



VILLAGE OF PALATINE

VILLAGE HALL - COUNCIL CHAMBERS 200 E. WOOD STREET
PALATINE, IL 60067-5339 – (847) 359-9050
<http://www.palatine.il.us>

PLAN COMMISSION

AGENDA • SEPTEMBER 1, 2020

Village Hall - Council Chambers

Regular Meeting

7:00 PM

I. CALL TO ORDER

II. APPROVAL OF MINUTES

1. Plan Commission - Regular Meeting - Jul 7, 2020 7:00 PM

III. CASE STAFF STATEMENTS

1. Preliminary and Final Plat of Subdivision to Permit a 3-lot Subdivision; Rezoning from R-1 to R-2 Single-family Residential, and a Variation to Permit an 8-foot fence, instead of the maximum permitted 6-foot fence in the residential district, pursuant to Section 6.03 (b) (1) of the Village of Palatine Zoning Ordinance, for the property at 501 W. Dundee Road
2. Text amendment to Article 14 – Administration – Section 14.05 (b) Administrative Special Uses, Minor Special Uses, and Special Use Amendments

IV. COMMUNICATIONS

V. ADJOURNMENT



VILLAGE OF PALATINE

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PALATINE, IL 60067-5339 – (847) 359-9050
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PLAN COMMISSION MINUTES • JULY 7, 2020

Village Hall - Council Chambers

Regular Meeting

7:00 PM

Note: The July 7, 2020, the Plan Commission meeting will take place in the Village Council Chambers (located at 200 E. Wood Street). The meeting will also be broadcast live on Comcast Channel 6 and streamed live through the Village's 'Agenda & Minutes' section of our website (www.palatine.il.us). Village Hall will be open for any member of the public that would like to provide comment or testimony regarding an agenda item at the meeting, while still adhering to the Governor's Executive Orders. If a member of the public cannot access the meeting through one of the above means, please contact the Department of Planning and Zoning at (847-359-9073) by no later than 3 PM on Tuesday, July 7th to be provided with a call in code.

I. CALL TO ORDER

Attendee Name	Title	Status	Arrived
Conrad Hansen	Plan Commissioner	Present	
Dennis Dwyer	Chairman	Present	
Jane Robins	Plan Commissioner	Absent	
Patrick Noonan	Plan Commissioner	Present	
Teri Williams	Plan Commissioner	Present	
Eric Friedman	Plan Commissioner	Present	
Rodney Bettenhausen	Plan Commissioner	Present	
Robert Kolososki	Plan Commissioner	Present	
Stephen Fedota	Plan Commissioner	Present	

Staff present: Ms. Katie Rivard

II. APPROVAL OF MINUTES

1. Plan Commission - Regular Meeting - Jun 16, 2020 7:00 PM - **Accepted**

Commissioner Noonan made a motion to approve the minutes of June 16, 2020 Plan Commission meeting; seconded by Commissioner Williams

RESULT:	ACCEPTED [UNANIMOUS]
MOVER:	Patrick Noonan, Plan Commissioner
SECONDER:	Teri Williams, Plan Commissioner
AYES:	Hansen, Dwyer, Noonan, Williams, Friedman, Bettenhausen, Kolososki, Fedota

Minutes Acceptance: Minutes of Jul 7, 2020 7:00 PM (Approval of Minutes)

III. PUBLIC HEARING

1. 491 W. Helen Road - **Recommended to Approve**

Chairman Dwyer read the notice of public hearing that was published in the Daily Herald on June 22, 2020 and mailed to the owners of the surrounding properties.

The following petitioner's exhibits were introduced:

1. Public Notice
2. Petition for Hearing
3. Proof of Ownership
4. Engineering Plans
5. Plat of Subdivision- Fontaine Hill
6. Plat of Vacation-Dorset Avenue
7. SUBMITTED AT THE PLAN COMMISSION MEETING-Objector Exhibit- Engineering Plan Comments and Pictures- Larry Lakowski- 490 W Helen Road

Sworn in Petitioner Mr. Greg Rose - Patrose LLC - 935 W. Kenilworth Avenue

Mr. Rose explained that the proposal is to take 2 existing pins and lot and the petitioner is seeking subdivide them into 4 lots, with 2 driveways/lots fronting on W. Helen Road and 2 driveways/lots fronting onto Dorset Avenue. There are significant site development plans, including working with ComEd. This proposal is consistent with others in the area and the bulk standards comply with the R-2 standards.

Sworn in staff - Ms. Katie Rivard

Ms. Rivard gave a brief overview of the request explaining the Petitioner is seeking to subdivide 2 lots into 4 lots and rezone the property from R-1 to R-2, and vacate the northern 20-feet of Dorset Avenue. The proposal complies with all of the bulk standards for the R-2 district. Currently the right-of-way is 80 feet wide and the Village requirement is only 60 feet. The vacation is consistent with other surrounding subdivisions.

The engineering plans require that the sump pump connections for all four homes will ultimately connect to the storm sewer in the southeast corner of the lots and then into the storm sewer on Stuart Avenue.

The utility lines will be buried, consistent with Schoffstall Estates and other subdivisions on the north side of Dorset.

Commissioner Hansen asked for clarification regarding the sump pump connections and staff further explained the requirements for this subdivision and Village Engineer review and noted that this would be advantageous for the area. Commissioner Dwyer clarified the storm and sanitary sewer disconnections within the Village.

Commissioner Dwyer inquired about the ComEd lines at 501 W. Helen Road. Mr. Rose clarified that ComEd will likely require the property to the east, the

subject property and the 501 property will require the above ground power lines to be buried.

Commissioner Fedota inquired about the utilization of the underground power lines and another property's power lines on Helen Road.

Mr. Rose confirmed that the underground power lines will be utilized.

Sworn in Tim Spies - Spies and Associates - 534 W. Campus Drive - Arlington Heights, IL

Commissioner Bettenhausen had questions about the MWRD notes on the engineering plan and the ownership/maintenance association. This includes whether there are contracting companies that perform this type of maintenance work.

Mr. Spies noted that these are typical notes and required by MWRD and that the final structure of the HOA or direct homeowner has not been determined. Further, Mr. Spies was not directly aware of such companies, but imagined that they exist.

Commissioner Bettenhausen asked inquired about the pipe diameter near the pond. Mr. Spies indicated that this was what is required by MWRD.

Discussion continued about additional clarification on the engineering plans.

Commissioner Kolososki inquired whether the HOA would be aware of the maintenance requirements.

Mr. Rose confirmed that any homeowner would be made aware of this and those documents would also be recorded against the property and found within the declarations.

Commissioner Friedman inquired about the sidewalk profiles and subsequent proximities within the right-of-way.

Ms. Rivard confirm that the Village Engineer has reviewed and approved the sidewalk locations.

Sworn in Mr. Larry Lakowski - 491 W. Helen Road.

Mr. Lakowski indicated that there are specific concerns about the stormwater drainage on the north side of the property is not being adequately addressed.

He indicated that this development will cause damage and reduce the value to my property and those on the west and east sides of my property and those lots on Daniels.

There is a large hill at Cedar that crests at 470 and comes down again to the low spot at my lot and at 491. A 15-inch culvert that runs between 490 and 491 W. Helen Road. He further identified tributary homes in the area into the 491 lot and then into his property. Any overflow follows the west side of his property. Once into the back yards it travels north to the Daniels properties and into a Village system.

He distributed a handout and pictures explaining the circumstances and further discussed its contents.

Discussion about the newer home at 525 W. Helen Road and stormwater impacts from its construction. This has created a lot of additional stormwater issues at his property.

He further indicated that the 15-inch culvert has been in front of his home for more than 67 years. Like 70 something years old and likely filled with mud and not part of the Village system. There was a 4-inch clay pipe that took water from the front ditch around to the back of my home. When the developer demolished the 491 home, the contract came to disconnect the utilities and did not notify me and disconnected the pipe and left a mess in the yard. Mr. Lakowski indicated that he had to determine how to contact Mr. Rose to resolve the clay pipe and flooding in my yard. Mr. Lakowski indicated that the thing he did to get Mr. Rose's attention was to put a couple of cement bags into the culvert to prevent flow of water into my yard.

The changes across the street are all well and fine, but there are problems with the engineering plans that do not address the existing circumstances and water from west and south side of Helen Road.

Commissioner Dwyer indicated that there is a lot of specific information, which cannot be addressed as part of the Plan Commission meeting, as the plans were approved by the Village Engineer.

Mr. Lakowski indicated that he had not reviewed the plans until about a week ago and has additional recommended changes to the plans.

Commissioner Dwyer recommended that the resident contact the Village Engineer regarding the problems with the 525 W. Helen Road property.

Mr. Rose indicated that the watermain disconnect should have contacted the resident and apologized for the initial lack of contact, although they have been in contact and had further discussions.

Tim Spies reviewed the proposed engineering plans and the specific area that will feed into the 15-inch culvert - .3-acres. This -.083 CFS. The swale between the yards of the 4-lots and improvements in the engineering plans will capture approximately .04 CFS and reduce the area contributory to the culvert to 0.1 acres.

The area is reduced by 1/3 and the stormwater by 50%.

Mr. Lakowski inquired about the plans not addressing the existing stormwater.

Commissioner Dwyer indicated that that stormwater is not associated with the development and the Village can't require the petitioner to address that

circumstance.

STAFF RECOMMENDATION:

The subdivision and rezoning from R-1 to R-2 are consistent with the surrounding residential redevelopment patterns in the area. The proposed lots exceed the minimum required R-2 bulk and comply with all of the setback requirements and minimum required lot depth per the Subdivision Ordinance. The proposed subdivision is also consistent with both the Vorel Subdivision (directly east) and Schoffstall Estates Subdivision (west of Subject Property). Therefore, Staff recommends approval of the proposed request, subject to the following conditions:

1. The development shall substantially conform to the Engineering Plans prepared by Spies and Associates dated 06/03/2020 last revised 06/29/2020, except as such plans may be changed to conform to Village Codes and Ordinances.
2. The Final Plat of Subdivision shall be submitted on Mylar with the required signatures and significantly conform to the Plat of Subdivision prepared by Spies and Associates, Inc. and attached hereto.
3. The Final Plat of Vacation shall be submitted on Mylar with the required signatures and significantly conform to the Plat of Vacation prepared by Spies and Associates, Inc. and attached hereto.
4. The Final Engineering Plans and Final Engineer's Cost Estimate shall be revised in a manner acceptable to the Village Engineer.
5. A Public Improvement letter of credit or appropriate security shall be submitted in a manner acceptable to the Village Engineer.
6. Cash-in-lieu of detention in the amount of \$14,843.25 shall be submitted.
7. Sidewalks shall be installed in a manner acceptable to the Village Engineer.
8. Parkway trees shall be planted across the frontages at a spacing no greater than 40' on center in a manner acceptable to the Director of Planning and Zoning.
9. Recapture fees in the amount of \$7,918.61 shall be submitted.
10. Review fees in the amount of 1.5% of the total project improvement costs (as defined in the Village Code) shall be submitted in a manner acceptable to the Village Engineer.
11. Recording fees in the amount of \$300 shall be submitted.
12. A Subdivision Improvement Agreement shall be submitted.
13. The elevations shall comply with the architectural design guidelines outlines in the Village's monotony code.
14. In conjunction with the development of Lots 3 and 4, the Petitioner shall bury the aboveground power lines associated with the proposed lot and the adjacent property at 501 W. Helen Road in a manner acceptable to the Village Engineer and in compliance with the Code.
15. As finally determined by the Village Attorney and Village Engineer, deed restrictions outlining and identifying the required ongoing and long-term

maintenance agreement for the volume control easement area, shall be provided in a manner acceptable to the Village.

16. MWRD and NPDES permits are required

Commissioner Kolososki indicated a request to amend the condition #4 to take into account the issued raised at the Plan Commission meeting.

Commissioner Hansen asked if the Petitioner is agreeable to the list of conditions, as amended.

Mr. Rose concurred.

Commissioner Hansen made a motion to close the public hearing; seconded by Commissioner Freidman. Unanimously approved.

DISCUSSION:

Commissioner Dwyer indicated that the proposal is consistent for the area. The stormwater issues need to be reviewed.

Commissioner Fedota inquired about the required parkway trees.

Commissioner Williams made a motion to approve subject to the conditions seconded by Commissioner Noonan. Unanimously approved.

Chairman Dwyer summarized that this request has met the standards and was unanimously approved by a vote of 8-0. This item will tentatively go to the Community and Economic Development Committee of the Village Council on July 13, 2020

RESULT:	RECOMMENDED TO APPROVE [UNANIMOUS]
MOVER:	Teri Williams, Plan Commissioner
SECONDER:	Patrick Noonan, Plan Commissioner
AYES:	Hansen, Dwyer, Noonan, Williams, Friedman, Bettenhausen, Kolososki, Fedota

IV. COMMUNICATIONS

V. ADJOURNMENT

1. Motion to Adjourn - **Motion Carried by Voice Vote**

Commissioner Noonan made a motion to adjourn; seconded by Commissioner Fedota

RESULT:	MOTION CARRIED BY VOICE VOTE [UNANIMOUS]
MOVER:	Patrick Noonan, Plan Commissioner
SECONDER:	Stephen Fedota, Plan Commissioner
AYES:	Hansen, Dwyer, Noonan, Williams, Friedman, Bettenhausen, Kolososki, Fedota

Minutes Acceptance: Minutes of Jul 7, 2020 7:00 PM (Approval of Minutes)

Minutes Acceptance: Minutes of Jul 7, 2020 7:00 PM (Approval of Minutes)

VILLAGE OF PALATINE
Plan Commission

SCHEDULED 09/01/20 07:00 PM

CASE STAFF STATEMENT (ID # 6211)

Preliminary and Final Plat of Subdivision to Permit a 3-lot Subdivision; Rezoning from R-1 to R-2 Single-family Residential, and a Variation to Permit an 8-foot fence, instead of the maximum permitted 6-foot fence in the residential district, pursuant to Section 6.03 (b) (1) of the Village of Palatine Zoning Ordinance, for the property at 501 W. Dundee Road

CASE NUMBER: 20-11

PETITIONER: Tim and Cindy Saunders

LOCATION: 501 W. Dundee Road

PROPOSAL:

1. Preliminary and Final Plat of Subdivision for a new 3-lot single-family residential development;
2. Rezoning from R-1 Single-Family Residential to R-2 Single-Family Residential; and
3. Variation to permit an 8-foot fence for the 3-lot Subdivision on the Dundee Road frontage, instead of the maximum allowed 6-foot fence, pursuant to Section 6.03 (b) (1) of the Village of Palatine Zoning Ordinance.

ZONING AND LAND USE: Single-Family Residential

SURROUNDING CONDITIONS:

North:	Cook County Forest Preserve
South:	R-1 Single-Family Residential
East:	Planned Development - Sanctuary Cove Subdivision
West:	R-1 Single-Family Residential - Palatine Park District - Palatine Trail

COMPREHENSIVE PLAN: Single-Family Residential

BACKGROUND:

The Subject Property is approximately 1.038 acres and is currently improved with one single-family residence. The Petitioner, contract purchaser of the Subject Property, is seeking to subdivide the lot into three lots, in order to create three lots and construct

three new single-family homes. Therefore, the Petitioner is seeking approval of the following:

- 1. Preliminary and Final Plat of Subdivision for a new 3-lot single-family residential development;**
- 2. Rezoning from R-1 Single-Family Residential to R-2 Single-Family Residential; and**
- 3. Variation to permit an 8-foot fence for the 3-lot Subdivision on the Dundee Road frontage, instead of the maximum allowed 6-foot fence, pursuant to Section 6.03 (b) (1) of the Village of Palatine Zoning Ordinance.**

ANALYSIS:

- The Village annexed the Subject Property into the Village in 1974 and it was platted as part of Enzo Giorgio Subdivision, in 1984. The property has frontage on Dundee Road, which is an IDOT controlled state route (IL-68) and Louise Lane, which is presently a substandard road at approximately 16 feet wide. Louise Lane provides access to Dundee Road for the five homes (including the 501 W. Dundee Road Property, which has access to both roads) along Louise Lane.
- The Cook County Forest Preserve's Deer Grove is located directly across Dundee Road and the Palatine Park District's Palatine Trails is located directly west of the Louise Lane Right of Way.
- One single-family home exists on the lot and the Petitioner intends to demolish the structure, and construct three new single-family homes.
- The proposal includes rezoning the property from R-1 to R-2 and the proposed lots meet and exceed all of the bulk and setback requirements for the R-2 district. The following table provides an analysis of the proposed lots:

	Proposed Lot Size (10,000 SF for corner lots and 9,000 SF required)	Lot Width (85 feet - corner; 75 feet interior required)	Lot Depth (110' required)
Lot 1	17,006 sq. ft.	108.49 feet	115 feet
Lot 2	13,155 sq. ft.	80 feet	152 feet
Lot 3	15,054 sq. ft.	80 feet	176 feet

- As part of the proposed improvements, Louise Lane will be widened to the required minimum Village standards, which includes a 9 foot 3 inch widening of Louise Lane along the frontage of the proposed three lots. Sidewalks would also be included in the right-of-way improvements.
- A storm water detention basin is proposed on the east sides of the lots and would be platted within a 40-foot detention area easement. A homeowners association and required declarations for the maintenance of the stormwater detention basin and any other required common improvements are required conditions of the proposed subdivision. The basin would be designed to the 100-year high water elevation of 772.5.
- In addition to the detention basin, approximately 530 LF of storm sewer will be installed, with the proposed engineering improvements. The stormwater improvements also include proposed drainage ditches in front of all three lots, which are located in between the concrete ribbon for Louise Lane and the sidewalk in the right-of-way. The drainage ditches will lower the existing elevations by approximately 2 feet and route the stormwater north, through grading for overland flow, to the detention basin behind the homes.
- Approximately 317 LF of sanitary sewer will be installed to connect to the existing sanitary sewer in the Dundee Road right of way.
- There is an existing water line running on the east side of Louise Lane, which connects to both the water line along Dundee Road and also loops to serve the Sanctuary Cove subdivision to the east. The existing water service would provide access connections for the proposed homes.
- As required by MWRD (Watershed Management Ordinance), volume control for the Subdivision is required, as the site is larger than 1-acre.
- Sidewalks and parkway trees would be installed as part of this proposal in accordance with the Subdivision Regulations. It should be noted that IDOT will not likely allow parkway trees in the IDOT right-o-way, due to the visibility concerns, the permitted speed limit, and the slight curvatures of Dundee Road.
- The Subdivision proposes approximately 92 linear feet of 8-foot tall interlocking aluminum picket fencing on the north side of the subdivision. The proposed fence is located 8 feet from the Dundee Road property line and within the proposed 20-foot drainage and utility easements. Its proposed location is directly south of a drainage swale.

RECOMMENDATIONS:

The subdivision and rezoning from R-1 to R-2 are consistent with the surrounding residential redevelopment patterns in the area. Sanctuary Cove (14-lot subdivision

directly east of the Subject Property - approved as a Planned Development to the R-2 lot standards in 1989) and Sanctuary Trails (12-lot subdivision directly west of the Subject Property- approved as an R-2 zoned subdivision in 1990) are similar developments to the proposed 3-lot subdivision. The Village Engineer has reviewed and approved the proposed engineering plans. All of the proposed lots exceed the minimum required R-2 bulk standards and comply with all of the setback requirements and minimum required lot depth per the Subdivision Ordinance.

Staff does not object to having a fence located on the north side of the Subdivision. Many of the surrounding developments have fencing located on their Dundee Road frontages, with landscaping included. Per Code, landscaping would be required on the Dundee Road side of the fence. Staff recognizes that the installation of landscaping would not be practical in the proposed location or within the adjacent drainage swale. In review of the proposed plans, Staff believes that the fencing could be relocated 5 feet to the south, where the ground levels and landscaping could be included. This would still provide screening for the homes and approximately a 9-foot separation from the home on Lot 1.

With the proposed subdivision, Louis Lane would serve 7 homes in this area. In reviewing the existing lots along Louise Lane, there is potential for additional future subdivisions. The proposed subdivision is the first such on Louise Lane, since the annexation of these properties in 1974. As a condition of the proposed, the Village reserves the right to vacate, with a reservation of easements, any portion of the Louise Lane right-of-way in the future. The condition would require the property owners to be responsible for their proportionate share of costs relative to the street and its maintenance. Therefore, Staff recommends approval of the proposed request, subject to the following conditions:

- 1. The development shall substantially conform to the Plat of Subdivision and the Engineering Plans by Norman J. Toberman & Associates, dated 01/03/19 last revised 07/01/2020, except as such plans may be revised to conform to Village Codes and Ordinances.**
- 2. A Public Improvement letter of credit or appropriate security shall be submitted in a manner acceptable to the Village Engineer.**
- 3. Review fees in the amount of 1.5% of the total project improvement costs (as defined in the Village Code) shall be submitted in a manner acceptable to the**

Village Engineer.

- 4. The Final Engineering Plans - Norman J. Toberman & Associates, LLC last revised on 07/01/20 and the Engineer's Estimate of Probable Cost shall be revised in a manner acceptable to the Village Engineer.**
- 5. The Final Plat of Subdivision shall be submitted on Mylar and significantly conform to the Plat of Subdivision prepared by David Bycroft and attached hereto.**
- 6. A Subdivision Improvement Agreement shall be submitted.**
- 7. Prior to the issuance of a building permit for any home, the developer shall complete the detention basin installation and storm sewer extensions, with site development approval from the Village Engineer.**
- 8. The HOA declarations shall be prepared and revised in a manner acceptable to the Village Attorney, prior to the issuance of a building permit.**
- 9. Pursuant to the Village Attorney approved declarations, a Homeowners Association shall be created and established to maintain the stormwater detention basin (east side of Lots 1-3) and any required common improvements. Said homeowners association shall be perpetually maintained by the property owner (s) or subsequent mortgage holders, in a manner acceptable to the Village Attorney.**
- 10. In the event any portion of the existing Louise Lane Right-of-Way is vacated by the Village of Palatine, the Property Owner hereby agrees, by virtue of acquiring title to the property that is the subject of this restriction, that it will be responsible for its proportionate share of the ownership maintenance, repair, replacement and removal costs of the vacated Louise Lane. Said proportionate share shall be determined based upon the percentage of frontage of the vacated portion of Louise Lane.**
- 11. Recording fees in the amount of \$300 shall be submitted.**
- 12. Parkway trees shall be planted across the frontage at a spacing no greater than 40' on center in a manner acceptable to the Director of Planning and Zoning.**
- 13. The elevations shall comply with the architectural design guidelines**

outlines in the Village's monotony code.

14. The final fencing plan shall be revised in a manner acceptable to the Village of Palatine.

15. Given the proximity to Dundee Road, a construction management schedule (including a contractor parking plan and material haulers) shall be submitted in a manner acceptable to the Village of Palatine, prior to the issuance of a building permit.

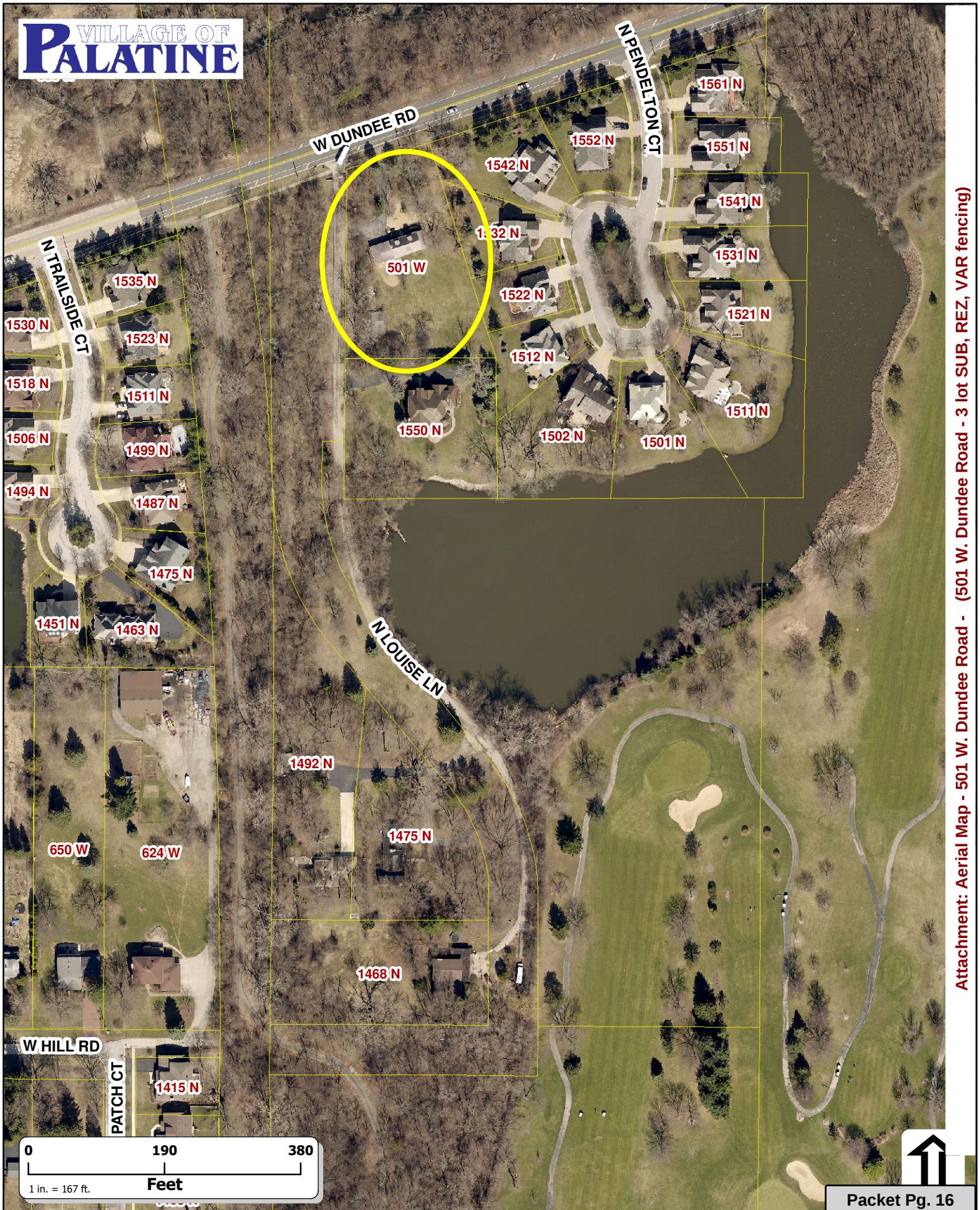
16. IDOT, MWRD, and NPDES permits are also required for this development.

ATTACHMENTS:

- Aerial Map - 501 W. Dundee Road -
- LOUISE LANE PLAT OF SUBDIVISION (7-1-20)-PAGES 1-2
- ENG PLANS - 501 W. Dundee Road Rev5 7-2-20-rev 5
- 501 W. Dundee Road- Current Zoning map
- Preliminary and Final Subdivision application - 501 W. Dundee Road
- REZONING APPLICATION
- VARIATION APPLICATION - 501 W. Dundee Road
- Public Notice

Village of Palatine GIS Viewer

3.1.a



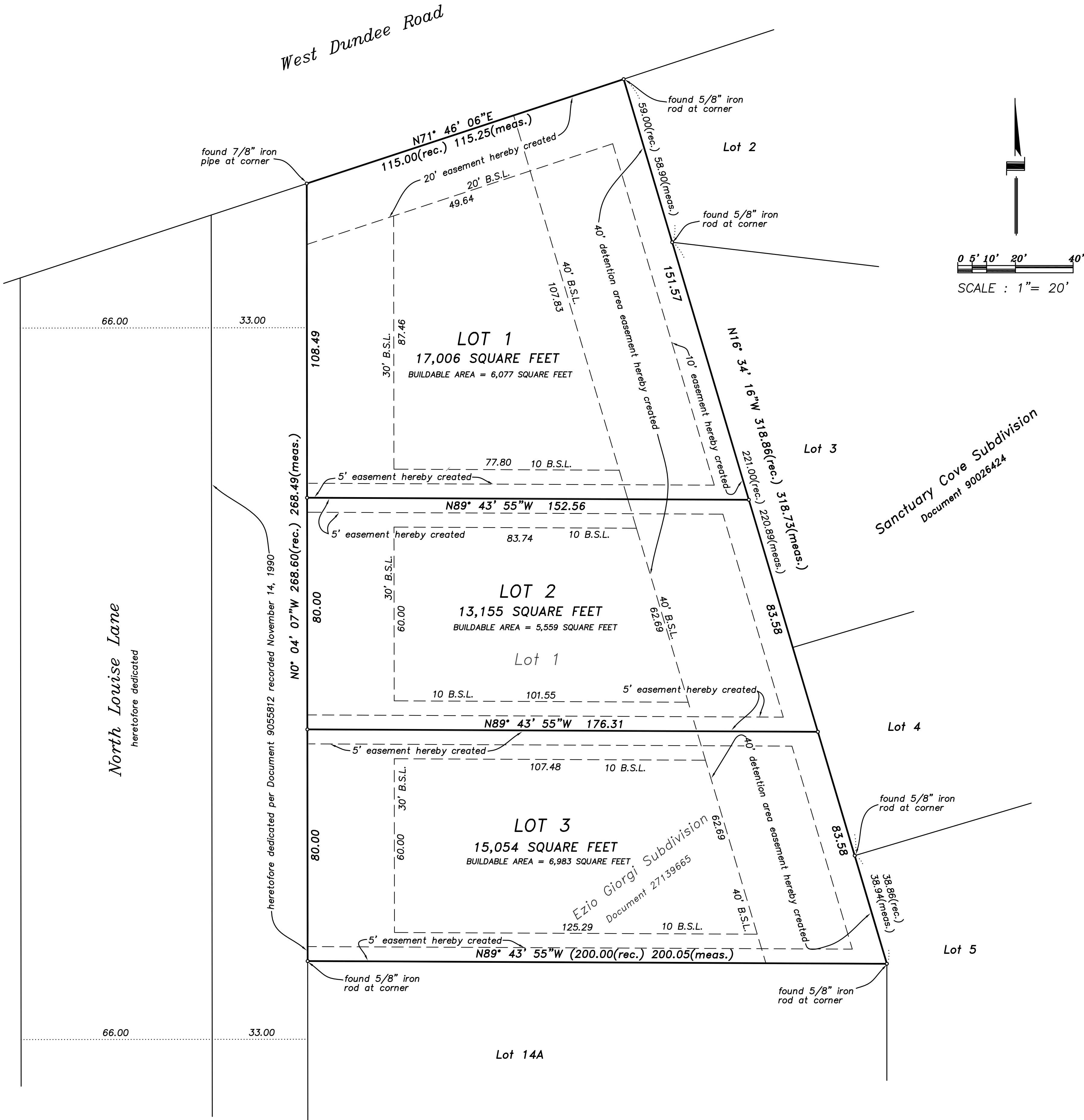
FINAL PLAT LOUISE LANE SUBDIVISION

of

LOT 1 IN THE FINAL PLAT, EZIO GIORGI SUBDIVISION, BEING A SUBDIVISION OF PART OF THE WEST ½ OF THE EAST ½ OF THE NORTHWEST ¼ OF SETION 10, TOWNSHIP 42 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JUNE 21, 1984 AS DOCUMENT 27139665, AND CERTIFICATE OF CORRECTION RECORDED JUNE 26, 1984 AS DOCUMENT 27146840 IN COOK COUNTY, ILLINOIS.

COMMONLY KNOWN AS: 501 WEST DUNDEE ROAD, PALATINE, ILLINOIS.

P.I.N. 02-10-104-007-0000



SURVEYORS CERTIFICATE

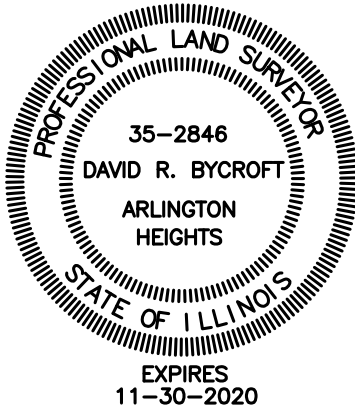
State of Illinois } ss.
County of Cook }

I, David R. Bycroft, an Illinois Professional Land Surveyor, do hereby certify that I have surveyed, subdivided, and staked the property described in the caption of this plat, and that this plat is a correct representation of said survey.

Further, I hereby grant the Village of Palatine permission to record this plat.

dated at Arlington Heights, Illinois, this ____ day of _____, 2020

by _____
as Illinois Professional Land Surveyor No. 2846



Design Firm #184-005910
Expires April 30, 2021

Sheet No. 1 of 2

FINAL PLAT LOUISE LANE SUBDIVISION

OWNERS CERTIFICATE

State of Illinois }
County of Cook } ss.

This is to certify that _____ is the owner of the property described hereon and that he has caused the said property to be surveyed and subdivided as shown hereon, for the uses and purposes therein set forth, and does hereby acknowledge and adopt the same under the title hereon indicated.

Dated this _____ day of _____, A.D., 2020

NOTARY CERTIFICATE

State of Illinois }
County of Cook } ss.

I, _____ a notary public in and for said county in the state aforesaid, do hereby certify that _____ is personally known to me to be the same person whose name is subscribed to the foregoing instrument as such owner, appeared before me this day in person and acknowledged that he signed and delivered said instrument of his own free and voluntary act and as the free and voluntary act for the uses and purposes therein set forth.

Given under my hand and notarial seal this _____ day of _____, A.D., 2020

Notary Public

My commission expires on _____

VILLAGE ENGINEER

State of Illinois }
County of Cook } ss.

This plat has been check for conformance to the Village of Palatine standards and requirements, and working drawing and specifications for improvements have been prepared in conformance with the Village standards and requirements, and engineering fees due to the Village of Palatine have been paid.

Dated this _____ day of _____, 2020

Signed: _____
Village Engineer

PLAN COMMISSION

Approved by the plan commission of the Village of Palatine, Cook County, Illinois, this _____ day of _____, 2020

Signed: _____
Chairman

Attest: _____
Secretary

VILLAGE COUNCIL

Approved by the Village Council of the Village of Palatine, Cook County, Illinois, this _____ day of _____, 2020

Signed: _____
Mayor

Attest: _____
Village Clerk

VILLAGE COLLECTOR

I do hereby certify that there are no deferred special assessments or unpaid current assessments due against the land included in the above plat.

Dated this _____ day of _____, 2020

Signed: _____
Village Collector

SURFACE WATER DRAINAGE CERTIFICATE

State of Illinois }
County of Cook } ss.

We hereby certify that to the best of our knowledge and belief that adequate provisions have been made for the diversion and detention of surface waters into public areas or drains within the rights of the subdivider and that such surface water will not be deposited on adjacent land owners property in such concentration as may cause damage by erosion or sedimentation to such property because of construction of the subdivision.

By: _____ Dated _____
owner

By: _____ Dated _____
Illinois Professional Engineer

EASEMENT PROVISIONS

Whenever the words "public utilities" or "public utilities and drainage easement" shall appear on this plat, the Village of Palatine, a municipal corporation, Cook County, Illinois, and its successors or assigns, jointly and severally shall hold a perpetual easement under, over and across the surface of the property shown within the lines on the plat marked as such for the installation, construction, use, repair and maintenance of all public utility equipment, including but not limited to, facilities used in connection with the transmission and distribution of electricity and sounds and signals, water and sewage mains and piping, the right to cut, trim or remove trees, bushes and roots, as may be reasonably required incident to the rights herein given, and the right to enter upon the subdivided property for all such purposes. Obstructions shall not be placed over grantees facilities or in, upon or over the property within the lines marked "easement" without the prior written consent of the grantees. After installation of any such facilities, the grade of the subdivided property shall not be altered in a manner so as to unreasonably interfere with the proper operation and maintenance thereof.

DETENTION AREA EASEMENT PROVISIONS

The detention basin located within the detention area easement shall not be modified. Further, facilities including but not limited to sheds and playground equipment shall not be installed within the detention area easement.

This plat submitted for recording by: (name) _____
(address) _____

SCHOOL DISTRICTS

High School District– Palatine Township High School District 211
Elementary School District– C C 15
Community College District– Harper Community College District 512

Send next tax bill to: (name) _____
(address) _____

EXISTING PROPERTY INDEX NUMBER

P.I.N. 02–10–104–007

GENERAL NOTES

1. THE CONTRACTOR SHALL PERFORM ALL WORK PER THE REFERENCED STANDARDS.
2. THE CONTRACTOR SHALL NOTIFY THE OWNER, MUNICIPALITY, AND NORMAN J. TOBERMAN AND ASSOCIATES, LLC. A MINIMUM OF THREE (3) DAYS BEFORE START OF CONSTRUCTION.
NORMAN J. TOBERMAN & ASSOCIATES, LLC. (847) 439-8225
VILLAGE OF PALATINE (847) 358-7500
3. THE CONTRACTOR SHALL REQUEST A UTILITY LOCATE A MINIMUM OF 48 HOURS PRIOR TO START OF CONSTRUCTION ACTIVITIES. CONTACT J.U.L.I.E. AT (800) 892-0123 OR 811.
4. THE CONTRACTOR SHALL VERIFY THE LOCATIONS & DEPTHS OF ALL UTILITIES. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES OR CONFLICTS AND SHALL BE RESPONSIBLE FOR REPAIR OF DAMAGE DONE TO UTILITIES WITHIN THE LIMITS OF IMPROVEMENT.
5. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT THE CIVIL ENGINEERING PLANS AND ANY PLANS PREPARED BY OTHERS ARE CONCURRENT.
6. DO NOT SCALE PLANS FOR CONSTRUCTION DRAWINGS, VERIFY ALL DIMENSIONS IN FIELD.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SCHEDULING INSPECTIONS.
8. A COPY OF THE APPROVED ENGINEERING PLANS IS TO REMAIN ON SITE AT ALL TIMES.
9. THE CONTRACTOR SHALL INSTALL BARRICADES, CLOSE WALKS BEFORE STARTING AND COVER EXCAVATIONS AT THE END OF EACH DAY.
10. THE CONTRACTOR SHALL MAINTAIN "POSITIVE" SITE DRAINAGE DURING CONSTRUCTION.
11. THE CONTRACTOR SHALL REMOVE OR SECURE CONSTRUCTION EQUIPMENT AT THE END OF EACH DAY.
12. THE CONTRACTOR SHALL OBTAIN ALL REQUIRED LOCAL PERMITS.
13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SITE CONSTRUCTION STAKING AND LAYOUT.
14. THE CONTRACTOR SHALL INDEMNIFY THE OWNER, ENGINEER AND JURISDICTIONAL AUTHORITIES, INCLUDING THEIR AGENCTS, AND NEIGHBORING PROPERTY OWNERS FROM LIABILITIES.
15. THE CONTRACTOR SHALL VERIFY ELEVATIONS BEFORE STARTING WORK AND SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES.
16. THE CONTRACTOR SHALL PROVIDE ADEQUATE CONSTRUCTION SIGNS & BARRICADES.
17. THE CONTRACTOR SHALL MERGE COST FOR ANY INCIDENTAL ITEMS INTO HIS PROPOSAL.
18. THE CONTRACTOR SHALL GUARANTEE PLANT/PAVING MATERIALS & WORKMANSHIP FOR ONE YEAR.
19. THE CONTRACTOR SHALL REMOVE AND DISPOSE OF UNSUITABLE AND EXCESS MATERIAL.
20. THE CONTRACTOR SHALL COMPLY WITH PA 96-1416/CLEAN CONSTRUCTION DEBRIS REMOVAL & OFF-SITE DISPOSAL REQUIREMENTS.
21. THESE ENGINEERING PLANS DO NOT MEET THE MINIMUM REQUIREMENTS FOR A PLAT OF SURVEY. THE PROPERTY LINES AND BOUNDARIES SHOWN ON THESE PLANS ARE FOR REFERENCE ONLY. THE CONTRACTOR SHALL REFER TO THE TITLE, DEED, ABSTRACT OR PLAT OF SURVEY AND SHALL VERIFY THE PROPERTY BOUNDARY PRIOR TO CONSTRUCTION STAKING.

EROSION CONTROL NOTES

1. THE CONTRACTOR SHALL PERFORM EROSION CONTROL AND SEDIMENT PROTECTION WORK PER THE ILLINOIS URBAN MANUAL FOR SOIL EROSION AND SEDIMENT CONTROL, LATEST EDITION AND LOCAL CODES AND STANDARDS.
2. THE CONTRACTOR SHALL KEEP THE WORK SITE, LOT, AND WALK FREE OF MUD & DEBRIS.
3. THE CONTRACTOR SHALL INSTALL TEMPORARY SILT & CONSTRUCTION FENCES AND STABILIZED CONSTRUCTION ENTRANCE PRIOR TO START OF CONSTRUCTION.
4. THE TEMPORARY EROSION CONTROL MEASURES DEPICTED UPON THE PLANS ARE MINIMUM REQUIREMENTS. ADDITIONAL EROSION CONTROL MEASURERS MAY BE REQUIRED BY THE JURISDICTIONAL AUTHORITY.
5. THE CONTRACTOR SHALL PROTECT DITCHES, STORM SEWERS, AND CULVERTS FROM SILTATION.
6. THE CONTRACTOR SHALL FILTER WATER PUMPED FROM DEWATERING OPERATIONS BEFORE IT FLOWS OFFSITE.
7. THE CONTRACTOR SHALL TEMPORARILY SEED TOPSOIL STOCKPILE IF DIRECTED BY THE JURISDICTIONAL AUTHORITY.
8. THE CONTRACTOR SHALL SWEEP ADJACENT ROADWAYS TO REMOVE TRACKED MUD.
9. THE CONTRACTOR SHALL REGULARLY INSPECT AND MAINTAIN TEMPORARY EROSION CONTROL MEASURES.
10. PERMANENT SOIL STABILIZATION SHALL OCCUR WITHIN 14 DAYS AFTER COMPLETION OF FINAL GRADING OF THE SITE.

STOP

811

Know what's below.
Call before you dig.

CALL JULIE

48 HOURS BEFORE YOU DIG.
811 OR 1-800-892-0123

Call Before You Dig

JULIE

ILLINOIS

ONE-CALL SYSTEM

WHETHER YOU'RE DIGGING A FOUNDATION OR JUST PLANTING A TREE, MAKE SURE YOU CALL JULIE FIRST. JULIE IS A FREE NOTIFICATION SERVICE THAT ALERTS UTILITY COMPANIES OF PLANNED DIGGING ACTIVITIES IN AREAS WITH UNDERGROUND UTILITY FACILITIES. UNDERGROUND FACILITIES CAN BE DAMAGED OR RUPTURED BY A SHOVEL BLADE OR OTHER DIGGING EQUIPMENT. AVOID THE PAIN AND COST OF DAMAGING BURIED UTILITIES... CALL BEFORE YOU DIG. STATE LAW NOW REQUIRES YOU TO CALL JULIE TWO WORKING DAYS BEFORE YOU DIG.

LEGEND

EXISTING

PROPOSED

Combined Sewer

Sanitary Sewer

Storm Sewer

Sanitary Manhole

Storm Manhole

Catch Basin

Inlet

Down Spout

Water Main & Services

Valve & Vault

Pressure Connection

Valve & Box

Fire Hydrant

Structure to be Abandoned

Light Pole

Power Pole

Overhead Electric Wires

Spot Grade

Contour

Drainage Arrow

Construction Fence

Silt Fence

Tree Protection Fence

Storm

Sanitary

Water

PROJECT

Louise Lane Subdivision

OF LOT 1 IN EZIO GIORGI SUBDIVISION, BEING A SUBDIVISION OF PART OF THE WEST HALF OF THE EAST HALF OF THE NORTHWEST QUARTER OF SECTION 10, TOWNSHIP 42 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.
AT
501 West Dundee Road
Palatine, IL
PIN #02-10-104-007-0000

LOCATION MAP

WORK SITE

NW QUARTER OF SECTION 9, TOWNSHIP 42 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN

SHEET INDEX

C-1

TITLE AND NOTES

C-2

DEMOLITION PLAN

C-3

SITE PLAN

C-4

UTILITY PLAN

C-5

GRADING & EROSION PLAN

C-6

DETAIL SHEET

TP-1

TREE PRESERVATION PLAN

BENCHMARK

SITE BENCHMARK:

NORTHWEST FLANGE BOLT ON HYDRANT AT THE SOUTHEAST CORNER OF DUNDEE ROAD AND LOUISE LANE.

ELEV 775.66 NAVD 1988 DATUM

REFERENCED STANDARDS

THE FOLLOWING CODES AND SPECIFICATIONS ARE INCORPORATED INTO THESE DOCUMENTS BY REFERENCE AND SHALL BE CONSIDERED MINIMUM CONSTRUCTION STANDARDS. IF ANY CONFLICT EXISTS BETWEEN THE PLANS, SPECIFICATIONS, OR CODES, THE STRICTEST CONDITION SHALL APPLY. IF NO EDITION IS CITED, THE CURRENT EDITION SHALL APPLY:

2016

IDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION

2016

IDOT SUPPLEMENTAL SPECIFICATIONS AND RECURRING SPECIAL PROVISIONS

2016

ISPE STANDARD SPECIFICATIONS OF WATER AND SEWER CONSTRUCTION IN ILLINOIS

MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES

VILLAGE OF PALATINE CODE OF ORDINANCES

DRAINAGE CERTIFICATION STATEMENT

"To the best of our knowledge and belief, the drainage of the surface waters will not be changed by the construction of these lot improvements or any part thereof, or that if such surface water drainage will be changed, reasonable provisions have been made for the collection and diversion of such surface waters into public areas or drains which the Owner has a right to use, and that such surface waters will be planned for in accordance with generally accepted engineering practices so as to reduce the likelihood of damage to the adjoining property."

Dated this 2nd day of July, 2020

Owner

Engineer

SCALE : NONE

SURVEYOR

ATTENTION:
DAVID BYCROFT, P.L.S.
NORMAN J. TOBERMAN & ASSOCIATES, LLC
CONSULTING CIVIL ENGINEERS & SURVEYORS
115 SOUTH WILKE ROAD
SUITE 301
ARLINGTON HTS., IL 60005
PHN: (847) 439-8225
FAX: (847) 749-4104

OWNER

TIM SAUNDERS
Phone: (630) 774-6448

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DESIGN FIRM NO: 184005910
EXPIRES: 04-30-21

No.	Date	Revision
1-3	19	FOR SUBMIT
#2	2-26-20	Revised
lot 1	house footprint	
#3	5-19-20	Revised
Per Village		
#4	6-02-20	Revised
Per Village		
#5	7-01-20	Revised
Per Village		

PROPOSED
3 LOT
SUBDIVISION
501 W. Dundee Road
Palatine, IL

NJT Project No.
18-6896

TITLE AND
NOTES

Sheet No.

C-1

Attachment: ENG PLANS - 501 W. Dundee Road Rev5 7-2-20-rev 5 (501 W. Dundee Road - 3 lot SUB, REZ, VAR fencing)

Packet Pg. 19

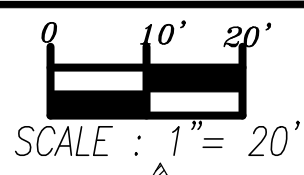
PROJECT BENCH MARK ELEV.
NORTHWEST BOLT OF FIRE HYDRANT
ELEVATION=775.66

West Dundee Road

North Louise Lane

Sanctuary Cove Subdivision
Document 90026424

- DEMOLITION LEGEND**
- Q CONCRETE SIDEWALK REMOVAL
 - R BITUMINOUS PAVEMENT REMOVAL
 - S STRUCTURAL REMOVAL
 - T CONCRETE CURB AND GUTTER REMOVAL
 - U WELL REMOVAL
 - V GREASE TRAP REMOVAL
 - X STORM SEWER REMOVAL



- LEGEND**
- EXISTING**
- Combined Sewer
 - Sanitary Sewer
 - Storm Sewer
 - Sanitary Manhole
 - Catch Basin
 - Inlet
 - Down Spout
 - Water Main & Service
 - Pressure Connection
 - Valve & Box
 - Fire Hydrant
 - Structure to be Abandoned
 - Power Pole
 - Spot Grade
 - Contour
 - Drainage Arrow
 - Manhole Frame & Lid No.
 - Structure Size "x"
 - Type
- PROPOSED**
- Sanitary Manhole
 - Catch Basin
 - Inlet
 - Down Spout
 - Water Main & Service
 - Pressure Connection
 - Valve & Box
 - Fire Hydrant
 - Structure to be Abandoned
 - Power Pole
 - Spot Grade
 - Contour
 - Drainage Arrow
 - Manhole Frame & Lid No.
 - Structure Size "x"
 - Type

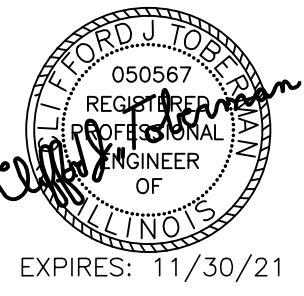
SURVEYOR
ATTENTION:
DAVID BYCROFT, P.L.S.
NORMAN J. TOBERMAN
& ASSOCIATES, LLC
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ENGINEERS &
SURVEYORS
115 SOUTH WILKE ROAD
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PHN: (847) 439-8225
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OWNER
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DESIGN FIRM NO:
184005910
EXPIRES: 04-30-21

No.	Date	Revision
1-3-19		FOR SUBMIT
#2-26-20		Revised
lot 1 house footprint		
#3-6-20		Revised Per Village, Architect, & Owner
#4-6-12-20		Revised Per Village (Trees) & Owner for Sanitary Sewer & Drive Culverts
#5-7-1-20		Revised Per Village
6-23-20		

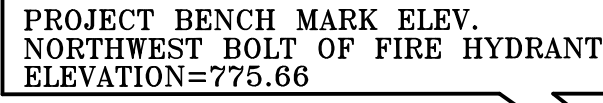


**PROPOSED
3 LOT
SUBDIVISION**
501 W. Dundee Road
Palatine, IL

NJT Project No.
18-6896

**EXIST. TOPO.
and
DEMOLITION
PLAN**

Sheet No.
C-2



EXISTING
BITUMINOUS
PAVEMENT

18"
CONCRETE RIBBON

3-#5 BARS X 10'-0"
CONTINUOUS, AT UTILITY
TRENCH CROSSING,
EXCEPT ACROSS
EXPANSION JOINTS.

IDOT CA 6 CRUSHED
-STONE BASE(4" MIN)

18" Concrete Ribbon

LOT COVERAGE

LOT AREA	45,214 sqft.	(1.038 ACRES)	
IMPERVIOUS	12,401 sqft.	(0.274 ACRES)	27%
PERVIOUS	33,578 sqft.	(0.764 ACRES)	73%

LOT 1 AREA 17,006 SQFT

<u>Building Coverage</u>	(For Residence)
Maximum Allowed of	5,952 sqft (35%)
vs. Design	3,568 sqft (21%)
Difference	2,384 sqft
<u>Lot Coverage, sqft (Impervious)</u>	
Maximum Allowed of	5,952 sqft (45%)
vs. Design	
Residence	3,568
Driveway	1,016
Walk/Stoop	167
Rear Patio	430
	5,181 sqft (30.5%)
Difference	771 sqft

LOT 2 AREA 13,155 SQFT

Building Coverage (For Residence)
Maximum Allowed of 4,604 sqft (35%)
Preliminary Design 2,640 sqft

Lot Coverage, sqft (Impervious)
Maximum Allowed of 5,920 sqft (45%)
vs. Preliminary Design
Residence 2,640 sqft
Drive/Walk/Stoop 564 sqft
Rear Patio 504 sqft
Total 3,610 sqft (27.4%)

LOT 3 AREA 15,054 SQFT

Building Coverage, sqft (For Residence)
Maximum Allowed of 5,269 sqft (35%)

Lot Coverage, sqft (Impervious)
Maximum Allowed of 6,774 sqft (45%)

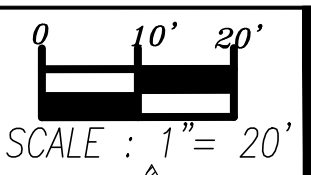
vs. Preliminary Design

Residence	2,640 sqft
Drive/Walk/Stoop	564 sqft
Rear Patio	406 sqft
Total	3,610 sqft (24%)

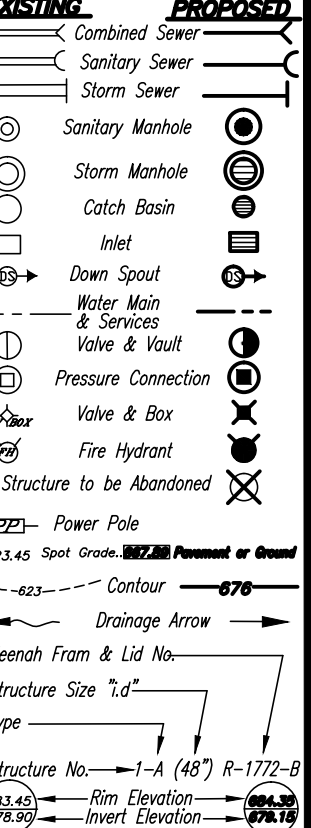
SURFACE LEGEND

- (A) 6" P.C. CONCRETE APRON
4" GRANULAR SUBBASE, TYPE B
MATCH TO PROPOSED CONCRETE RIBBON (SEE NOTE "H")
- (B) 5" P.C. CONCRETE PUBLIC SIDEWALK DRIVE/PATIO/PRIVATE WALK
4" GRANULAR SUBBASE, TYPE B
- (C) 5" P.C. CONCRETE PUBLIC SIDEWALK THRU DRIVEWAY
4" GRANULAR SUBBASE, TYPE B
- (D) 6" TOP SOIL & SEED
- (E) RESTORE DISTURBED AREA WITH
6" TOP SOIL & SEED BLANKET
- (F) 2.5" BITUMINOUS CONCRETE SURFACE COURSE
2.5" BITUMINOUS CONCRETE BINDER COURSE
9" MIN. AGGREGATE BASE COURSE TYPE B, CRUSHED CA-6
(VILLAGE REQUIREMENT STRUCTURAL # = 3.0)
NOTE: EXTEND AGGREGATE BASE 6" BEYOND WEST SIDE EDGE
- (G) COMBINATION CONCRETE CURB & GUTTER, TYPE B 6.24
2, NO. 5 REBARS; MEET EXISTING DUTY CURB INCLUDING DEP. CURB
- (H) 9" CONCRETE RIBBON ALONG EAST EDGE TO EX. STREET, 1'-6" WIDE
2" MIN. AGGREGATE BASE COURSE TYPE B, CRUSHED CA-6
(SEE DETAIL BELOW)
- (J) DETECTABLE WARNING TRUNCATED DOME
- TR 1 EA., 2.5"Ø PARKWAY TREE, BAGGED & BURLAP (PER VILLAGE ORD.)
NOTE: 7 TREES INCLUDED @ 40' SPACING & NO FEWER THAN FOUR
SPECIES OF APPROVED TREES SHALL BE PLANTED. ALSO, NO MORE THAN
25% OF ANY ONE TREE SPECIE SHALL BE ALLOWED ON THE BLOCK.
(SEE VILLAGE OF PALATINE FOR LIST OF ACCEPTABLE TREE SPECIES)

⑧ 8' INTERLOCKING ALUMINUM PICKET FENCE (see C-6 for detail)
 **note: fence height may exceed 8' @ both ends due to grade variations,
 (see C-5 for proposed grading at base of fence)



LEGEND



SURVEYOR

ATTENTION:
DAVID BYCROFT, P.L.S.
NORMAN J. TOBERMAN
& ASSOCIATES, LLC
CONSULTING CIVIL
ENGINEERS &
SURVEYORS
15 SOUTH WILKE ROAD
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BURLINGTON HTS., IL 60005
PHN: (847) 439-8225
FAX: (847) 749-4104

OWNER

TIM SAUNDERS
Phone: (630) 774-6448

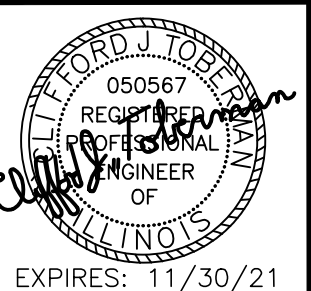
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mail@toberman.us
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DESIGN FIRM NO:
184005910
EXPIRES: 04-30-21

No.	Date	Revision
1	3-19-20	FOR SUBMIT
2	2-26-20	Revised
at 1 house footprint		
3	6-2-20	Revised Per
illage, Architect, & Owner		
4	6-12-20	Revised Per
illage (Trees) & Owner for		
sanitary Sewer & Drive		
ulverts		
5	7-1-20	Revised Per
illage 6-23-20		



**PROPOSED
3 LOT
SUBDIVISION**
01 W. Dundee Road
Palatine, IL

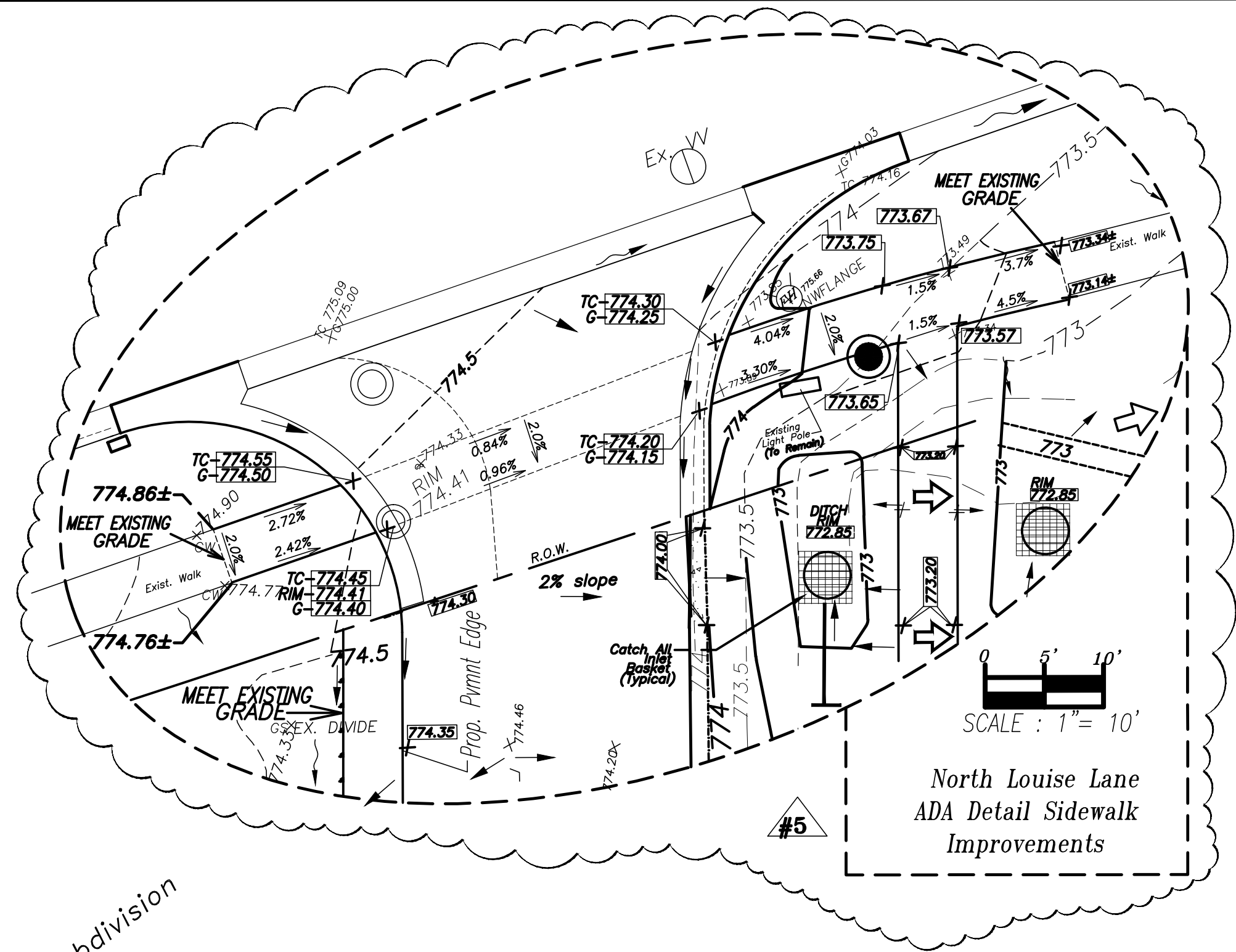
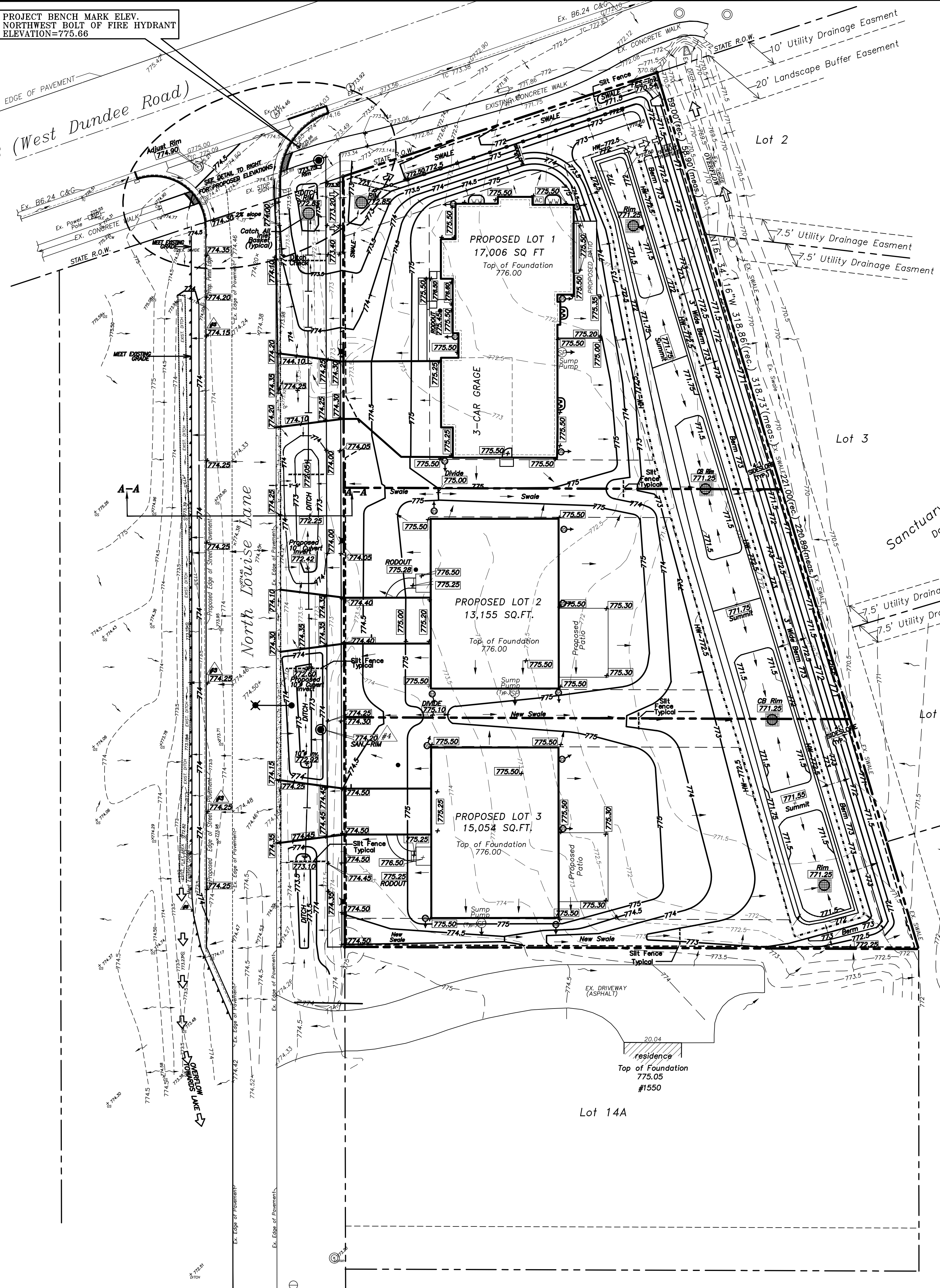
NJT Project No.
18-6896

SITE PLAN

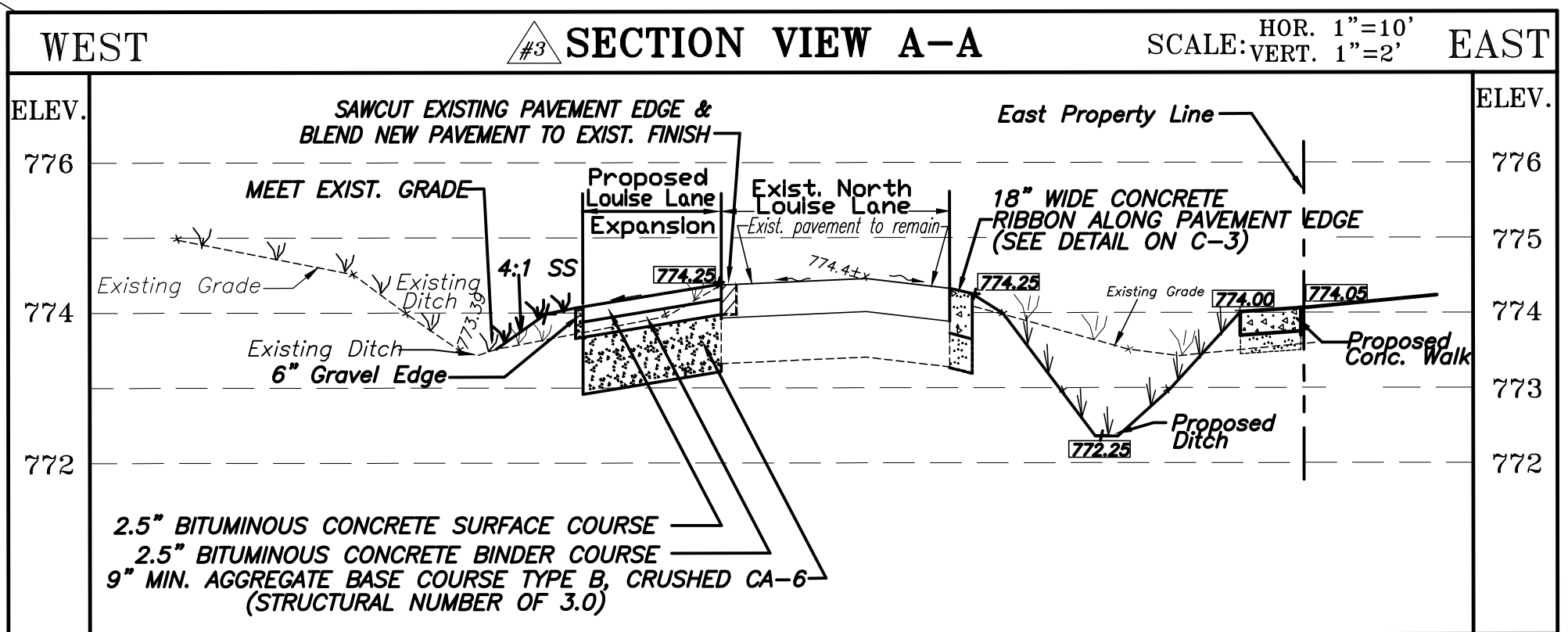
Sheet No.
C-3

PROJECT BENCH MARK ELEV.
NORTHWEST BOLT OF FIRE HYDRANT
ELEVATION=775.66

IL 68 (West Dundee Road)



LOT COVERAGE	
LOT AREA	45,214 sqft.
IMPERVIOUS	12,401 sqft.
PROPOSED INFILTRATION CALCULATION	
LOT AREA	45,214 sqft.
IMPERVIOUS	12,401 sqft.
$12,401 / 12 = 1,007 \text{ cuft.}$	
Required 1,033 cuft. #3	
PROPOSED INFILTRATION TOTALS	
Provided 2,111 cuft.	
Required 1,033 cuft.	
Surplus 1,078 cuft.	
DETENTION SUMMARY	
Detention Provided 9,161 cuft.	
Detention Required 8,725 cuft.	
Surplus 436 cuft.	



0' 10' 20'
SCALE: 1" = 20'

N

LEGEND

EXISTING PROPOSED

- Combined Sewer
- Sanitary Sewer
- Storm Sewer
- Sanitary Manhole
- Storm Manhole
- Catch Basin
- Inlet
- Down Spout
- Water Main & Services
- Valve & Vault
- Pressure Connection
- Valve & Box
- Fire Hydrant
- Structure to be Abandoned
- Power Pole
- 4000' S. Street Line
- 20' Easement or Road
- Centerline
- Drainage Arrow
- Neighborhood & Lot No.
- Structure Size 1/2"
- Type
- Structure No. 1-4 (47) R-172-B
- Rim Elevation
- Invert Elevation

SURVEYOR

ATTENTION:
DAVID BYCROFT, P.L.S.
NORMAN J. TOBERMAN
& ASSOCIATES, LLC
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DESIGN FIRM NO:
184005910
EXPIRES: 04-30-21

No.	Date	Revision
1	3-19	FOR SUBMIT
2	2-26-20	Revised
3	6-2-20	Revised Per Village, Architect, & Owner
4	6-12-20	Revised Per Village (Trees) & Owner for Sanitary Sewer & Drive Culverts
5	7-1-20	Revised Per Village 6-23-20

**PROPOSED
3 LOT
SUBDIVISION**
501 W. Dundee Road
Palatine, IL
NJ Project No.
18-6896
**GRADING
& EROSION
PLAN**
Sheet No.
C-5

EXPIRES: 11/30/21

Attachment: ENG PLANS - 501 W. Dundee Road Rev 5 (501 W. Dundee Road - 3 lot SUB, REV, VAR fencing)

PROJECT BENCH MARK ELEV.
NORTHWEST BOLT OF FIRE HYDRANT
ELEVATION=775.66

West Dundee Road

North Louise Lane

Sanctuary Cove Subdivision
Document 90026424

Lot 1

Lot 2

Lot 3

Lot 4

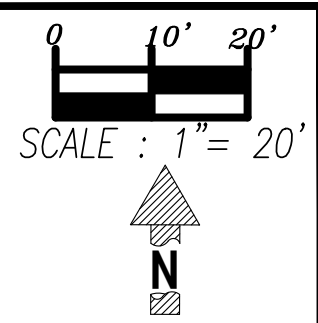
Lot 5

Lot 14A

residence
Top of Foundation
775.05
#1550

TREE LEGEND

- Tree Protection fence
- ⊙ TREE AND SHRUB REMOVAL



LEGEND

- | EXISTING | PROPOSED |
|----------------------------------|----------------------------------|
| Combined Sewer | Sanitary Sewer |
| Storm Sewer | Storm Sewer |
| Sanitary Manhole | Sanitary Manhole |
| Storm Manhole | Storm Manhole |
| Catch Basin | Catch Basin |
| Inlet | Inlet |
| Down Spout | Down Spout |
| Water Main & Services | Water Main & Services |
| Valve & Vault | Valve & Vault |
| Pressure Connection | Pressure Connection |
| Valve & Box | Valve & Box |
| Fire Hydrant | Fire Hydrant |
| Structure to be Abandoned | Structure to be Abandoned |
| Power Pole | Power Pole |
| Spot Grade | Spot Grade |
| Contour | Contour |
| Drainage Arrow | Drainage Arrow |
| Neenah Form & Lot No. | Neenah Form & Lot No. |
| Structure Size 1/4" | Structure Size 1/4" |
| Type | Type |
| Structure No. 1-A (487) R-1772-B | Structure No. 1-A (487) R-1772-B |
| Fin Elevation | Fin Elevation |
| Invert Elevation | Invert Elevation |

SURVEYOR

ATTENTION:
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DESIGN FIRM NO:

184005910

EXPIRES: 04-30-21

No. Date Revision

1-3-19 FOR SUBMIT

#2 2-26-20 Revised

lot 1 house footprint

#3 6-2-20 Revised Per

Village, Architect, & Owner

#4 6-12-20 Revised Per

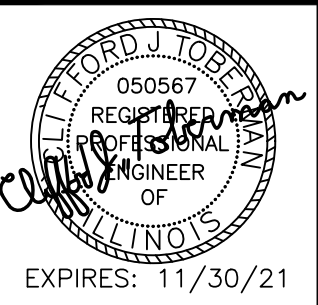
Village (Trees) & Owner for

Sanitary Sewer & Drive

Culverts

#5 7-1-20 Revised Per

Village 6-23-20



PROPOSED

3 LOT

SUBDIVISION

501 W. Dundee Road

Palatine, IL

NJT Project No.

18-6896

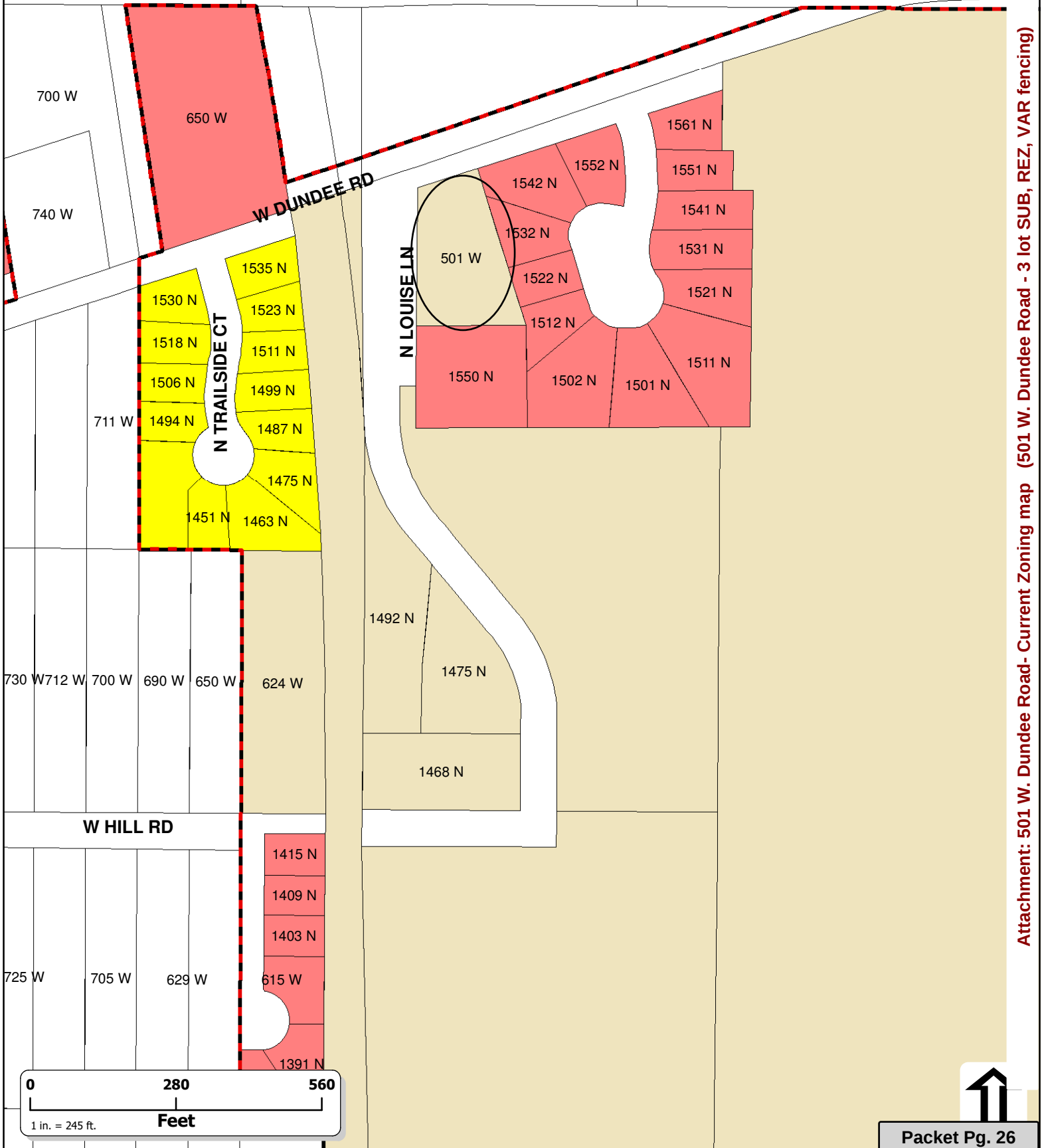
Tree

Preservation

Plan

Sheet No.

TP-1



Attachment: 501 W. Dundee Road- Current Zoning map (501 W. Dundee Road - 3 lot SUB, REZ, VAR fencing)





PRELIMINARY & FINAL PLAT OF SUBDIVISION

Department of Planning & Zoning
200 E. Wood Street • Palatine, IL • 60067-5339
Telephone: (847) 359-9047 • Fax (847) 963-6247
www.palatine.il.us

CONTACT INFORMATION WORKSHEET

PETITIONER(S) Timothy & Cindy Saunders		Business Name (If applicable)	
Address 214 Compton Lane, Schaumburg, IL 60194		City/State/Zip Code	
Telephone		Fax	
Email			
Subject Property Address 501 Wesr Dundee Road, Palatine, IL 60067			
AUTHORIZED AGENT (if applicable) Jerome W. Pinderski, Jr./Pinderski & Pinderski, Ltd.		Business Name (if applicable)	
Address 115 West Colfax Street, Palatine, IL 60067		City/State/Zip Code	
Telephone 847-358-5220		Fax 847-358-4506	
Email jerome@pinderski.com			

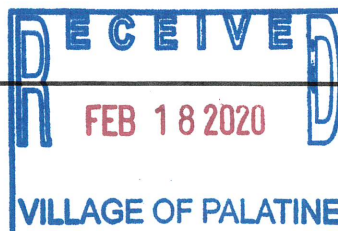
I swear that the information contained herein and in any accompanying documents is accurate to the best of my knowledge.

Tim Saunders

Signature

February 18, 2020

Date



VILLAGE OF PALATINE

PRELIMINARY & FINAL PLAT OF SUBDIVISION

Department of Planning & Zoning
200 E. Wood Street • Palatine, IL • 60067-5339
Telephone: (847) 359-9047 • Fax (847) 963-6247
www.palatine.il.us

Office Use Only	Project Planner <u>KR</u>	Zoning Case # <u>20-11</u>
	Filing Fee	Notification Deadline
	PC Public Hearing Date	Village Council Date

date received

PLEASE TYPE OR PRINT IN INK:

1. Name of Petitioner(s): Timothy & Cindy Saunders

2. Authorized Agent of Petitioner (if different):
 Name: Jerome W. Pinderski, Jr.
 Address: 115 West Colfax Street, Palatine, IL 60067
 Telephone No. 847-358-5220 Business No. _____
 Email: jerome@pinderski.com
 Relationship to Petitioner: Attorney

3. Property Interest of Petitioner(s): Contract purchaser
Owner, Lessee, Contract Purchaser, etc.

4. Address of the property for which this application is being filed:
501 West Dundee Road, Palatine, IL 60067

5. All existing land use(s) on the property are: single family residence

6. The proposed use(s) on the property, if this petition is approved is (are):
creation of a new three (3) lot subdivision conforming to R-2 standards

7. Current zoning of property: R-1 Size of the property: 1.038 acres

8. State the specific action requested:
approval of new three (3) lot residential subdivision

9. The petitioner's signature below indicates that the information contained in this application and on any accompanying documents is true and correct to the best of his/her knowledge.

Signature: 

Date: February 18, 2020

State of Illinois
County of Cook

This instrument was acknowledged before me on February 18, 20 20 by
Timothy Saunders

(Seal)



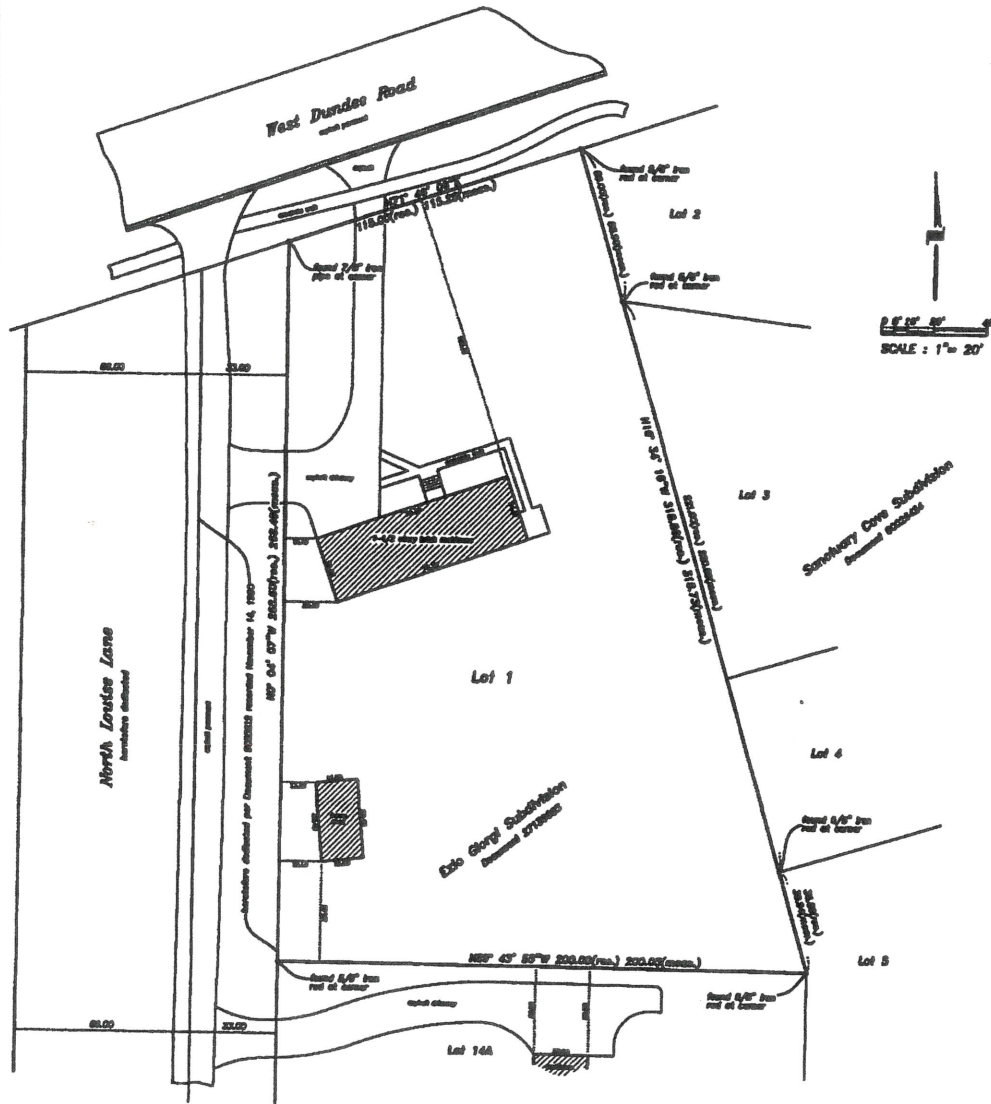

Notary Public

Plat of Survey of

LOT 1 IN THE FINAL PLAT, EZZO GIORGI SUBDIVISION, BEING A SUBDIVISION OF PART OF THE WEST ½ OF THE EAST ½ OF THE NORTHWEST ¼ OF SECTION 10, TOWNSHIP 42 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JUNE 21, 1984 AS DOCUMENT 27139665, AND CERTIFICATE OF CORRECTION RECORDED JUNE 26, 1984 AS DOCUMENT 27146840 IN COOK COUNTY, ILLINOIS.

COMMONLY KNOWN AS: 501 WEST DUNDEE ROAD, PALATINE, ILLINOIS.

P.L.N. 02-10-104-007-0000



State of Illinois }
County of Cook } ss.

I, David Bryant, an Illinois Professional Land Surveyor, do hereby certify that I have surveyed the property described in the caption of this plat and that this plat is a correct representation of said survey.

Dated at Arlington Heights, Illinois, this 12th day of September, 2010.

by _____
an Illinois Professional Land Surveyor No. 2040

This professional service conforms to the current Illinois minimum standards for a boundary survey.

For comments, including those and other restrictions not shown herein, refer to your client's of this deed, title policy and land zoning ordinance.

Field work was completed September 7, 2010.

The area of the property surveyed equals 45,915 square feet.

Design Firm #184-005910
Expires April 30, 2013



FILE NO. 10-0396

for:
Tim Saunders
214 Compton Lane
Suburbain, Illinois

from the office of:
Norman J. Toberman and Associates
115 South Wilke Road
Suite 301
Arlington Heights, Illinois
847-433-8225

VILLAGE OF PALATINE

REZONING

Department of Planning & Zoning

200 E. Wood Street • Palatine, IL • 60067-5339

Telephone: (847) 359-9047 • Fax (847) 963-6247

www.palatine.il.us

Office Use Only	Project Planner <u>KR</u>	Zoning Case # <u>20-11</u>
	Filing Fee	Notification Deadline



PLEASE TYPE OR PRINT IN INK:

- Name of Petitioner(s): Timothy & Cindy Saunders
- Authorized Agent of Petitioner (if different):
 Name: Jerome W. Pinderski, Jr./Pinderski & Pinderski, Ltd.
 Address: 115 West Colfax Street, Palatine, IL 60067
 Telephone No. 847-358-5220 Business No. 847-358-4506
 Relationship to Petitioner: Attorney
- Property Interest of Petitioner(s): Contract purchaser
 Owner, Lessee, Contract Purchaser, etc.
- Address of the property for which this application is being filed:
501 West Dundee Road, Palatine, IL
- This petition is for: (check one)
☒ Rezoning of currently incorporated property (within Village limits)
☐ Rezoning of currently unincorporated property, in conjunction with annexation
- All existing land use(s) on the property are: single family residence
- The proposed use(s) on the property, if this petition is approved is (are):
- Current zoning of property: R-1 Size of the Property: 1.038 acres
- Proposed new zoning classification: R-2

PETITIONER JUSTIFICATION:

The Petitioner is required to present specific evidence, not opinions, to justify the proposed rezoning. Please respond to the following questions, attaching a separate sheet if necessary:

10. Describe why the subject property cannot be reasonably developed in accordance with the existing zoning classification.

see attached memorandum

11. Is the proposed zoning classification similar to or harmonious with the existing zoning of surrounding properties? Explain.

see attached memorandum

12. Does the proposed zoning classification conflict with the Village's Comprehensive Plan? Explain.

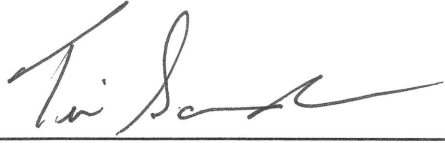
see attached memorandum

13. Will any of the uses permitted under the proposed zoning classification have an injurious effect on the value and/or the use and enjoyment of surrounding properties?

see attached memorandum

14. The petitioner's signature below indicates that the information contained in this application and on any accompanying documents is true and correct to the best of his/her knowledge.

Signature: _____



Date: Feburary 18, 2020

Attachment: REZONIG APPLICATION (501 W. Dundee Road - 3 lot SUB, REZ, VAR fencing)

Saunders Resubdivision Project

Memorandum in Support of Petition for Rezoning

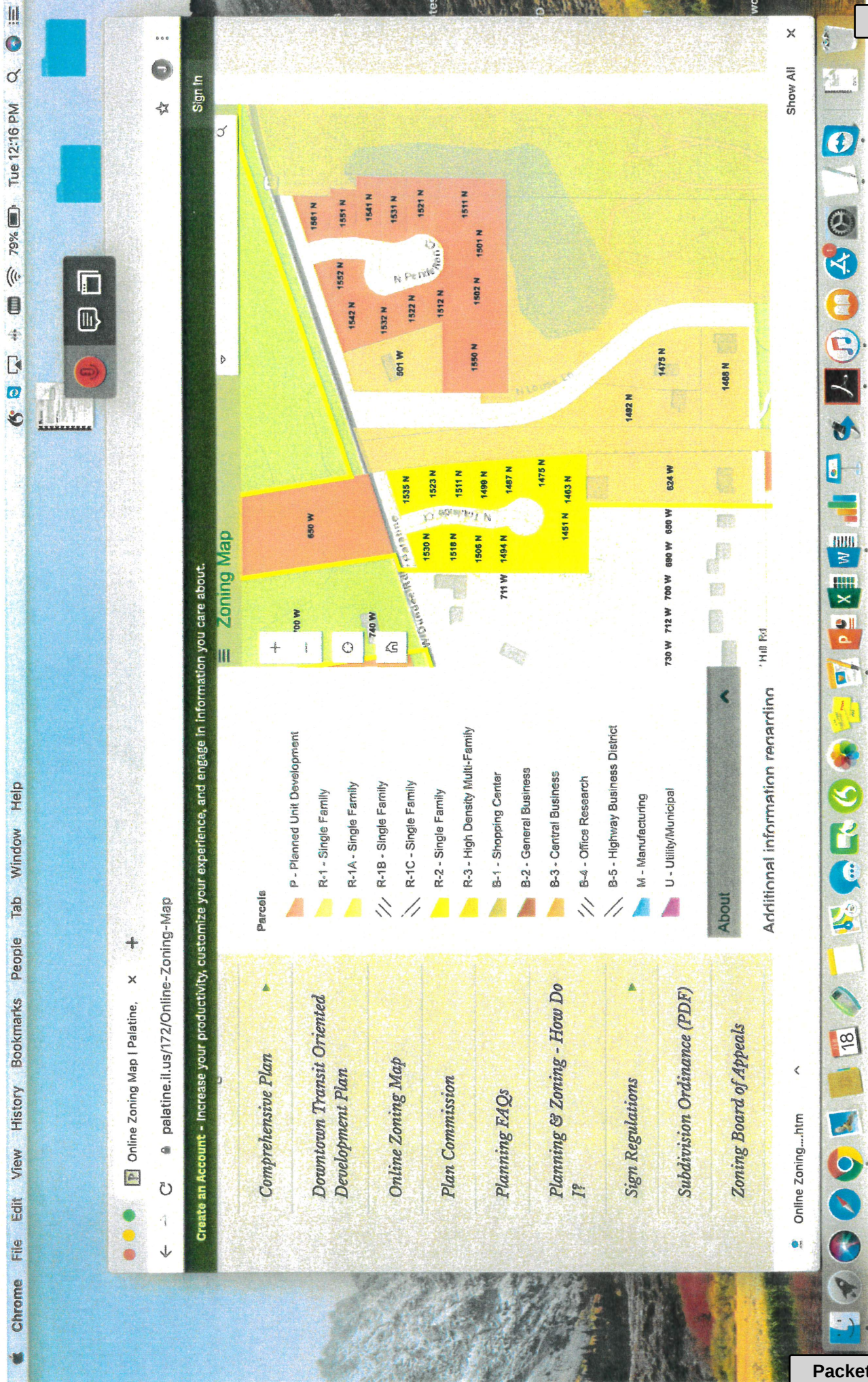
Petitioners Timothy and Cindy Saunders are the contract purchasers of a single-family residence commonly known as 501 West Dundee Rd., Palatine, IL 60074. They are seeking to purchase the property, and to re-subdivide same into a new three (3) lot, R-2 complaint subdivision. Under the proposed plan, no subdivision or development variances are currently being sought. The property is located at the intersection of Dundee Road and Louise Lane, east of the intersection of Dundee Road and Quentin Road.

1. The existing property is approximately 1.038 acres in size. It was developed in Cook County years before being annexed into the Village of Palatine. The property is an odd size lot, currently improved with a small home in poor condition. The property is serviced by a private well and private septic system. Any redevelopment of the site, even as a single-family home site would require the property to make a connection to the public water system and the public sewer system. The property's location adjacent to Dundee Road is a poor site for a new, standalone single-family home. The cost of demolishing the existing home, and constructing a new single-family home would not yield any reasonable return on the investment. Petitioners proposed resubdivision of the property is an appropriate reuse of the site. The plan retains its residential character, while creating new, appropriately size lots that can be redeveloped in the current market to yield a fair return to a developer.
2. Petitioners proposed subdivision is in harmony with the existing zoning of surrounding properties. The subject property has a residential subdivision to the east (zoned P) which generally conforms to the R-2 zoning district. A smattering of single-family residences immediately south of the subject property along Louise Lane which runs south from Dundee Road to the Palatine Hills Golf Course generally conform to the R-1 district standards. A subdivision to the immediate west of the subject property was developed as an R-2 residential project. (See attached zoning map)
3. Palatine's comprehensive land development plan calls for the subject property to be used for residential purposes. Petitioners proposed resubdivision plan adheres to the land uses set out in the current comprehensive plan.
4. Petitioner's proposed redevelopment of the subject property will have no negative effects on the value nor the use and enjoyment of the surrounding properties. Petitioners proposed resubdivision of the subject site, and ultimate construction of three

new single-family homes will continue a trend of new residential development within the immediate area. The project, if approved will require Petitioner to make certain significant improvements to the adjacent street known as Louise Lane which will provide significant value to its new residences, as well as the existing and future residents along Louise Lane south towards the Palatine Hills Golf Course. The development will also cause improvements to be made to the area's stormwater management system. The current property has no stormwater management systems or plans in place. Stormwater merely sheets off the existing property in an uncontrolled fashion. Petitioners development of the property will positively alter this program to bring the site into conformity with Village and Cook County stormwater management standards.

5. For all the reasons set forth herein, Petitioners believe that the approval of their resubdivision project and plat of resubdivision will enhance the value of the subject property for their benefit, and for the benefit of their neighbors.

6. Petitioners respectfully seek approval of their request to rezone the subject property into the Village's R-2 zoning district along with their complain plat of resubdivision so as to allow for the creation of a new three (3) lot R-2 complaint subdivision.



Louise Lane Subdivision Project/Fence Variance Request



VARIATION

Required Materials

- ☐ Filing Fee of \$ _____
- ☐ Application Form
- ☐ Plat of Survey (must show all current improvements and be sealed by an Illinois certified surveyor)
- ☐ Site Plan & Floor plan (dimension, location, and setbacks of all existing and proposed buildings) – **one 11x17 copy each, electronic version preferred**
- ☐ Real Estate Interest Disclosure Form (see attached)
- ☐ Proof of Ownership or Lease (e.g. Title Insurance Policy, Deed, or Purchase Contract)

Additional Materials (as required by the Village)

- ☐ Elevation Plan (front, side, and rear elevations of a proposed building), and/or Floor Plan (proposed interior layout) – **one 11x17 copy of each plan, electronic versions preferred**
- ☐ Engineering Plans (must indicate existing conditions, topography, storm water management, tree preservation, utility connections, detention calculations, and a cost estimate)
- ☐ Photographs (e.g. ground-level or aerials)
- ☐ Other materials as deemed necessary by the Village

Petitioner Justification

The Petitioner is required to present specific evidence related to each of the following standards to justify the request (paraphrased from Section 14.03 of the Palatine Zoning Ordinance). Answer the items below and attach a separate sheet if necessary. ***If you are applying for a Special Use only, you do not need to answer these items.***

1. That the property cannot yield a reasonable return if used only under the conditions allowed by the regulations governing the zoning district in which it is located
see attached memorandum

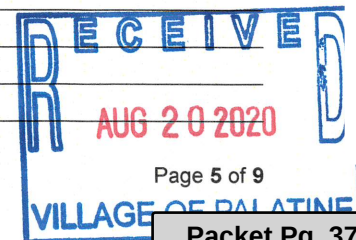
2. That the plight of the owner is due to unique circumstances
see attached memorandum

3. That the variation, if granted, will not alter the essential character of the locality
see attached memorandum

4. In order to supplement the above standards, the Zoning Board of Appeals may also consider the following:

- a. The particular surroundings, shape, or topographical conditions of the property
- b. A unique hardship for the property not generally applicable to other properties in the same zoning district
- c. The request is not based on a desire to make more money out of the property
- d. The petitioner has not created the alleged hardship for the property
- e. The request will not be detrimental to the public welfare or other properties in the neighborhood
- f. The request will not impair the supply of light and air to adjacent properties, substantially increase the danger of fire, endanger the public safety, or substantially diminish or impair neighboring property values

see attached memorandum





Signature Page

I swear that the information contained on Page 1 herein and in any accompanying documents is accurate to the best of my knowledge.

Signature

08-20-20

Date

Attachment: VARIATION APPLICATION - 501 W. Dundee Road (501 W. Dundee Road - 3 lot SUB, REZ, VAR fencing)

Louise Lane Subdivision Project

Fence Variance Request

Memorandum of Support

I. Introduction

Petitioners Timothy and Cindy Saunders are seeking Village approval for a three (3) lot residential subdivision of a parcel of real estate commonly known as the 501 W. Dundee Rd., Palatine, IL 60074. The property sits at the southeast intersection of Dundee Road and Louise Lane. A companion petition for rezoning from R-1 to R-2 and petition for approval of preliminary and final subdivision plat are being considered contemporaneously with this companion request for a fence height variance.

II. Fence Height Variance Request

Petitioners are seeking permission to construct and maintain an 8-10 foot fence along the northern property line of Lot 1 in the Louise Lane subdivision. The project civil engineering drawings as well as the engineer's comments indicate that some portions of the fence structure, specifically those leading to the northeast corner of a lot may need to be physically longer than 8 feet, and possibly up to 10 feet in length in order to build a uniform fence structure. The lot grade slopes downward from the western portion of Lot 1 to the eastern portion of Lot 1 along its northern border. If Petitioners do not provide for variable height lengths in the fence structure, they will have to build an unusual fence system that will not work well, and likely will be aesthetically challenging.

III. Justifications Supporting Variance

This request is based upon the unique topographical circumstances beyond the control of Petitioner and their future property owners which necessitates this variance request. Without the Variance, any code compliant fence will look odd and provide no meaningful protection against the highway traffic, sound, lights and litter from Dundee Road. The topography of Lot 1 parallel to Dundee Road requires a higher than normal fence in to provide a realistic fence barrier to benefit the future residents of Lot 1 to allow them to be able to enjoy their back and side yards. The natural conditions which exist, and which must be maintained in conjunction with the subdivision site development work will always hamper any homeowner of Lot 1 in screening the property from Dundee Road.

The requested fence height variance will not alter the residential character of the project, nor negatively affect any neighboring property owners. Visually, the proposed fence structure at 8 to 10 feet, depending upon the specific topography of each post location, will from Dundee Road, appear to be a "normal height fence" as viewed from traffic heading east and west on Dundee Road.

The fence height variance request being sought by the Petitioners will not create any public safety hazards not diminish the character of any neighboring properties. The fence will not in any way affect the flow of light and air to neighboring properties, and will be aesthetically in tune with the residential character of Petitioner's property and the surrounding subdivisions. In the absence of a practical fence barrier, it may be very difficult to develop and sell any home on Lot 1 due to its proximity to a Dundee Road.

Petitioner has not created this unique hardship. It exists as the result of the property's natural topography that cries out for a special fence height variance to allow Petitioners to earn a reasonable return on the property, and otherwise create a workable residential lot.

IV. Conclusion

For all the reasons stated herein, Petitioners respectfully request that their fence height variance be granted so as to allow them to build a fence structure of between 8-10 feet along the northern property line of Lot 1 of the Louise Lane subdivision.

Signed at Palatine Illinois on August 20, 2020.

A handwritten signature in blue ink, appearing to read 'Jerome W. Pinderski, Jr.', is written over a horizontal line.

Jerome W. Pinderski, Jr.
Attorney for Petitioners

PUBLIC NOTICE

A Public Hearing will be held before the Palatine Plan Commission on Tuesday, September 1, 2020 at 7 P.M. in the Village Council Chambers in the Palatine Village Hall, 200 E. Wood Street, relative to a request for the following:

1. Preliminary and Final Plat of Subdivision for a new 3-lot single-family residential development; and,
2. Rezoning from R-1 Single-Family Residential to R-2 Single-Family Residential; and,
3. A Variation to allow an 8-foot fence along the Dundee Road frontage of the 3-lot subdivision, pursuant to Section 6.03 (b) (1).

The property is commonly known as 501 W. Dundee Road (PIN # 02-10-104-007-0000).

The Petitioner is seeking to subdivide the Subject Property into 3 single-family residential lots.

The above petition was filed by Tim and Cindy Saunders and is available for examination in the office of the Village Clerk, 200 E. Wood Street.

FILE #: 20-11 VILLAGE OF PALATINE

Dennis Dwyer, Chair,
Palatine Plan Commission

DATED: This 17th day of August 2020.
Published in Daily Herald/August 17, 2020 (4549664)

CERTIFICATE OF PUBLICATION

Paddock Publications, Inc.

Daily Herald

Corporation organized and existing under and by virtue of the laws of the State of Illinois, DOES HEREBY CERTIFY that it is the publisher of the **DAILY HERALD**. That said **DAILY HERALD** is a secular newspaper and has been circulated daily in the Village(s) of Algonquin, Antioch, Arlington Heights, Aurora, North Aurora, Bannockburn, Barrington, Barrington Hills, Lake Barrington, North Barrington, South Barrington, Bartlett, Batavia, Buffalo Grove, Burlington, Campton Hills, Carpentersville, Cary, Crystal Lake, Deerfield, Deer Park, Des Plaines, Elburn, East Dundee, Elgin, South Elgin, Elk Grove Village, Fox Lake, Fox River Grove, Franklin Park, Geneva, Gilberts, Glenview, Grayslake, Green Oaks, Gurnee, Hainesville, Hampshire, Hanover Park, Hawthorn Woods, Highland Park, Highwood, Hoffman Estates, Huntley, Inverness, Island Lake, Kildeer, Lake Bluff, Lake Forest, Lake in the Hills, Lake Villa, Lake Zurich, Libertyville, Lincolnshire, Lindenhurst, Long Grove, Melrose Park, Montgomery, Morton Grove, Mt. Prospect, Mundelein, Niles, Northbrook, Northfield, Northlake, Palatine, Park Ridge, Prospect Heights, River Grove, Riverwoods, Rolling Meadows, Rosemont, Round Lake, Round Lake Beach, Round Lake Heights, Round Lake Park, Schaumburg, Schiller Park, Sleepy Hollow, St. Charles, Streamwood, Sugar Grove, Third Lake, Tower Lakes, Vernon Hills, Volo, Wadsworth, Wauconda, Waukegan, West Dundee, Wheeling, Wildwood, Wilmette County(ies) of Cook, Kane, Lake, McHenry and State of Illinois, continuously for more than one year prior to the date of the first publication of the notice hereinafter referred to and is of general circulation throughout said Village(s), County(ies) and State.

I further certify that the DAILY HERALD is a newspaper as defined in "an Act to revise the law in relation to notices" as amended in 1992 Illinois Compiled Statutes, Chapter 715, Act 5, Section 1 and 5. That a notice of which the annexed printed slip is a true copy, was published 08/17/2020 in said DAILY HERALD.

IN WITNESS WHEREOF, the undersigned, the said PADDOCK PUBLICATIONS, Inc., has caused this certificate to be signed by, this authorized agent, at Arlington Heights, Illinois.

PADDOCK PUBLICATIONS, INC.
DAILY HERALD NEWSPAPERS

BY

Authorized Agent

Control # 4549664

Attachment: Public Notice (501 W. Dundee Road - 3 lot SUB, REZ, VAR fencing)

VILLAGE OF PALATINE
Plan Commission

SCHEDULED 09/01/20 07:00 PM

CASE STAFF STATEMENT (ID # 6215)

**Text amendment to Article 14 – Administration – Section
14.05 (b) Administrative Special Uses, Minor Special Uses,
and Special Use Amendments**

CASE NUMBER: 20-46

PETITIONER: Village of Palatine

LOCATION: The text amendment would apply to all properties within the corporate limits of the Village of Palatine.

PROPOSAL: Text amendment to Article 14 - Administration - Section 14.05 (b) Administrative Special Uses, Minor Special Uses, and Special Use Amendments

BACKGROUND:

Through the recent review of building permit applications over the last several years, Staff has seen a marked influx in building permit requests for pergolas and gazebos. To that end, the zoning ordinance is silent in a specific reference to pergolas or gazebos. By application, the ordinance reviews these improvements, as accessory structures, for height and setback. Given their typical intended placement and use (e.g. on a patio behind a home), most pergolas and gazebos would not comply with the minimum required 10-foot setback from the principal structure.

Therefore, Staff is recommending a text amendment to Article 14 Administration - Section 14.05 (b) (1) to include pergolas and gazebos, in addition to sheds encroaching on the setback requirements, as eligible accessory structures for a Minor Special Use and administrative approval. After surveying several neighboring communities, pergolas and gazebos are typically reviewed under the accessory structure category. The impact of these structures would typically be similar to that of a shed.

ANALYSIS:

Section 14.05 (b) Administrative Special Uses, Minor Special Uses, and Special Use Amendments

In reviewing building permits for recent proposed pergola and gazebos, Staff notes an increase in requests for these types of structures and they are often placed closer than

the required 10-foot setback from the primary structure. Currently there is a Minor Special Use and administrative approval option for sheds not meeting the setback requirements, as accessory structures. Pergolas and gazebos are not currently contemplated for the Minor Special Use process, but Staff recommends their inclusion in that review process. The existing requirements of height and square footage of accessory structures would still apply and any variation from that requirement would not be eligible for a Minor Special Use.

Since 2015, Staff has recommended and the Village Council has consistently approved variation requests for pergolas and gazebos that encroach into the setbacks.

Therefore, Staff is recommending the following amendment to Section 14.05(b) (1) of the Palatine Zoning Ordinance:

Proposed Language - Staff is proposing the following changes:

(b) *Administrative Special Uses, Minor Special Uses, and Special Use Amendments*. All applications for administrative special uses shall be made on an appropriate application form provided by the Village. (Ord. #0-122-10, §3, 10/4/10)

- (1) The Village Manager or designee may recommend approval of the following applications for Minor Special Uses, Administrative Special Use, and Special Use Amendments to the Village Council on the Consent Agenda, or may remand the application to the Zoning Board of Appeals for further action. Minor Special Uses which comply with the application and ordinance may be administratively approved, pursuant to the required process in the following category: (Ord. #0-122-10, §4, 10/4/10; Ord. O-36-17, 4/3/17)
 - a. Applications for special uses involving sheds, pergolas, or gazebos encroaching upon the setback requirements. (Ord. No. O-83-96, 5/29/96 □6; Ord.No.0-188-99,□□6,11-8-99)

RECOMMENDATIONS:

Staff recommends approval of the proposed Text Amendment to Article 14 - Administration - Section 14.05 (b) (1) Minor Special Use Amendments of the Village of Palatine Zoning Ordinance.

ATTACHMENTS:

- Minor SU Revision
- Public Notice

14.05. Special Uses and Special Use Amendments, Minor Special Use, and Administrative Special Uses. (Ord. #0-122-10, §1, 10/4/10; Ord O-36-17, 4/3/17)

(a) *Purpose and authorization.* Except as provided in paragraph (b) of this Section, Special Uses and Special use amendments shall be heard by either the Zoning Board of Appeals or the Plan Commission. The development and execution of this ordinance is based upon the division of the Village into districts, within any which district the use of land and buildings, and the bulk and location of buildings and structures as related to the land are substantially uniform. (Ord. #0-171-94 ə2 and ə3, 11-14-94; Ord. #0-122-10, §2, 10/4/10)

- (1) It is recognized, however, that there are special uses which, because of their unique characteristics cannot be properly classified in any particular district or districts without consideration, in each individual case, of the impact of those special uses upon neighboring land and upon the public need for the particular special use at the particular location.
- (2) While specific regulations for specific zoning districts in this ordinance may recognize particular uses that may be allowable in such zoning district as a special use, all such special uses fall, nevertheless, into two (2) broad categories:
 - a. Uses publicly operated or traditionally affected with the public interest; and
 - b. Uses entirely private in character, but of such an unusual nature that the operation may give rise to unique problems with respect to their impact upon neighboring property or public facilities. Such uses may include planned unit developments meeting the standards and requirements of this ordinance.

(b) *Administrative Special Uses, Minor Special Uses, and Special Use Amendments.* All applications for administrative special uses shall be made on an appropriate application form provided by the Village. (Ord. #0-122-10, §3, 10/4/10)

- (1) The Village Manager or designee may recommend approval of the following applications for Minor Special Uses, Administrative Special Use, and Special Use Amendments to the Village Council on the Consent Agenda, or may remand the application to the Zoning Board of Appeals for further action. Minor Special Uses which comply with the application and ordinance may be administratively approved, pursuant to the required process in the following category: (Ord. #0-122-10, §4, 10/4/10; Ord. O-36-17, 4/3/17)
 - a. Applications for special uses involving sheds, **pergolas or gazebos** encroaching upon the setback requirements. (Ord. No. O-83-96, 5/29/96 ə6; Ord.No.0-188-99,ə2,11-8-99)
 - b. Changes to existing Special Uses which maintain substantial conformance to the enabled Special Use. (Ord. #0-122-10, §5, 10/4/10)

PUBLIC NOTICE
A public hearing will be held before the Palatine Plan Commission on Tuesday, September 1, 2020 at 7 P.M., in the Village Council Chambers in the Palatine Village Hall, 200 E. Wood Street, relative to a request for the following:

Text amendments to Article 14 – Administration – Section 14.05 (b) Administrative Special Uses, Minor Special Uses, and Special Use Amendments

These amendments are all of Appendix A (Village of Palatine Zoning Ordinance) of the Village of Palatine Code of Ordinances.

The proposed text amendment will include setback reductions for pergolas and gazebos, as eligible categories for Minor Special Uses. The above petition has been filed by the Village of Palatine and is available for examination in the office of the Village Clerk, 200 E. Wood Street.

FILE #: 20-46

VILLAGE OF PALATINE
Dennis Dwyer, Chair
Palatine Plan Commission
DATED: This 17th day of August 2020.
Published in Daily Herald
August 17, 2020 (4549701)

CERTIFICATE OF PUBLICATION

Paddock Publications, Inc.

Daily Herald

Corporation organized and existing under and by virtue of the laws of the State of Illinois, DOES HEREBY CERTIFY that it is the publisher of the **DAILY HERALD**. That said **DAILY HERALD** is a secular newspaper and has been circulated daily in the Village(s) of Algonquin, Antioch, Arlington Heights, Aurora, North Aurora, Bannockburn, Barrington, Barrington Hills, Lake Barrington, North Barrington, South Barrington, Bartlett, Batavia, Buffalo Grove, Burlington, Campton Hills, Carpentersville, Cary, Crystal Lake, Deerfield, Deer Park, Des Plaines, Elburn, East Dundee, Elgin, South Elgin, Elk Grove Village, Fox Lake, Fox River Grove, Franklin Park, Geneva, Gilberts, Glenview, Grayslake, Green Oaks, Gurnee, Hainesville, Hampshire, Hanover Park, Hawthorn Woods, Highland Park, Highwood, Hoffman Estates, Huntley, Inverness, Island Lake, Kildeer, Lake Bluff, Lake Forest, Lake in the Hills, Lake Villa, Lake Zurich, Libertyville, Lincolnshire, Lindenhurst, Long Grove, Melrose Park, Montgomery, Morton Grove, Mt. Prospect, Mundelein, Niles, Northbrook, Northfield, Northlake, Palatine, Park Ridge, Prospect Heights, River Grove, Riverwoods, Rolling Meadows, Rosemont, Round Lake, Round Lake Beach, Round Lake Heights, Round Lake Park, Schaumburg, Schiller Park, Sleepy Hollow, St. Charles, Streamwood, Sugar Grove, Third Lake, Tower Lakes, Vernon Hills, Volo, Wadsworth, Wauconda, Waukegan, West Dundee, Wheeling, Wildwood, Wilmette

County(ies) of Cook, Kane, Lake, McHenry

and State of Illinois, continuously for more than one year prior to the date of the first publication of the notice hereinafter referred to and is of general circulation throughout said Village(s), County(ies) and State.

I further certify that the DAILY HERALD is a newspaper as defined in "an Act to revise the law in relation to notices" as amended in 1992 Illinois Compiled Statutes, Chapter 715, Act 5, Section 1 and 5. That a notice of which the annexed printed slip is a true copy, was published 08/17/2020 in said DAILY HERALD.

IN WITNESS WHEREOF, the undersigned, the said PADDOCK PUBLICATIONS, Inc., has caused this certificate to be signed by, this authorized agent, at Arlington Heights, Illinois.

PADDOCK PUBLICATIONS, INC.
DAILY HERALD NEWSPAPERS

BY

Authorized Agent

Control # 4549701

Attachment: Public Notice (Text Amendments to Articles 14 of Appendix A)