



**PLANNING AND ZONING COMMISSION
DECEMBER 23, 2025 AT 7:00 PM**

VILLAGE HALL - COUNCIL CHAMBERS
200 E. WOOD STREET
PALATINE, IL 60067-5339
(847) 359-9050 www.palatine.il.us

AGENDA

REGULAR MEETING

7:00 PM

I. CALL TO ORDER

II. ROLL CALL

III. APPROVAL OF MINUTES

- A. Draft PZC Minutes: 12/09/2025

IV. PUBLIC HEARING

- A. 1307 N. Doe Road

1. Special use to permit a corner side yard abutting a street setback of 21 feet, instead of the minimum required 40-foot setback for corner side yards abutting a street.

- B. 609 S. Oak Street

1. Special use to permit a rear yard setback of 25 feet, instead of the minimum required rear yard setback of 40 feet in the "R-2" zoning district.

V. PUBLIC COMMENT

VI. ADJOURNMENT



PLANNING AND ZONING COMMISSION

DECEMBER 9, 2025 AT 7:00 PM

VILLAGE HALL - COUNCIL CHAMBERS
200 E. WOOD STREET
PALATINE, IL 60067-5339
(847) 359-9050 www.palatine.il.us

MINUTES

REGULAR MEETING

7:00 PM

I. CALL TO ORDER

II. ROLL CALL

III. APPROVAL OF MINUTES

RESULT:	APPROVED
MOVER:	BETTENHAUSEN
SECONDER:	NOONAN
AYES:	Cindy Roth Wurster, Kevin Cavanaugh, Stephen Fedota, Eric Friedman, Patrick Noonan, Rodney Bettenhausen, Robert Kolososki
NAYES:	None

A. Planning and Zoning Commission — Regular Meeting — November 25, 2025 7 PM

IV. PUBLIC HEARING

A. 1800 N. Rand Road

1. Special use to permit the operation of a medical office.

Request has been withdrawn

B. 1597 N. Rand Road

1. Special Use to permit a restaurant with a drive-thru; and
2. Variation to permit 19 parking spaces, instead of the minimum required 25 parking spaces at 1597 N. Rand Road.

3. Variation to permit 534 square feet of total signage instead of the maximum permitted total signage of 186 square feet.

SU-000213-2025 – 1597 N Rand Rd

Notice was published in the Journal & Topics on November 20th, 2025 and mailed to the owners of the surrounding properties.

Petitioner's Exhibits:

1. **Application**
2. **Proof of Ownership**
3. **Engineering Plans**
4. **Floor Plans**
5. **Elevations**
6. **Sign Package**
7. **Business Plan**
8. **Public Notice**

Background:

The subject property is zoned B-2 (General Business) and was annexed into the Village in 1999. In October 2024, the lot was included in a resubdivision and received approval for a drive-through restaurant (KFC); however, the project was never constructed. The Petitioner is now requesting approval of a new Special Use and Variation to redevelop the site for a Hawaiian Bros restaurant, with a drive-through. The Petitioner is requesting:

1. Special Use to permit a restaurant with a drive-thru
2. Variation to permit 19 parking spaces instead of the required 25.
3. Variation to permit 534 square feet of total signage instead of the maximum permitted total signage of 186 square feet.

Staff – Ms. Bremanis provides background and states the property is zoned B-2. The front portion was part of a subdivision with an approved Special Use, and the lots were subdivided. Lot 3 had previously been approved for a drive-thru, but that project did not move forward. The new petitioner is proposing to open a drive-thru restaurant and is requesting a variation for parking and a variation for signage.

Commissioner Cavanaugh asks if there had been a previous variation for parking. Ms. Bremanis confirms that there was, and notes that this new request provides two additional parking spaces compared to the earlier plan.

Sworn in Petitioner: Raj Patel – 200 Frontage Ave., Burr Ridge, IL

Mr. Patel states that they are working on multiple Hawaiian Bros locations in the region and have received approvals in several other communities. For this site, they intend to demolish the existing structure and construct a new freestanding Hawaiian

Bros building. The design will be consistent with their standard prototype and will feature an open-ceiling concept.

Commissioner Kolososki asks if the building is two stories.

Mr. Patel confirms that it is not; it has an open ceiling but is a single story.

Commissioner Bettenhausen asks whether other Hawaiian Bros locations are in operation.

Mr. Patel states there are no local operating sites yet. Several are under construction and progressing through approvals. Montgomery has approved, Romeoville is awaiting permits, and plans have been submitted in Elgin and Schaumburg.

Chairman Friedman asks whether the Palatine building design is the brand's prototypical model.

Mr. Patel states that it is, except for end-cap locations which vary.

Chairman Friedman asks whether the existing foundation will be reused.

Mr. Patel states that the dimensions are similar and therefore the existing foundation will work for the new building.

Commissioner Fedota asks about the sizable signage variation and what drives the requested square footage.

Mr. Patel explains that the size is based on Hawaiian Bros' standard branding protocol.

Chairman Friedman notes that Palatine's method of calculating signage may differ from other communities.

Commissioner Fedota references another retailer that had undergone a rebranding effort.

Commissioner Roth-Wurster asks about parking demand and how many interior tables are planned.

Mr. Patel states that approximately 80% of business is online orders or drive-thru, with 15% walk-in and sit-down. Seating is limited.

Chairman Friedman asks about any standards associated with new locations and whether they have experience with existing operational sites.

Mr. Patel explains that they do not own any open locations yet but have completed training at other corporate sites.

Chairman Friedman asks about standard municipal code requirements for drive-thru stacking.

Mr. Patel stated Hawaiian Bros recommend 3-4 stacking spaces.

Ms. Bremanis summarizes key issues. Code requires 7 stacking spaces; the petitioner is providing 7. The business model relies heavily on drive-thru traffic. Hours

are 8 a.m. to 11 p.m. daily. Seven employees per shift. Estimated customer volume: 20 walk-ins, 40 drive-thrus. The landscaping plan softens the site. The restaurant includes 35 seats.

Regarding signage, Ms. Bremanis explains how sign area is calculated and presents a table. Code allows 186 square feet, but Hawaiian Bros' decorative and irregular sign elements count toward total sign area.

Chairman Friedman asks about an elevation element marked E13 located high on the building and whether its material and illumination would make it a sign.

Ms. Bremanis clarifies that any graphic or image is considered signage. The sample provided is a representative piece and would be illuminated.

Ms. Bremanis adds that the freestanding sign is 66 square feet, which is within the code allowance of up to 100 square feet.

Staff Recommendation:

The Petitioner is requesting approval to reuse the existing building foundation and construct a new drive-thru restaurant. The proposed building and drive-thru lane comply with the B-2 District bulk standards as well as the required stacking provisions. Drive-thru uses are also common within the Dundee/Rand Road corridor, making this use consistent with the surrounding commercial area. A parking variation is requested as part of the proposal. Based on the business plan, the majority of customers are expected to utilize the drive-thru. As a result, Staff believes the proposed parking supply should be adequate for the intended operations. In addition, while the requested sign variation is significant when calculated per Code, much of the proposed signage consists of decorative elements and negative space. As a result, Staff does not believe the signage will alter the character of the area, given that the actual sign area is substantially less than the calculated variation square footage. Further, any approval would be tied to the specific sign elevations submitted, ensuring that a future operator with different signage plans could not rely on this variation for unrelated designs. Because the actual sign square footage is well below the noticed variation square footage, Staff finds the request to be reasonable. Therefore, Staff recommends approval of the Special Use and Variations, pursuant to the following conditions:

1. The Special Use and Variation shall substantially conform to the engineering plans prepared by Weaver Consultant Group dated 8/28/2024, elevations prepared by Design Plus dated 8/19/2024 and the business plan submitted by the Petitioner, except as such plans may be changed to conform to Village Codes and Ordinances.
2. The traffic directional signage plan shall be submitted in a manner acceptable to the Village Engineer or Director of Planning and Zoning.
3. The final landscaping plan shall be submitted in a manner acceptable to the Director of Planning and Zoning.

Commissioner Bettenhausen notes that minor work appears to be planned at the entrance, including cement work, and asks whether an IDOT permit will be required.

Ms. Bremanis confirms that an IDOT permit would be necessary and states that those requirements will be addressed during the building permit application process.

There were no further questions. The public hearing was closed.

Commissioner Noonan Made a motion to approve subject staff's conditions; seconded by Commissioner Roth-Wurster

DISCUSSION:

Commissioner Noonan states that this appears to be a straightforward request.

Commissioner Fedota comments that it is a good use of the property, represents an improvement, and introduces a unique concept.

Commissioner Ruth-Wurster notes that the proposal had been approved previously, the parking layout is improved with more focus on drive-through operations, and the decorative signage elements contribute to a nice and distinctive design.

Chairman Friedman summarized that this request has met the standards and was unanimously approved by a vote of 7-0. This item will tentatively go to Village Council on Monday January 5th, 2026

RESULT:	APPROVED
MOVER:	NOONAN
SECONDER:	ROTH-WURSTER
AYES:	Cindy Roth Wurster, Kevin Cavanaugh, Stephen Fedota, Eric Friedman, Patrick Noonan, Rodney Bettenhausen, Robert Kolososki
NAYES:	None

V. PUBLIC COMMENT

There was no public comments

VI. ADJOURNMENT

SUBMITTED BY:

Annette Schwab
Customer Service Representative
Support Services Team

1307 N. Doe Road**STAFF REPORT:**

TO: Palatine Planning and Zoning Commission
Jan Wood, Chair

FROM: R. Auer

PETITIONER: Adam Plawer

PLAN NUMBER: SU-000230-2025

BACKGROUND:

The petitioner is proposing to construct a new 3-car garage to be attached on the side of the existing residence. The attached garage will be set back 21 feet from the corner side lot line abutting Dundee Road. Therefore, the Petitioner is requesting:

1. **Special use to permit an addition to be setback 21 feet from the side lot line abutting a street, instead of the minimum required 40 feet.**

KEY ISSUES:

- The Subject Property is zoned "R-1", Single Family and is part of the Deer Grove subdivision. The Subject Property is approximately 22,300 square feet in size and consists of a one-story home with a 2-car garage. Additional property improvements include a pool and rear patio.
- In 2023, the subject property and applicant were granted approval of a Special use(#O-099-23) for a similar request. The applicant requested approval of an attached garage encroaching 21 feet into the corner side yard abutting Dundee Road. The Special use approval lapsed as no building permit was issued within a year of the 2023 approval.
- When compared to the design of the 2023 application, the footprint of the addition will be reduced in size. This reduction is a minimal change and does not warrant any further zoning relief beyond the 2023 request.

- The design of the addition does not conflict with building coverage, lot coverage, and height maximums for the subject district.
- The existing principal structure is set back approximately 35 feet from the side yard abutting a street lot line along Dundee Road and is legally non-conforming from the minimum required 40-foot setback for the corner side yards abutting a street. The plat of survey includes a 35-foot building line, which, at the time of construction established the setback for the principal structure. Pursuant to 10.01 (b)(2) of the zoning ordinance, the proposed garage is subject to the 40-foot yard setback as it is the more restrictive of the two setbacks.
- As part of the review, Staff evaluated properties in the surrounding area which have a corner side yard that abuts Dundee Road. Staff confirmed several properties in the surrounding area possess setbacks below the minimum required 40 feet for a side yard abutting a street. Additionally, there is a minimum 20-foot parkway of IDOT right-of-way immediately adjacent to the Subject Property along Dundee Road, in addition to the proposed 21-foot setback. IDOT does not plan to widen Dundee Road in this area.

STANDARDS FOR SPECIAL USE: Since this Petition is not for a use publicly operated or traditionally affected with the public interest, those standards under Section 14.05 D (2) and (3) are applicable. Specifically, the Petitioners must show that the Special Use, if granted, is so designed, located, and proposed to be operated that the public health, safety, and welfare will be protected and will not cause substantial injury to the value of other property in the neighborhood in which it is located. The Petitioners have attempted to address the required standards.

STAFF RECOMMENDATION:

The petitioner is requesting to construct an attached 3-car garage at the north side of the property. The proposed garage will be set back at a distance similar to the corner side yard setbacks of nearby residential properties and should not negatively impact the value of the surrounding area. Furthermore, the proposal meets the standards of the remaining bulk standards of the “R-2” zoning district.

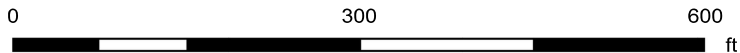
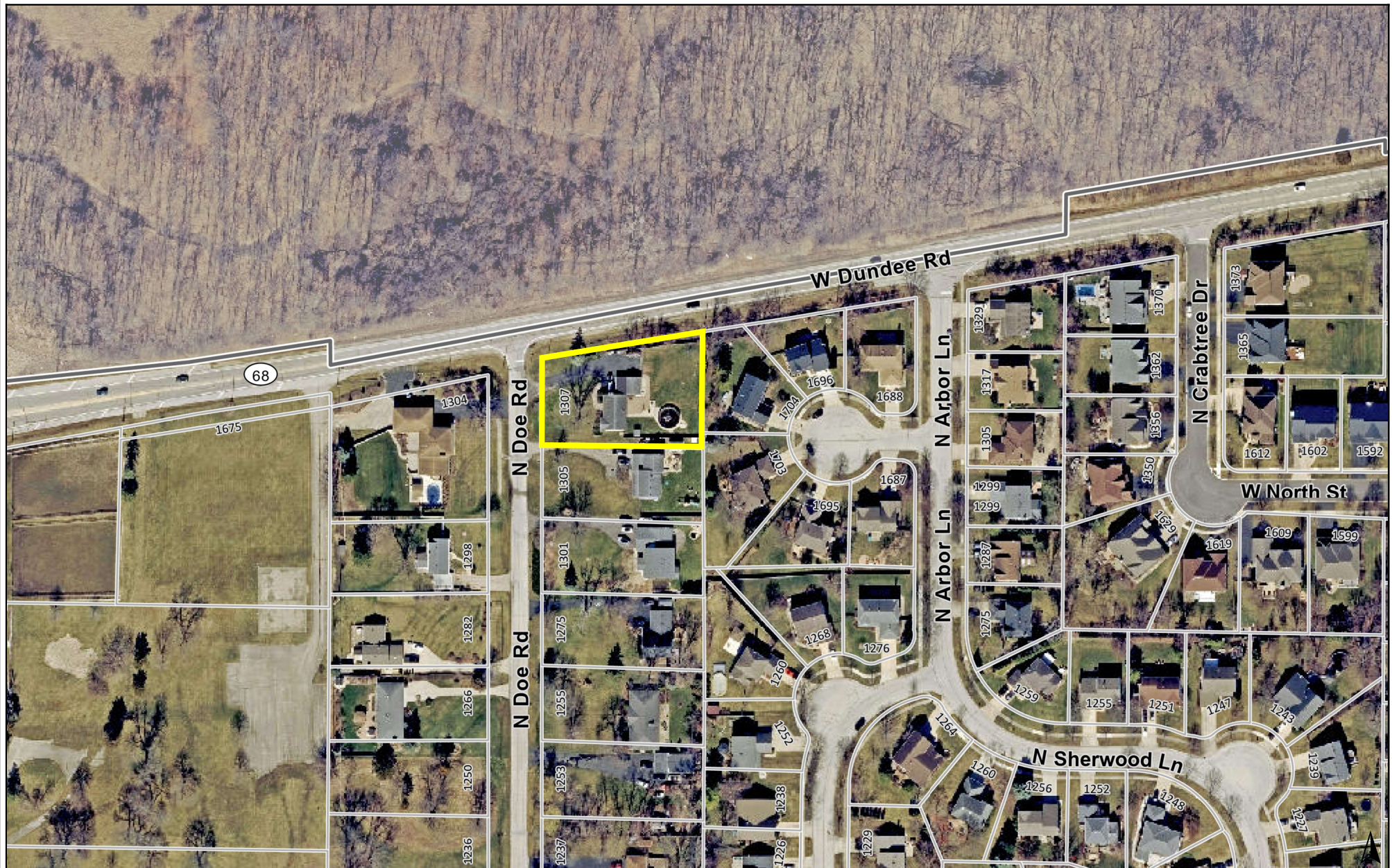
Therefore, Staff recommends approval of the proposed Special use, subject to the following conditions:

1. The Special Use shall substantially conform to the plans prepared by the Petitioner, dated 05/15/2025, except as such plans may be changed to conform to Village Codes and Ordinances.

ATTACHMENTS:

1. Aerial Map

2. Special Use Application
3. Plat of Survey
4. Plans
5. O-099-23 - 1307 N. Doe Rd SU
6. Public Notice



Print Date: 12/1/2025

Notes

Disclaimer: The GIS Consortium and MGP Inc. are not liable for any use, misuse, modification or disclosure of any map provided under applicable law. This map is for general information purposes only. Although the information is believed to be generally accurate, errors may exist and the user should independently confirm for accuracy. The map does not constitute a regulatory determination and is not a base for engineering design. A Registered Land Surveyor should be consulted to determine precise location boundaries on the ground.

Petitioner Name

Adam Plawer

Business Name (if applicable)

Subject Property Address

1307 N. Doe Road

Please provide a description of your proposed request:

New attached 3 car garage, mud room addition on the back of the house, covered front porch, new siding, and new roof.

Petitioner Justification

Special Uses shall not be granted except on findings based upon the evidence in each specific case. Please address the following standards as these will be used in considering the specific relief you are seeking.

That use deemed necessary for the public convenience at that location. Explain:

The house was built in 1955 and the original driveway was off of Dundee Rd. The driveway is now off of Doe Rd and the garage is a side load garage currently. This project will orient the garage to a front load garage making it easier to park our vehicles inside.

The use is designed, located, and proposed to be operated that the public health, safety, welfare will be protected. Explain:

I am asking for an exception to the 40-foot setback. This project will put the garage at a 21 foot setback. This is an uninhabited area of the home and garage space only.

The use will not cause substantial injury to nearby property values. Explain:

This project will increase the property value dollar for dollar of the total cost. By increasing the property value, it will increase the mean property value in the neighborhood.

In order to supplement the above standards, the Planning and Zoning Commission may also consider the following:

With respect to front yard fencing and fencing in a rear yard/side yard abutting a street, the following additional standards must be met:

a. Will meet the following aesthetic criteria:

- i. Will not destroy existing vistas in the area;
- ii. Will enhance the appearance of the homes and the streets in the area; and
- iii. Will not detract from the overall appearance of the community; or

b. The fencing is found to be necessary to protect private property or the safety of the inhabitants of the property.

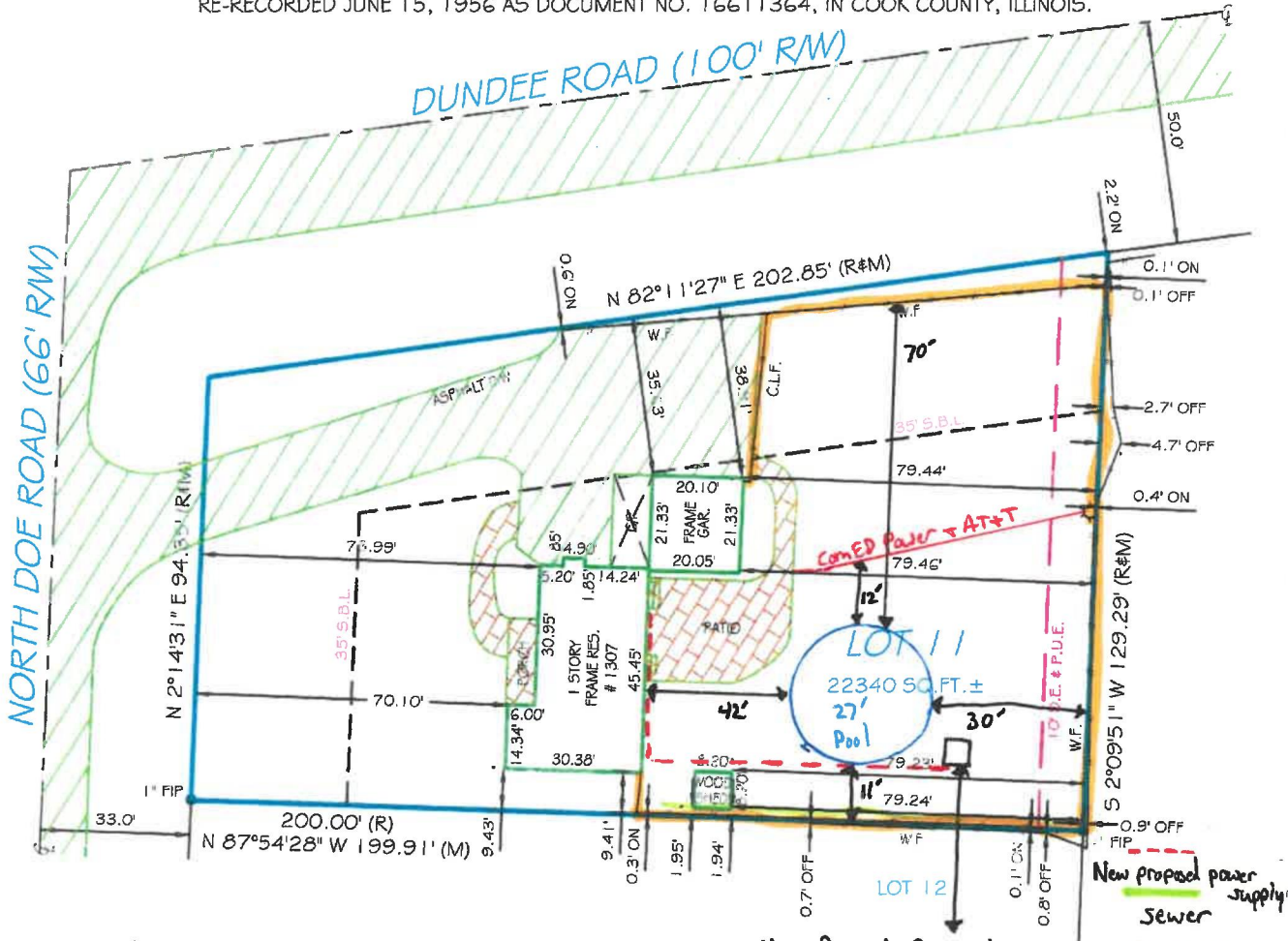
There are no plans to disturb the fencing or ditch outside of the project area.

FIELD WORK DATE: 10/3/2014
1410.0089

REVISION DATE(S): (REV.0 10/5/2014)

**BOUNDARY SURVEY
COOK COUNTY**

LOT 11 IN DEER GROVE SUBDIVISION OF PART OF THE EAST HALF OF THE NORTHEAST QUARTER OF SECTION 8, TOWNSHIP 42 NORTH, RANGE 10, EAST OF THIRD PRINCIPAL MERIDIAN AND PART OF THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 8, TOWNSHIP 42 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED OCTOBER 28, 1955 AS DOCUMENT NO. 16404903 AND RE-RECORDED JUNE 15, 1956 AS DOCUMENT NO. 16611364, IN COOK COUNTY, ILLINOIS.



STATE OF ILLINOIS } ss
COUNTY OF GRUNDY

THIS IS TO CERTIFY THAT THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY. GIVEN UNDER MY HAND AND SEAL THIS 6th DAY OF OCTOBER, 2014 AT 316 E. JACKSON STREET IN MORRIS, IL 60450.

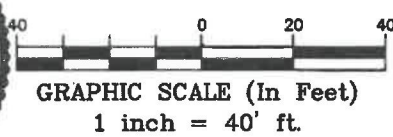
Kenneth Kennedy

ILLINOIS PROFESSIONAL LAND SURVEYOR No. 3403
LICENSE EXPIRES 11/30/2014
EXACTA LAND SURVEYORS LB# 5763



New Proposed Pool filter + pump

New Proposed power supply
Sewer
4' tall Fence



THE ABOVE SURVEY IS A PROFESSIONAL SERVICE IN COMPLIANCE WITH THE MINIMUM STANDARDS OF THE STATE OF ILLINOIS. NO IMPROVEMENTS SHOULD BE MADE ON THE BASIS OF THIS PLAT ALONE. PLEASE REFER ALSO TO YOUR DEED, TITLE POLICY AND LOCAL ORDINANCES. COPYRIGHT BY EXACTA ILLINOIS SURVEYORS. THIS DOCUMENT MAY ONLY BE USED BY THE PARTIES TO WHICH IT IS CERTIFIED. PLEASE DIRECT QUESTIONS OR COMMENTS TO EXACTA ILLINOIS SURVEYORS, INC. AT THE NUMBER IN THE BOTTOM RIGHT CORNER.

POINTS OF INTEREST
NONE VISIBLE

CLIENT NUMBER: _____ DATE: 10/3/2014

BUYER: Adam Plawer and Lauren Plawer

SELLER: LILLIAN M. CASEY

Exacta Illinois Surveyors, Inc. is a full service, bonded land survey firm registered with the state of Illinois.



PROPOSED ADDITION / ALTERATIONS

for PLAWER RESIDENCE

1307 N. DOE ROAD PALATINE, IL 60067

DOE ROAD

WARNING:
IT IS A VIOLATION OF THE LAW FOR ANY PERSON UNLESS ACTING UNDER THE DIRECTION OF THE ARCHITECT OF RECORD, TO ALTER THESE DRAWINGS OR SPECIFICATIONS IN ANY WAY.

JOHN NELSON - ARCHITECT, INC.
1420 WHISPERING SPRINGS CIRCLE
PALATINE, IL 60074
847 991-9154

PROPOSED ALTERATIONS FOR:
PLAWER RESIDENCE
1307 N. DOE RD.
PALATINE, IL

DATE	5/6/23	REVIEW SET	
	6/26/23	REVIEW SET	
	12/10/24	PERMIT REVIEW	
	5/15/25	OWNER CHANGES	

DATE: _____
DRAWN BY: _____
CHECKED BY: _____
SCALE: _____

SHEET TITLE:
COVER SHEET w/
PROPOSED SITE PLAN
SHEET NUMBER:

T1

CODE AUTHORITY / REQUIREMENTS

AUTHORITY: VILLAGE OF PALATINE BLDG. DEPT.
200 E. WOOD STREET
PALATINE, IL 60067
(847) 359-9042

PROPERTY ZONED: R-1 RESIDENTIAL EXIST. RESIDENCE
TYPE OF CONSTR.: 58 COMBUSTIBLE

VILLAGE OF PALATINE BLDG. CODES:
2021 INTERNATIONAL RESIDENTIAL CODE w/ AMEND.
2021 INTERNATIONAL MECH. CODE w/ AMEND. (IRC)
2021 INTERNATIONAL FUEL GAS CODE w/ AMEND. (IFGC)
2021 ILLINOIS ENERGY CONSERVATION CODE
2017 NATIONAL ELECTRICAL CODE w/ AMEND.
2014 ILLINOIS STATE PLUMBING CODE
REVISED 5/15/25

NOTE TO BUILDING DEPARTMENT:
THIS PERMIT IS VALID FOR PERMIT ONLY WHEN THE ARCHITECT'S SEAL IS AFFIXED TO THE DRAWINGS AND APPROPRIATELY SIGNED BY THIS ARCHITECT. THE SIGNED AND SEALED DRAWINGS ARE INTENDED FOR PERMIT ON BEHALF OF ONE BUILDING ONLY.

- GENERAL NOTES**
- The General Contractor shall verify all dimensions and existing conditions in the field prior to start of work and to notify the Architect in writing of any and all discrepancies.
 - The General Contractor and all sub trades shall conform to all applicable codes, ordinances and manufacturer's specifications.
 - All claims and disputes arising out of this project shall be decided by Arbitration in accordance with rules under the American Arbitration Associations and their decisions shall be final.
 - As these drawings are an instrument of limited service, the need for additional professional services, consultants, and site visits by the Architect are advised with respect to construction or modification of the construction. Safety techniques are solely the responsibility of the General Contractor and the sub trades.
 - Each contractor by accepting a contract to work on this project agrees to assume the sole and entire responsibility, risk and liability for and agrees to indemnify, hold harmless, and defend the Architect John Anthony Nelson, his employees, heirs, and agents and estates for any and all claims, legal fees, etc., arising out of the performance of this work.
 - The General Contractor is responsible for meeting all code requirements during construction, including all applicable safety regulations and required inspections.
 - The General Contractor is responsible for coordinating the work of all sub-contractors and the Contractor shall verify all existing conditions in field and report any problems or discrepancies to the Owner prior to continuing with work.
 - Mechanical, electrical and plumbing contracts will be design-build. All sub-contractors shall be responsible for meeting all building code requirements and shall provide all materials, labor and equipment for a complete and professional installation.
 - All gutters and downspouts shall discharge to existing splashblocks and away from any adjacent properties- Verify existing locations in field.
 - Line voltage smoke detectors shall be 110v with battery backup & wired in series and located in the basement, on each level of the house and within every bedroom & within 15' of every bedroom.
 - Carbon monoxide detectors shall be located on every floor, outside of furnace closets & within 15' of any sleeping room.
 - HVAC Contractor shall modify existing ductwork to provide new supply registers as shown on plans. Verify all condition in field.
 - Provide freestanding freestop all mechanical penetrations, stud, joist & rafter spaces to meet code requirements.
 - Electrical outlets shall be spaced and located in compliance with 2011 N.E.C Art 210-52.
 - Closest light fixtures shall have fluorescent bulbs.

MIN. UNIFORMLY DISTRIBUTED LOADS
(In pounds per square foot)

USE	LIVE LOAD	DEAD LOAD
Attics without storage ^b	10	5
Attics with limited storage ^{b, g}	20	5
Habitable attics & attics served w/ fixed seats	30	10
Guardrails & Handrails ^d	200 ^h	N/A
Guardrails in-fill components ⁱ	50 ^h	N/A
Rooms other than sleeping room	40	10
Sleeping rooms	40	10
Stairs	40 ^c	10

For \square : 1 pound per square foot = 0.0479 kPa, 1 square inch = 645 mm²
1 pound = 4.45N

a. Elevated garage floors shall be capable of supporting a 2000 pound load applied over a 20 square inch area.

b. Attics without storage are those where the max. clear height between joist & rafter is less than 42 inches, or where there are not 2 or more adjacent trusses w/ the same web configuration capable of containing a rectangle 42 inches high by 2 feet wide, or greater, located within the plane of the truss. For attics without storage, this live load need not be assumed to act concurrently with any other live load requirements.

c. Individual stair treads shall be designed for the uniformly distributed live load or a 300 pound concentrated load acting over an area of 4 square inches, whichever produces the greater stresses.

d. A single concentrated load applied in any direction at any point along the top.

e. See Section R502.2.2 for docks attached to exterior walls.

f. Guard in-fill components (all those except the handrail, balusters and panel fillers) shall be designed to withstand a horizontally applied normal load of 50 pounds on an area equal to 1 square foot. This load need not be assumed to act concurrently with any other live load requirement.

SHT. # DESCRIPTION

T1	COVER SHEET w/ PROP. SITE PLAN
A0	EXIST. BSMT. & 1st FLOOR PLAN
A1	EXIST. EXTERIOR ELEVATIONS
A2	PROPOSED EXTERIOR ELEVATIONS
A3	PROPOSED FOUNDATION PLAN
A4	PROPOSED 1st FLOOR PLAN
A5	PROPOSED ROOF FRAMING PLAN
A6	PROPOSED WALL SECTIONS
P1	PROPOSED PLUMBING ISOMETRICS
E1	PROPOSED ELECTRICAL PLAN
SP1	SPECIFICATIONS

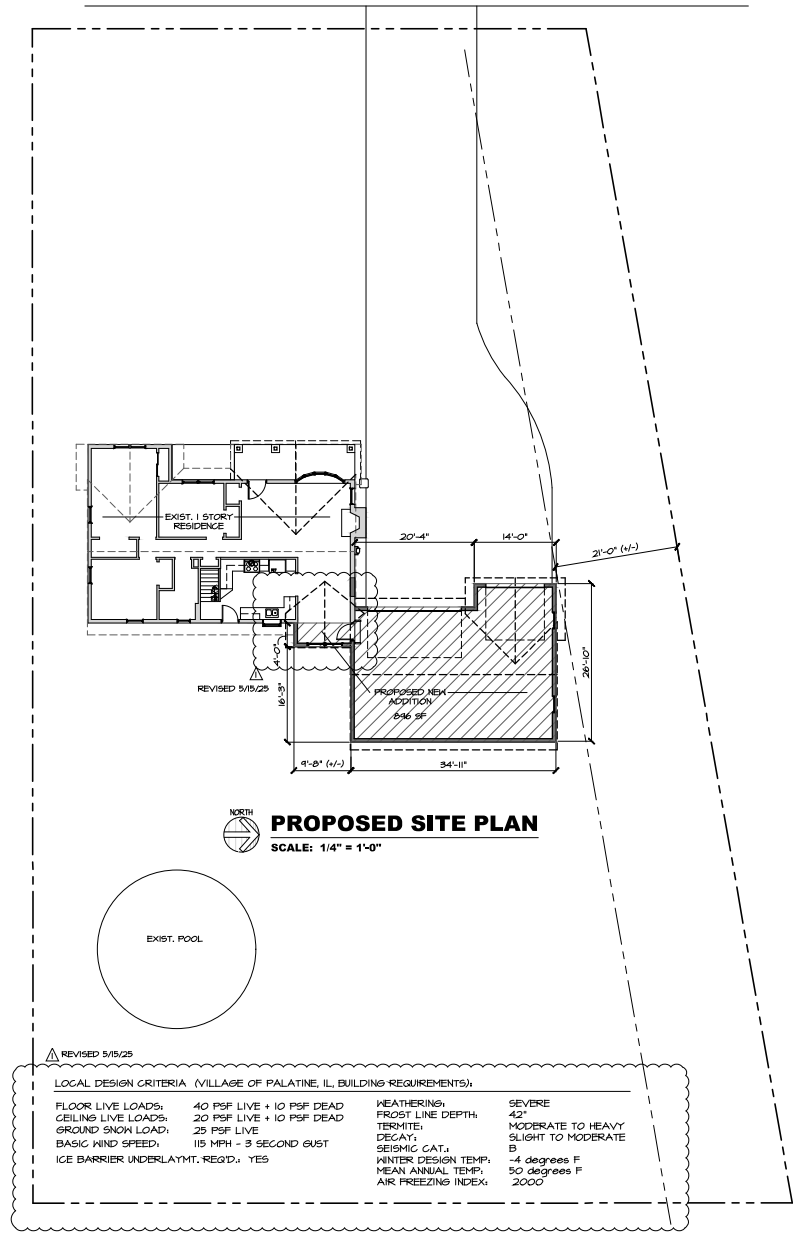
- DEMOLITION NOTES**
- The Contractor shall coordinate demolition and new construction work shown on the drawings for all trades.
 - The Contractor shall design and provide all necessary shoring, bracing and scaffolding required for both demolition and new constr.
 - The Contractor shall provide all dust partitions and screens as required to contain dust and debris resulting from and during demolition.
 - The Architect is not responsible for presence, identification, abatement or removal of asbestos or other toxic materials that may or may not be located in the existing structure.
If asbestos or other toxic materials is suspected or identified, the Contractor shall respond appropriately and notify the Owner, Architect & Building Dept. of any and all actions taken.
 - Where items of construction are shown or noted to be removed, it shall be complete for that item of construction including all hangers, anchors, fasteners, pipe, conduit, wiring, ducts, etc., and be removed from the area prepared for new construction.
 - Disconnect and / or removed existing materials, construction and other items which are rendered obsolete or are required to be removed by these alterations and new construction. Salvageable materials and equipment shall be returned to the owner for storage and debris waste materials and equipment shall be transported out of the building and legally disposed.
 - Protect all existing construction and finishes to remain. Restore, repair or replace any such item damaged during work to new construction. Materials used for patching and finishing of existing construction shall match materials and finishes of the original construction.

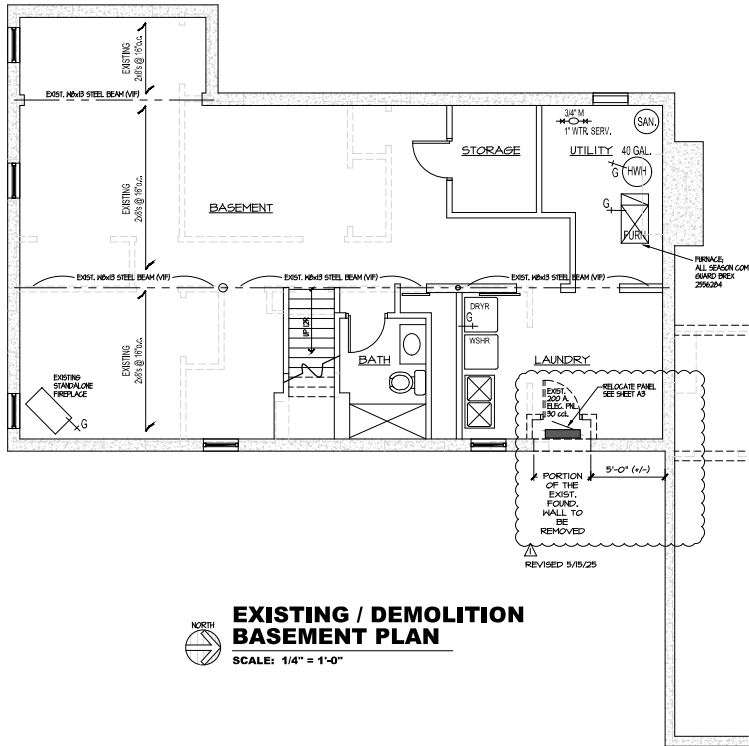
- INSURANCE REQUIREMENTS**
- The Contr. shall submit, prior to commencement of work, certificates of insurance naming the Owner, the Architect and their Agents as additionally insured, for the following coverage.
Public liability of not less than \$1,000,000 (including contractor's protective liability, covering explosion and collapse, completed operations coverage (covering a period of at least 2 years after the date of acceptance of the work by the Owner), and broad form blanket contractual liability coverage and shall insure against any and all claims for bodily injury including death resulting therefrom and damage to the property of others and arising from its operations under the contract whether such operations are performed by such contractors, or by anyone directly or indirectly employed by any of them.
 - Workman's compensation and employer's liability insurance as required by any employee benefit acts or other statutes applicable where the work is to be performed as will protect owner's contractors from liability under aforementioned acts.
 - Comprehensive automobile liability insurance, including the ownership, maintenance and operation of any automobile equipment owned, hired and non-owned \$500,000 / \$1,000,000 limits.

CERTIFICATION

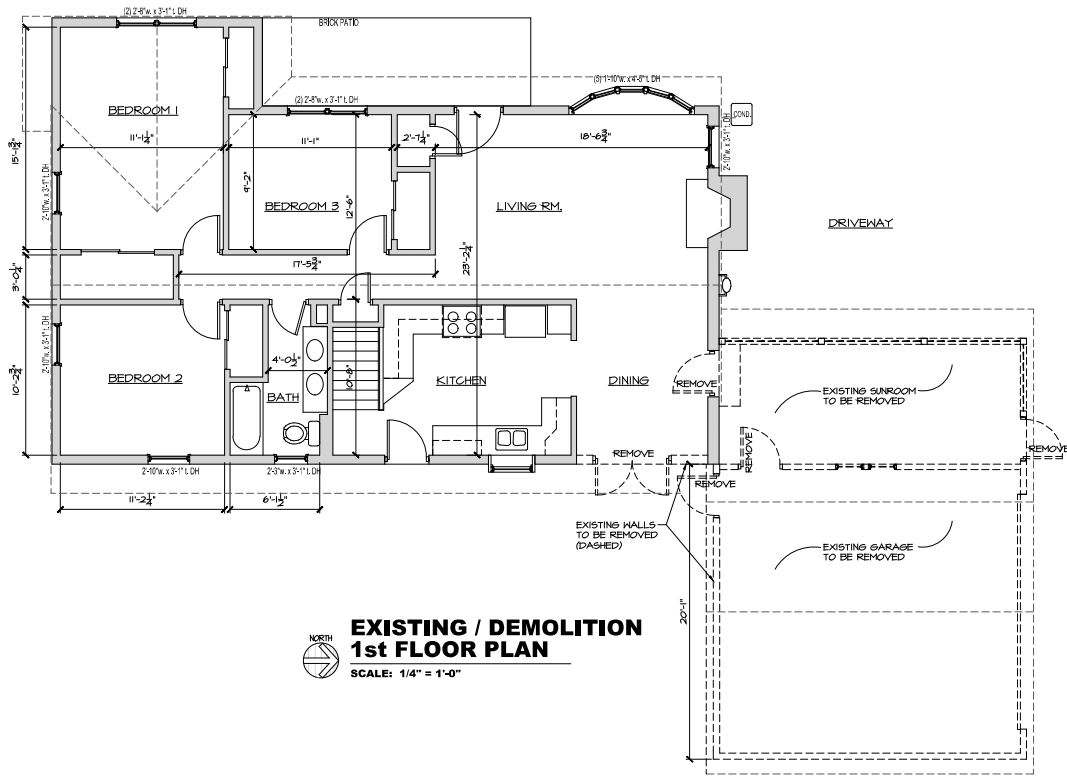
I DO HEREBY CERTIFY THAT THESE DRAWINGS HAVE BEEN PREPARED UNDER MY SUPERVISION AND TO THE BEST OF MY KNOWLEDGE AND BELIEF CONFORM TO ALL APPLICABLE CODES AND ORDINANCES WITHIN THE VILLAGE OF PALATINE, IL.

JOHN ANTHONY NELSON LICENSE NO. 001-409966
LICENSE EXPIRES 11/30/26





**EXISTING / DEMOLITION
BASEMENT PLAN**
SCALE: 1/4" = 1'-0"



**EXISTING / DEMOLITION
1st FLOOR PLAN**
SCALE: 1/4" = 1'-0"

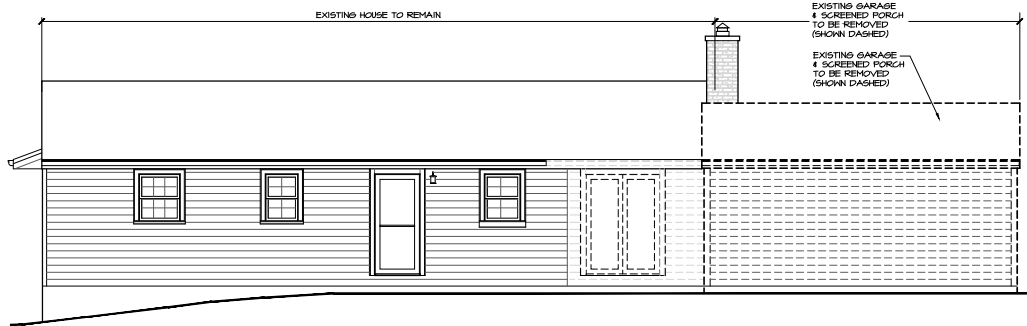
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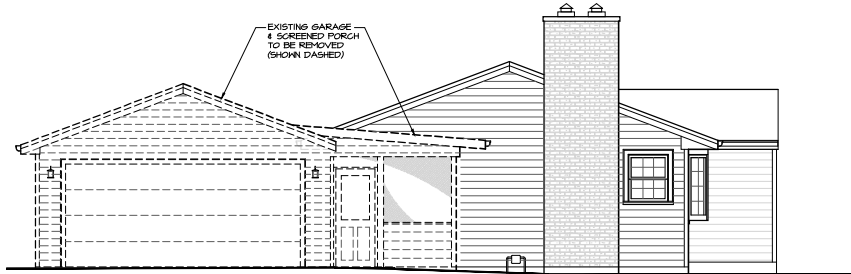
**PROPOSED ALTERATIONS FOR:
PLAWER RESIDENCE**
1307 N. DOE RD.
PALATINE, IL

DATE	REVISION SET
5/16/23	REVISION SET
6/26/23	REVISION SET
12/10/24	PERMIT REVIEW
5/18/25	OWNER COMMENTS
DATE:	
DRAWN BY:	
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SCALE:	
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SHEET NUMBER:	A0

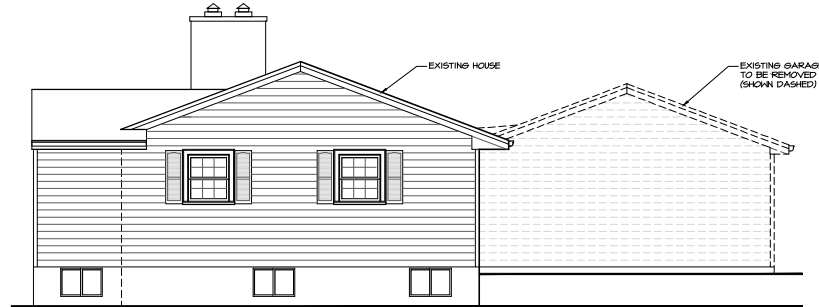
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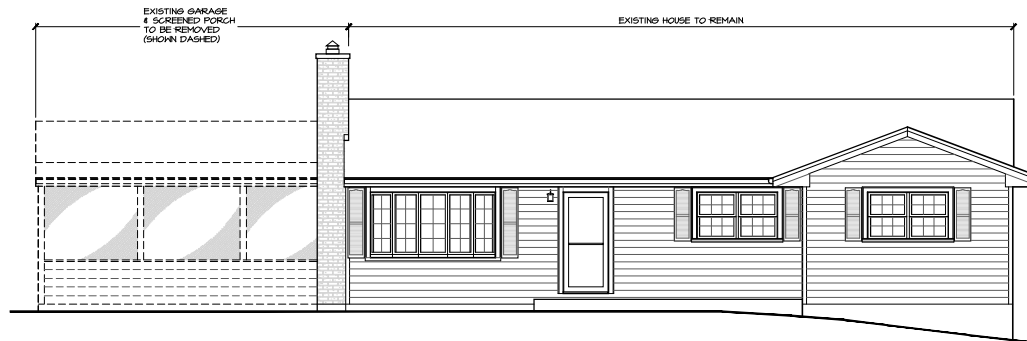
**EXISTING / DEMO.
EAST ELEVATION**
SCALE: 1/4" = 1'-0"



**EXISTING / DEMO.
NORTH ELEVATION**
SCALE: 1/4" = 1'-0"



**EXISTING / DEMO.
SOUTH ELEVATION**
SCALE: 1/4" = 1'-0"



**EXISTING / DEMO.
WEST ELEVATION**
SCALE: 1/4" = 1'-0"

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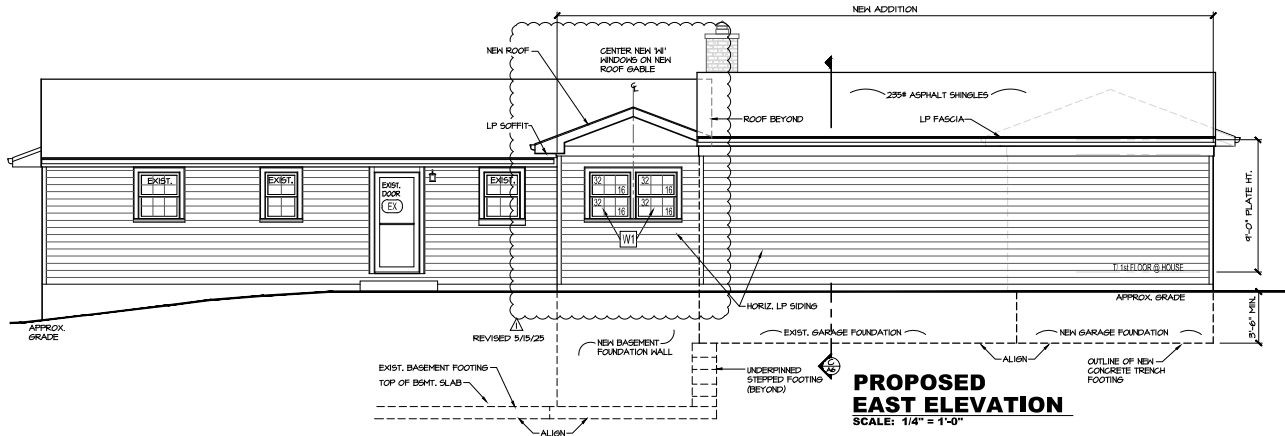
PROPOSED ALTERATIONS FOR:
PLAWER RESIDENCE
1307 N. DOE RD.
PALATINE, IL

DATE	5/6/23	REVIEW SET
	6/26/23	REVIEW SET
	12/10/24	PERMIT REVIEW
	3/15/25	OWNER CHANGES

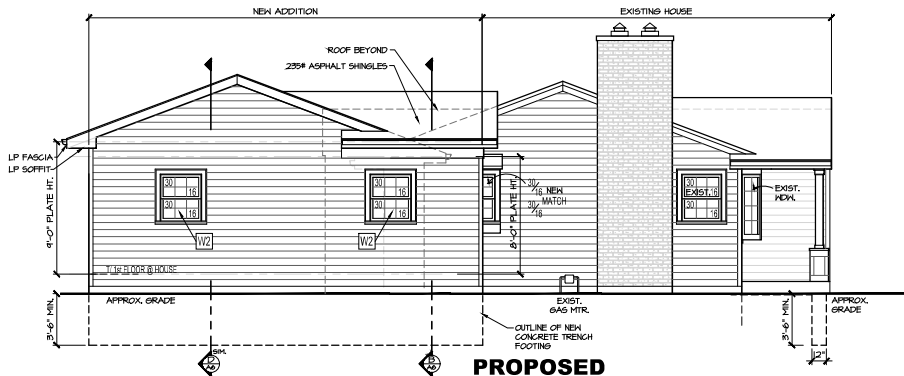
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SHEET NUMBER:	

A1

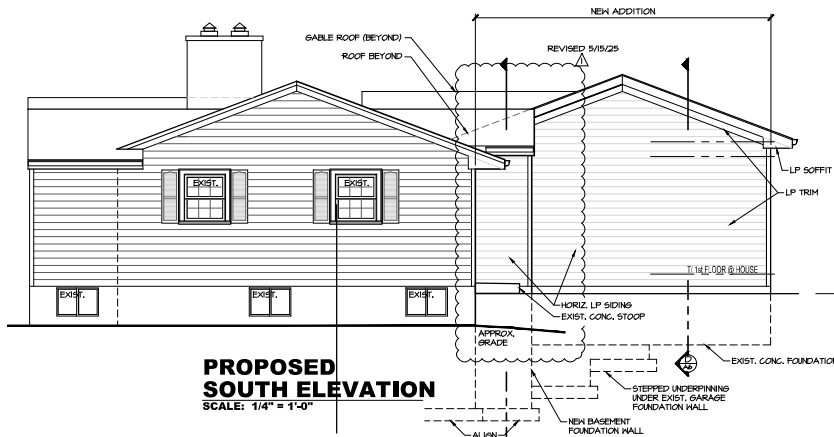
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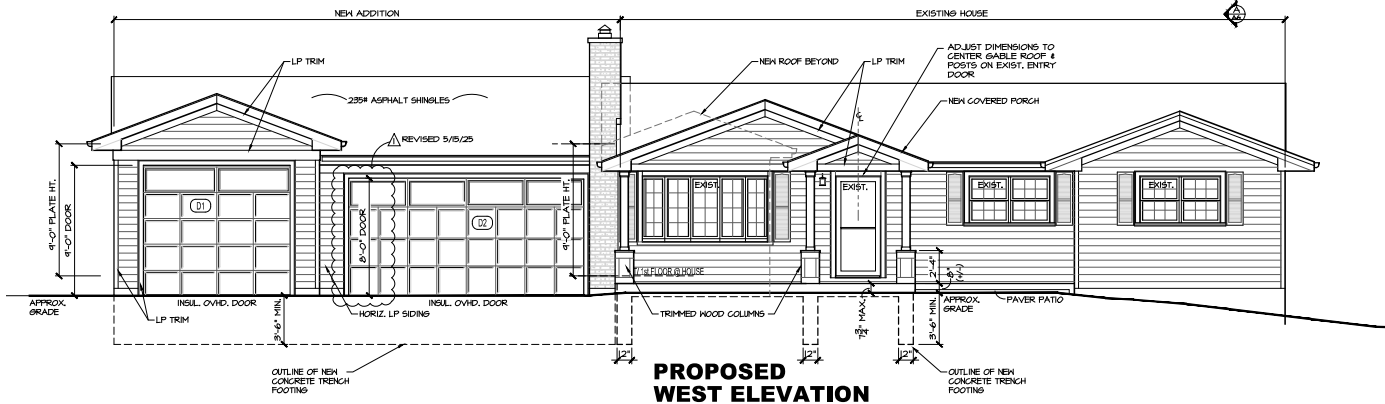
PROPOSED EAST ELEVATION
SCALE: 1/4" = 1'-0"



PROPOSED NORTH ELEVATION
SCALE: 1/4" = 1'-0"



PROPOSED SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



PROPOSED WEST ELEVATION
SCALE: 1/4" = 1'-0"

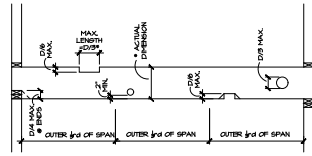
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PROPOSED ALTERATIONS FOR:
PLAWER RESIDENCE
1307 N. DOE RD.
PALATINE, IL

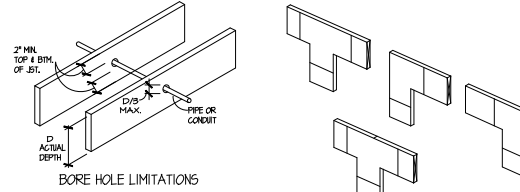
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	6/26/23	REVISION SET
	12/10/24	PERMIT REVIEW
	3/15/25	OWNER CHANGES
DATE:		
DRAWN BY:		
CHECKED BY:		
SCALE:		
SHEET TITLE:	PROPOSED EXT. ELEVATIONS	
SHEET NUMBER:	A2	

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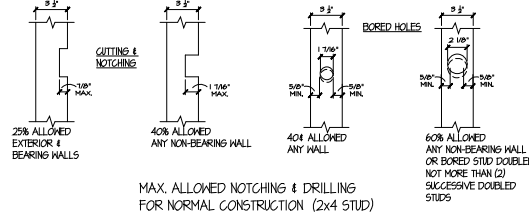


* D (ACTUAL DIMENSION)
 NOTE: NOTCHING NOT PERMITTED IN MIDDLE 1/3 OF SPAN
 NOTE: SQUARE HOLES & NOTCHES NOT RECOMMENDED
 NOTE: NO HOLES OR NOTCHES PERMITTED IN SAME CROSS-SECTION

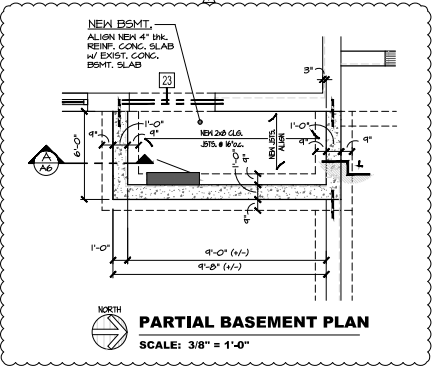
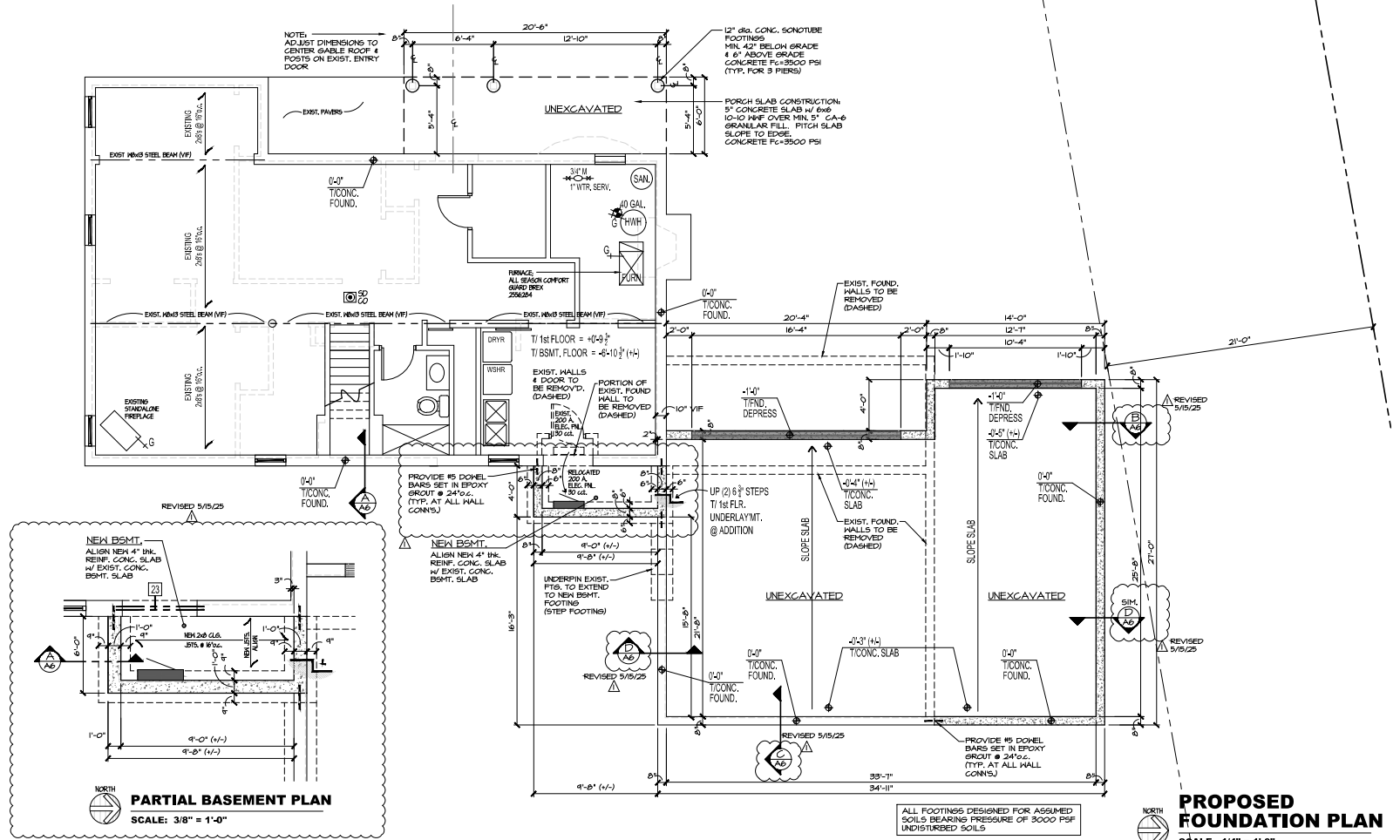
JOIST SIZE	MAX. HOLE	MAX. NOTCH DEPTH	MAX. END NOTCH
2x4	NONE	NONE	NONE
2x6	1 1/2"	3/8"	1 3/8"
2x8	2 3/8"	1 1/4"	1 7/8"
2x10	3"	1 1/2"	2 3/8"
2x12	3 3/4"	1 7/8"	2 7/8"



POSITIVE CONNECTION BETWEEN POSTS & GIRDERS



MAX. ALLOWED NOTCHING & DRILLING FOR NORMAL CONSTRUCTION (2x4 STUD)



PARTIAL BASEMENT PLAN
 SCALE: 3/8" = 1'-0"

ALL FOOTINGS DESIGNED FOR ASSUMED SOILS BEARING PRESSURE OF 3000 PSF UNDISTURBED SOILS

PROPOSED FOUNDATION PLAN
 SCALE: 1/4" = 1'-0"

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PROPOSED ALTERATIONS FOR:
PLAWER RESIDENCE
 1307 N. DOE RD.
 PALATINE, IL

DATE	REVISION SET	REVISION SET	PERMIT REVIEW	OWNER COMMENTS
5/6/23				
6/26/23				
12/10/24				
3/15/25				

DATE: 5/15/25
 DRAWN BY:
 CHECKED BY:
 SCALE:
 SHEET TITLE: PROPOSED FOUNDATION PLAN
 SHEET NUMBER:

A3

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NO.	TYPE	GLASS SIZE	ROUGH OPENING SIZE	LIST	VENT	REMARKS
01	SINGLE HANG	20' 3/4" x 30"	SEE MFR.	300	300	2, 3, 4, 6
02	SINGLE HANG	30" x 32"	SEE MFR.	1	36	2, 3, 4

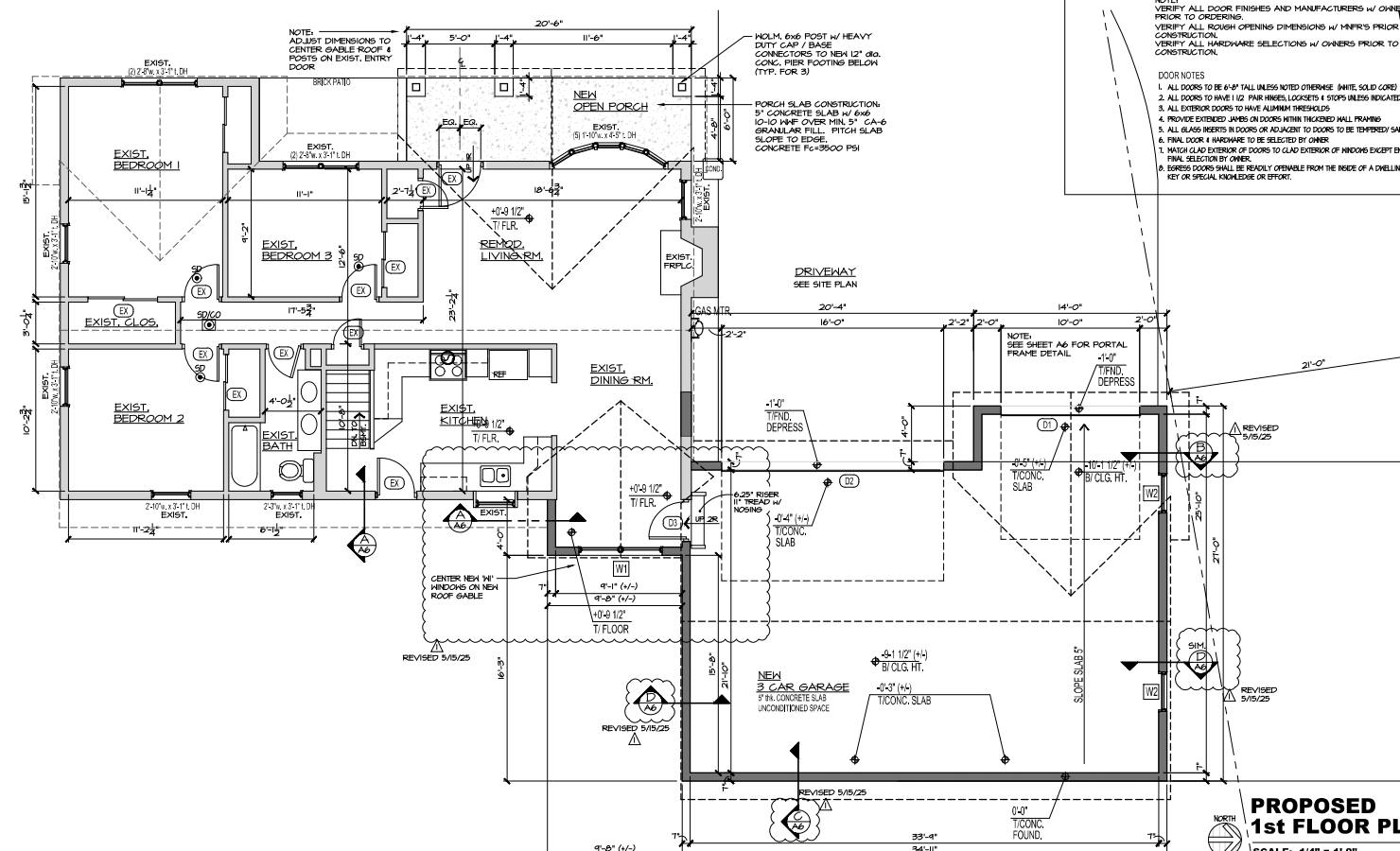
- WINDOW SCHEDULE**
- WINDOW REMARK NOTES**
1. EXCESS HINDON 3/16" (0.1875") MIN. AREA MAX. 48" (4') MIN. 20" CLEAR H.A.
 2. MINIMUM ESSENTIAL HINDON ENERGY STAR RATED, U = 0.28 MAX. (ALL PERMANENT)
 3. TYPICAL GLASS
 4. MILLED UNITS
 5. TYPICAL TO BE MAXIMUM 5'-4" (1.6267M) FROM EXTERIOR GRADE/PAVEMENT
 6. W/ SOUND HINDON
 7. TEMPERED SAFETY GLASS
 8. FROSTED (TEMPERED) GLASS
 9. NOT USED
 10. NOT USED
 11. REVISIONS 5/15/25
 12. VINYL CLAD - WATERPROOF
- WINDOW NOTES**
1. CONTR. SHALL VERIFY FINAL WINDOW SIZES w/ ELEVATIONS, ROUGH OPENING HEIGHT, OWNER & ARCHITECT PRIOR TO ORDERING WINDOWS.
 2. ALL WORK SHALL BE INCLUDED TO PROVIDE NEW WINDOWS. WORK SHALL INCLUDE, BUT NOT LIMITED TO CASING, TAPING, PAINTING, INSULATION, CAULK, DRYWALL & TRIM.
 3. ALL WINDOW SIZES ARE PER TYPICAL CRITERIA w/ APPROVED EQUAL. WINDOWS ARE TO BE INST. SINGLE HANG. FINAL WINDOW MFR. AS SELECTED BY OWNER. SIZING SHOWN ON ELEVATIONS TO RELATE TO SAME PRODUCTS FROM FINAL HINDON MFR. SELECTED. HINDON TO MEET THE 2024 IECC FACTOR REQUIREMENTS OF 0.30 MAX.
 4. ALL WINDOWS TO BE VINYL CLAD WOOD HINDON w/ CASING JAMBS, SILL, HEAD & TRIM.
 5. EVERY SLEEPING ROOM SHALL HAVE AT LEAST 1 OPERABLE HINDON OR EXTERIOR DOOR APPROVED FOR EMERGENCY EGRESS OR RESCUE.
 6. THE INTS MUST BE OPERABLE FROM THE INSIDE TO A FULL CLEAR OPENING WITHOUT THE USE OF A KEY OR TOOL.
 7. WHERE EGRESS ARE PROVIDED AS A MEASURE OF EGRESS OR RESCUE THEY SHALL HAVE A SILL HEIGHT OF NOT MORE THAN 44" ABOVE THE FLOOR.
 8. ALL EGRESS OR RESCUE HINDONS FROM SLEEPING ROOMS MUST MEET A NET CLEAR OPENING OF 5.71 SQ. FT. MINIMUM NET CLEAR OPENING WIDTH SHALL BE 20"
 9. VERIFY ALL FINISHES, HARDWARE, COLOR & MANUFACTURERS w/ OWNER PRIOR TO ORDERING.
 10. ALL WINDOWS TO BE ENERGY STAR RATED w/ MAX. U VALUE OF 0.30 & SHALL HAVE CLEARLY INSULATED GLASS.
 11. ALL OPERABLE WINDOWS TO HAVE INSET SCREENS.
 12. PROVIDE EXTENDED JAMBS ON HINDON WITHIN THICKENED WALL FRAMING.
 13. ALIGN HINDON HEAD HEIGHTS THROUGHOUT ENTIRE FLOOR.
 14. ALL EXTERIOR HINDON GLAZING TO BE WHITE IN COLOR - FINAL SELECTION BY OWNER.

ROOM DESCRIPTION	FLOOR AREA	DESIGNERIES				ACTUAL				REMARKS
		INT. LEAF AREA	MECHANICAL VENTILATION	MECHANICAL VENTILATION	MECHANICAL VENTILATION	INT. LEAF AREA	MECHANICAL VENTILATION	MECHANICAL VENTILATION	MECHANICAL VENTILATION	
ATTIC (GARAGE-NEW 1000)	810	NR	24	---	---	608	---	---	---	1, 2, 7, 8
ATTIC (FRANK ROOM-NEW 1000)	361	NR	18	---	---	225	---	---	---	1, 2, 7, 8
ATTIC (EXIST. BLDG. HOUSING 1000)	102	NR	331	---	---	431	---	---	---	1, 2, 7, 8
BASE FLOOR										
BLDG. FR. CHINA INTERIOR	80	64.8	32.4	54.8	54.8	100	400	400	EXIST. KE-1	3
NEW FAMILY ROOM										

- VENT. FOR ATTIC BASED ON CONTINUOUS RIDGE VENTS:**
RIDGE VENT (20" PER LINEAR FOOT)
- SOFFIT VENT # 4" LF SOFFIT**
COBRA VENT # 18" LF RIDGE
- VENTILATION NOTE:**
WHERE RIDGE VENTS ARE UTILIZED, RIDGE VENTS SHALL PROVIDE 1/2 OF THE REQUIRED VENTILATION w/ THE BALANCE BEING PROVIDED BY THE GABLE OR CORNICE VENTS. THE VENTILATION OPENINGS SHALL BE COVERED w/ NON-CORROSIVE MESH OR OTHER APPROVED MATERIAL w/ THE OPENINGS BEING NOT MORE THAN 1/4".

NO.	TYPE	LOCATION	STYLE	SEE	MATERIAL		HINDON	HINDON	HINDON	REMARKS
					DOOR	FRAME				
01	EXT.	GARAGE (INSULATED)	OVERDOOR	10'-0" x 6'-0"	MFR.	MFR.	NO.	MFR.	MFR.	1, 3, 6
02	EXT.	GARAGE (INSULATED)	OVERDOOR	6'-0" x 6'-0"	MFR.	MFR.	NO.	MFR.	MFR.	1, 3, 6
03	INT.	GARAGE (INSULATED)	SWING	3'-0" x 6'-0"	MFR.	MFR.	NO.	A	134*	1, 3, 6, 1, 8, 10, 13, 14, 15

- DOOR SCHEDULE**
- DOOR REMARK NOTES**
1. STYLE SELECTION BY OWNER
 2. INTERNAL FALL
 3. SINGLE HALL
 4. TEMP. & HOLD GLAZING
 5. INT. HALL & PRIVACY LOCKS, SINGLE ACTION
 6. FULL STYLE SELECTION BY OWNER
 7. INSULATED DOOR (20" MIN)
 8. METAL THRESHOLD
 9. NOT BED
 10. BRONZE LEATHERSTRIP
 11. FIRE RATED DOOR (20 MIN)
 12. STORM DOOR
 13. W/ SCREEN DOOR
 14. SLABBED FRAME
 15. W/ GLASS
 16. W/ AUTO DOOR OPERATOR
 17. W/ APPROVED FL COVERED DOOR
- HARDWARE SCHEDULE**
- | NO. | TYPE | DESCRIPTION |
|-----|------|--|
| A | EXT. | ENTRY LOCKSET LEVEL, DECOR DOOR HANDLE |
| B | EXT. | DEADBOLT LOCK |
| C | INT. | BI-FOLDING / SLIDING ROLLER & HINSE HARDWARE (2) LOCKSET LEVER |
| D | EXT. | TYP. SLIDING GLASS DOOR HARDWARE SET |
| E | INT. | PRIVACY LOCKSET LEVER, SINGLE ACTION - BED/BATH |
| F | INT. | PASSAGE LOCKSET LEVER, SINGLE ACTION |
- NOTE:** VERIFY ALL DOOR FINISHES AND MANUFACTURERS w/ OWNERS PRIOR TO ORDERING. VERIFY ALL ROUGH OPENING DIMENSIONS w/ OWNER'S PRIOR TO CONSTRUCTION. VERIFY ALL HARDWARE SELECTIONS w/ OWNERS PRIOR TO CONSTRUCTION.
- DOOR NOTES**
1. ALL DOORS TO BE 6'-0" TALL UNLESS NOTED OTHERWISE. (WHITE SOLID CORE) FINAL SELECTION BY OWNER.
 2. ALL DOORS TO HAVE 1/2" FINISHES LOCKETS & STOPS UNLESS INDICATED OTHERWISE.
 3. ALL EXTERIOR DOORS TO HAVE ALUMINUM THRESHOLDS.
 4. PROVIDE EXTENDED JAMBS ON DOORS WITHIN THICKENED WALL FRAMING.
 5. ALL GLASS INSERTS IN DOORS OR ADJACENT TO DOORS TO BE TEMPERED SAFETY GLASS.
 6. FINAL DOOR & HARDWARE TO BE SELECTED BY OWNER.
 7. HALL GLAZING TO BE CLAD EXTERIOR OF DOORS EXCEPT ENTRY DOOR - FINAL SELECTION BY OWNER.
 8. BARRIERS DOORS SHALL BE READILY OPERABLE FROM THE INSIDE OF A DWELLING WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT.



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PALATINE, IL 60074
847 991-9154

PROPOSED ALTERATIONS FOR:
PLAWER RESIDENCE
1307 N. DOE RD.
PALATINE, IL

DATE	REVISION SET	REVISION SET	REVISION SET	OWNER CHANGES
5/16/23	REVISION SET	6/26/23	PERMIT REVIEW	5/15/25
6/26/23	REVISION SET	12/10/24	PERMIT REVIEW	5/15/25
12/10/24	PERMIT REVIEW	5/15/25	OWNER CHANGES	

DATE: _____
DRAWN BY: _____
CHECKED BY: _____
SCALE: _____
SHEET TITLE: PROPOSED 1st FLOOR PLAN
SHEET NUMBER: _____

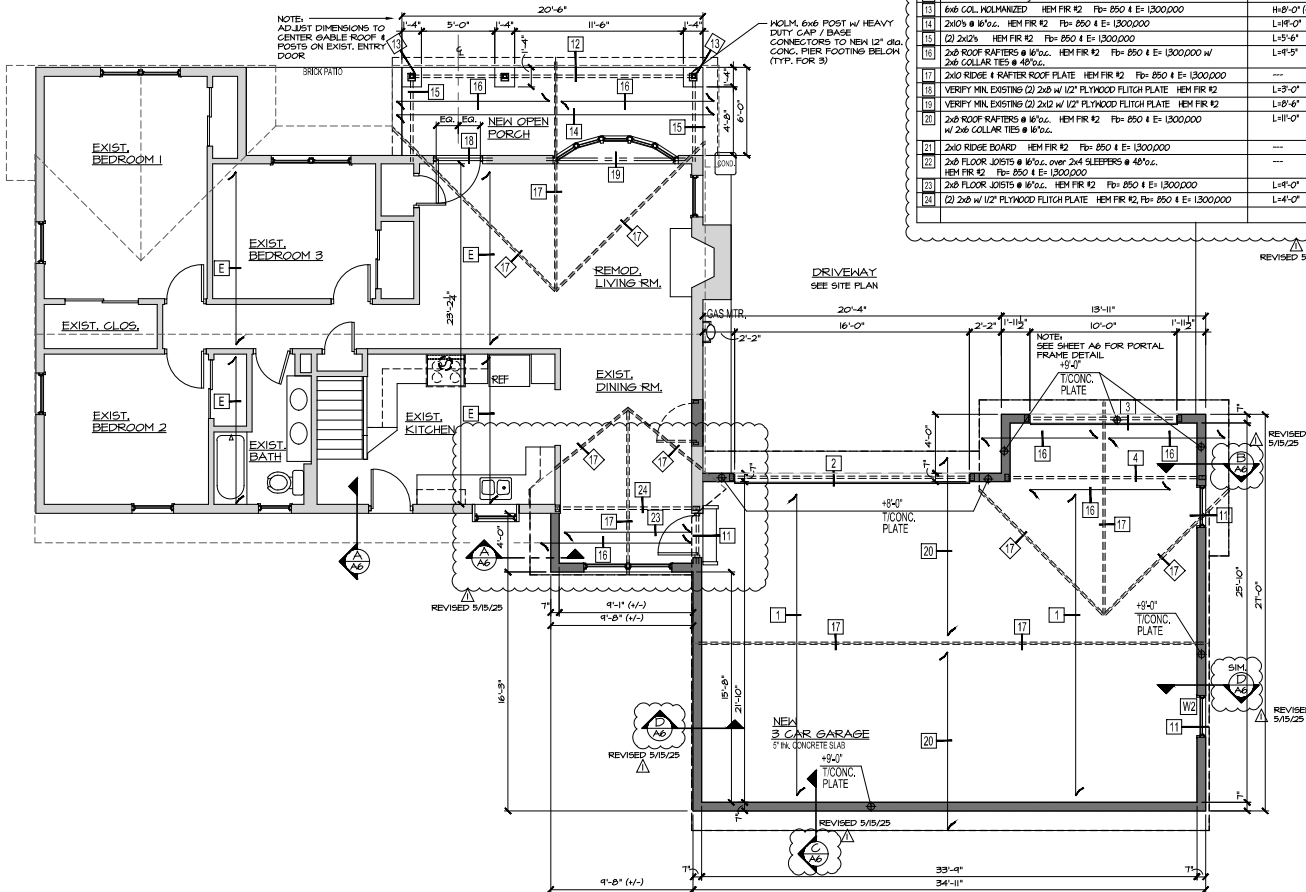
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TABLE R402.4.1 AIR BARRIER, AIR SEALING & INSULATION INSTALLATION ^a (FROM THE 2021 ILLINOIS ENERGY CONSERVATION CODE)		
COMPONENT	AIR BARRIER CRITERIA	INSULATION INSTALLATION CRITERIA
GENERAL NOTES	1. A CONTINUOUS AIR BARRIER SHALL BE INSTALLED IN THE BLDG. ENVELOPE. JOINTS IN THE AIR BARRIER SHALL BE SEALED.	AIR REMOVABLE INSULATION SHALL NOT BE USED AS A BULKING MATERIAL.
CEILING / ATIC	THE AIR BARRIER IN ANY DROPPED CEILING / SOFFIT SHALL BE ALIGNED WITH THE INSULATION. ANY GAPS IN THE AIR BARRIER SHALL BE SEALED. ACCESS OPENINGS, DROP DOWN CEILING OR CASE SHALL DOORS TO UNCONDITIONED ATIC SPACES SHALL BE SEALED.	THE INSULATION IN ANY DROPPED CEILING / SOFFIT SHALL BE ALIGNED WITH THE AIR BARRIER.
WALLS	THE JOINTS OF THE FOUNDATION AND SILL PLATE SHALL BE SEALED. THE JOINTS OF THE TOP PLATE & TOP OF EXTERIOR WALLS SHALL BE SEALED. THREE WALLS SHALL BE SEALED.	CAVITIES AT CORNERS & HEADERS OF FRAME WALLS SHALL BE FULLY COMPLETED TO FILL THE CAVITY WITH INSULATION. INSULATION RESISTANCE R-VALUE OF NOT LESS THAN R-5 PER INCH. EXTERIOR THERMAL BREAKERS FOR FRAME WALLS SHALL BE INSTALLED IN SUBSTANTIAL CONTACT & CONTINUOUS ALIGNMENT WITH THE AIR BARRIER.
WINDOWS, SLOTTED & DOORS	THE SPACE BETWEEN FRAMING & SLOTTINGS & THE JAMBS OF WINDOWS & DOORS, SHALL BE SEALED.	---
ROOF JOISTS	ROOF JOISTS SHALL INCLUDE AN EXTERIOR AIR BARRIER. THE JOINTS OF THE ROOF BOARDS TO THE SILL PLATE & THERM BREAK & THE JOINTS OF THE ROOF SHALL BE SEALED.	ROOF JOISTS SHALL BE INSULATED SO THAT THE INSULATION MAINTAINS PERMANENT CONTACT WITH THE EXTERIOR ROOF BOARD.
FLOORS INCLUDING UNFINISHED FLOORS & FLOORS ABOVE GARAGES	THE AIR BARRIER SHALL BE INSTALLED AT ANY EXPOSED EDGE OF INSULATION.	FLOOR FRAMING CAVITY SEAL SHALL BE INSTALLED TO MAINTAIN PERMANENT CONTACT WITH THE INTERIOR OF SUBFLOOR DECKING. ALTERNATIVE: FLOOR FRAMING CAVITY SEAL SHALL BE IN CONTACT WITH THE TOP SIDE OF SHEATHING OR CONTINUOUS SEAL ON THE INTERIOR OF THE FLOOR FRAMING & EXTENDING FROM THE BOTTOM TO THE TOP OF ALL INTERIOR FLOOR FRAMING MEMBERS.
INVENTED CRAWLSPACE & SLAB FOUNDATIONS	EXPOSED PARTS IN INVENTED CRAWLSPACES SHALL BE COVERED WITH A CLASS II VAPOR RETARDER. AIR BARRIER IN ACCORDANCE WITH SECTION R402.2.2. PENETRATIONS THROUGH CONCRETE FOUNDATION WALLS & SLABS SHALL BE AIR SEALED.	CEILING SPACE SEAL, WHERE PROVIDED INSTEAD OF FLOOR INSULATION, SHALL BE INSTALLED IN ACCORDANCE WITH SECTION R402.2.2.3. SLAB-ON-GRADE FLOOR INSULATION SHALL BE INSTALLED IN ACCORDANCE WITH SECTION R402.2.2.1.
SHAFTS, PENETRATIONS	GLASS & VAPOR RETARDERS SHALL NOT BE USED AS AN AIR BARRIER ON BELOW-GRADE WALLS & SHALL BE INSTALLED IN ACCORDANCE WITH SECTION R402.2.1 OF THE IBC.	INSULATION SHALL BE FITTED TIGHTLY AROUND PENETRATIONS THROUGH SHAFTS & PENETRATIONS IN THE BUILDING THERMAL ENVELOPE TO MAINTAIN REQUIRED R-VALUE.
WARRANTY CAVITIES	WARRANTY CAVITIES 1 INCH OR LESS THAT ARE NOT ABLE TO BE INSTALLED SHALL BE AIR SEALED.	BATTIS TO BE INSTALLED IN WARRANTY CAVITIES SHALL BE CUT TO FIT, OR WARRANTY CAVITIES SHALL BE FILLED WITH INSULATION THAT DOES NOT COMPROMISE THE AVAILABLE CAVITY SPACE.
GARAGE SEPARATION	AIR SEALED SHALL BE PROVIDED BETWEEN THE GARAGE & UNCONDITIONED SPACES.	INSULATED PORTIONS OF THE GARAGE SEPARATION ASSEMBLY SHALL BE INSTALLED IN ACCORDANCE WITH SECTION R402.2.2.1.
RECESSED LIGHTING	RECESSED LIGHT FIXTURES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE AIR SEALED IN ACCORDANCE WITH SECTION R402.2.1.	RECESSED LIGHT FIXTURES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE AIR TIGHT & IC RATED. IC SHALL BE BARRIED OR SUBSTITUTED WITH INSULATION.
PLUMBING, HEATING OR OTHER PENETRATIONS	ALL HOLES CREATED BY PLUMBING OR OTHER PENETRATIONS IN THE AIR BARRIER ASSEMBLY SHALL BE AIR SEALED.	INSULATION SHALL BE INSTALLED TO FILL THE AVAILABLE SPACE & BARRIED AGAIN PLUMBING OR OTHER PENETRATIONS, UNLESS THE REQUIRED R-VALUE CAN BE MET BY INSTALLING BATT & AIR BARRIER SYSTEMS COMPLETELY TO THE EXTERIOR SIDE OF THE CONSTRUCTION.
SIKNER / TIE ON EXTERIOR WALL	THE AIR BARRIER INSTALLED AT EXTERIOR WALLS ADJACENT TO SIKNER & TIE SHALL SEPARATE THE WALL FROM THE SIKNER OR TIE.	EXTERIOR WALLS ADJACENT TO SIKNER & TIE SHALL BE INSULATED.
ELECTRICAL / PHONE BOX ON EXTERIOR WALLS	THE AIR BARRIER SHALL BE INSTALLED BEHIND ELECTRICAL & COMMUNICATION BOXES. ALTERNATIVELY AIR-SEALED BOXES SHALL BE INSTALLED.	---
INVAZ REGISTER BOOTS	INVAZ SUPPLY A RETURN REGISTER BOOTS THAT PENETRATE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO THE DECKING, WALL, CEILING OR CEILING PENETRATED BY THE BOOT.	---
CONCEALED SPRINKLERS	WHERE REQUIRED TO BE SEALED, CONCEALED FIRE SPRINKLERS SHALL ONLY BE SEALED IN A MANNER THAT IS RECOMMENDED BY THE MFG. CALLING OR OTHER ADHESIVE SEALANTS SHALL NOT BE USED TO FILL GAPS BETWEEN THE SPRINKLER COVER SLABS & WALLS OR CEILING.	---

- a In addition, inspection of log walls shall be in accordance with the provisions of ICC-400.
- b Air barrier and insulation kit enclosure is not required in unconditioned / ventilated attic spaces if at the jobs.

R402.3.1 DUCTS LOCATED OUTSIDE UNCONDITIONED SPACE
SMALL VAPOR RETARDERS LOCATED OUTSIDE UNCONDITIONED SPACE SHALL BE INSTALLED TO AN R-VALUE OF NOT LESS THAN R-5 PER INCH. DUCTS LOCATED INSIDE UNCONDITIONED SPACE SHALL BE INSTALLED TO AN R-VALUE OF NOT LESS THAN R-5 PER INCH. DUCTS LOCATED INSIDE UNCONDITIONED SPACE SHALL BE INSTALLED TO AN R-VALUE OF NOT LESS THAN R-5 PER INCH. DUCTS LOCATED INSIDE UNCONDITIONED SPACE SHALL BE INSTALLED TO AN R-VALUE OF NOT LESS THAN R-5 PER INCH. DUCTS LOCATED INSIDE UNCONDITIONED SPACE SHALL BE INSTALLED TO AN R-VALUE OF NOT LESS THAN R-5 PER INCH.



LINTEL, BEAM, COLUMN & RAFTER SCHEDULE			BASES OF CALC.
NO.	DESCRIPTION	NOTES	
1	4 1/2" 2X0 SERIES @ 16" O.C. (NO ATIC LOAD)		L-2Z'-0"
2	1 3/4" x 4 1/4" LVL by T.J.	Fb= 2600 & E= 2,000,000	L-1B'-0"
3	2 2x0's HEM FIR #2	Fb= 850 & E= 1,300,000	L-1D'-0"
4	2 1 3/4" x 4 1/4" LVL by T.J.	Fb= 2600 & E= 2,000,000	L-1D'-0"
5	2 1 3/4" x 4 1/4" LVL by T.J.	Fb= 2600 & E= 1,300,000	L-1D'-0"
6	2 1 3/4" x 4 1/4" LVL by T.J.	Fb= 2600 & E= 1,300,000	L-1D'-0"
7	4 1/2" 2X0 SERIES @ 16" O.C.		L-1B'-6"
8	2 2x0's HEM FIR #2	Fb= 850 & E= 1,300,000	L-1B'-0"
9	2 2x0's HEM FIR #2	Fb= 850 & E= 1,300,000	L-1A'-0"
10	2 2x0's HEM FIR #2	Fb= 850 & E= 1,300,000	L-1B'-0"
11	2 2x0's HEM FIR #2	Fb= 850 & E= 1,300,000	L-1B'-0"
12	1 3/4" x 4 1/4" LVL by T.J.	Fb= 2600 & E= 1,300,000	L-1B'-0"
13	6x6 COL. UNMANAGED	HEM FIR #2 Fb= 850 & E= 1,300,000	H-B'-0" (N)
14	2x0's @ 16" O.C.	HEM FIR #2 Fb= 850 & E= 1,300,000	L-1B'-0"
15	2 2x0's HEM FIR #2	Fb= 850 & E= 1,300,000 w/ 2x6 COLLAR TIES @ 48" O.C.	L-1B'-6"
16	2x0 ROOF RAFTERS @ 16" O.C.	HEM FIR #2 Fb= 850 & E= 1,300,000 w/ 2x6 COLLAR TIES @ 48" O.C.	L-1B'-5"
17	2x0 RIDGE & RAFTER ROOF PLATE	HEM FIR #2 Fb= 850 & E= 1,300,000	---
18	2x0 COLLAR TIES @ 48" O.C.	HEM FIR #2 Fb= 850 & E= 1,300,000	---
19	VERIFY MIN. EXISTING 2 2x0 w/ 1/2" PLYWOOD FLUSH PLATE	HEM FIR #2	L-1B'-0"
20	VERIFY MIN. EXISTING 2 2x2 w/ 1/2" PLYWOOD FLUSH PLATE	HEM FIR #2	L-1B'-4"
21	2x0 ROOF RAFTERS @ 16" O.C.	HEM FIR #2 Fb= 850 & E= 1,300,000 w/ 2x6 COLLAR TIES @ 16" O.C.	L-1B'-0"
22	2x0 RIDGE BOARD	HEM FIR #2 Fb= 850 & E= 1,300,000	---
23	2x0 FLOOR JOISTS @ 16" O.C. over 2x4 SLEEPERS @ 48" O.C.	HEM FIR #2 Fb= 850 & E= 1,300,000	---
24	2x0 FLOOR JOISTS @ 16" O.C.	HEM FIR #2 Fb= 850 & E= 1,300,000	L-1B'-0"
25	2 2x0 w/ 1/2" PLYWOOD FLUSH PLATE	HEM FIR #2, Fb= 850 & E= 1,300,000	L-1A'-0"

PROPOSED ROOF FRAMING PLAN
SCALE: 1/4" = 1'-0"

WARNING:
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JOHN NELSON - ARCHITECT, INC.
1420 WHISPERING SPRINGS CIRCLE
PALATINE, IL 60074
847 991-9154

PROPOSED ALTERATIONS FOR:
PLAWER RESIDENCE
1307 N. DOE RD.
PALATINE, IL

DATE	REVISION SET	REVISION SET	PERMIT REVIEW	OWNER COMMENTS
5/6/23				
6/26/23				
12/10/24				
3/15/25				

DATE: _____
DRAWN BY: _____
CHECKED BY: _____
SCALE: _____
SHEET TITLE: **PROPOSED ROOF FRAMING PLAN**
SHEET NUMBER: _____

A5

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H/TSP

Seismic and Hurricane Ties (cont.)

These products are available with additional corrosion protection. For more information, see p. 15.

SS For stainless-steel fasteners, see p. 23.

SD Many of these products are approved for installation with Strong-Dri® SD Connector screws. See pp. 362-366 for more information.



Model No.	Ga.	Fasteners (in.)			DF/SP Allowable Loads			Uplift with 0.131" x 1 1/2" Nails (160)			SPF/HF Allowable Loads			Uplift with 0.131" x 1 1/2" Nails (160)			Code Ref.
		To Rafter/Truss	To Plates	To Studs	Uplift (160)	Lateral (160)	F ₁	F ₂	Uplift (160)	Lateral (160)	F ₁	F ₂	Uplift (160)	Lateral (160)			
H1A	18	(4) 0.131 x 1 1/2	(4) 0.131 x 1 1/2	—	545	420	265	—	470	360	205	—	—	IBC®, FL, LA			
H1.81Z	18	(6) 0.131 x 1 1/2	(4) 0.131 x 2 1/2	—	540	440	170	460	465	380	130	395	—	—			
H2A	18	(5) 0.131 x 1 1/2	(2) 0.131 x 1 1/2	(5) 0.131 x 1 1/2	525	130	55	—	495	130	55	—	—	IBC, FL, LA			
H2.5A	18	(5) 0.131 x 1 1/2	(2) 0.131 x 1 1/2	(5) 0.131 x 1 1/2	400	130	55	400	245	130	55	345	—	—			
H2.5A	18	(5) 0.131 x 2 1/2	(5) 0.131 x 2 1/2	—	700	110	110	625	615	110	110	540	—	IBC, FL, LA			
H2.5ASS	18	(5) 0.131 x 2 1/2	(5) 0.131 x 2 1/2	—	440	75	70	365	360	75	70	310	—	—			

TABLE R402.1.3 INSULATION MINIMUM R-VALUES AND FENESTRATION REQUIREMENTS BY COMPONENT*

CLIMATE ZONE	FENESTRATION U-FACTOR ^a	SKYLIGHT ^b U-FACTOR	GLAZED FENESTRATION SHGC ^{c,d}	CEILING R-VALUE	WOOD FRAME WALL R-VALUE ^e	MASS WALL R-VALUE ^e	FLOOR R-VALUE	BASEMENT ^g WALL R-VALUE	SLAB ^f R-VALUE & DEPTH	CRAWL SPACE ^g WALL R-VALUE
0	NR	0.75	0.25	30	13 or 0810ci	3/4	13	0	0	0
1	NR	0.75	0.25	30	13 or 0810ci	3/4	13	0	0	0
2	0.40	0.65	0.25	49	13 or 0810ci	4/6	13	0	0	0
3	0.30	0.55	0.25	49	20 or 1385ci ^h or 0815ci ^h	8/13	19	5ci or 13"	10ci, 2 ft	5ci or 13"
4 except Marine	0.30	0.55	0.40	60	30 or 2085ci ^h or 13810ci ^h or 0820ci ^h	8/13	19	10ci or 13"	10ci, 4 ft	10ci or 13"
5 and Marine 4	0.30 ⁱ	0.55	0.40	60	30 or 2085ci ^h or 13810ci ^h or 0820ci ^h	13/17	30	15ci or 19" or 138sci	10ci, 4ft	15ci or 19" or 138sci

REVISED 5/15/25

A NEW ROOF CONSTRUCTION

- 25# ASPHALT SHINGLES TO BLEND W/ EXISTING SHINGLES
- 15# FELT
- ICE & WATER SHIELD FROM ROOF FASCIA TO 2'-0" INSIDE THE EXTERIOR WALL
- 2x8 ROOF RAFTERS @ 16" o.c. (SEE STRUCTURAL PLAN)
- 4 1/2" T.J. 230 SERIES @ 16" o.c. (NO ATTIC LOAD PERMITTED)
- UL 1 HOUR 5/8" GYPSUM BOARD TAPED & SANDED
- CONT. RIDGE VENTS (SEE LIGHT/ VENT SCHEDULE FOR CALCS.)
- R-49 INSULATION W/ VAPOR BARRIER TO THE WARM SIDE

B NEW WALL CONSTRUCTION

- HORIZONTAL LP SIDING (SEE MANUFACTURER'S SPECS.)
- TYVEK VAPOR BARRIER
- 1/2" CDX PLYWOOD- NAIL TO STUDS 6" o.c. PERIMETER & 12" o.c. INTERIOR
- 2x6 WOOD STUDS @ 16" o.c.
- R-21 BATT INSULATION W/ VAPOR BARRIER TO THE WARM SIDE + R-5 G.I.
- UL 1 HOUR 5/8" GYPSUM BOARD TAPED & SANDED

C NEW OVERHANG CONSTRUCTION

- LP FASCIA
- LP SCREWS W/ CONT. 2" VENT (SEE LIGHT/ VENT SCHED. FOR CALCS.)
- ALUM. SIDING & TRIM POINTS BY JACKING ONTO HARD SURFACE & AWAY FROM BUILDING
- SIMPSON H2.5ASS HURRICANE TIE

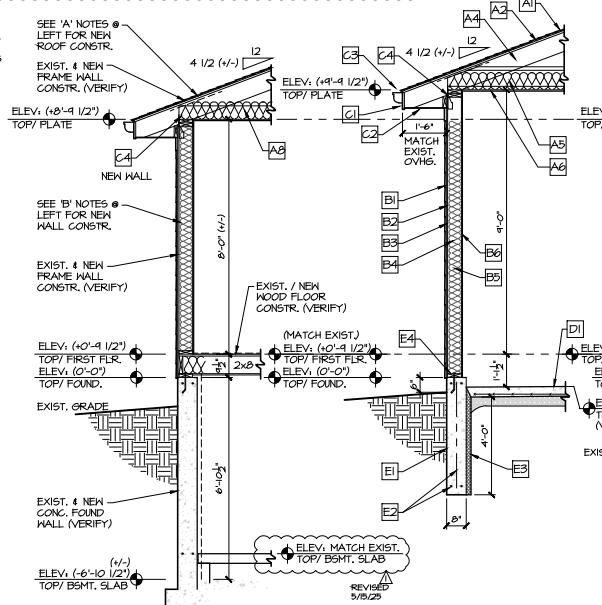
D NEW FLOOR CONSTRUCTION

- 4" THK. CONCRETE FLOOR, F_c = 3500 psi, w/ 4x4 waf OVER 4" THK. COMPACTED GRAVEL
- FAMILY RM. HAS 2x4 UNMANIPULATED SLEEPERS @ APPROX. 6'-0" o.c. OVER 6 mil VISQUEEN VAPOR BARRIER
- 2x8 FLOOR JOISTS PERPENDICULAR TO SLEEPERS @ 16" o.c. (SEE STRUCTURAL FRAMING PLANS)
- R-30 BATT INSULATION WITHIN FAMILY RM. FLOOR

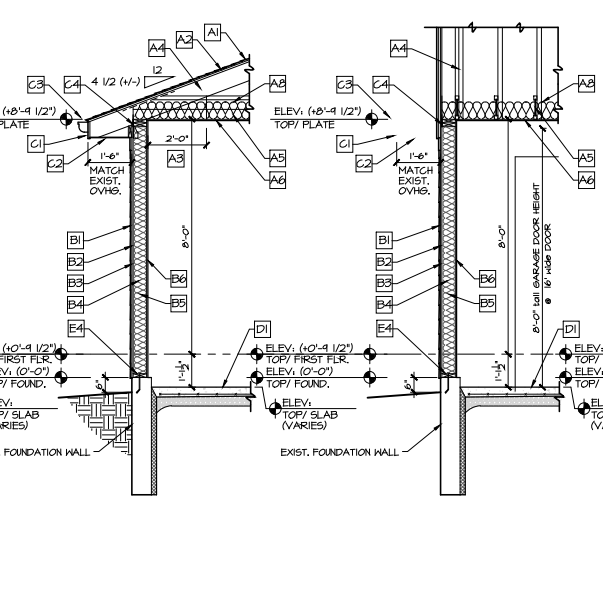
E NEW FOUNDATION CONSTRUCTION

- 8" THK. CONCRETE FOUNDATION MIN. 6" ABOVE GRADE & 3'-6" BELOW GRADE. TOP OF NEW FOUNDATION MATCHES EXISTING EXCEPT AT GARAGE DOOR OPENINGS (SEE FOUNDATION PLAN)
- CONCRETE FOUNDATION HAS (2) #4 BARS TOP & BTH. AND (1) #4 VERTICALLY 36" o.c.
- R-10 RIGID INSULATION TO 4'-0" BELOW SLAB
- WOOD SOLE PLATES AT ALL EXTERIOR WALLS ON MONOLITHIC SLABS. WOOD SOLE PLATES OF BRACED WALL PANELS AT BLDG. INTERIORS ON MONOLITHIC SLABS & ALL WOOD SOLE PLATES SHALL BE ANCHORED TO THE FOUNDATION W/ MINIMUM 1/2" DIA. ANCHOR BOLTS SPACED A MAXIMUM OF 6'-0" o.c. OR APPROVED ANCHORS & WITHIN 12" OF THE CORNERS EACH DIRECTION.

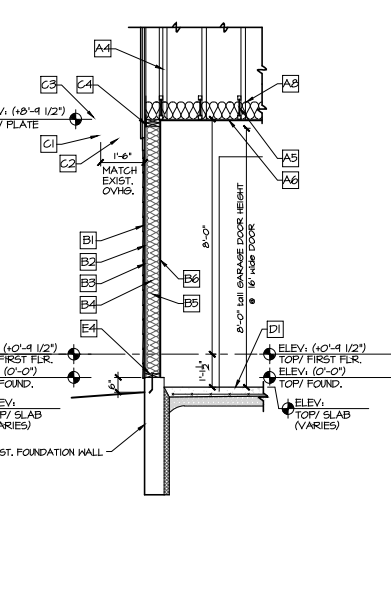
REVISED 5/15/25



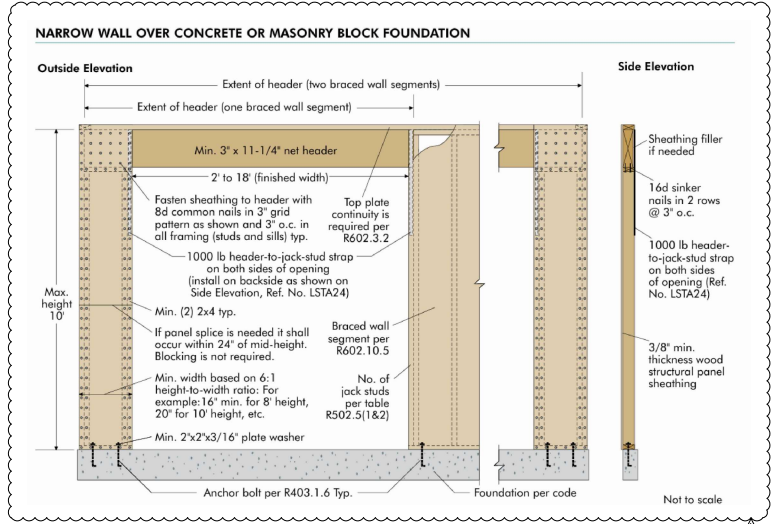
SECTION-EXIST./ NEW RESID.
SCALE: 1/2" = 1'-0"



SECTION-NEW GARAGE
SCALE: 1/2" = 1'-0"



SECTION-NEW GARAGE
SCALE: 1/2" = 1'-0"



REVISED 5/15/25

WARNING:
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JOHN NELSON - ARCHITECT, INC.
1420 WHISPERING SPRINGS CIRCLE
PALATINE, IL 60074
847 991-9154

PROPOSED ALTERATIONS FOR:
PLAWER RESIDENCE
1307 N. DOE RD.
PALATINE, IL

DATE	REVISION SET	REVISION SET	REVISION SET	OWNER CHANGES
5/15/25				
6/26/23				
12/10/24				
3/15/25				

DATE: _____
DRAWN BY: _____
CHECKED BY: _____
SCALE: _____
SHEET TITLE: **PROPOSED WALL SECTIONS**
SHEET NUMBER: _____

A6

WARNING:
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JOHN NELSON - ARCHITECT, INC.
1420 WHISPERING SPRINGS CIRCLE
PALATINE, IL 60074
847 991-9154

PROPOSED ALTERATIONS FOR:
PLAWER RESIDENCE
1307 N. DOE RD.
PALATINE, IL

WATER SERVICE PIPE SIZE WORKSHEET - RESIDENTIAL
(FLUSH TANK ONLY)

REQUIRED TO BE SUBMITTED FOR ANY RESIDENTIAL PROJECT THAT PROPOSES TO ADD ADDITIONAL PLUMBING FIXTURES.
THE NEW WATER SERVICE SIZE IS BASED ON THE FOLLOWING INFORMATION BELOW:

ADDRESS OF PROJECT: 1307 N. DOE ROAD, PALATINE, IL
WATER SERVICE SIZE: 1"
ARCHITECT OF RECORD: JOHN NELSON ARCH, INC.
LICENSE #: 001 00 98 66

PROPOSED WATER SUPPLY FIXTURE UNITS (CALCULATION)
PER ILLINOIS STATE PLUMBING CODE - SECTION 840, APPENDIX A, TABLES M 4 N

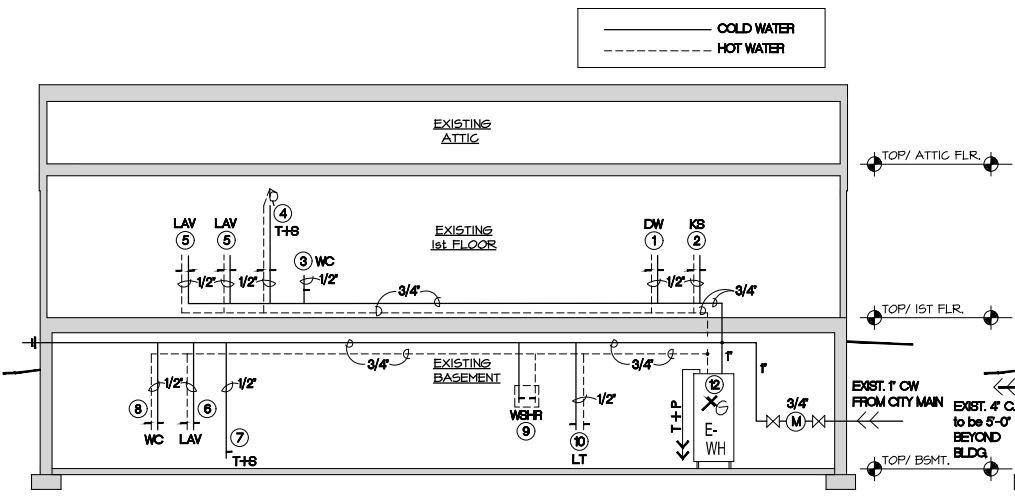
WATER CLOSET (TOILETS)	3 X 2 = 6
LAVATORY / SINK	1 X 3 = 3
SHOWER / TUB	2 X 2 = 4
KITCHEN SINK	2 X 1 = 2
DISHWASHER	1 X 1 = 1
LAUNDRY TUB	3 X 1 = 3
CLOTHES WASHER	2 X 1 = 2
TOTAL	= 21 K.S.F.U.

REQUIRED PIPE SIZE

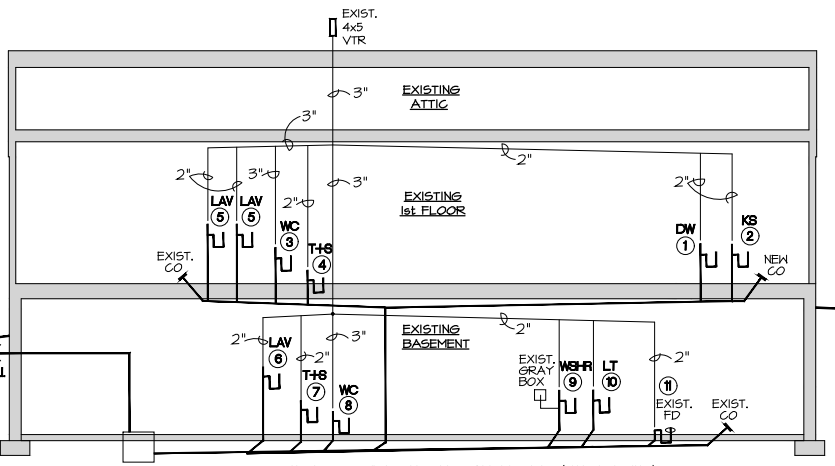
- 1/2" SERVICE (2 - 7 K.S.F.U.)
- 3/4" SERVICE (8 - 14 K.S.F.U.)
- 1" SERVICE (20 - 34 K.S.F.U.)
- 1 1/4" SERVICE (35 - 54 K.S.F.U.)
- 1 1/2" SERVICE (60 - 114 K.S.F.U.)

PLUMBING LEGEND FOR DIAGRAMS BELOW

- ① DW EXISTING DISHWASHER
- ② KS EXISTING KITCHEN SINK
- ③ WC EXISTING WATER CLOSET
- ④ T/S EXISTING TUB / SHOWER
- ⑤ L(2) EXISTING LAVATORY
- ⑥ L EXISTING LAVATORY
- ⑦ T/S EXISTING TUB / SHOWER
- ⑧ WC EXISTING WATER CLOSET
- ⑨ GRAYBOX EXISTING CLOTHES WASHER
- ⑩ LT EXISTING LAUNDRY TRAY
- ⑪ FD EXISTING FLOOR DRAIN
- ⑫ WH EXISTING GAS FIRED HTR. HEATER



PARTIAL
WATER DIAGRAM
SCALE: NOT TO SCALE



NOTES: PROVIDE SHUT-OFF @ ALL FIXTURES (V.I.F.-EXISTING)
PROVIDE 1/2' x 12' AIR CHAMBERS @ ALL FIXTURES (V.I.F.- EXISTING)
PROVIDE 1/2' x 24' AIR CHAMBERS @ ALL RISERS (V.I.F.- EXISTING)

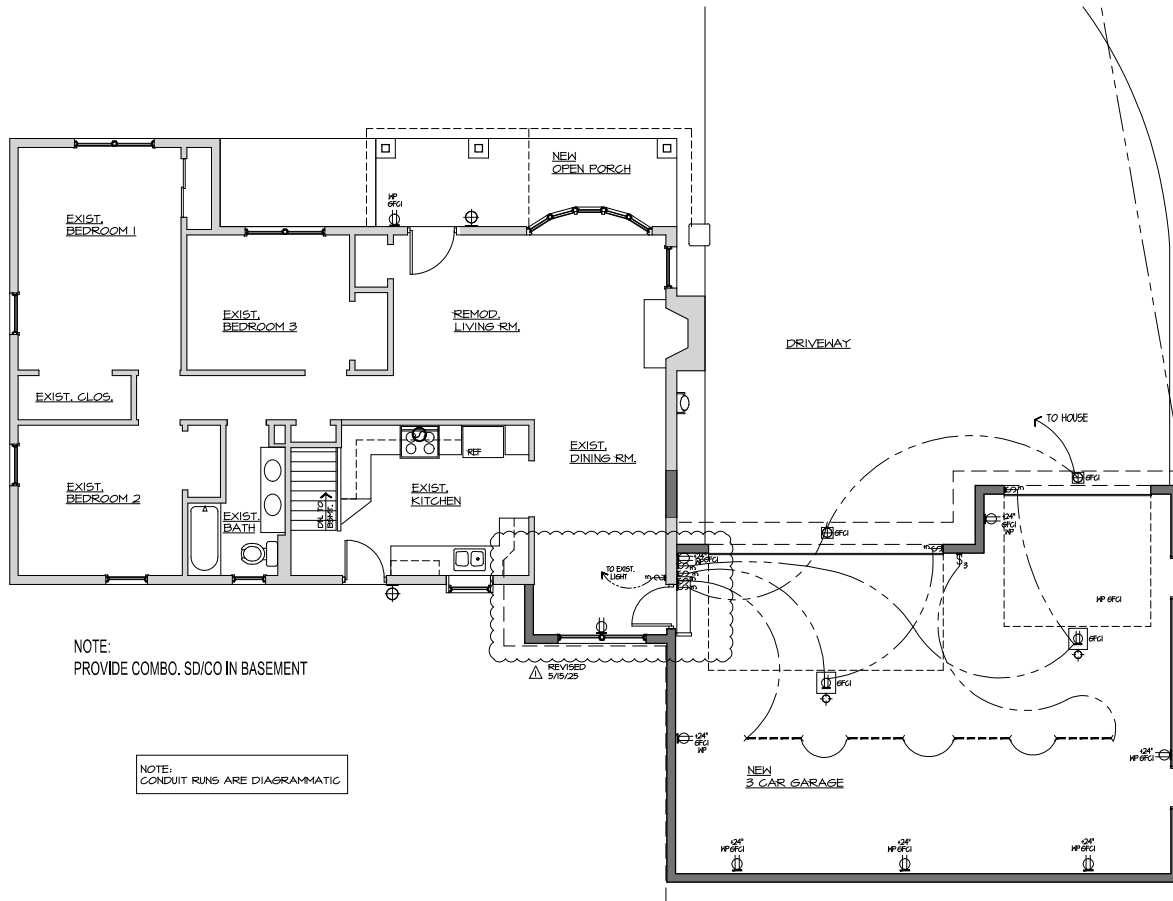
PARTIAL
WASTE DIAGRAM
SCALE: NOT TO SCALE

DATE	5/6/23	REVIEW SET	
	6/26/23	REVIEW SET	
	12/10/24	PERMIT REVIEW	
	3/15/25	OWNER COMMENTS	

DATE:	
DRAWN BY:	
CHECKED BY:	
SCALE:	
SHEET TITLE:	PROPOSED PLUMB. ISOMETRICS
SHEET NUMBER:	

P1

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NOTE:
PROVIDE COMBO. SD/CO IN BASEMENT

NOTE:
CONDUIT RUNS ARE DIAGRAMMATIC

PROPOSED ELECTRICAL PLAN
SCALE: 1/4" = 1'-0"

- SYMBOL LEGEND**
- Ⓢ SWITCH AT WALL
 - ⓈⓈ SWITCH AT WALL W DIMMER
 - ⓈⓈⓈ SWITCH (3 WAY)
 - ⓈⓈⓈⓈ SWITCH (4 WAY)
 - ⓈⓈ RECESSED CAN LIGHT
 - ⓈⓈⓈ OVERHEAD DOOR OPERATOR w/ LIGHT & OUTLET (GFCI)
 - ⓈⓈ DEDICATED OUTLET
 - ⓈⓈ DUPLEX OUTLET
 - ⓈⓈⓈ GROUND FAULT CIRCUIT INTERRUPTER
 - ⓈⓈⓈⓈ QUAD OUTLET
 - ⓈⓈⓈⓈ GROUND FAULT CIRCUIT INTERRUPTER
 - ⓈⓈⓈⓈ DUPLEX OUTLET
 - ⓈⓈⓈⓈ HEATER PROOF
 - ⓈⓈⓈⓈ GROUND FAULT CIRCUIT INTERRUPTER
 - ⓈⓈⓈ WALL MOUNTED LIGHT SCOFF
 - ⓈⓈⓈ EXTERIOR RECESSED LIGHT FIXTURE
 - ⓈⓈ GAS CONNECTION
 - ⓈⓈⓈ COMBINATION
 - ⓈⓈⓈⓈ 110V. SM. DETECTOR w/ BATTERY BACKUP
 - ⓈⓈⓈⓈ SD/CO
 - ⓈⓈⓈ 110V. SM. DETECTOR w/ BATTERY BACKUP (WIRED IN SERIES)
 - ⓈⓈⓈ 110V. SM. DETECTOR w/ BATTERY BACKUP (WIRED IN SERIES)

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JOHN NELSON - ARCHITECT, INC.
1420 WHISPERING SPRINGS CIRCLE
PALATINE, IL 60074
847 991-9154

PROPOSED ALTERATIONS FOR:
PLAWER RESIDENCE
1307 N. DOE RD.
PALATINE, IL

DATE	REVIEW SET	REVIEW SET	REVIEW SET	OWNER COMMENTS
5/6/23				
6/26/23				
12/10/24				
3/15/25				

DATE:	
DRAWN BY:	
CHECKED BY:	
SCALE:	
SHEET TITLE:	PROPOSED ELECTRICAL PLAN
SHEET NUMBER:	

E1

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ORDINANCE NO. O-99-23

**AN ORDINANCE GRANTING A SPECIAL USE AT
1307 N. DOE ROAD**

**Published in pamphlet form by authority of the
Mayor and Village Council of the Village of Palatine
on September 5, 2023**

ORDINANCE NO. 0-99-23

AN ORDINANCE GRANTING A SPECIAL USE AT
1307 N. DOE ROAD

WHEREAS, pursuant to a petition and public hearing on August 22, 2023, of which public notice was given as required by law, the Planning and Zoning Commission of the Village of Palatine, in accordance with the Zoning Ordinance of the Village of Palatine, in such case made and provided, has held such public hearing and reported their findings relative to a request for a Special Use to permit an addition to be setback 21 feet from the side property line abutting a street, instead of the minimum required 40 feet pursuant to Section 10.02 (c) (12) of the Palatine Zoning Ordinance on the following legally described property:

LOT 11 IN DEER GROVE SUBDIVISION OF PART OF THE EAST HALF OF THE NORTHEAST QUARTER OF SECTION 8, TOWNSHIP 42 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN AND PART OF THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 8, TOWNSHIP 42 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED OCTOBER 28, 1955, AS DOCUMENT NO. 16404903 AND RE-RECORDED JUNE 15, 1956 AS DOCUMENT NO. 16611364, IN COOK COUNTY, ILLINOIS.

commonly known as 1307 N. Doe Road (PIN# 02-08-204-001-0000)

NOW, THEREFORE, BE IT ORDAINED, by the Mayor and Village Council of the Village of Palatine, Cook County, Illinois, acting in the exercise of their home rule power that:

SECTION 1: Special Use to permit an addition to be setback 21 feet from the side property line abutting a street, instead of the minimum required 40 feet pursuant to

Section 10.02 (c) (12) of the Palatine Zoning Ordinance, is hereby granted, subject to the following condition(s):

1. The Special Use shall substantially conform to the site plan, floor plan, and elevation plan submitted by the Petitioner, Adam Plawer, except as such plans may be changed to conform to Village Codes and Ordinances.

SECTION 2: That a copy of the public notice is attached hereto and form a part of this ordinance.

SECTION 3: That this ordinance shall be in full force and effect from and after its passage and approval as provided by law.

PASSED: This 5th day of September, 2023

AYES: 5 NAYS: 0 ABSENT: 1 PASS: 0

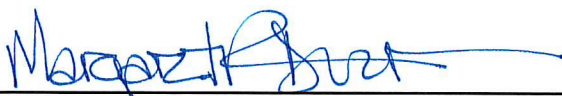
APPROVED by me this 5th day of September, 2023



Mayor of the Village of Palatine

ATTESTED and FILED in the office of the Village Clerk this

5th day of September, 2023



Village Clerk

CERTIFICATE OF PUBLICATION

DES PLAINES JOURNAL, INC., a corporation organized and existing under and by virtue of the laws of the State of Illinois, does hereby CERTIFY that it is the publisher of the:

**Journal & Topics Newspapers
AKA Des Plaines Journal, Inc.
622 Graceland Ave.
Des Plaines, IL 60016-4556**

and that said newspaper(s) is a secular newspaper of general circulation and has been published weekly in the

(Village) (Town) (City) (Township) of PALATINE 1307 N. DOE RD.



County of COOK

and State of Illinois, continuously for more than one year prior to date of the first publication of the notice attached hereto, and that said newspaper(s) complies with the requirements of Paragraphs 5 and 10, Chapter 100, of the Illinois Revised Statutes.

Further, that the notice, of which the attached is a true copy, was published ONE times in the said newspaper(s), namely once each week for ONE successive week(s) and that the first publication of said notice was made on the 3RD day of AUGUST, A.D. 2023, and the last publication thereof was made on the 3RD day of AUGUST, A.D. 2023.

- Your Legal appeared in the following Journal & Topics Newspapers (Des Plaines Journal, Inc.)
- Des Plaines Journal
 - Elk Grove Village Journal
 - Mt. Prospect Journal
 - Niles Journal
 - Park Ridge-Golf Mill Journal
 - Prospect Heights Journal
 - Rosemont Journal
 - Arlington Heights Topics
 - Buffalo Grove Topics
 - Palatine Topics
 - Rolling Meadows Topics
 - Wheeling Topics
 - Suburban Journal
 - Northwest Journal
 - Glenview Journal



Mary Alice Wenzl

IN WITNESS WHEREOF, THE DES PLAINES JOURNAL, INC., has caused this certificate to be signed and its corporate seal affixed hereto at Des Plaines, Illinois this 3RD day of AUGUST, A.D., 2023.

By Todd Wessell

President
Title of Corporate Officer

County of Cook
State of Illinois

Subscribed and sworn to before me this 3RD day of AUGUST, A.D., 2023.

My commission expires the 15TH day of JULY, A.D., 2025.

PUBLIC NOTICE

A Public Hearing will be held before the Village of Palatine Planning and Zoning Commission on Tuesday, December 23, 2025 at 7 PM, in the Village Council Chambers in Palatine Village Hall, 200 E. Wood Street, relative to a request for the following:

Special use to permit a corner side yard abutting a street setback of 21 feet, instead of the minimum required 40-foot setback for corner side yards abutting a street.

The property is commonly known as 1307 N. Doe Road.

The Petitioner is proposing to demolish the existing attached garage and construct a new attached garage, which would encroach into the minimum required 40-foot corner side yard abutting a street setback (Dundee Road). The "R-1" zoning district requires a minimum 40-foot setback for corner side yards abutting a street.

The above petition has been filed by Adam Plawer, property owner, and is available for examination in the office of the Village Clerk, 200 E. Wood Street.

FILE #:SU-000230-2025

VILLAGE OF PALATINE

Jan Wood, Chair
Palatine Planning and Zoning Commission

DATED: This 4th day of December 2025

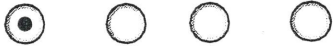
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(Village) (Town) (City) (Township) of PALATINE 1307 N.DOE RD

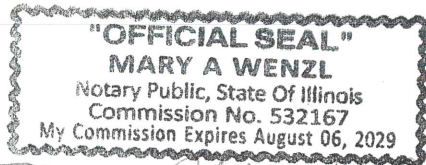


County of COOK

and State of Illinois, continuously for more than one year prior to date of the first publication of the notice attached hereto, and that said newspaper(s) complies with the requirements of Paragraphs 5 and 10, Chapter 100, of the Illinois Revised Statutes.

Further, that the notice, of which the attached is a true copy, was published ONE times in the said newspaper(s), namely once each week for ONE successive week(s) and that the first publication of said notice was made on the 4TH day of DECEMBER, A.D. 2025, and the last publication thereof was made on the 4TH day of DECEMBER, A.D. 2025.

- Your Legal appeared in the following Journal & Topics Newspapers (Des Plaines Journal, Inc.)
- Des Plaines Journal
 - Elk Grove Village Journal
 - Mt. Prospect Journal
 - Niles Journal
 - Park Ridge-Golf Mill Journal
 - Prospect Heights Journal
 - Rosemont Journal
 - Arlington Heights Topics
 - Buffalo Grove Topics
 - Palatine Topics
 - Rolling Meadows Topics
 - Wheeling Topics
 - Suburban Journal
 - Northwest Journal
 - Glenview Journal



Mary Alice Wenzl
IN WITNESS WHEREOF, THE DES PLAINES JOURNAL, INC., has caused this certificate to be signed and its corporate seal affixed hereto at Des Plaines, Illinois this 4TH day of DECEMBER A.D., 2025.

By *Todd Wessell*
President
Title of Corporate Officer

County of Cook
State of Illinois

Subscribed and sworn to before me this 4TH day of DECEMBER A.D., 2025.

My commission expires the 6TH day of AUGUST A.D., 2029.

609 S. Oak Street**STAFF REPORT:**

TO: Palatine Planning and Zoning Commission
Jan Wood, Chair

FROM: R. Auer

PETITIONER: Kishore Channabasavaiah, Owner

PLAN NUMBER: SU-000219-2025

BACKGROUND:

The petitioner is proposing to construct a 168 square-foot addition at the rear of the existing residence. The addition will be set back from the rear lot line at a distance of 25 feet. Therefore, the Petitioner is requesting:

1. Special use to permit a rear setback of 25 feet, instead of the minimum required rear yard setback of 40 feet in the “R-2” zoning district.

KEY ISSUES:

- The subject property is zoned “R-2”, Single-Family District and is approximately 9,430 square feet in size. The property is currently contains a single-family residence and is part of the Conrad Novak Subdivision.
- Presently, the principal structure is located approximately 40 feet from the rear lot line – meeting the rear setback requirement for the principal structures in the “R-2” zoning district.
- The proposed addition consists of a traditional “three-seasons” room. The addition is categorized as part of the principal building and is therefore subject to applicable regulations. The proposed addition will be set back approximately 25 feet from the rear lot line, encroaching on the required minimum 40-foot rear setback for the “R-2” zoning district.
- To understand the proposal’s compatibility with the surrounding area, Staff evaluated nearby properties. Upon review, staff discovered properties containing rear yard setbacks below the minimum required 40 feet. These properties together average a rear yard setback of 35 feet. It should be noted that some of the rear yard setbacks

were approved components of a Planned Development. The surrounding properties are each subject to the area and bulk regulations of the “R-2” zoning district.

- The rear property line of the subject property abuts the S. Vermont Street manufacturing corridor, designated “M”, manufacturing district zoning and where general industrial uses are conducted. These lots are obscured from view as this rear area of the property is screened by a 6-foot-tall fence and a general landscape buffer with tall, mature trees. Due to these conditions, Staff believes the proposed addition will produce a lower impact upon other residences (opposed to abutting residences in the rear) as it is only visible to neighbors from the north and south view.
- The proposed addition, as well as the existing property, do not conflict with remaining area and bulk regulations set forth by the Zoning Ordinance for residential structures.

STANDARDS FOR SPECIAL USE: Since this Petition is not for a use publicly operated or traditionally affected with the public interest, those standards under Section 14.05 D (2) and (3) are applicable. Specifically, the Petitioners must show that the Special Use, if granted, is so designed, located, and proposed to be operated that the public health, safety, and welfare will be protected and will not cause substantial injury to the value of other property in the neighborhood in which it is located. The Petitioners have attempted to address the required standards.

STAFF RECOMMENDATION:

The petitioner is proposing to construct an addition to the rear of the principal structure, resulting in a rear yard setback encroachment. The surrounding area includes rear yard setbacks that are below the “R-2” zoning district minimum of 40 feet. Staff believes the proposed addition will not negatively impact the value of the surrounding properties. Furthermore, the proposal complies with the lot and building coverage limitations and does not conflict with the remaining bulk standards of the “R-2” zoning district.

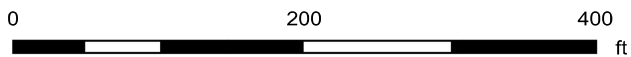
Therefore, Staff recommends approval of the proposed Special use, subject to the following conditions:

1. The Special Use and shall substantially conform to the plans prepared by the Petitioner, dated 11/07/2025, except as such plans may be changed to conform to Village Codes and Ordinances.

ATTACHMENTS:

1. Aerial Map
2. Special Use Application
3. Plat of Survey

4. Site Plan
5. Plans
6. Proof of notice



Print Date: 12/16/2025

Notes

Disclaimer: The GIS Consortium and MGP Inc. are not liable for any use, misuse, modification or disclosure of any map provided under applicable law. This map is for general information purposes only. Although the information is believed to be generally accurate, errors may exist and the user should independently confirm for accuracy. The map does not constitute a regulatory determination and is not a base for engineering design. A Registered Land Surveyor should be consulted to determine precise location boundaries on the ground.

Petitioner Name

Kishore Channabasavaiah

Business Name (if applicable)

Subject Property Address

609 S Oak Street

Please provide a description of your proposed request:

Addition of a 3 season sunroom at the back of an existing residence - Request for approval of special use of setback reduction and planning and zoning hearing.

Petitioner Justification

Special Uses shall not be granted except on findings based upon the evidence in each specific case. Please address the following standards as these will be used in considering the specific relief you are seeking.

That use deemed necessary for the public convenience at that location. Explain:

The special use is for use of the property owner and does not have any public use or impact public convenience

The use is designed, located, and proposed to be operated that the public health, safety, welfare will be protected. Explain:

The special use setback reductions have no public health, safety or welfare impacts.

The use will not cause substantial injury to nearby property values. Explain:

The request will have no impact on nearby property values as it is at the back of an existing residence

In order to supplement the above standards, the Planning and Zoning Commission may also consider the following:

With respect to front yard fencing and fencing in a rear yard/side yard abutting a street, the following additional standards must be met:

a. Will meet the following aesthetic criteria:

- i. Will not destroy existing vistas in the area;
- ii. Will enhance the appearance of the homes and the streets in the area; and
- iii. Will not detract from the overall appearance of the community; or

b. The fencing is found to be necessary to protect private property or the safety of the inhabitants of the property.

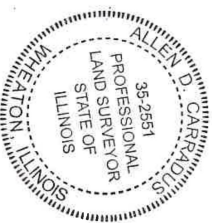
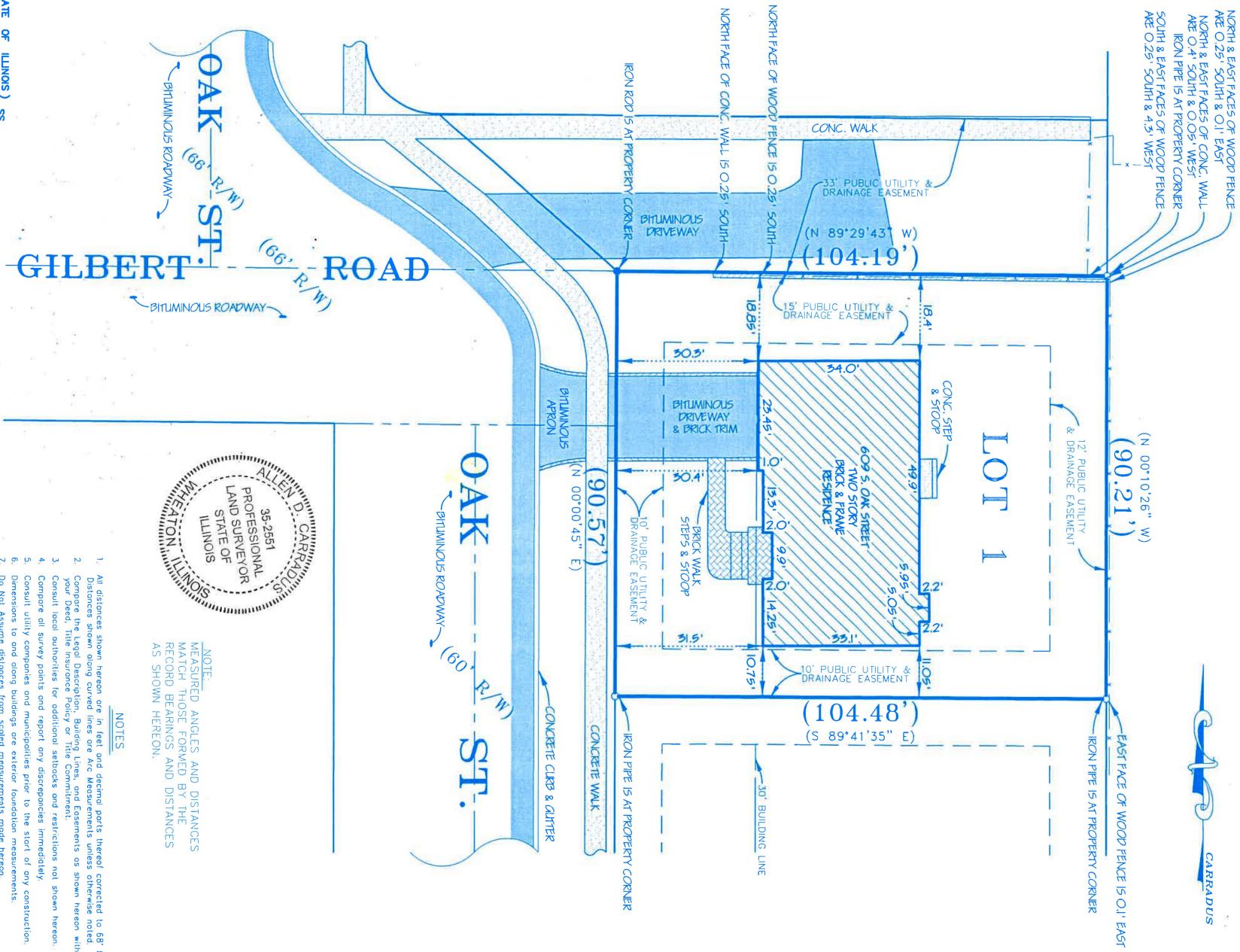
Not applicable

SURVEY LEGEND
 Monumentation Found
 (30') Record Dimension
 —X— Fence Line

PLAT OF SURVEY

LOT 1 IN CONRAD NOVAK SUBDIVISION, BEING A RESUBDIVISION OF PORTIONS OF LOTS 1 AND 4 IN ARTHUR T. MCINTOSH AND COMPANY'S PALATINE ESTATES UNIT NUMBER ONE IN THE SOUTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 22, TOWNSHIP 42 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

AREA OF SITE = 9,431 SQ.FT.



NOTE:
 MEASURED ANGLES AND DISTANCES
 MATCH THOSE FORWARDED BY THE
 RECORD BEARINGS AND DISTANCES
 AS SHOWN HEREON.

NOTES

- All distances shown hereon are in feet and decimal parts thereof corrected to 68° F. Distances shown along curved lines are Arc Measurements unless otherwise noted.
- Compare the Legal Description, Building Lines, and Easements as shown hereon with your Deed, Title Insurance Policy or Title Commitment.
- Consult local authorities for additional setbacks and restrictions not shown hereon.
- Compare all survey points and report any discrepancies immediately.
- Consult utility companies and municipalities prior to the start of any construction.
- Dimensions to and along buildings are exterior foundation measurements.
- Do Not Assume distances from scaled measurements made hereon.

THIS IS TO CERTIFY THAT I, ALLEN D. CARRADUS, A PROFESSIONAL LAND SURVEYOR, LICENSED IN THE STATE OF ILLINOIS, HAVE EXAMINED THE PROPERTY AS DESCRIBED HEREON AND THAT THE ANNEKED PLATS CORRECTLY AND TRULY REPRESENT THE LOCATION AND DIMENSIONS OF THE PROPERTY AS CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.

SIGNED AND SEALED AT OAK, ILLINOIS, THIS 22nd DAY OF August, A.D. 2025.

BY *Allen D. Carradus*
 ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 35-2551.
 MY LICENSE EXPIRES NOVEMBER 30, 2026.

CARRADUS LAND SURVEY, INC.
 (Professional Seal) & (Commonwealth Licensed Surveyor) @surveys
 191 S. Gary Avenue, Suite 180, Carol Stream, Illinois, 60188
 (630) 388-0416 (fax) 633-7892 OFFICE@CARRADUSLANDSURVEY.COM

PREPARED FOR: **KISHORE CHANNABASAVAIAH**

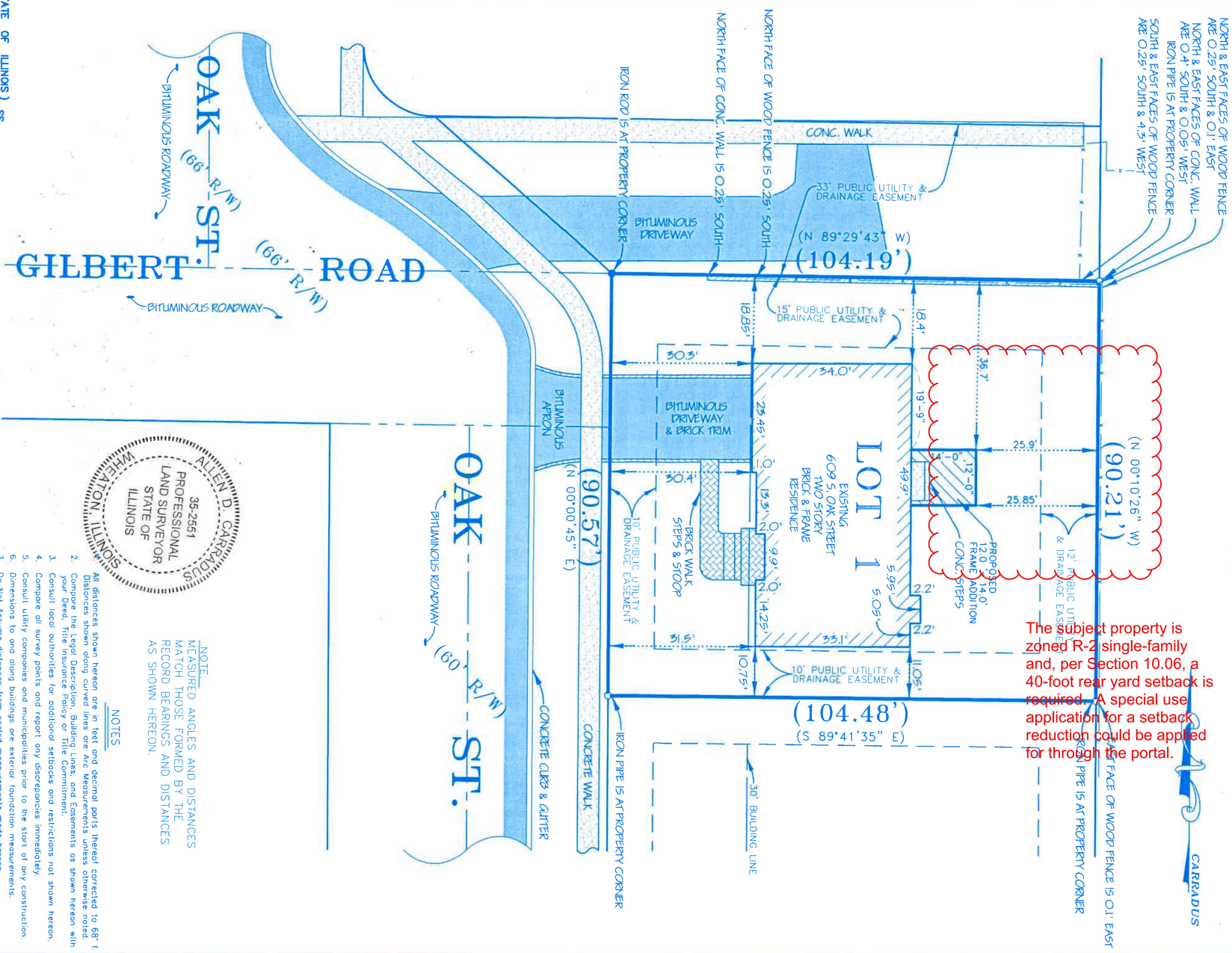
DRAWN BY: **JW** PLOT OF 1/32" SCALE = 20' TOP OF 1" = 47'-09" PROJECT NO: 42257

SURVEY LEGEND
 Monumentation Found
 (90) Record Dimension
 (x) Fence Line

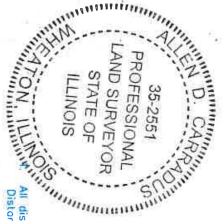
PLAT OF SURVEY

LOT 1 IN CONRAD NOVAK SUBDIVISION, BEING A RESUBDIVISION OF PORTIONS OF LOTS 1 AND 4 IN ARTHUR T. MCINTOSH AND COMPANY'S PALATINE ESTATES UNIT NUMBER ONE IN THE SOUTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 22, TOWNSHIP 42 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

AREA OF SITE = 9,431 SQ.FT.



The subject property is zoned R-2 single-family and, per Section 10.06, a 40-foot rear yard setback is required. A special use application for a setback reduction could be applied for through the portal.



NOTE:
 MEASURED ANGLES AND DISTANCES
 MATCH THOSE FORMED BY THE
 RECORD BEARINGS AND DISTANCES
 AS SHOWN HEREON.

NOTES

- All distances shown herein are in feet and decimal parts, hereof corrected to 68° F. Distances shown along curved lines are Arc Measurements unless otherwise noted.
- Compare the Legal Description, Building Lines, and Easements as shown herein with your Deed, Title Insurance Policy or Title Commitment.
- Consult local authorities for additional setbacks and restrictions not shown herein.
- Complete all survey points and report any discrepancies immediately.
- Consult utility companies and municipalities prior to the start of any construction.
- Dimensions to and along buildings are exterior foundation measurements.
- Do Not Assume distances from scaled measurements made herein.

CARRADUS LAND SURVEY, INC.

191 S. Gory Avenue, Suite 180, Carol Stream, Illinois, 60188
 (630) 588-0416 (fax) 653-7682 OFFICE@CARRADUSLANDSURVEY.COM

PREPARED FOR: KISHORE CHANNABASAVAIHAH
 DRAWN BY: JW
 DATE OF FIELD WORK: 08/22/23
 SCALE: 1" = 20'
 PLOT NO: 471-09
 PROJECT NO: 42357-SPN

STATE OF ILLINOIS) SS
 COUNTY OF DU PAGE)

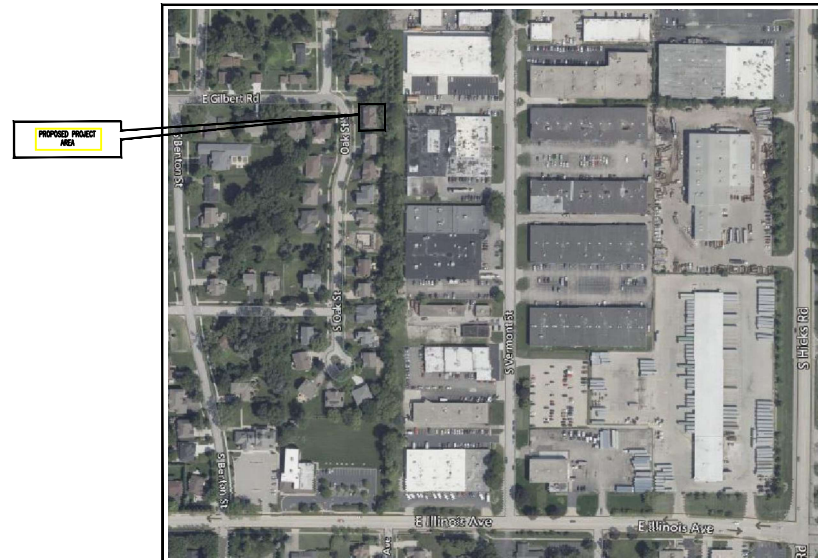
THIS IS TO CERTIFY THAT I, ALLEN D. CARRADUS, A PROFESSIONAL LAND SURVEYOR, LICENSED IN THE STATE OF ILLINOIS, HAVE SURVEYED THE PROPERTY AS DESCRIBED HEREON AND THAT THE ANNEKED PLAN IS A CORRECT AND TRUE REPRESENTATION THEREOF AND THAT THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.

SIGNED AND SEALED AT CAROL STREAM, ILLINOIS THIS 22nd DAY OF August, A.D. 2025.

BY: *Allen D. Carradus* ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 35-2551.
 MY LICENSE EXPIRES NOVEMBER 30, 2028.

SUN ROOM ADDITION ARCHITECTURAL PLANS

ZAIMI CONSTRUCTION INC.
609 S OAK STREET
PALATINE, ILLINOIS 60067
JUNE 2025



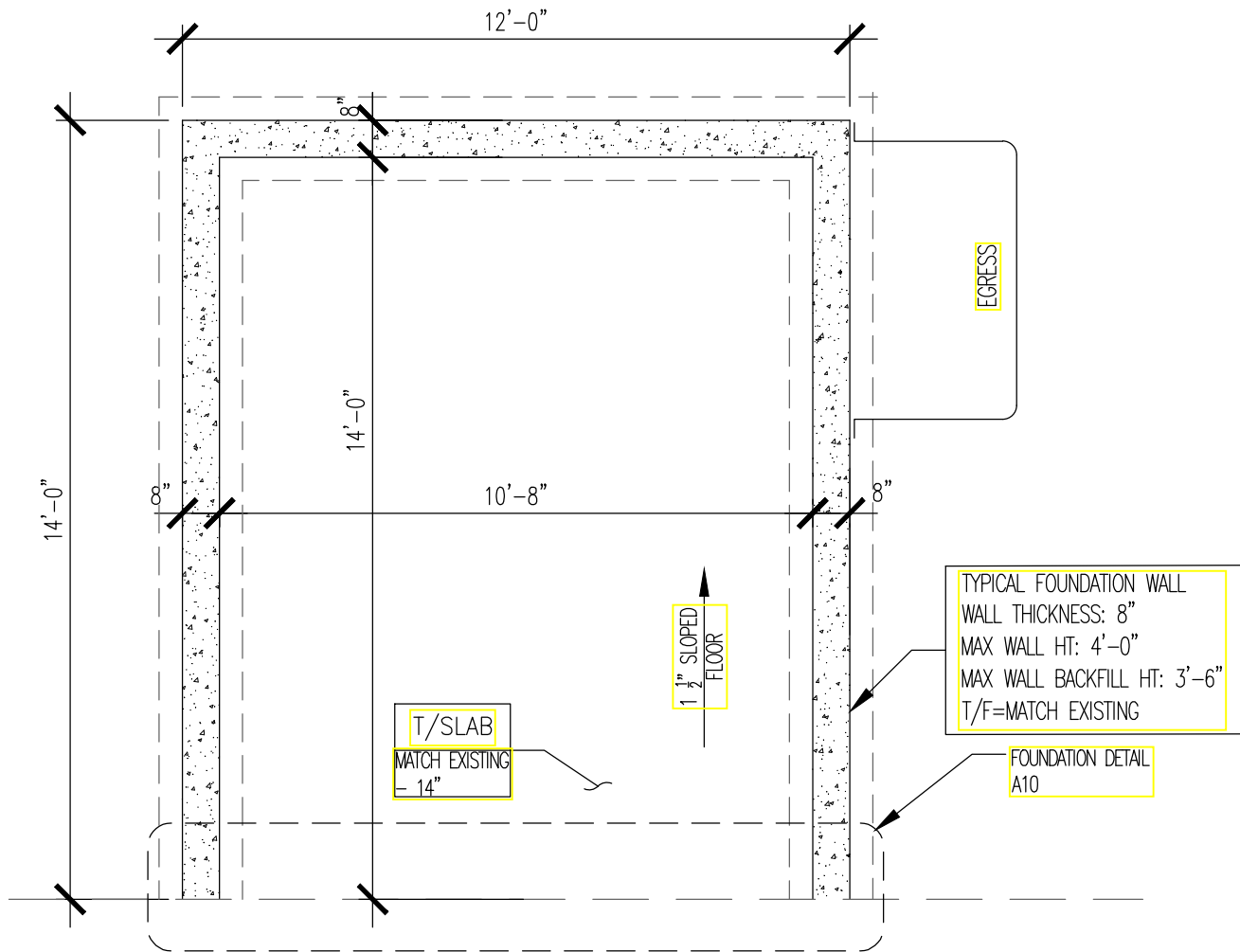
DRAWING INDEX

SHEET NUMBER	DRAWING NUMBER	SHEET DESCRIPTION
1	A00	COVER SHEET
2	A01	FOUNDATION PLAN
3	A02	FLOOR PLAN
4	A03	ROOF PLAN
5	A09	DETAILS - 1
6	A10	DETAILS - 2
7	E01	ELECTRICAL PLAN

VDA ARCHITECTURE LLC
222 CLEARBROOK LANE
BLOOMINGDALE, IL 60108
M. 331 307 9826 VDAARCH.COM
e-mail andibasha@outlook.com

NOTE:

THE DESIGN IS AS PER 2021 INTERNATIONAL RESIDENTIAL CODE (IRC)



EXISTING RESIDENCE

FOUNDATION PLAN

1/2" = 1'

PROJECT
 SUN ROOM ADDITION
 609 S OAK STREET
 PALATINE, IL 60067
 FOR
 ZAIMI CONSTRUCTION INC.
 PROJECT NUMBER 0250101

ISSUE
 JUNE 23RD, 2025

RE-ISSUE
 NOVEMBER 7TH, 2025

DESCRIPTION

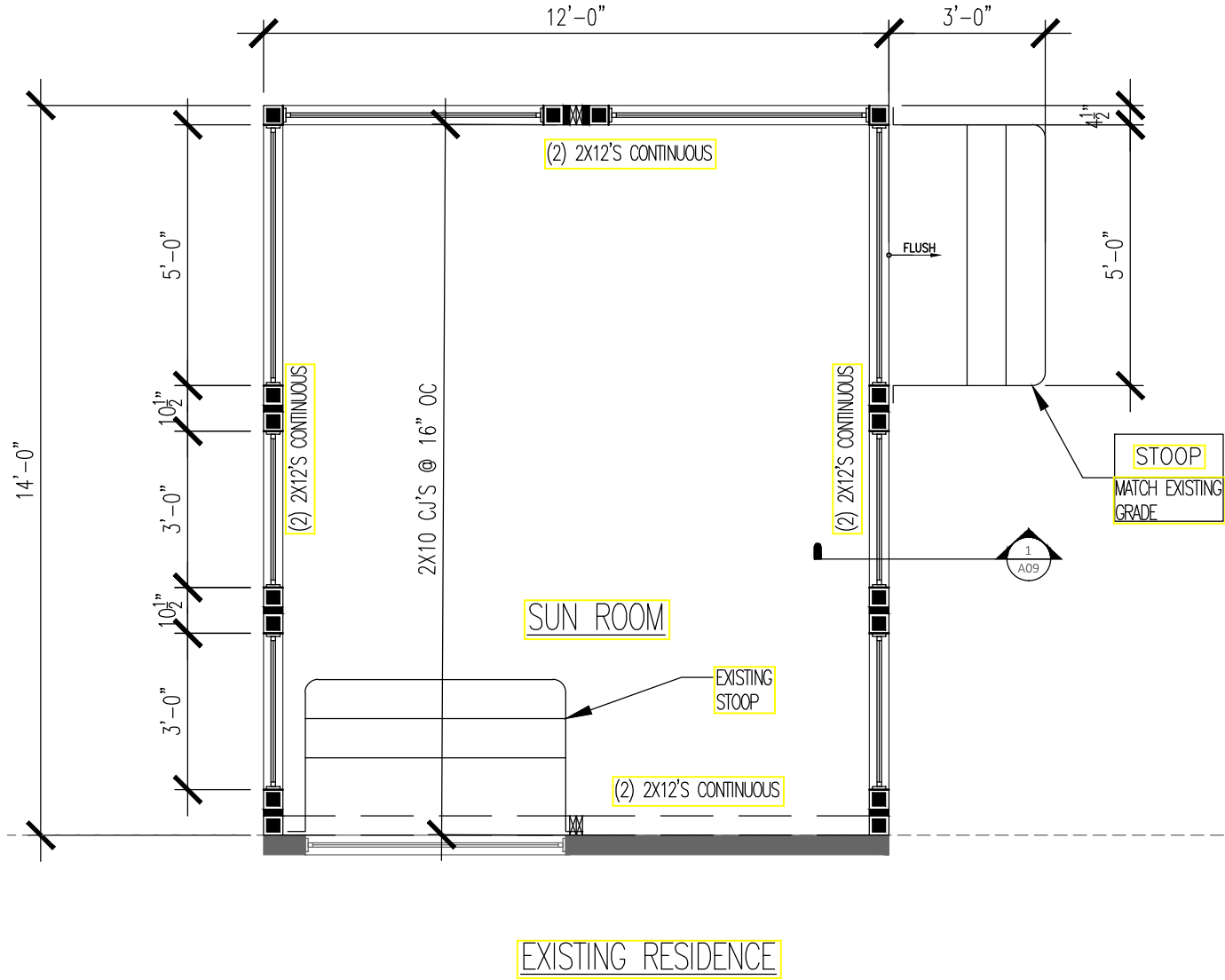
FOUNDATION PLAN
 SHEET 2 OF 6

VEDA ARCHITECTURE, LLC
 222 CLEARBROOK LANE
 BLOOMINGTON, IL 61710
 M. 312.307.5925 VEDAARCH.COM

A 01

STRUCTURAL LEGEND

- ==== VERSA-LAM
- DIMENSIONAL LUMBER BEAM
- WOOD POST
(ALL POST'S ARE (2) 2x4)
- ← 2x XX @ 16" OC → FRAMING MEMBER SIZE,
SPACING & SPAN DIRECTION



FLOOR PLAN
1/2" = 1'

PROJECT
SUN ROOM ADDITION
609 S OAK STREET
PALATINE, IL 60067
FOR
ZAIMI CONSTRUCTION INC.
PROJECT NUMBER 0250101

ISSUE
JUNE 23RD, 2025
.....
RE-ISSUE
NOVEMBER 7TH, 2025
.....

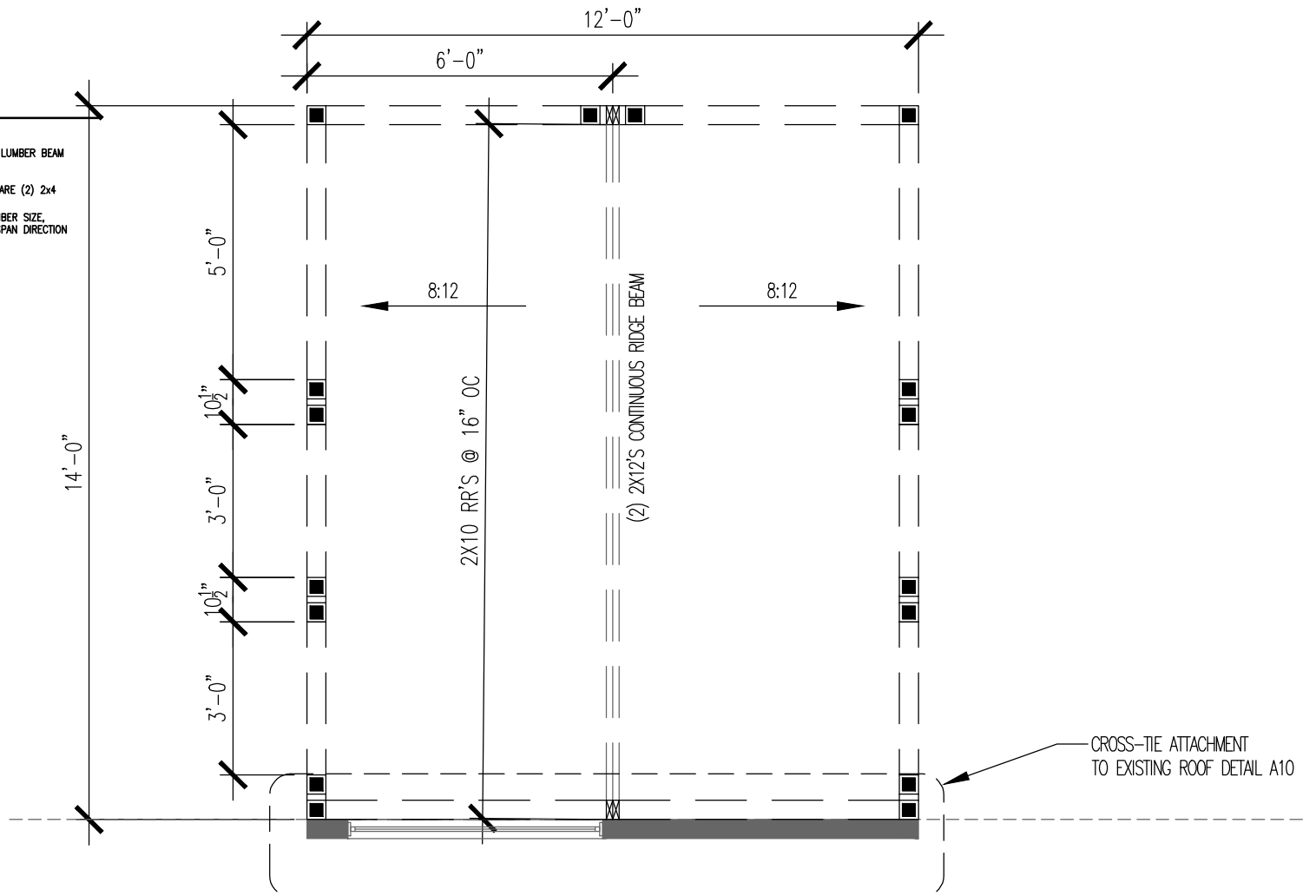
DESCRIPTION
FLOOR PLAN
SHEET 3 OF 6

VDA ARCHITECTURE, LLC
222 CLEARBROOK LANE
BLOOMINGTON, IL 61710
M. 312.307.5925 VDAARCH.COM

A	02
---	----

STRUCTURAL LEGEND

- ==== VERSA-LAM
- DIMENSIONAL LUMBER BEAM
- WOOD POST
(ALL POSTS ARE (2) 2x4)
- ← 2x XX @ 16" OC → FRAMING MEMBER SIZE,
SPACING & SPAN DIRECTION



ROOF PLAN
1/2" = 1'

EXISTING RESIDENCE

CROSS-TIE ATTACHMENT
TO EXISTING ROOF DETAIL A10

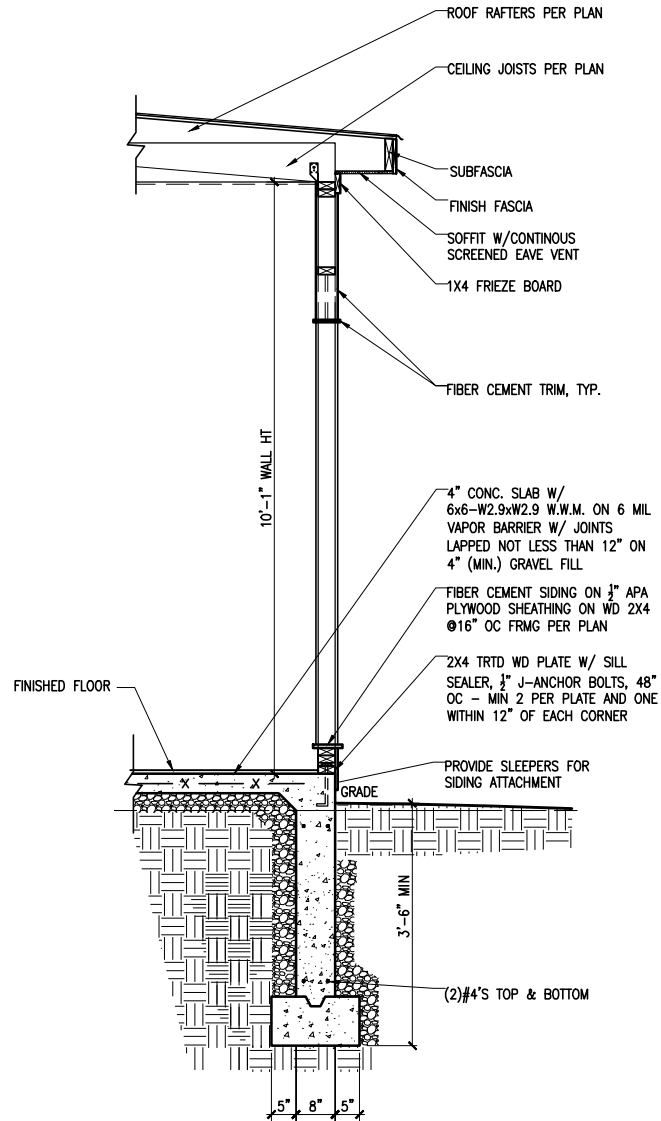
PROJECT
SUN ROOM ADDITION
609 S OAK STREET
PALATINE, IL 60067
FOR
ZAIMI CONSTRUCTION INC.
PROJECT NUMBER 0250101

ISSUE
JUNE 23RD, 2025
.....
RE-ISSUE
NOVEMBER 7TH, 2025
.....

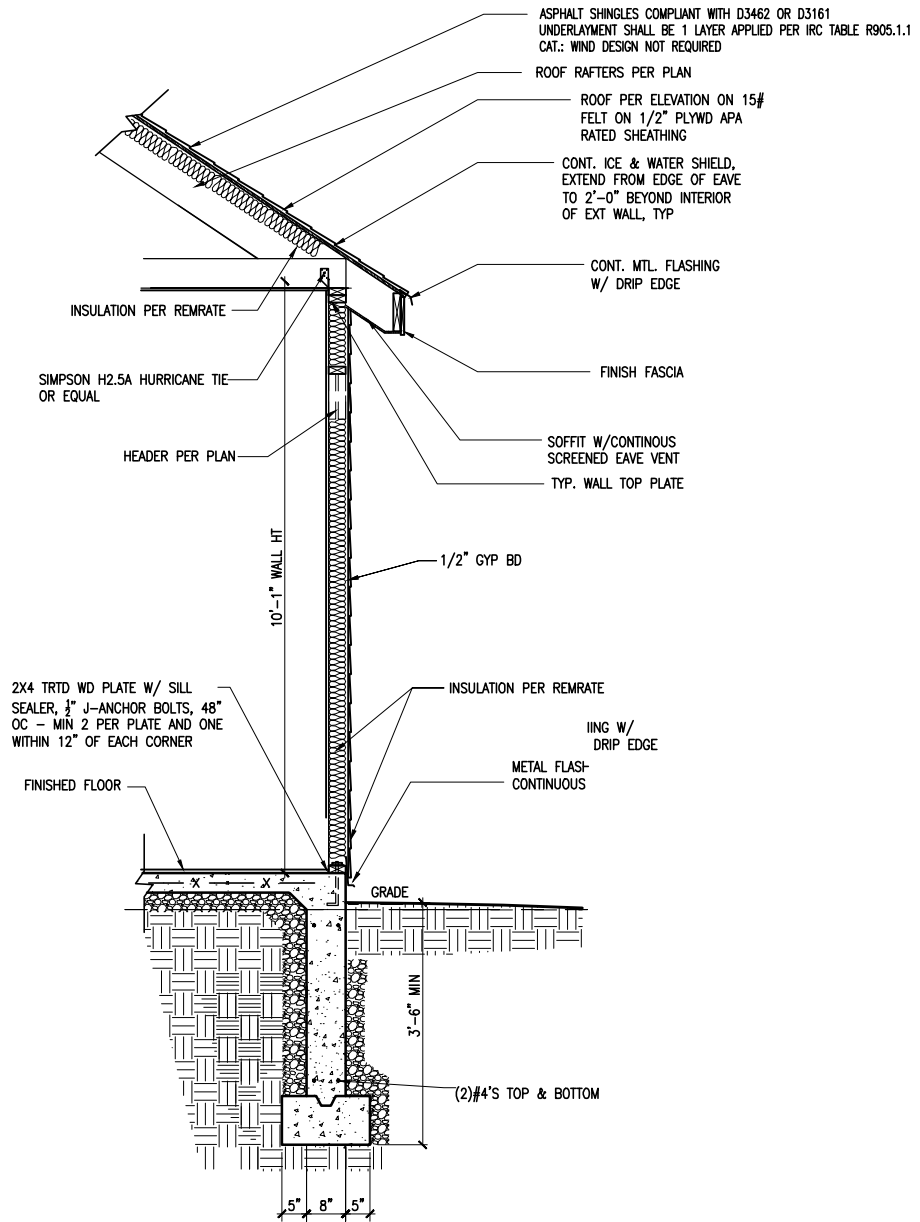
DESCRIPTION
ROOF PLAN
SHEET 4 OF 6

VDA ARCHITECTURE, LLC
222 CLEARBROOK LANE
BLOOMINGTON, IL 61710
M. 312.307.5925 VDAARCH.COM

A 03



SECTION 1
1/2" = 1'



TYP. WALL
1/2" = 1'

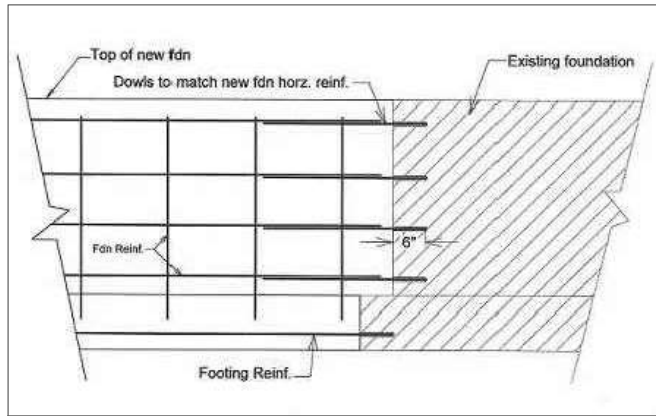
PROJECT
SUN ROOM ADDITION
609 S OAK STREET
PALATINE, IL 60067
FOR
ZAIMI CONSTRUCTION INC.
PROJECT NUMBER 0250101

ISSUE
JUNE 23RD, 2025
.....
RE-ISSUE
NOVEMBER 7TH, 2025
.....

DESCRIPTION
DETAILS - 1
SHEET 5 OF 7

V&A ARCHITECTURE, LLC
322 CLEARBROOK LANE
BLOOMINGTON, IL 61710
M. 331.367.5926 V&AARCH.COM

A 09

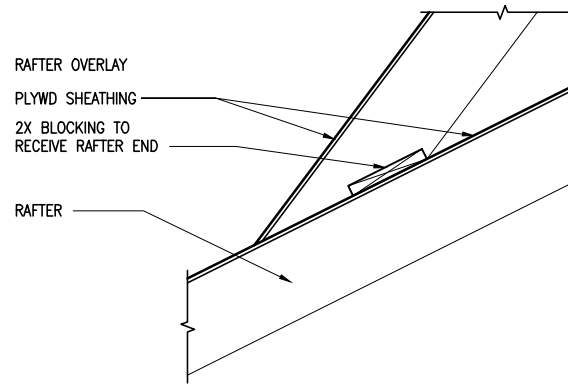


FOUNDATION DETAIL

NOT TO SCALE

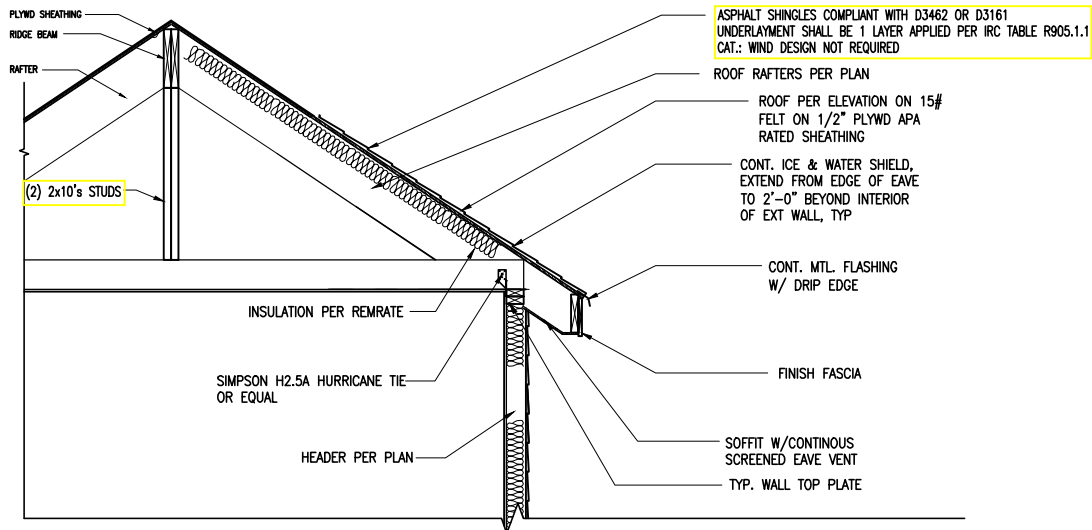
NOTE:

ALL THE HORIZONTAL REINFORCEMENTS SHALL BE DRILLED AND EPOXY INTO THE EXISTING FOOTING AND FOUNDATIONS. THE DEPTH OF THE DRILLED HOLES SHALL BE 6 INCHES DEEP. THE EDGES OF THE EXISTING FOOTINGS AND FOUNDATIONS AT THE CONTACT AREA SHALL BE BE ROUGHENED. AN APPROPRIATE OF BONDING AGENT SHALL BE USED TO ENHANCE THE BONDING. THE WATERPROOFING MUST BE REMOVED AND SCRAPED CLEAN TO ALLOW CONCRETE TO CONCRETE BONDING. THE LAP SPICE, SHALL BE AT LEAST 20 INCHES LONG LAB SPICE. DURING THE POUR CONTRACTOR TO MAKE SURE THESE CONNECTION POINTS ARE VIBRATED REALLY WELL TO MAKE SURE THERE ARE NO HONEYCOMB OR EXPOSED REINFORCEMENTS. IF CONDITIONS ON SITE DIFFER THE CONTRACTOR SHOULD APPLY BEST PRACTICES AND CONFIRM WITH ARCHITECT OR STRUCTURAL ENGINEER.



RAFTER DETAIL

3/4" = 1'-0"



RIDGE DETAIL

1/2" = 1'-0"

PROJECT

SUN ROOM ADDITION
609 S OAK STREET
PALATINE, IL 60067
FOR
ZAIMI CONSTRUCTION INC.

PROJECT NUMBER 0250101

ISSUE
JUNE 23RD, 2025

RE-ISSUE
NOVEMBER 7TH, 2025




DESCRIPTION

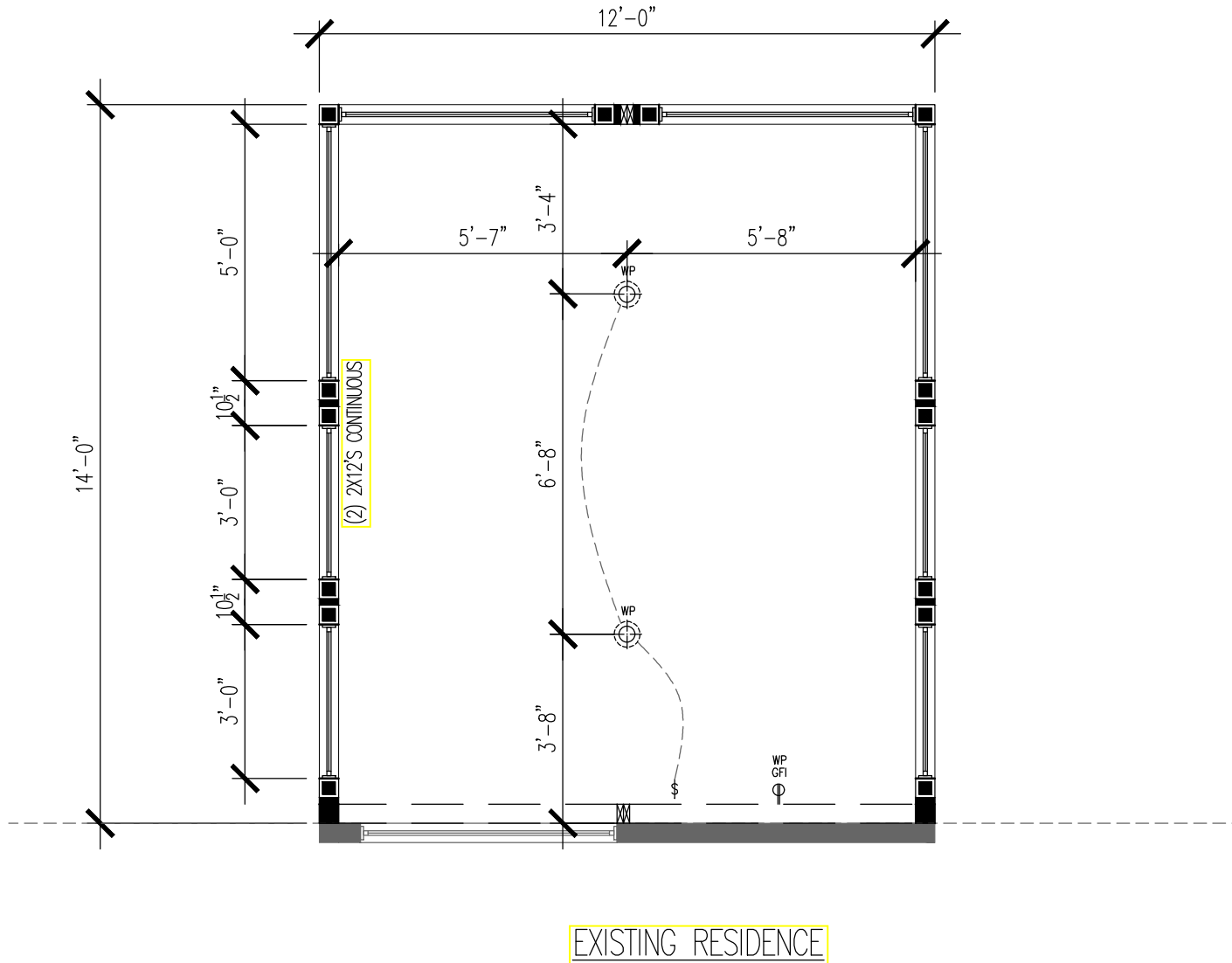
DETAILS - 2
SHEET 6 OF 7

VDA ARCHITECTURE, LLC
322 CLAIRBROOK LANE
BLOOMINGTON, IL 61810
M. 313.307.5925 VDA@ARCH.COM

A 10

ELECTRICAL LEGEND

-  RECESSED DOWNLIGHT IN CEILING/SOFFIT DROPPED BEZEL
-  GROUND FAULT INTERRUPT WATER PROOF DUPLEX
-  SWITCH



ELECTRICAL PLAN
 $1/2" = 1'$

PROJECT
 SUN ROOM ADDITION
 609 S OAK STREET
 PALATINE, IL 60067
 FOR
 ZAIMI CONSTRUCTION INC.
 PROJECT NUMBER 0250101

ISSUE
 JUNE 23RD, 2025

RE-ISSUE
 NOVEMBER 7TH, 2025

DESCRIPTION
 ELECTRICAL PLAN
 SHEET 7 OF 7

VDA ARCHITECTURE, LLC
 222 CLEARBROOK LANE
 BLOOMINGTON, IL 61710
 M. 312.307.5925 VDAARCH.COM

E	01
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PUBLIC NOTICE

A Public Hearing will be held before the Village of Palatine Planning and Zoning Commission on Tuesday, December 23, 2025 at 7 PM, in the Village Council Chambers in Palatine Village Hall, 200 E. Wood Street, relative to a request for the following:

Special use to permit a rear yard setback of 25 feet, instead of the minimum required rear yard setback of 40 feet in the “R-2” zoning district.

The property is commonly known as 609 S. Oak Street.

The Petitioner is proposing to construct a 168 square foot “three season” room building addition onto the rear of the principal structure.

The above petition has been filed by Kishore Channabasavaiah, Owner, and is available for examination in the office of the Village Clerk, 200 E. Wood Street.

FILE #: SU-000219-2025

VILLAGE OF PALATINE

Jan Wood, Chair
Palatine Planning and Zoning Commission

DATED: This 4th day of December 2025

CERTIFICATE OF PUBLICATION

DES PLAINES JOURNAL, INC., a corporation organized and existing under and by virtue of the laws of the State of Illinois, does hereby CERTIFY that it is the publisher of the:

Journal & Topics Newspapers
 AKA Des Plaines Journal, Inc.
 622 Graceland Ave.
 Des Plaines, IL 60016-4556

and that said newspaper(s) is a secular newspaper of general circulation and has been published weekly in the

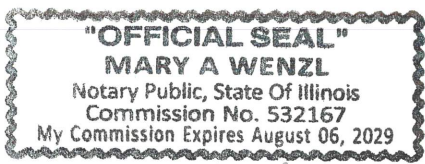
(Village) (Town) (City) (Township) of PALATINE 609 S. OAK ST

 County of COOK

and State of Illinois, continuously for more than one year prior to date of the first publication of the notice attached hereto, and that said newspaper(s) complies with the requirements of Paragraphs 5 and 10, Chapter 100, of the Illinois Revised Statutes.

Further, that the notice, of which the attached is a true copy, was published ONE times in the said newspaper(s), namely once each week for ONE successive week(s) and that the first publication of said notice was made on the 4TH day of DECEMBER, A.D. 2025, and the last publication thereof was made on the 4TH day of DECEMBER, A.D. 2025.

- Your Legal appeared in the following Journal & Topics Newspapers (Des Plaines Journal, Inc.)
- Des Plaines Journal
 - Elk Grove Village Journal
 - Mt. Prospect Journal
 - Niles Journal
 - Park Ridge-Golf Mill Journal
 - Prospect Heights Journal
 - Rosemont Journal
 - Arlington Heights Topics
 - Buffalo Grove Topics
 - Palatine Topics
 - Rolling Meadows Topics
 - Wheeling Topics
 - Suburban Journal
 - Northwest Journal
 - Glenview Journal



Mary A. Wenzl

IN WITNESS WHEREOF, THE DES PLAINES JOURNAL, INC., has caused this certificate to be signed and its corporate seal affixed hereto at Des Plaines, Illinois this 4TH day of DECEMBER A.D., 2025.

By Todd Wessell

President
 Title of Corporate Officer

County of Cook
 State of Illinois

Subscribed and sworn to before me this 4TH day of DECEMBER A.D., 2025.

My commission expires the 6TH day of AUGUST A.D., 2029.