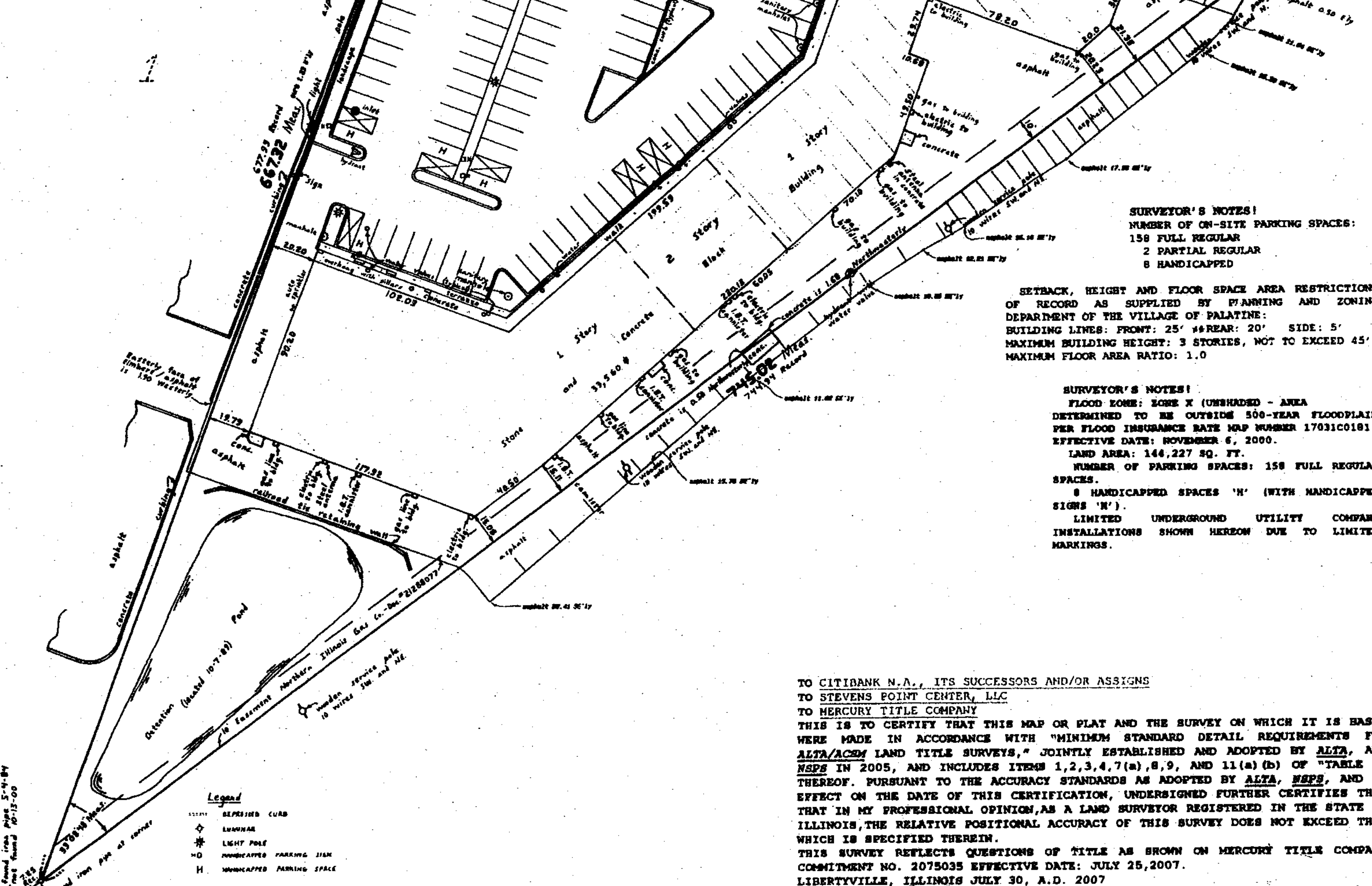
LOT 2 IN KUNTZE'S FIRST INDUSTRIAL ADDITION TO PALATINE, A SUBDIVISION OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 15, AND THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 15, TOWNSHIP 42 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

ALSO KNOWN AS:

LOT 2 IN KUNTZE'S FIRST INDUSTRIAL ADDITION TO PALATINE, A SUBDIVISION OF PART OF THE NORTHWEST QUARTER AND PART OF THE NORTHWEST QUARTER OF SECTION 15, TOWNSHIP 42 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.



© 1973 - Rockford Map Publishers



SURVEYOR'S NOTES:
NUMBER OF ON-SITE PARKING SPACES:
158 FULL REGULAR
2 PARTIAL REGULAR
8 HANDICAPPED

SETBACK, HEIGHT AND FLOOR SPACE AREA RESTRICTIONS
OF RECORD AS SUPPLIED BY PLANNING AND ZONING
DEPARTMENT OF THE VILLAGE OF PALATINE:
BUILDING LINES: FRONT: 25' REAR: 20' SIDE: 5'
MAXIMUM BUILDING HEIGHT: 3 STORIES, NOT TO EXCEED 45'
MAXIMUM FLOOR AREA RATIO: 1.0

SURVEYOR'S NOTES:
FLOOD ZONE: X (UNSHADED - AREA
DETERMINED TO BE OUTSIDE 500-YEAR FLOODPLAIN)
PER FLOOD INSURANCE RATE MAP NUMBER 17031C0181 F
EFFECTIVE DATE: NOVEMBER 6, 2000.
LAND AREA: 144,227 SQ. FT.
NUMBER OF PARKING SPACES: 158 FULL REGULAR
SPACES.
8 HANDICAPPED SPACES 'H' (WITH HANDICAPPED
SIGNS 'H').
LIMITED UNDERGROUND UTILITY COMPANY
INSTALLATIONS SHOWN HEREON DUE TO LIMITED
MARKINGS.

TO CITIBANK N.A., ITS SUCCESSORS AND/OR ASSIGNS
TO STEVENS POINT CENTER, LLC
TO MERCURY TITLE COMPANY
THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED
WERE MADE IN ACCORDANCE WITH "MINIMUM STANDARD DETAIL REQUIREMENTS FOR
ALTA/ACSM LAND TITLE SURVEYS," JOINTLY ESTABLISHED AND ADOPTED BY ALTA, AND
NSPS IN 2005, AND INCLUDES ITEMS 1,2,3,4,7(a),8,9, AND 11(a) (b) OF "TABLE A"
THEREOF. PURSUANT TO THE ACCURACY STANDARDS AS ADOPTED BY ALTA, NSPS, AND IN
EFFECT ON THE DATE OF THIS CERTIFICATION, UNDERSIGNED FURTHER CERTIFIES THAT
THAT IN MY PROFESSIONAL OPINION, AS A LAND SURVEYOR REGISTERED IN THE STATE OF
ILLINOIS, THE RELATIVE POSITIONAL ACCURACY OF THIS SURVEY DOES NOT EXCEED THAT
WHICH IS SPECIFIED THEREIN.
THIS SURVEY REFLECTS QUESTIONS OF TITLE AS SHOWN ON MERCURY TITLE COMPANY
COMMITMENT NO. 2075035 EFFECTIVE DATE: JULY 25, 2007.
LIBERTYVILLE, ILLINOIS JULY 30, A.D. 2007

Larry A. Faith
ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 35-2657 EXPIRES 11-30-08
PROFESSIONAL DESIGN FIRM LICENSE NO. 184-003789
PROPERTY ADDRESS: 315-345 WEST NORTHWEST HIGHWAY - PALATINE, ILLINOIS
PERMANENT INDEX NUMBER: 02-15-200-012-0000 as supplied



This plat is not certified
unless an impressed seal
is affixed hereon.

Legend
--- DEPRESSURE CURB
--- LUMBER
--- LIGHT POLE
--- HANDICAPPED PARKING SIGN
H HANDICAPPED PARKING SPACE
M-M denotes monument to monument
monument calls as of 10-13-06 (except calls of 1-30-07)
--- except where land comes to a point - see specifications by village
SCALE: 1 inch equals 40 feet
No dimension to be assumed by scale measurement
Distances are marked in feet and decimal parts thereof.
ORDERED BY: Attorney Mark Ordower
ORDER NO: 04125-ALTA-U3
DRAWN BY: JLF
CHECKED BY: [Signature]
Refer to abstract deed and local ordinances for building
restrictions.

prepared by:
The Northern Counties Group, Inc.
Surveyors
528 West Street
Libertyville, Illinois 60048
(847) 367-4560 Fax (847) 367-1378

CERTIFICATE OF PUBLICATION

DES PLAINES JOURNAL, INC., a corporation organized and existing under and by virtue of the laws of the State of Illinois, does hereby CERTIFY that it is the publisher of the:

Journal & Topics Newspapers
AKA Des Plaines Journal, Inc.
622 Graceland Ave.
Des Plaines, IL 60016-4556

and that said newspaper(s) is a secular newspaper of general circulation and has been published weekly in the

(Village) (Town) (City) (Township) of PALATINE 341 W. NORTHWEST HWY.
 County of COOK

and State of Illinois, continuously for more than one year prior to date of the first publication of the notice attached hereto, and that said newspaper(s) complies with the requirements of Paragraphs 5 and 10, Chapter 100, of the Illinois Revised Statutes.

Further, that the notice, of which the attached is a true copy, was published ONE times in the said newspaper(s), namely once each week for ONE successive week(s) and that the first publication of said notice was made on the 22ND day of MAY, A.D. 2025, and the last publication thereof was made on the 22ND day of MAY, A.D. 2025.

Your Legal appeared in
 the following Journal & Topics
 Newspapers
 (Des Plaines Journal, Inc.)

- ☐ Des Plaines Journal
- ☐ Elk Grove Village Journal
- ☐ Mt. Prospect Journal
- ☐ Niles Journal
- ☐ Park Ridge-Golf Mill Journal
- ☐ Prospect Heights Journal
- ☐ Rosemont Journal
- ☐ Arlington Heights Topics
- ☐ Buffalo Grove Topics
- ☒ Palatine Topics
- ☐ Rolling Meadows Topics
- ☐ Wheeling Topics
- ☐ Suburban Journal
- ☐ Northwest Journal
- ☐ Glenview Journal



Mary Alice Wenzl

IN WITNESS WHEREOF, THE DES PLAINES JOURNAL, INC., has caused this certificate to be signed and its corporate seal affixed hereto at Des Plaines, Illinois this 22ND day of MAY, A.D., 2025.

By Todd Wessell

President

Title of Corporate Officer

County of Cook
 State of Illinois

Subscribed and sworn to before me this 22ND day of MAY, A.D., 2025.

My commission expires the 15TH day of JULY, A.D., 2025.

Attachment: Public Notice (341 W. Northwest Highway - Special Use Amendment Medical Office)

PUBLIC NOTICE

A Public Hearing will be held before the Village of Palatine Planning and Zoning Commission on Tuesday June 10, 2025 at 7 PM, in the Village Council Chambers in Palatine Village Hall, 200 E. Wood Street, relative to a request for the following:

**Special use amendment to permit a medical office use expansion
at the subject property.**

The property is commonly known as 341 W. Northwest Highway and is an adjacent tenant spaces to the existing medical office use for Greater Family Health.

The Petitioner is requesting to expand an existing medical office use - Greater Family Health - at the subject property, as an expansion of an existing medical office use at 345 W. Northwest Highway.

The above petition has been filed by Jason Carey, and is available for examination in the office of the Village Clerk, 200 E. Wood Street.

FILE #: SU-000177-2025

VILLAGE OF PALATINE

Jan Wood, Chair
Palatine Planning and Zoning Commission

DATED: This 22nd day of May 2025

Attachment: Public Notice (341 W. Northwest Highway - Special Use Amendment Medical Office)