



VILLAGE OF PALATINE

VILLAGE HALL - COUNCIL CHAMBERS 200 E. WOOD STREET
PALATINE, IL 60067-5339 – (847) 359-9050
<http://www.palatine.il.us>

ZONING BOARD OF APPEALS

AGENDA • JULY 26, 2022

Village Hall - Council Chambers

Regular Meeting

7:00 PM

I. CALL TO ORDER

II. MINUTES APPROVAL

1. Zoning Board of Appeals - Regular Meeting - Jun 28, 2022 7:00 PM

III. PUBLIC HEARING

1. 212 S. Bothwell Street

Variation to permit lot coverage to be 55%, instead of the maximum permitted 45%.

2. 936 S. Mallard Court

Special Use to permit an addition to be set back 21 feet from the rear lot line, instead of the minimum required 45 feet.

3. 1835 N. Laurel Drive

Special Use to permit a fence in the required front yard.

4. 16 N Brockway Street

Special Use to permit a restaurant with a local liquor license.

Variation to permit 230 square feet of total signage, instead of the permitted 75 square feet.

Variation to permit painted signs on the south elevation of the building and to allow signage to face the side yard.

5. 375 W. Northwest Highway

Special Use Amendment to permit an expanded floor plan for an existing restaurant.

6. 1565 N. Quentin Road

Special Use to permit a packaged liquor store.

IV. COMMUNICATIONS

V. ADJOURNMENT



VILLAGE OF PALATINE

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ZONING BOARD OF APPEALS

MINUTES • JUNE 28, 2022

Village Hall - Council Chambers

Regular Meeting

7:00 PM

I. CALL TO ORDER

Attendee Name	Title	Status	Arrived
Cindy Roth-Wurster	Commissioner	Present	
Jan Wood	Commissioner	Present	
Jerry Luszczak	Commissioner	Present	
Theodore McGinn	Commissioner	Absent	
Kevin Cavanaugh	Commissioner	Absent	
John Pirog	Commissioner	Present	

II. MINUTES APPROVAL

1. Zoning Board of Appeals - Regular Meeting - Jun 14, 2022 7:00 PM - **Accepted**

Ms. Roth-Wurster made a motion to approve the minutes of June 14, 2022; seconded by Mr. Pirog

RESULT:	ACCEPTED [UNANIMOUS]
MOVER:	Cindy Roth-Wurster, Commissioner
SECONDER:	John Pirog, Commissioner
AYES:	Roth-Wurster, Wood, Luszczak, Pirog
ABSENT:	McGinn, Cavanaugh

Minutes Acceptance: Minutes of Jun 28, 2022 7:00 PM (Minutes Approval)

III. PUBLIC HEARING

1. 1070 N. Cardinal Drive - **Recommended to Approve**

Notice was published in the Daily Herald on June 13, 2022 and mailed to the owners of the surrounding properties.

Petitioner's Exhibits:

1. Application for Special Use
2. Proof of Ownership
3. Plat of Survey/ Site Plan
4. Existing Conditions
5. Fence Elevation (sample)
6. Neighbor Consent Forms
7. Public Notice

Sworn in staff: Ms. Lyn Bremanis and Mr. Alex Bradshaw

Sworn in the petitioner: Ms. Marta Brzostowski 1017 N Cardinal Dr

Ms. Brzostowski stated they currently have a picket fence around the property that is old and not in good condition. She stated they want to replace with a private solid 6ft white fence for privacy. Ms. Brzostowski stated the picket style allows trash from street to enter her yard. She explained the fence is important for privacy to be able to sit in the yard and enjoy quiet. She spoke to the standards stating it won't destroy the vistas because it will be nicer than the old one and will not distract from the overall appearance of the community. Ms. Brzostowski stated they put in a new driveway and looking to update property and make more comfortable.

Mr. Pirog asked if any other homes have a 6ft high fence.

Ms. Brzostowski stated the other corners do referring to aerial to show 2 other houses.

Mr. Pirog pointed out they still have to clean garbage outside the fence.

Ms. Brzostowski agreed stating they will keep it nice with landscaping.

Ms. Roth-Wurster clarified they are replacing in the same location just changing style.

Ms. Brzostowski answered yes.

Ms. Wood referred to the existing conditions slide and pointed out the fence looks in good condition. She asked why the 6ft solid would enhance the area.

Ms. Brzostowski explained the fence would block visibility of their stuff in yard. She pointed out the neighbors submitted consent letters and are happy with the new fence.

Mr. Luszczak asked staff why they need relief.

Mr. Bradshaw explained they are replacing the fence in the same place but changing from 4ft to 6ft. He explained it is pre-existing non-conforming. He further explained the only way to replace without relief is to replace with the same height and style.

Mr. Bradshaw gave a brief overview explaining the proposed fence will remain setback 10ft with existing landscaping to remain. He stated the proposed fence abuts the 20 foot front yard of 1070 E. Olde Virginia Rd. He stated the petitioners have received letters of consent from all four directly adjacent property owners. Mr. Bradshaw pointed out the property across Cardinal Drive from the Subject Property, 1071 E. Cardinal, has an existing non-conforming six (6) foot solid fence that is setback approximately 13 feet from the side lot line abutting Olde Virginia Rd. He stated it is not uncommon in the area to see these type of fences in these locations. Mr. Bradshaw stated Community Services and Engineering have reviewed and had no issues.

Ms. Roth-Wurster asked about the distance between the fence and sidewalk in the slide.

Mr. Bradshaw spoke to the other properties in the area having similar fences approx. 13ft off line.

STAFF RECOMMENDATION:

The Petitioners are proposing to replace an existing 4-foot open style fence with a 6-foot solid fence. The proposed fence will be in the exact location as the existing fence, which is set back approximately 10 feet from the side property line that abuts Olde Virginia Road. Said property line also abuts the side lot line of the front yard of the adjacent lot to the north. Per Code, the required setback is 20 feet. The Petitioner has received letters of consent from all four directly adjacent property owners, including 1070 E. Olde Virginia Rd (directly north).

The existing landscaping between the existing fence and the side lot line abutting the street will remain to provide an effective buffer. Ultimately, Staff did not identify any negative impacts the proposed fence would have on the surrounding neighborhood. Therefore, Staff recommends approval of the proposed Special Use with the following condition:

1. The Special Use shall substantially conform to the site plan and elevation plan submitted by the Petitioners, Jacek and Marta Brzostowski, except as said plans may be changed to conform to the Village's Codes and Ordinances.

There were no further questions. The public hearing was closed.

Mr. Pirog made a motion to approve subject staff's conditions; seconded by Ms. Roth-Wurster

DELIBERATIONS:

Mr. Pirog spoke to the standards stating he thinks it meets all besides enhancing the appearance. He pointed out the neighbors are ok with it and there are others

in community.

Ms. Roth-Wurster agreed with Mr. Pirog. She stated it is not too close to street and there was a fence there before and had no line of site issues.

Ms. Wood agreed with Mr. Pirog. She pointed out Staff and the neighbors feel it's acceptable and there are other homes in area with similar fences.

Ms. Wood summarized that this request has met the standards and was unanimously approved by a vote of 4-0. This item will tentatively go to Village Council on July 11, 2022

RESULT:	RECOMMENDED TO APPROVE [UNANIMOUS]
MOVER:	John Pirog, Commissioner
SECONDER:	Cindy Roth-Wurster, Commissioner
AYES:	Roth-Wurster, Wood, Luszczak, Pirog
ABSENT:	McGinn, Cavanaugh

Minutes Acceptance: Minutes of Jun 28, 2022 7:00 PM (Minutes Approval)

2. 433 N. Stark Drive - **Recommended to Approve**

Notice was published in the Daily Herald on June 13, 2022 and mailed to the owners of the surrounding properties.

Petitioner's Exhibits:

1. Application for Special Use
2. Proof of Ownership
3. Plat of Survey
4. Site Plan
5. Fence Elevation (sample)
6. Letter of Consent 441 N Stark Ave
7. Public Notice

Sworn in petitioner: Ms. Amanda Hall and Mr. Jeremy Hall 433 N. Stark Drive

Ms. Hall stated they want to fence around their back yard. She explained it would be 6ft along the north property line transitioning to 4ft picket scalloped fence to sidewalk and back up to their house. She stated they are in a unique situation based on their house faces Middleton Ct but legal front yard is Stark Dr. but because of shape primary portion of yard is in the northwest corner of lot. Ms. Hall stated the fence will be ascetically pleasing, provide privacy and contain the pets and kids. She stated Stark is high traffic from high school so this will provide a buffer. She stated they originally intended the privacy all around but decided to compromise and go with picket to help with site lines but still help with containment. She stated there will be landscaping along sidewalk. Ms. Hall pointed out if put at 30ft it would not give much of a back yard.

Mr. Pirog asked what area requires the relief.

Mr. Bradshaw explained any front yard fence needs relief. He referred to the site plan slide and marked the area in question.

Ms. Hall explained they wanted to do privacy fence a bit past setback line to neighbor's tree because you can see into their family room from the sidewalk.

Ms. Wood asked if site plan slide is correct.

Ms. Hall answered yes.

Mr. Pirog clarified the fence is on lot line.

Ms. Hall answered yes pointing out there are other homes similar and will landscape to make look nice. She pointed out they have a small yard and want to maximize space for kids and dogs.

Mr. Bradshaw gave a brief overview stating the subject property is zoned R2 with a 30ft front yard setback. He stated the proposed fence will be setback 3 feet from the front property line abutting North Stark Drive with landscaping between the proposed fence and property line. He stated the proposed fence abuts the 30

foot front yard of 441 N. Stark Drive. Mr. Bradshaw stated the petitioners are aware of the front yard line of sight impact questions raised by Staff (for the portion of the 6-foot fence), and have presented consent from the adjacent neighbor at 441, 448 & 436 N. Stark Drive. (submitting 448 and 436 as additional exhibits)

Mr. Pirog asked where the 6ft fence is going.
Mr. Bradshaw referred to site plan slide to show location of fence.

Mr. Pirog asked what requires a special use.
Mr. Bradshaw explained everything that is within the front yard.

Ms. Wood asked if community services changed their concern when they changed to 4ft picket fence.
Mr. Bradshaw stated the line of site concern is still there but the petitioner received consent from that neighbor.

Ms. Wood submitted into record the additional consent letters as exhibit C.

Mr. Pirog asked if the line of site concern was for driving or walking.
Mr. Bradshaw explained it would be for 441 N Stark Dr. and the sidewalk in front and back that curves around the bend.

Mr. Pirog asked if it would be 4ft all around could it alleviate the line of site issue.
Mr. Bradshaw stated it potentially could.

Discussion on location of 6ft fence.

Ms. Roth-Wurster asked if line of site is only with 6ft privacy.
Mr. Bradshaw stated the 4ft is less of a concern for staff.

Ms. Wood asked how it will transition.
Mr. Bradshaw explained it goes from 4ft -6ft. He stated there was not a lot of line of site issue with current driveway so staff is not concerned with 4ft.

Ms. Wood clarified Community Services still has concern.
Mr. Bradshaw answered, that is correct.

Sworn in Mr. Richard Murray 648 E Stark Dr

Mr. Murray pointed out there are a lot of fences in neighborhood but most are setback more. He stated he knows that makes their yard small but thinks this will change the look of neighborhood.

Mr. Pirog asked staff if they know of other homes with fences that are that close to lot line.

Mr. Bradshaw answered there is no list but they can be existing nonconforming to the current zoning code.

STAFF RECOMMENDATION:

The Petitioners are proposing to construct a 4-foot open style fence in the required front yard of the Subject Property. The proposed fence will be set back approximately three (3) feet from the required front property line that abuts N. Stark Drive. Said property line also abuts the side lot line of the front yard of the adjacent lot to the north. Per Code, the required setback is 30 feet. Although it is not required, the Petitioner has proposed landscaping between the existing fence and the front lot line abutting the street, which will provide an effective buffer.

Staff identified a potential line of sight question for the property directly to the north (441 N. Stark Drive), abutting the required front side yard of the Subject Property. If the proposed fence plan were amended to maintain a 4-foot fence through the entire front yard (30 feet), Staff would have recommended approval. Staff did not identify any other negative impacts the proposed fence would have on the overall appearance of the surrounding neighborhood.

Therefore, Staff recommends Action at the discretion of the Zoning Board of Appeals for the proposed Special Use. If the Special Use is approved, Staff recommends the following condition:

1. The Special Use shall substantially conform to the site plan and elevation plan submitted by the Petitioners, Ms. Hall and Jeremy Hall, except as said plans may be changed to conform to the Village's Codes and Ordinances.

Ms. Wood asked about the recommendation to amend to 4ft in the front yard. Mr. Bradshaw explained if the transitioned was pushed back an additional 10ft to meet the 30ft line staff would recommend approval referring to the site plan slide to show location.

Ms. Hall explained the primary reason to push the privacy beyond the setback is for safety and privacy. She explained people from the sidewalk can see directly into their house.

Mr. Pirog asked where the family room is.

Ms. Hall referred to existing conditions slide to explain it is by the sliding glass door between the chimneys by patio.

There were no further questions. The public hearing was closed.

Mr. Luszczak made a motion to approve subject staff's conditions; seconded by Ms. Wood

DELIBERATIONS:

Mr. Luszczak stated he sees the need for the privacy. He stated the 6ft doesn't make a difference with the curved street.

Mr. Pirog stated he is hesitant because there are no other homes that have fence. He stated he understand the privacy issue, but that's an issue with other

homes as well.

Ms. Roth-Wurster expressed concern with the line of site issue.

Ms. Wood stated fences are not common so it gives you pause but thinks it would be ok. She stated the line of site gives pause but the petitioner has tapered down so that's an improvement. She pointed out it is just the 10ft that gives the line of site concern. Ms. Wood stated she can't approve something that would be a safety issue.

**Aye: Luszczak
Nay: Roth-Wurster, Pirog, Woof
Motion failed 1-3**

Mr. Pirog made a motion to deny the proposed Special Use; seconded by Ms. Roth-Wurster

Ms. Wood summarized that this request has not met the standards and was denied by a vote of 3-1. This item will tentatively go to Village Council on July 11, 2022

RESULT:	RECOMMENDED TO APPROVE [UNANIMOUS]
MOVER:	John Pirog, Commissioner
SECONDER:	Cindy Roth-Wurster, Commissioner
AYES:	Roth-Wurster, Wood, Luszczak, Pirog
ABSENT:	McGinn, Cavanaugh

Minutes Acceptance: Minutes of Jun 28, 2022 7:00 PM (Minutes Approval)

3. 32 S. Kerwood Street - **Recommended to Approve**

Notice was published in the Daily Herald on June 13, 2022 and mailed to the owners of the surrounding properties.

Petitioner's Exhibits:

1. Application for Variation
2. Proof of Ownership
3. Plat of Survey / Site Plan
4. Public Notice

Sworn in petitioner: Ms. Dona Martin 32 S Kerwood Street and John Pancorvo contractor 12 W College Dr.

Mr. Pancorvo explained homeowner recently bought the house. He referred to the existing conditions slides to show the paver steps off back door leading to an unsafe loose-gravel patio. He explained the original plan was to follow the outline of the existing stone coming out a little farther into back yard being approx. 640sqft. Mr. Pancorvo stated zoning flagged the permit submittal for percentage of impervious surface which was over due to lot being smaller. He stated they shrunk the patio to approx. 331sqft. He stated the main reason for the request is to make the unsafe patio more stable. He referred to the existing conditions slide to show the orange marks to show proposed new dimensions. Mr. Pancorvo stated they are hiring a professional landscaper to landscape around and the proposed patio for a nicer look and to be safer and it won't negatively affect drainage of neighboring properties. He stated the patio is not visible from the front. He stated they have obtained letters of consent from neighbors.

Mr. Pirog asked if the reduced size is big enough.

Ms. Martin stated she would have liked it bigger to fit all the chairs but main issue is the loose gravel is not safe.

Mr. Pirog asked if loose gravel does not count on coverage.

Mr. Bradshaw states loose gravel is not considered as impervious surface.

Mr. Luszczak asked if they considered pavers.

Mr. Pancorvo explained regular pavers are impervious and permeable pavers are higher cost.

Ms. Wood asked if letter of support were submitted.

Ms. Martin stated they were already submitted.

Ms. Roth-Wurster asked about water issues.

Ms. Martin answered, no.

Mr. Pirog expressed concern that the size is not adequate.

Mr. Pancorvo explained they tried to appease to staff and get her the safe patio she needs.

Ms. Wood asked about the letters.

Mr. Bradshaw explained they were attached to the site plan he listed the 3 addresses that submitted.(30,38,& 23 S Kerwood)

Ms. Wood asked if it would have to be re-noticed to make bigger.

Mr. Bradshaw answered, yes.

Ms. Martin stated the notice went out with the original size request.

Discussion on the size of proposed patio.

Mr. Pancorvo stated it will be a decent size patio. He stated the pictures don't show it clearly. He stated no one will fall off the patio.

Mr. Bradshaw gave a brief overview stating the subject property is zoned R-2 and annexed into the Village in 1869. He stated the existing lot is nonconforming in lot area with the surrounding lots being comparable in size, and most had rear patio areas. Mr. Bradshaw stated the existing lot coverage is approximately 48% (3,200 sf) which exceeds the maximum 45% lot coverage by 207 sf. And the new patio will add approximately 331 sf to the total existing lot coverage, bringing the total proposed lot coverage to approximately 54% (3,531 sf). Mr. Bradshaw explained the Code requires a standard Variation to permit an increase in the lot coverage to 54% (3,531 sf) instead of the maximum 45% (2,993 sf), being a difference of 538 sf. He stated Community Services and Engineering have reviewed and Engineering has one comment requiring all excavated material to be removed off site.

STAFF RECOMMENDATION:

The Petitioner is proposing to construct a new concrete patio to replace an existing crushed gravel patio. Staff agrees that a concrete patio would be significantly safer more accessible than the crushed gravel. The Subject Property is smaller than standard R-2 Zoned residential properties, and the proposed patio has a smaller overall footprint than the existing. With that said, Staff has not identified any potential negative impacts to the surrounding neighborhood. Therefore, Staff recommends approval of the Variation, subject to the following conditions:

1. The Variation shall substantially conform to the site plan submitted by the Petitioner's agent, John Pancorvo, except as such plans may be changed to conform to Villages Codes and Ordinances.
2. All excavated material must be removed off site in a matter acceptable to the Village Engineer.

There were no further questions. The public hearing was closed.

Ms. Roth-Wurster made a motion to approve subject staff's conditions; seconded by Mr. Pirog

DELIBERATIONS:

Ms. Roth-Wurster spoke to the standards stating reasonable return improving a gravel patio into a concrete patio would make a difference in the home. She stated when looking at lot coverage water issues are the concern but Engineering has reviewed and that's not the case. She stated this will be safer and won't be seen from the street.

Ms. Wood spoke to reasonable return and uniqueness with smaller lot. She stated there is a patio there now, and they are making it smaller and won't be seen from the front yard. She stated she thinks the standards have been met.

Ms. Wood summarized that this request has met the standards and was unanimously approved by a vote of 4-0. This item will tentatively go to Village Council on July 11, 2022

RESULT:	RECOMMENDED TO APPROVE [UNANIMOUS]
MOVER:	Cindy Roth-Wurster, Commissioner
SECONDER:	John Pirog, Commissioner
AYES:	Roth-Wurster, Wood, Luszczak, Pirog
ABSENT:	McGinn, Cavanaugh

Minutes Acceptance: Minutes of Jun 28, 2022 7:00 PM (Minutes Approval)

4. 110 N. Benton Street - **Recommended to Approve**

Notice was published in the Daily Herald on June 13, 2022 and mailed to the owners of the surrounding properties.

Petitioner's Exhibits:

1. Application for Variation
2. Proof of Ownership
3. Plat of Survey
4. Site Plan
5. Elevations
6. Public Notice

Sworn in the petitioner: Mr. Chris Curry Representative of Archadeck of Chicagoland 395 W Northwest Hwy

Mr. Curry stated they are proposing to demolish the existing deck and build new deck that encroaches into the setback. He explained with the yard layout this is the only way to make good yard space. He stated it won't alter the locality and will allow more functional use of the yard and increase the value of property.

Ms. Wood asked about the variation for the existing deck.

Mr. Bradshaw explained the existing deck received a variation for setback relief was given in 1996.

Ms. Wood asked if this is bigger.

Mr. Curry explained the new deck is approx. 237 sq.ft.

Ms. Wood asked how much bigger the new deck is.

Mr. Curry stated they are demoing approx. 175sqft and the new one is approx. 236 sq.ft.

Ms. Wood asked if they just want a bigger deck.

Mr. Curry explained they are adding the lower area to add more functionality to use in backyard.

Ms. Wood asked staff about lot coverage percentages.

Mr. Bradshaw stated the existing is approx. 57% and they are increasing to approx. 58%.

Ms. Wood asked if they were approved previously for the 57%.

Mr. Bradshaw answered, yes.

Mr. Bradshaw gave a brief overview stating the subject property is zoned R2 single family and annexed into Village in 1869. He stated it is a substandard lot with approx. 4350 sqft. He stated the existing lot coverage is approximately 57% (2,499 sf) which exceeds the maximum 45% lot coverage by 540 sf. Mr. Bradshaw stated the petitioner is proposing to reconfigure the deck adding

approximately 20 sqft to the overall lot coverage. He pointed out the existing deck was granted setback relief in 1996 and this setback will be maintained. He stated Community Services and Engineering have reviewed and have no issues.

Mr. Pirog clarified the setback is maintained and asked where the increase is. Mr. Bradshaw referred to existing condition to show area of removal and expansion.

Ms. Roth-Wurster clarified there are differences in the existing and proposed elevations.

Mr. Bradshaw answered, yes.

STAFF RECOMMENDATION:

The Petitioners are requesting to replace and reconfigure the existing deck off the rear of their home. At 57%, the property currently exceeds the maximum lot coverage (45%) as the existing deck received a Variation in 1996 for setback relief, and was approved prior to lot coverage regulations. As the proposed deck will maintain the previously granted setback, Staff believes it will not alter the essential character of the area.

The proposed deck will further increase the overall lot coverage that already exceeds the maximum permitted. The Village Engineer did not identify any storm water management issues with the Subject Property. However, the Subject Property size is substandard and creates a hardship for the homeowner, restricting improvements to the lot.

Therefore, Staff recommends approval of the requested Variation, subject to the following condition:

1. The Variation shall substantially conform to the site plan submitted by the Petitioners, Randy & Rebecca Poznan on 5/19/2022, except as such plans may be changed to conform to the Village's Codes and Ordinances

There were no further questions. The public hearing was closed.

Mr. Pirog made a motion to approve subject staff's conditions; seconded by Ms. Roth-Wurster

DELIBERATIONS:

Mr. Pirog spoke to the standards. He stated the deck is currently in place not increasing distance to the property line. He pointed out the uniqueness with the substandard lot size.

Ms. Roth-Wurster agreed with Mr. Pirog. She stated it is unique circumstance and won't alter character of neighborhood. She stated Archadeck does a nice job and it will allow better use of deck. She stated there is no water issues so is less concerned with lot coverage.

Ms. Wood spoke to the reasonable return and uniqueness. She stated it is a slight increase in lot coverage and no issues in past with storm water. She stated she thinks the standards have been met.

Ms. Wood summarized that this request has met the standards and was unanimously approved by a vote of 4-0. This item will tentatively go to Village Council on July 11, 2022

RESULT:	RECOMMENDED TO APPROVE [UNANIMOUS]
MOVER:	John Pirog, Commissioner
SECONDER:	Cindy Roth-Wurster, Commissioner
AYES:	Roth-Wurster, Wood, Luszczak, Pirog
ABSENT:	McGinn, Cavanaugh

Minutes Acceptance: Minutes of Jun 28, 2022 7:00 PM (Minutes Approval)

5. 619 E. Dundee Road - **Recommended to Approve**

Notice was published in the Daily Herald on June 13, 2022 and mailed to the owners of the surrounding properties.

Petitioner's Exhibits:

1. Application for Special Use
2. Proof of Ownership
3. Plat of Survey
4. Business Plan
5. Floor Plan
6. Elevation
7. Public Notice

Sworn in the petitioner: Mr. Alton Klein director of Design and Entitlements for Kids Empire 620 Arrow Highway California

Mr. Klein stated Kids Empire is an indoor playground for kids 12 and under. He referred to slides to show proposed play equipment. He stated they do not offer drop off services and required parents to be with children at all times. Mr. Klein stated they sell only prepackaged food. He stated during birthday parties they will contract with local bakery and pizzeria to provide those items. He explained these items will be provided on demand because they will have no storage facility for them. He stated these type of facilities are in demand for children to play in a safe area. Mr. Klein stated they currently have 35 parks open and design and operate within the realm of the local jurisdictions public health and welfare with the considerations of their guest public safety and health. He stated they have employees on site to monitor child safety and clean every night. He stated they would not cause injury to property values. Mr. Klein referred to slide to show location next to Hobby Lobby and stated they will have no music outside.

Ms. Wood pointed out there is a lot of parking so there is no concern. She stated there is a lot of seating that takes up a lot of the floor plan. She asked about parents being required to stay for birthday parties.

Mr. Klein stated they don't want to be in a daycare use. He stated the parents are responsible for their own children even during parties.

Ms. Roth-Wurster asked if this size is standard.

Mr. Klein explained their locations range in size. He spoke to other venues they have. He agreed there are many tables but stated they never get to capacity.

Ms. Bremanis gave a brief overview of the business plan including hours and staff and guest occupancy. She stated the parking plaza is well over parked. She stated Community Services, Environmental Health and Fire Prevention have all reviewed and did not identify any issues. Ms. Bremanis referred to the existing conditions slides to show conceptual sign and location.

STAFF RECOMMENDATION:

The proposed business is occupying a vacant space in the Deer Grove Shopping Center. This use is compatible with the other retail, service, and restaurant uses that presently occupy the shopping center. The proposed use should not alter the essential character of the locality. Therefore, Staff recommends approval of the Special Use, subject to the following conditions:

1. The Special Use shall substantially conform to the floor plan and business plan prepared by the petitioner dated 04/30/2022, except such plans may be changed to conform to Village Codes and Ordinances.

There were no further questions. The public hearing was closed.

Mr. Pirog made a motion to approve subject staff's conditions; seconded by Ms. Roth-Wurster

DELIBERATIONS:

Mr. Pirog stated it is a good use of property. He stated he likes that parent have to stay for safety issues.

Ms. Roth-Wurster stated it meet the standards. She pointed out they have a lot of locations and there are no parking issues.

Ms. Wood stated the standards have been met. She stated there is a need for indoor recreation facilities in Palatine.

Ms. Wood summarized that this request has met the standards and was unanimously approved by a vote of 4-0. This item will tentatively go to Village Council on July 11, 2022

RESULT:	RECOMMENDED TO APPROVE [UNANIMOUS]
MOVER:	John Pirog, Commissioner
SECONDER:	Cindy Roth-Wurster, Commissioner
AYES:	Roth-Wurster, Wood, Luszczak, Pirog
ABSENT:	McGinn, Cavanaugh

Minutes Acceptance: Minutes of Jun 28, 2022 7:00 PM (Minutes Approval)

IV. COMMUNICATIONS

V. ADJOURNMENT

Minutes Acceptance: Minutes of Jun 28, 2022 7:00 PM (Minutes Approval)

VILLAGE OF PALATINE
Zoning Board of Appeals

SCHEDULED 07/26/22 07:00 PM

CASE STAFF STATEMENT (ID # 7720)

212 S. Bothwell Street

TO: Palatine Zoning Board of Appeals
Jan Wood, Chair

FROM: Alex Bradshaw

PETITIONER: Kristen Tyree

CASE NUMBER: 22-26

ADDRESS: 212 S. Bothwell Street

PROPOSAL:
Variation to permit lot coverage to be 55%, instead of the maximum permitted 45%.

LOCATION: 212 S. Bothwell Street District 2 (Lamerand)	CURRENT ZONING: R-2 Single-Family Residential
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SURROUNDING CONDITIONS:

North:	R-2 Single-Family Residential
South:	R-2 Single-Family Residential
East:	R-2 Single-Family Residential
West:	R-2 Single-Family Residential

BACKGROUND:

The Petitioner is proposing to replace and expand a deck in the rear yard of the Subject Property. The proposed deck will add approximately 80 square feet to the total existing lot coverage, increasing the total lot coverage from 53%, to approximately 55%. Therefore, the Petitioner is requesting:

Variation to permit lot coverage to be 55%, instead of the minimum permitted 45%.

SITE ANALYSIS:

- The Subject Property is zoned R-2 Single Family. The property is located within the Arthur T. McIntosh & Co.’s Plum Grove Road Development Subdivision and is approximately 7,959 square feet in size. It was annexed into the Village in 1869.
- In addition to the home, the property contains a large patio in the rear yard, which is approximately 458 sf. The existing patio was constructed prior to the lot coverage

enforcement. The existing lot coverage is approximately 53% (4,240 sf) which exceeds the maximum 45% lot coverage by 740 sf.

- The Petitioner is seeking a Variation to remove and replace their existing deck and add approximately 80 sf to the total existing lot coverage, bringing the total proposed lot coverage to approximately 54.5% (4,320 sf).
- Per the submitted application, the proposal is justified due to the existing patio not extending up to the house wall. The new deck will make the area safer to access the patio and ultimately make the space more family friendly.
- The existing building coverage is within the 35% allowed by Code. The proposed deck complies with required setbacks.

DEPARTMENTAL REVIEWS:

Community Services	No Issues Identified.
Engineering	Staff has seen flood in this area in the past. Village's Engineers recommend that the lot coverage not be increased to further exceed maximum allowed per Code.
Environmental Health	N/A
Fire Prevention	N/A
Public Works	N/A
Police	N/A

STANDARDS FOR A VARIATION: Standards for a Variation are found in Section 14.03 D (1) and (2) of the Zoning Code. Specifically, the Petitioners must show that the property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations governing the district in which it is located; that the plight of the owner is due to unique circumstances; and that the variation, if granted, will not alter the essential character of the locality. The Petition for Variation is attached, and the Petitioners have attempted to address the required standards.

STAFF RECOMMENDATION:

The Petitioner is proposing to replace and expand a deck off the rear of residence, down to a large existing patio. The proposed deck will mainly be positioned over the existing patio, thus only adding approximately 80 square feet to the total existing lot coverage. Per the submitted plans, the new deck will provide a more gradual descent, and safer access, to the existing patio.

However, Staff understands that flooding may be an issue in this area, and the Village Engineer recommends that the lot coverage not be increased as the existing lot significantly exceeds the maximum allowed per Code. Therefore, Staff recommends

denial of the requested Variation. If the Zoning Board of Appeals recommends approval, the proposal shall be subject to the following condition:

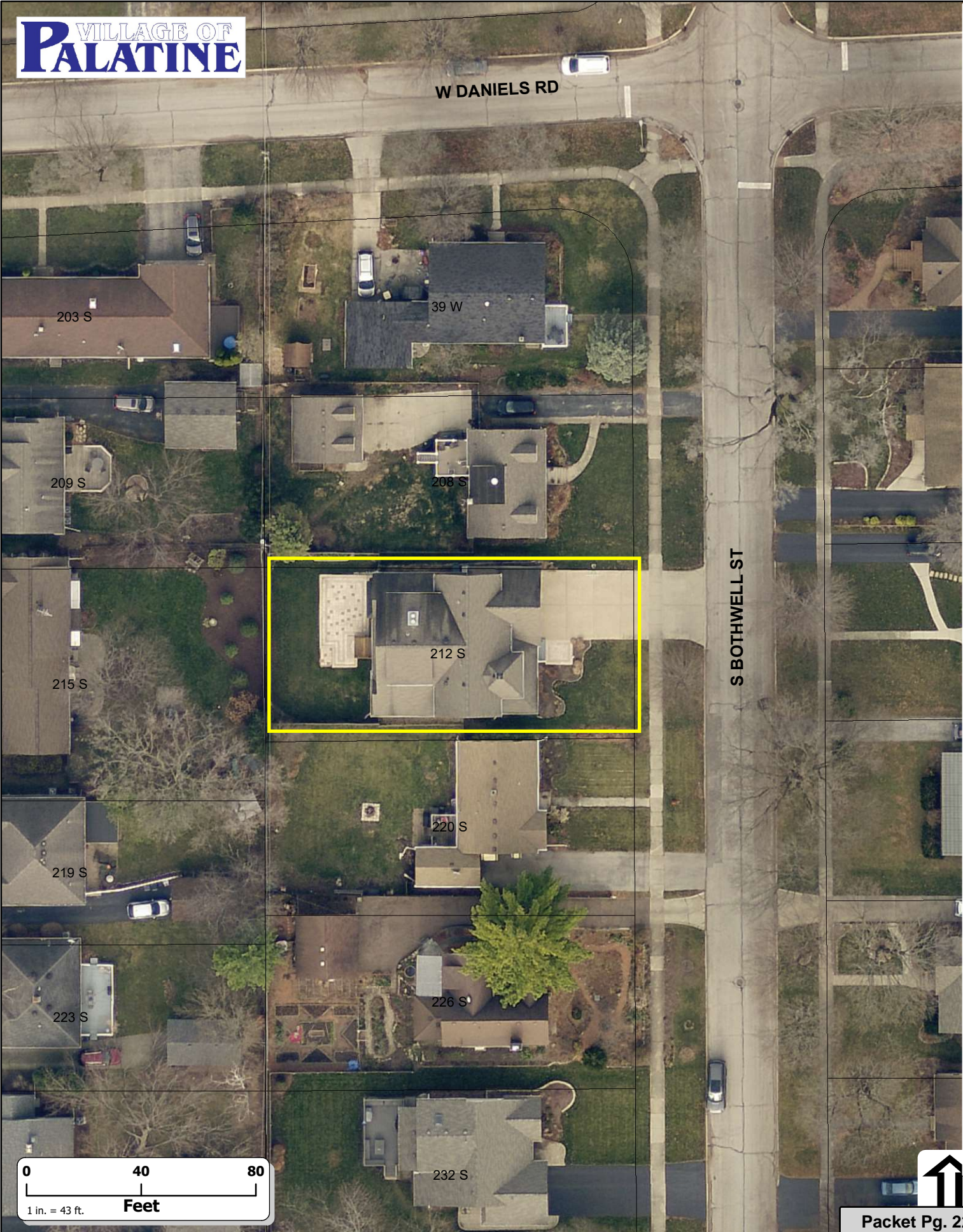
1. The Variation shall substantially conform to the Site Plan and Elevations submitted by the Petitioner, Kristen Tyree, except as such plans may be changed to conform to the Village's Codes and Ordinances.

ATTACHMENTS:

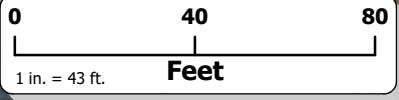
- Aerial Map
- Application
- 212 S Bothwell - Plat of Survey
- Site Plan
- Deck Plans
- Elevations
- Neighbor Objection Letter - Adams
- Public Notice

212 S. Bothwell Street

3.1.a



Attachment: Aerial Map (212 S. Bothwell Street - VAR Lot Coverage)

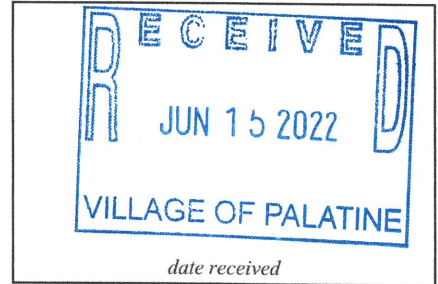




SPECIAL USE & VARIATION APPLICATION

Department of Planning & Zoning
 200 E. Wood Street • Palatine, IL • 60067-5339
 Telephone: (847) 359-9047 • Fax (847) 963-6247

Office Use Only	Project Planner	Zoning Case #
	Filing Fee	Notification Deadline
	ZBA Public Hearing Date	Village Council Date



Background Information	PETITIONER(S) Kristen Tyree		Business Name (if applicable)		
	Subject Property Address 212 S Bothwell St Palatine, IL 60067				
	AUTHORIZED AGENT (if applicable) Archadeck of Chicagoland - Danielle Scaccia		Business Name (if applicable)		
	Address 395 W Northwest Hwy Ste A Palatine, IL 60067		City/State/Zip Code		
	Telephone 847-496-4333	Fax	Email dscaccia@archadeck		
	Relationship to Petitioner (contractor, architect, etc.) Contractor				
	TYPE OF APPLICATION (check one) <input type="checkbox"/> Special Use <input type="checkbox"/> Special Use Amendment <input checked="" type="checkbox"/> Variation Lot coverage				
	Existing Zoning District		Existing Land Use	Proposed Land Use	
	Generally describe your request: We are requesting to demo and remove the existing deck, and construct a new deck.				

Attachment: Application (212 S. Bothwell Street - VAR Lot Coverage)



VARIATION

Required Materials

- Filing Fee of \$ _____
- Application Form
- Plat of Survey (must show all current improvements and be sealed by an Illinois certified surveyor)
- Site Plan & Floor plan (dimension, location, and setbacks of all existing and proposed buildings) – **one 11x17 copy each, electronic version preferred**
- Real Estate Interest Disclosure Form (see attached)
- Proof of Ownership or Lease (e.g. Title Insurance Policy, Deed, or Purchase Contract)

Additional Materials (as required by the Village)

- Elevation Plan (front, side, and rear elevations of a proposed building), and/or Floor Plan (proposed interior layout) – **one 11x17 copy of each plan, electronic versions preferred**
- Engineering Plans (must indicate existing conditions, topography, storm water management, tree preservation, utility connections, detention calculations, and a cost estimate)
- Photographs (e.g. ground-level or aerials)
- Other materials as deemed necessary by the Village

Petitioner Justification

The Petitioner is required to present specific evidence related to each of the following standards to justify the request (paraphrased from Section 14.03 of the Palatine Zoning Ordinance). Answer the items below and attach a separate sheet if necessary. ***If you are applying for a Special Use only, you do not need to answer these items.***

1. That the property cannot yield a reasonable return if used only under the conditions allowed by the regulations governing the zoning district in which it is located

2. That the plight of the owner is due to unique circumstances

3. That the variation, if granted, will not alter the essential character of the locality

4. In order to supplement the above standards, the Zoning Board of Appeals may also consider the following:

- a. The particular surroundings, shape, or topographical conditions of the property
- b. A unique hardship for the property not generally applicable to other properties in the same zoning district
- c. The request is not based on a desire to make more money out of the property
- d. The petitioner has not created the alleged hardship for the property
- e. The request will not be detrimental to the public welfare or other properties in the neighborhood
- f. The request will not impair the supply of light and air to adjacent properties, substantially increase the danger of fire, endanger the public safety, or substantially diminish or impair neighboring property values

Attachment: Application (212 S. Bothwell Street - VAR Lot Coverage)

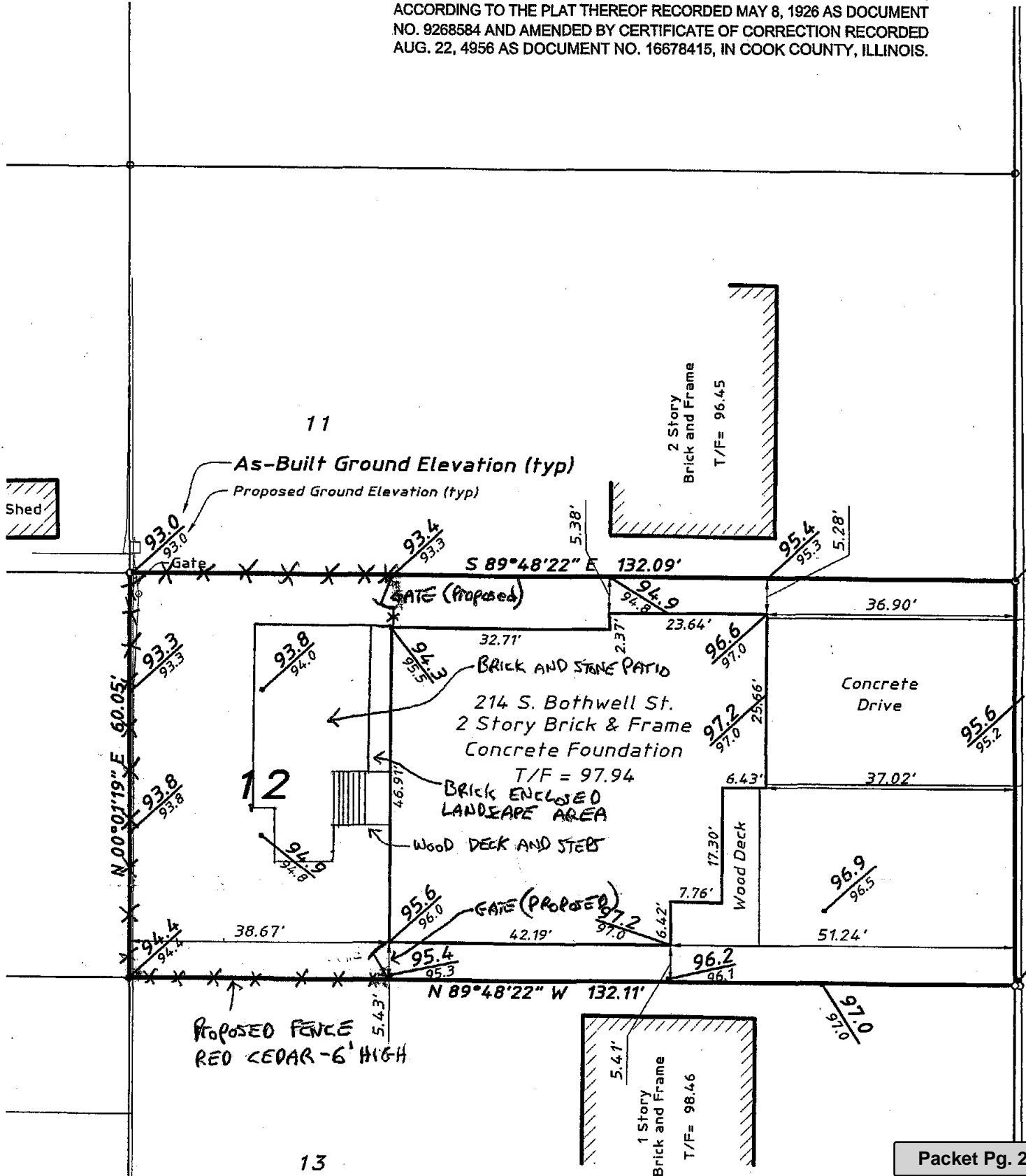
Variation responses for 212 S Bothwell St

1. The property cannot yield a reasonable return if used only under the conditions allowed by the regulations governing the zoning district in which it is located as the Village of Palatine did not have any lot coverage requirements when the patio was originally installed at the property.
2. The plight of the owner is the to unique circumstances that when the patio was put in the Village of Palatine did not have any lot coverage requirements. The client now has a family with young children and the pavers of the patio do not go up to the house wall. The client would like to install a deck to make the area safer and family friendly.
3. The variation, if granted, will not alter the essential character of the locality
4. The shape and topographical conditions of the property will not be affected, the hardship is not generally applicable to other properties in the same zoning district, the request is not based on a desire to make more money out of the property. The petitioner has not created the alleged hardship for the property, the request will not be detrimental to the public welfare or the other properties in the neighborhood, and the request will not impair the supply of light and air to the adjacent properties, substantially increase the danger of fire, endanger the public safety, or substantially diminish or impair neighboring property values.

PLAT OF SURVEY

OF

LOT 12, IN BLOCK 22, IN ARTHUR T. McINTOSH & CO.'S PLUM GROVE ROAD DEVELOPEMENT, BEING A SUBDIVISION OF PART OF SECTIONS 22 AND 23, TOWNSHIP 42 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED MAY 8, 1926 AS DOCUMENT NO. 9268584 AND AMENDED BY CERTIFICATE OF CORRECTION RECORDED AUG. 22, 4956 AS DOCUMENT NO. 16678415, IN COOK COUNTY, ILLINOIS.



Attachment: 212 S Bothwell - Plat of Survey (212 S. Bothwell Street - VAR Lot Coverage)

MidLakesSurvey.Com
382 Lake Street
Antioch, IL 60002

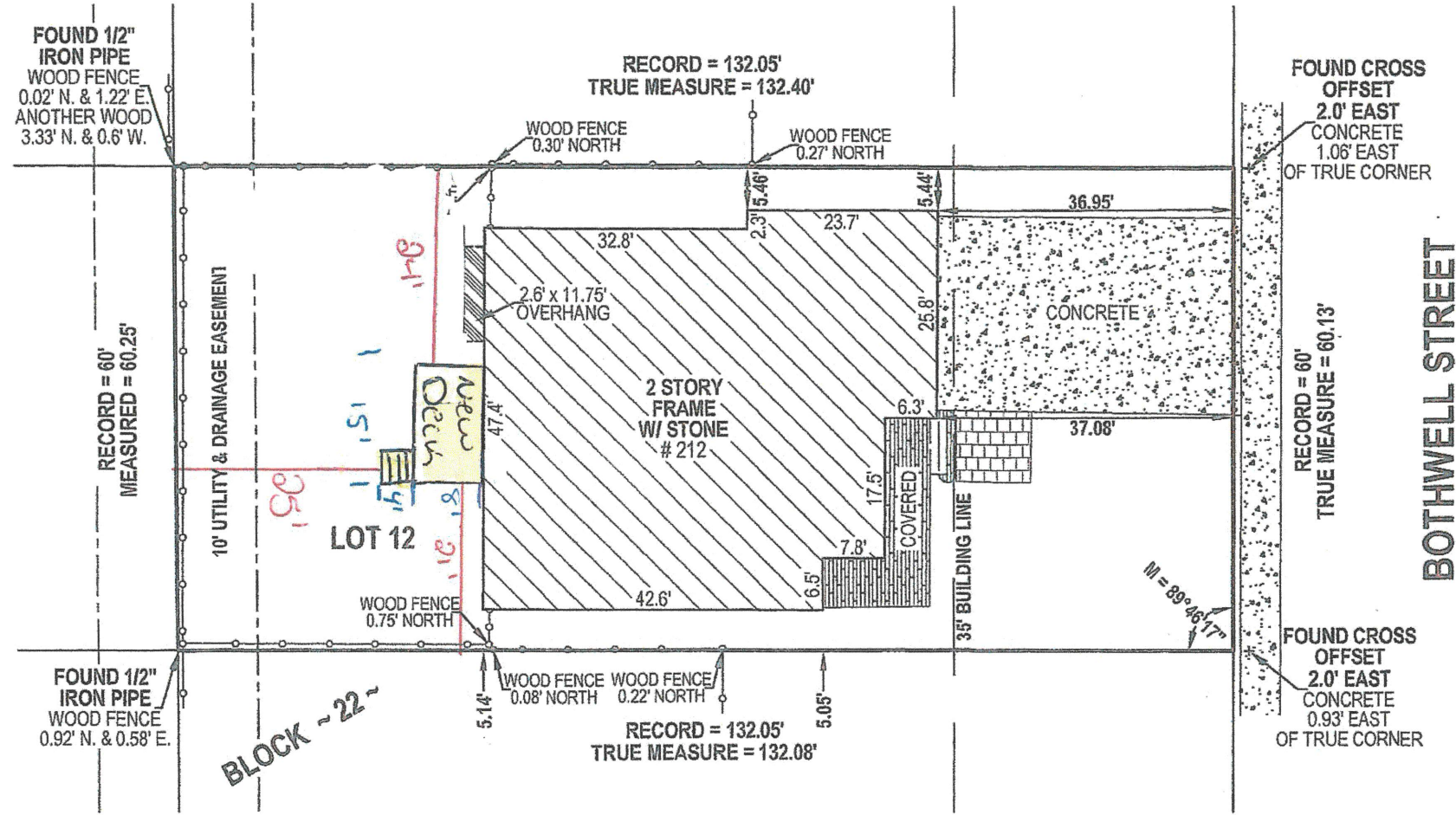
MID LAKES SURVEY COMPANY

Illinois Professional Design Firm 184.006153

PLAT OF SURVEY

Phone: 847-973-1873
Fax: 847-973-9783
midlakes.survey@yahoo.com

LOT 12 IN BLOCK 22 IN ARTHUR T. MCINTOSH AND COMPANY'S PLUM GROVE ROAD DEVELOPMENT IN SECTIONS 22 AND 23, TOWNSHIP 42 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.



SURVEY AREA = 7.959 Sq.Ft.± 0.18 ACRES.

Only those Building Lines and Easements shown on the Recorded Plat of Subdivision or disclosed on a current Title Policy are shown hereon. All Distances shown in feet and decimal parts thereof. No distances are to be determined by scaling. All fences are located to centerlines, unless otherwise noted. Field work completed on 11/29/2016 UPDATED 06/15/2021.
COPYRIGHT© 2021 - MID LAKES SURVEY COMPANY

Job no. 463439 P.I.N. 02 - 22 - 221 - 012 Scale 1" = 20'
 Address 212 S. BOTHWELL STREET Township PALATINE Platted By RMVM
PALATINE, IL 60067 Ordered By JUDY DEANGELIS, ATTY. Checked By RMVM

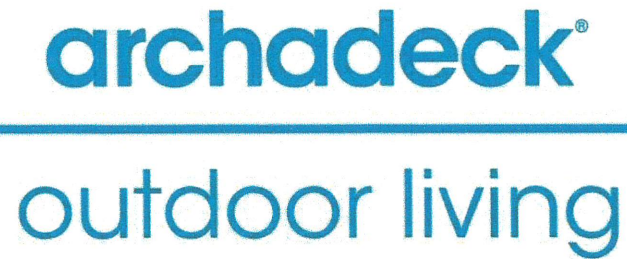
STATE OF ILLINOIS)
) S.S.
COUNTY OF LAKE)

On behalf of MID LAKES SURVEY COMPANY, I hereby certify that the above described property was surveyed under my supervision and that the annexed plat is a correct representation of said survey. This professional service conforms to the current Illinois minimum standards for a boundary survey.

Dated JUNE 15, 2021

By Nathaniel N. Messer, PLS
 Illinois Professional Land Surveyor. My license expires 11/30/2022

Attachment: Site Plan (212 S. Bothwell Street - VAR Lot Coverage)



INTEGRITY ENTERPRISES, INC. d.b.a. Archadeck of Chicagoland

ALL CONSTRUCTION PLANS ARE PROVIDED AS IS. ARCHADECK FRANCHISING CORPORATION DISCLAIMS ALL OTHER WARRANTIES, EXPRESS OR IMPLIED, INCLUDING MERCHANTABILITY OR FITNESS OF PURPOSE. ARCHADECK FRANCHISING CORPORATION IS NOT LIABLE FOR INCIDENTAL, SPECIAL, CONSEQUENTIAL, OR INDIRECT DAMAGES OF ANY KIND, INCLUDING, BUT NOT LIMITED TO, LOSS OF ANTICIPATED PROFITS, BUSINESS OPPORTUNITY OR OTHER ECONOMIC LOSS ARISING OUT OF THE USE OF SERVICES OR ANY CONSTRUCTION PLANS RECEIVED FROM ARCHADECK FRANCHISING CORPORATION, EVEN IF ARCHADECK FRANCHISING CORPORATION HAS BEEN ADVISED OF THE POSSIBILITY OF SUCH DAMAGE. IT IS THE BUILDER'S RESPONSIBILITY TO ENSURE THE ACCURACY, COMPLIANCE WITH APPLICABLE STATUTE(S) OR REGULATION(S), AND FITNESS OF PURPOSE OF ANY PLANS OR CONSTRUCTION INFORMATION RECEIVED FROM ARCHADECK FRANCHISING CORPORATION PRIOR TO THE USE THEREOF.

ARCHADECK FRANCHISING CORPORATION IS NOT ENGAGED IN RENDERING PROFESSIONAL SERVICES OR ADVICE. USE OF ANY CONSTRUCTION INFORMATION PROVIDED BY ARCHADECK FRANCHISING CORPORATION IS SUBJECT TO THE ADDITIONAL DISCLAIMERS AND CAVEATS THAT MAY APPEAR THROUGHOUT THE CONSTRUCTION PLANS, CONTRACTS AND OTHER DOCUMENTS PROVIDED TO THE BUILDER AND CUSTOMER.

DESIGN LOAD CRITERIA

FOOTING/FOUNDATION LOADS	P.S.F.	CEILING	P.S.F.
LIVE LOAD	40	WITH STORAGE (L/240)	20
DEAD LOAD	10	WITHOUT STORAGE (L/240)	10
TOTAL DESIGN LOAD	50		
DECK LOADS (L/240)		P.S.F.	
(DECK FRAMING)			
FRAMING DESIGN LIVE LOAD	60	WITH STORAGE (L/360)	20
FRAMING DESIGN DEAD LOAD	10	WITHOUT STORAGE (L/360)	10
TOTAL FRAMING DESIGN LOAD	70	DEAD LOAD	10
FLOOR LOADS (L/360)		P.S.F.	
LIVE LOAD (LIVING)	40		
LIVE LOAD (SLEEPING)	30		
DEAD LOAD	10		
SPA LOADS (L/240)		P.S.F.	
LIVE LOAD	100		
DEAD LOAD	10		
TOTAL DESIGN LOAD	110		

Kristen & Jeff Tyree
-042822KB
2112 S. Bothwell Street
Palatine, IL, 60067

SYMBOL LEGEND

T.O.D. TAG

DETAIL TAG

STAIR TAG

SECTION TAG

- 4 x 4 DECK COLUMN
- 4 x 6 DECK COLUMN
- 6 x 6 DECK COLUMN

- RAIL POST
- FENCE POST
- ROOF POST/ PERGOLA POST
- STUD LOCATION

- X - X BRACING
- PB - PARTING BOARD LOCATION AND CENTER LINE

ABBREVIATIONS:

#B	- BEAM	GLU.	- GLULAM
#BB	- BAND BOARD	HDR.	- HEADER
#C	- RAIL CAP LENGTH	INT.	- INTERIOR
#CB	- COLLAR BEAM	IN.	- INCH
#DB	- DOUBLE BAND	JST.	- JOIST
#DJ	- DOUBLE JOIST	LB.	- POUNDS
#DR	- DOUBLE RAFTER	L.L.	- LIVE LOAD
#F	- FENCE CAP LENGTH	L.V.L.	- LAMINATED VENEER LUMBER
#G	- GIRDER	LOWR.	- LOWER
#HB	- HOUSE BAND	MANUF.	- MANUFACTURER
#HBE	- HOUSE BAND EXTENSION	MAX.	- MAXIMUM
#KB	- KING BEAM	MIN.	- MINIMUM
#QJ	- QUAD JOIST	MOD.	- MODIFIED
#RB	- RIDGE BEAM	N.T.S.	- NOT TO SCALE
#RP	- ROOF PLATE	O.C.	- ON CENTER
#TB	- TRIPLE BAND	OPT.	- OPTIONAL
#TJ	- TRIPLE JOIST	O.S.B.	- ORIENTED STRAND BOARD
ALT.	- ALTERNATE	P.L.	- POINT LOAD
ALUM.	- ALUMINUM	P.L.F.	- POUNDS PER LINEAR FOOT
APX.	- APPROXIMATE	P.S.F.	- POUNDS PER SQUARE FOOT
BD.	- BOARD	P.S.I.	- POUNDS PER SQUARE INCH
C/L	- CENTER LINE	P.S.L.	- PARALLEL STRAND LUMBER
CJ	- CEILING JOIST	P.T.	- PRESSURE TREATED
CLG.	- CEILING	P.T.T.	- POUR TO TOP
C.M.U.	- CONCRETE MASONRY UNIT	P.V.C.	- POLY VINYL CHLORIDE
CONC.	- CONCRETE	RBD.	- RIDGE BOARD
CONT.	- CONTINUOUS	REQD.	- REQUIRED
DBL.	- DOUBLE	R.O.	- ROUGH OPENING
DIA.	- DIAMETER	RSW	- RIDGE SUPPORT WALL
DIM.	- DIMENSION	S.F.	- SQUARE FOOT/FEET
D.L.	- DEAD LOAD	SQ.	- SQUARE
DN.	- DOWN	T&G	- TONGUE & GROOVE
DTL.	- DETAIL	T.L.	- TOTAL LOAD
ELEC.	- ELECTRICAL	T.O.D.	- TOP OF DECK
ELEV.	- ELEVATION (SEE T.O.D.)	TYP.	- TYPICAL
EQ.	- EQUIVALENT	UNFIN.	- UNFINISHED
EXT.	- EXTERIOR	U.N.O.	- UNLESS NOTED OTHERWISE
FIN.	- FINISH	UPR.	- UPPER
FLR.	- FLOOR	W/	- WITH
FND.	- FOUNDATION	W/O	- WITHOUT
FT.	- FOOT/FEET		
F.V.	- FOUNDATION VENT		

NOTES:

DESIGN CRITERIA:

- THIS PROJECT HAS BEEN DESIGNED FOLLOWING THE REGULATIONS OF THE 2015 IRC (INTERNATIONAL RESIDENTIAL CODE).
- WORK TO MEET LOCAL, STATE AND APPLICABLE RULES AND REGULATIONS.
- IN-GRADE DESIGN VALUES BASED ON AF&PA.
- PROVIDE JOIST HANGERS @ ALL FLUSH FRAME CONDITIONS.
- PRESUMPTIVE SAFE SOIL BEARING CAPACITY IS 3000 PSF.
- FROST LINE 42".
- CONNECTIONS TO EXISTING STRUCTURE FLASHED PER LOCAL CODE

LUMBER:

- ALL FRAMING LUMBER TO BE #2 S.P. (SOUTHERN PINE) OR BETTER, TREATED FOR EXTERIOR USE, PER LOCAL CODE U.N.O.
- ALL PSL ENGINEERED TYPE LUMBER TO BE TREATED FOR EXTERIOR USE: P.S.L. STRESS CLASS (2.0E, 2900Fb) P.S.I.
- ALL GLULAM ENGINEERED TYPE LUMBER TO BE TREATED FOR EXTERIOR USE: GLULAM STRESS CLASS (1.9E, 2600Fb) P.S.I.
- ALL LVL/MICROLLAM ENGINEERED TYPE LUMBER TO BE INTERIOR USE ONLY: L.V.L. STRESS CLASS (1.8E, 2600Fb) P.S.I.

CONCRETE:

- MINIMUM 28 DAY COMPRESSIVE STRENGTH = 2500 PSI.

SHEET INDEX

NOTE THAT NOT ALL JOBS REQUIRE ALL SHEETS

ST -SITE	FF-# -FLOOR FRAMING
PL-# -PLAN	FP-# -FLOOR PLAN
EV-# -ELEVATION	CF-# -CEILING FRAMING
FD-# -FOUNDATION/FOOTINGS	RF-# -ROOF FRAMING
	SD-# -SECTION/DETAIL

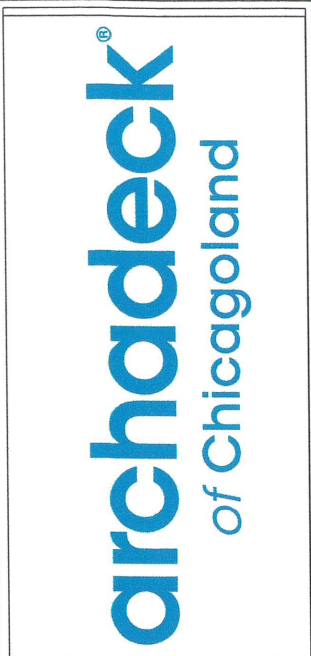
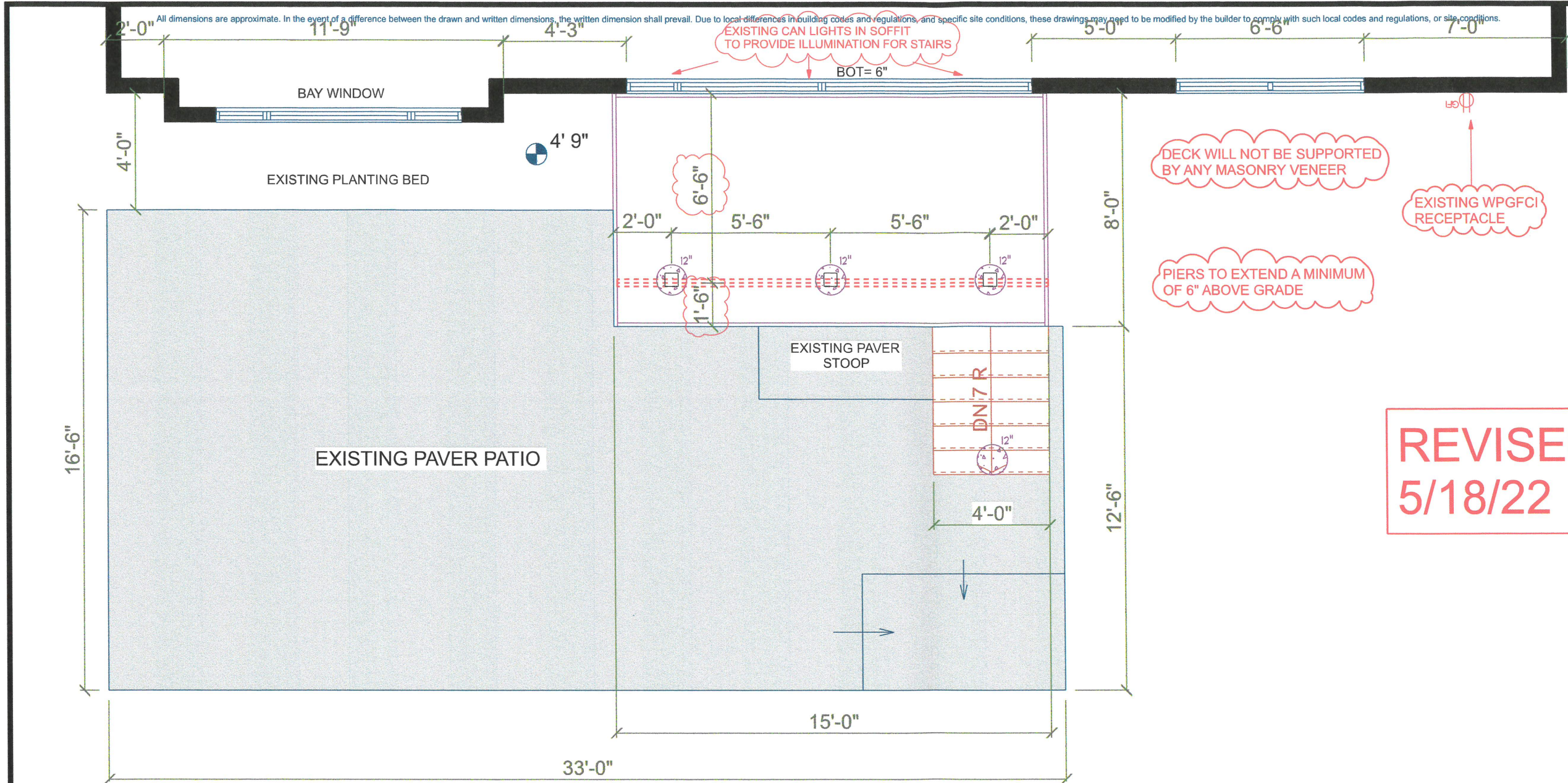
DRAWINGS PREPARED BY: ARCHADECK FRANCHISING CORPORATION
CONSTRUCTION & DRAFTING DEPARTMENT
2924 EMERYWOOD PARKWAY, SUITE 101
RICHMOND, VA 23294
© 2019 ARCHADECK FRANCHISING CORPORATION
UNAUTHORIZED DUPLICATION IS A VIOLATION OF ALL APPLICABLE LAWS

CONTACT

FOR ANY QUESTIONS OR CONCERNS PLEASE CONTACT:
INTEGRITY ENTERPRISES, INC. d.b.a. Archadeck of Chicagoland
395 W Northwest Highway, Palatine, IL. 60067
PHONE: (847) 496-4333 / e-mail chicagoland@archadeck.net

ARCHITECT OF RECORD (AS APPLICABLE)

Attachment: Deck Plans (212 S. Bothwell Street - VAR Lot Coverage)



SHEET DESCRIPTION

SHEET:
2/4
FD-1
SCALE: 1/4" = 1'-0"

Prepared by:
Integrity Enterprises, INC.
DBA: Archadeck of Chicagoland
395 W Northwest Highway
Palatine, IL 60067

Construction & Drafting Department
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-Kristen & Jeff Tyree-042822KB
2112 S. Bothwell Street
Palatine, IL 60067
DRAWN BY: Integrity Ent. (CRK)
5/2/22

Deck Specifications
New TimberTech Coconut Husk Decking
Color Matching Stainless Steel Screws (face fastened)
Matching edge band & 1" x 4" deck trim
Decking pattern as drawn with herringbone
PTP Lifestyle Rails with black Deckorator Pickets (outside mount)
Graspable Hand Rail
Matching Lifestyle Stairs (closed risers)
Pier support for stairs
Skirting not included
Weed Block Fabric & River Rock (large) Rocks included(not over the pavers. only over soil)
Framed to 60# live load with Galvanized hardware

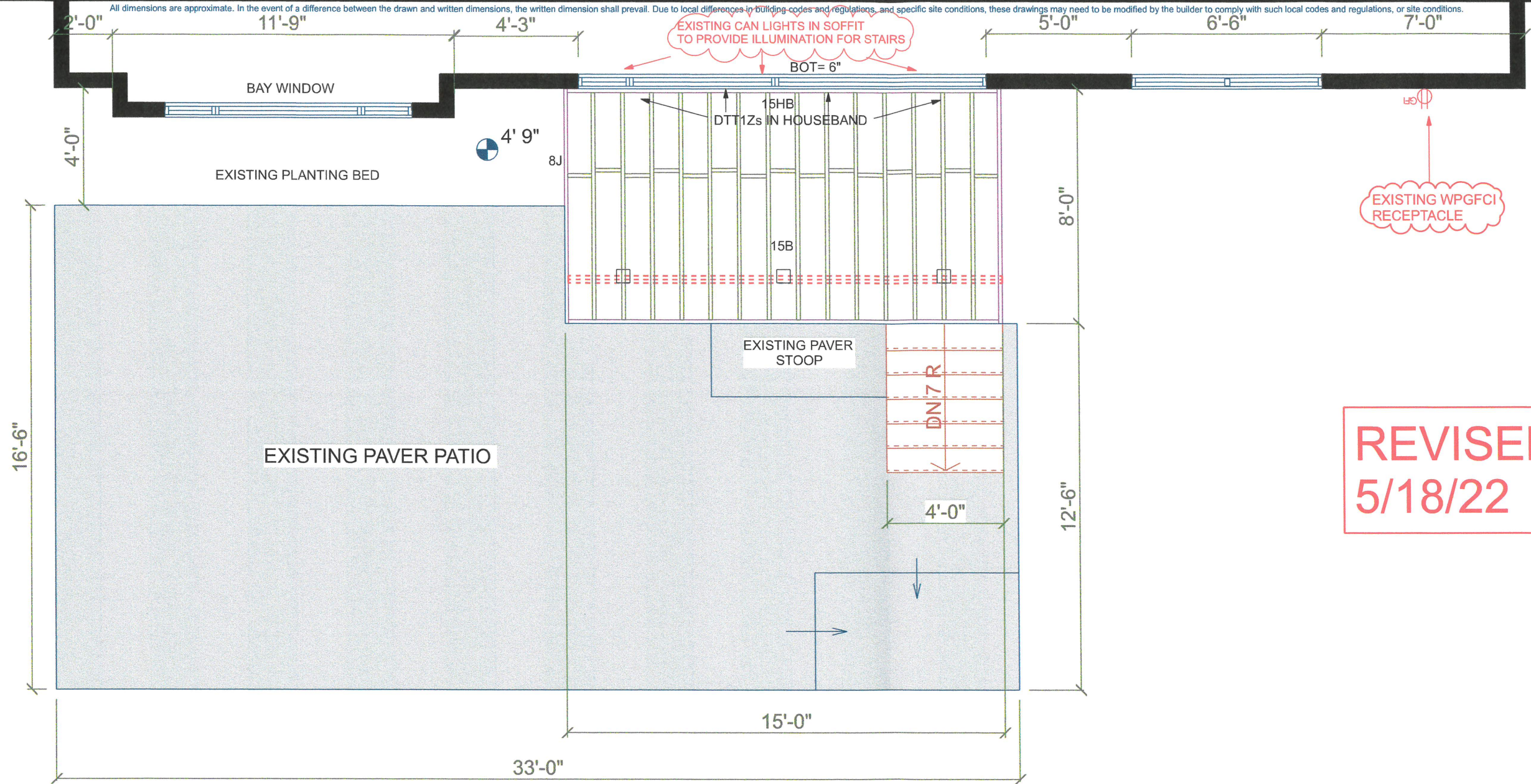
FOUNDATION NOTES
12" DIA SONOTUBE X 42" DEEP, BELLED TO SIZE NOTED ON STRUCTURAL PLAN, LOCATIONS AS SHOWN #CHIC-201
(2) 2X8 BEAM #210-B W/ 24" OVERHANGS
6x6 COLUMN (TYPICAL), TREATED FOR GROUND CONTACT #207-B

Demo & Repair Specifications
Demolition & removal of existing deck landing
Archadeck is not responsible for yard repair or siding replacement where prior project existed.
Yard damage caused by Archadeck will be repaired with soil and grass seed

Unless identified on the specifications project does not include any staining or finish color.

Attachment: Deck Plans (212 S. Bothwell Street - VAR Lot Coverage)

All dimensions are approximate. In the event of a difference between the drawn and written dimensions, the written dimension shall prevail. Due to local differences in building codes and regulations, and specific site conditions, these drawings may need to be modified by the builder to comply with such local codes and regulations, or site conditions.



REVISED
5/18/22

archadeck
of Chicagoland

SHEET DESCRIPTION

SHEET:
3/4
FF-1
SCALE: 1/4" = 1'-0"

Prepared by:
Integrity Enterprises, INC.
DBA: Archadeck of Chicagoland
395 W Northwest Highway
Palatine, IL 60067
Construction & Drafting Department
©2017 Archadeck Franchising Corporation
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duplication is a violation of
all applicable laws.

FRAMING NOTES

- 2X8 HOUSEBAND W/ JOIST HANGERS AND 5" LAG BOLTS STAGGERED 12" O.C. #202-B
- 2X8 SINGLE EDGE BAND #210-B
- 2X8 JOISTS @ 12" O.C.
- (2) 2X8 BEAM #210-B
- 6X6 COLUMNS #207-B
- 2x8 BLOCKING CENTERED IN SPAN (TYP.)

Demo & Repair Specifications

- Demolition & removal of existing deck landing
- Archadeck is not responsible for yard repair or siding replacement where prior project existed.
- Yard damage caused by Archadeck will be repaired with soil and grass seed

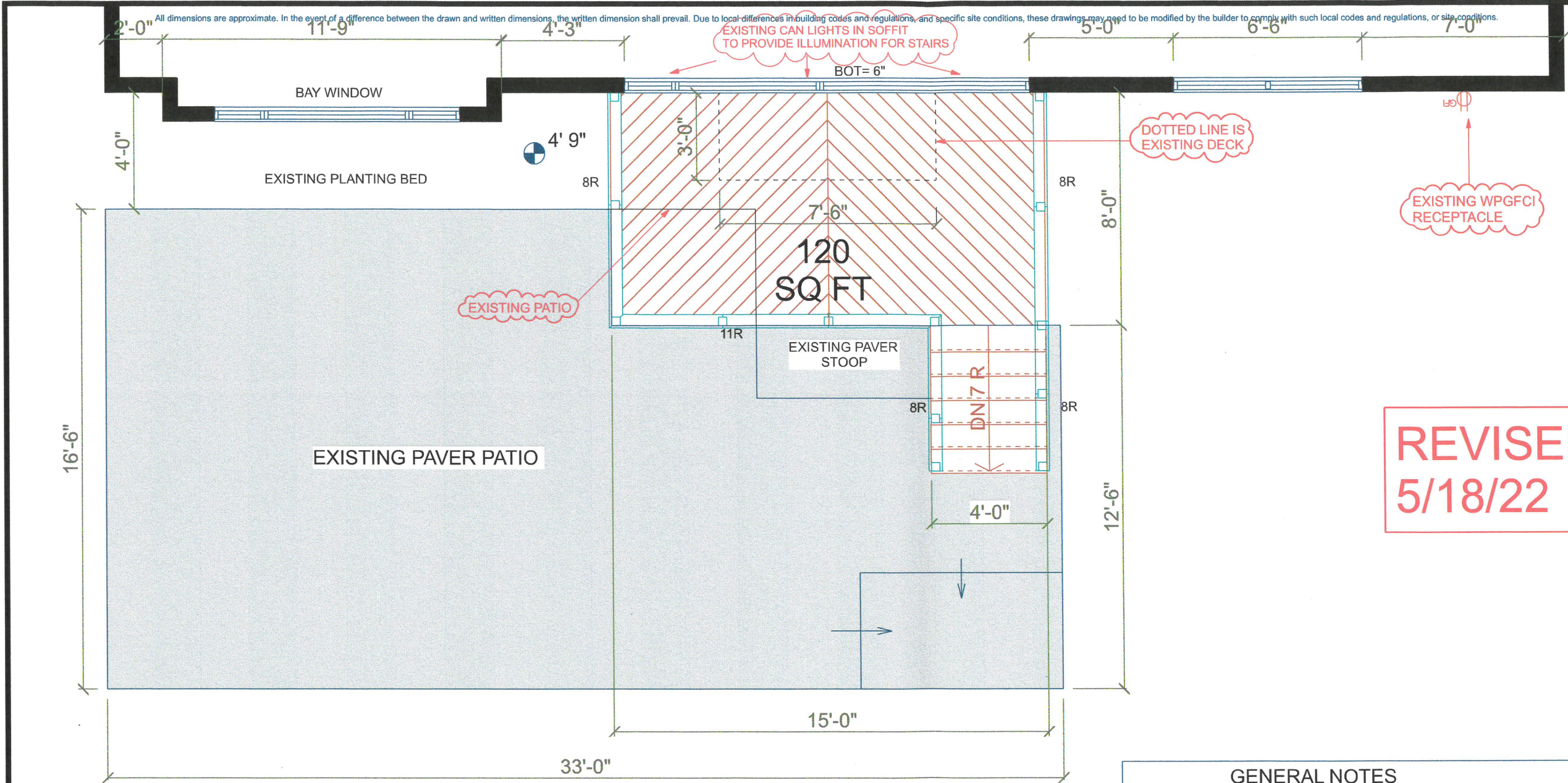
Deck Specifications

- New TimberTech Coconut Husk Decking
- Color Matching Stainless Steel Screws (face fastened)
- Matching edge band & 1" x 4" deck trim
- Decking pattern as drawn with herringbone
- PTP Lifestyle Rails with black Deckorator Pickets (outside mount)
- Graspable Hand Rail
- Matching Lifestyle Stairs (closed risers)
- Pier support for stairs
- Skirting not included
- Weed Block Fabric & River Rock (large) Rocks included(not over the pavers. only over soil)
- Framed to 60# live load with Galvanized hardware

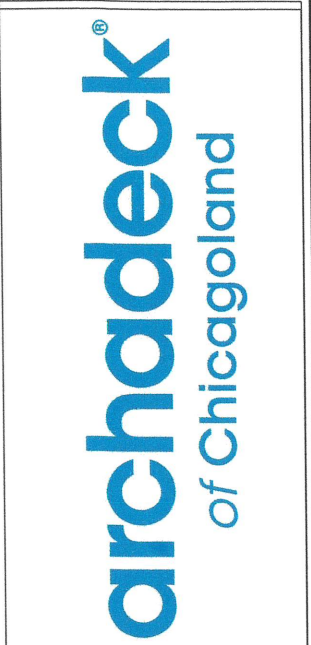
Unless identified on the specifications project does not include any staining or finish color.

Attachment: Deck Plans (212 S. Bothwell Street - VAR Lot Coverage)

-Kristen & Jeff Tyree-042822KB
2112 S. Bothwell Street
Palatine, IL 60067
DRAWN BY: Integrity Ent. (CRK)
5/2/22



REVISED
5/18/22



SHEET DESCRIPTION

SHEET:
4/4
 FP-1
 SCALE: 1/4" = 1'-0"

Prepared by:
 Integrity Enterprises, INC.
 DBA: Archadeck of Chicagoland
 395 W Northwest Highway
 Palatine, IL 60067

Construction & Drafting Department
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GENERAL NOTES

- 5/4x6 TIMBERTECH DECKING-COCONUT HUSK, FACE FASTENED COLOR MATCHING SCREWS
- 1x4/1X8 TIMBERTECH TRIM PERIMETER #CHIC-299-LM
- 36" HIGH, PT LIFESTYLE RAIL #500
- DECKORATOR PICKETS LESS THAN 4" IN BETWEEN
- OUTSET POSTS #501
- GRAB RAIL #522
- TIMBERTECH STAIR #400, W/ 5/4x6 TREADS, 1x8 RISERS, 1X12 FASCIA OVER STRINGERS, & 2x12 P.T. STRINGERS @ 10" O.C. W/ FRAMING ANGLES
- STAIRS LAND ON CONCRETE PIER #CHIC-400

Deck Specifications

New TimberTech Coconut Husk Decking
Color Matching Stainless Steel Screws (face fastened)
Matching edge band & 1" x 4" deck trim
Decking pattern as drawn with herringbone
PTP Lifestyle Rails with black Deckorator Pickets (outside mount)
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Demo & Repair Specifications

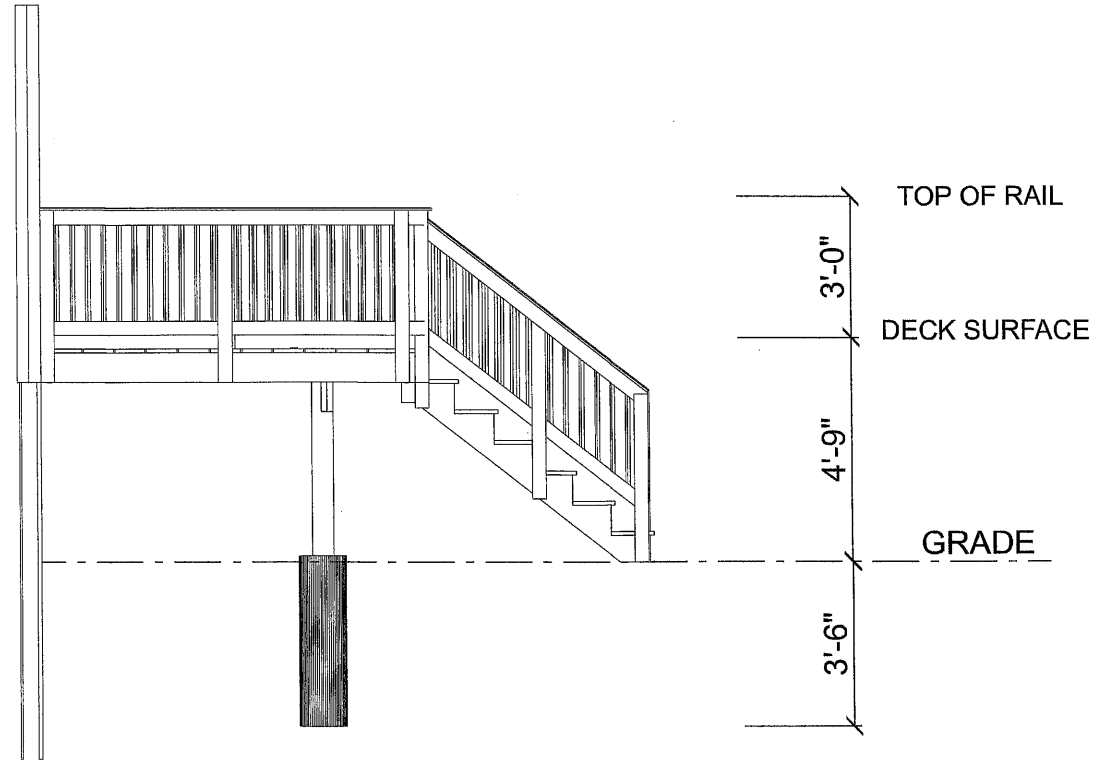
- Demolition & removal of existing deck landing
- Archadeck is not responsible for yard repair or siding replacement where prior project existed.
- Yard damage caused by Archadeck will be repaired with soil and grass seed

Unless identified on the specifications project does not include any staining or finish color.

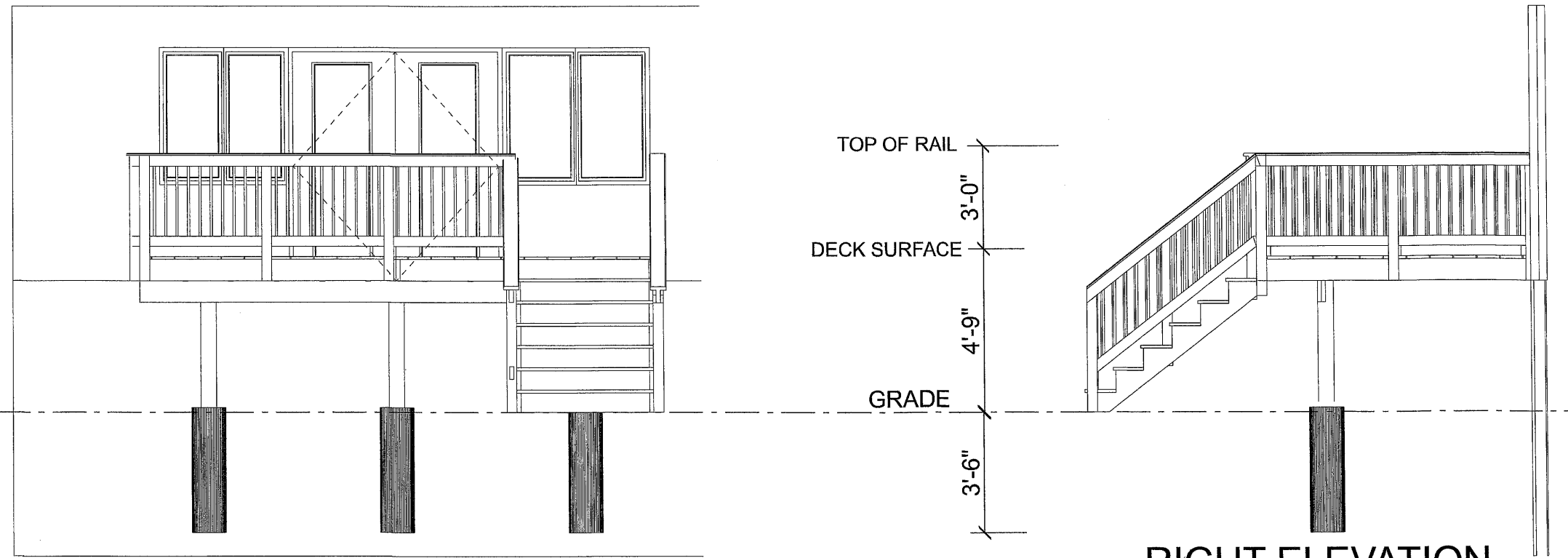
-Kristen & Jeff Tyree-042822KB
 2112 S. Bothwell Street
 Palatine, IL 60067
 DRAWN BY: Integrity Ent. (CRK)
 5/2/22

Attachment: Deck Plans (212 S. Bothwell Street - VAR Lot Coverage)

All dimensions are approximate. In the event of a difference between the drawn and written dimensions, the written dimension shall prevail. Due to local differences in building codes and regulations, and specific site conditions, these drawings may need to be modified by the builder to comply with such local codes and regulations, or site conditions.



LEFT ELEVATION



FRONT ELEVATION

RIGHT ELEVATION

SHEET DESCRIPTION

SHEET:

1/1

Elevations
SCALE: 1/4" = 1'-0"

Prepared by:
Integrity Enterprises, INC.
DBA: Archadeck of Chicagoland
395 W Northwest Highway
Palatine, IL 60067

Construction & Drafting Department
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all applicable laws.

106-Tyree-042822KB
2112 S. Bothwell Street
Palatine, IL 60067
DRAWN BY: Integrity Ent. (CRK)
6/8/22

Attachment: Elevations (212 S. Bothwell Street - VAR Lot Coverage)

July 18, 2022

Mr. Bradshaw or Whom is concerned,
Kim Adams 205 S Bothwell St. Palatine IL

I am contacting You due to the notice of public hearing for the property at 212 S Bothwell St. First thing is to thank you for the notice. When the original house 214 was demolished and 212 built, no one asked or sent notice to me or the neighborhood. Across the street 215 is the same house except for a one-car attached garage and a full basement which 214 had. Oh Yes, the address changed too! I guess that was because the other two "Covers the Lot" homes were built at the corner of Daniels & Bothwell St. which the original was one ranch home. Oh Yes!! No one gave Me or the neighborhood a notice. These homes just seem to pop up and no one was notified of a hearing meeting. When I went to the village, I was told that the hearing was done and passed. I am sure these homes would not have been built if the residents next to each property or neighborhood would have known, that the size construction for such large homes had been planned and completed. This is not just South Bothwell but South Brockway and other properties in the Village.

When will plans be available to review this new design? What I remember of 212 when talking to inspectors and neighbors to the sides and rear of the property the existing patio is placed up against the back fence. Which is now a new fence as of 2 weeks back and a pagoda. This has caused flooding and drainage problems among neighbors. Again I see no permit in the window and did the neighbors get notice of the new fence. I had a new driveway done the last year 2021 and was approached by the village inspector, if the permit copy was not in the window, fines could be insured and work will not start. Again 212 property, day of the new fence, no permit in window or front of the property but all trucks and material in the front showed up and work completed.

I would appreciate it if You could see what happens when on the Village rules you have to be 10' off the back property line for a garage when all garages were 5'. "See rear line 203 at 10' and 205 at 5'. Let us talk flooding!! Now it becomes a dump and the flood plan is filled in. I can show You how water runs downhill and You will see lake Winopee behind 205 and Duplex SE corner Rental property Plum Grove & Daniels. Please stop by house 205 or 215 on a day of heavy rain or even better check the corner of Bothwell and Daniels and watch the water run through the basement windows of NE corner property. If the water reaches my driveway my basement goes under, which never happened until oversized-built properties and no permit Apartment raised driveway pitched to the rear not to front Plum Grove Rd. , No place for water to go and soak in.

Would like to be a great neighbor! Sorry to the neighbor of 212, they did not build the house. I want to work together with neighbors and that was the way when I moved here and have been here since 1976. Some great changes and some great money-making for the Village. Then the hell with those properties trying to keep it together.

Is there any more Commonsense !!!

Thanks for Your Concern,

Kim Adams

Attachment: Neighbor Objection Letter - Adams (212 S. Bothwell Street - VAR Lot Coverage)

PUBLIC NOTICE
 A Public Hearing will be held before the Palatine Zoning Board of Appeals on Tuesday, July 26, 2022 at 7 PM, in the Village Council Chambers at Palatine Village Hall, 200 E. Wood Street, relative to a request for the following:
Variation to permit lot coverage to be 55%, instead of the maximum permitted 45%.
 The property is commonly known as 212 S. Bothwell Street.
 The Petitioner is proposing to replace and expand a deck in the rear yard of the Subject Property. The proposed deck will add approximately 80 square feet to the total existing lot coverage, increasing the total lot coverage from 53%, to approximately 55%.
 The above petition has been filed by Kristen Tyree and is available for examination in the office of the Village Clerk, 200 E. Wood Street.
 FILE #: 22-26
 VILLAGE OF PALATINE
 Jan Wood, Chair
 Palatine Zoning Board of Appeals
 DATED: This 11th day of July, 2022
 Published in Daily Herald July 11, 2022 (4585343)

CERTIFICATE OF PUBLICATION

Paddock Publications, Inc.

Northwest Suburbs **Daily Herald**

Corporation organized and existing under and by virtue of the laws of the State of Illinois, DOES HEREBY CERTIFY that it is the publisher of the **Northwest Suburbs DAILY HERALD**. That said **Northwest Suburbs DAILY HERALD** is a secular newspaper, published in Arlington Heights and has been circulated daily in the Village(s) of: Arlington Heights, Barrington, Barrington Hills, Bartlett, Buffalo Grove, Deer Park, Des Plaines, Elk Grove, Franklin Park, Glenview, Hanover Park, Hoffman Estates, Inverness, Melrose Park, Morton Grove, Mt Prospect, Niles, Northbrook, Northfield, Northlake, Palatine, Park Ridge, Prospect Heights, River Grove, Rolling Meadows, Rosemont, Schaumburg, Schiller Park, South Barrington, Streamwood, Wheeling, Wilmette

County(ies) of Cook
 and State of Illinois, continuously for more than one year prior to the date of the first publication of the notice hereinafter referred to and is of general circulation throughout said Village(s), County(ies) and State.

I further certify that the Northwest Suburbs DAILY HERALD is a newspaper as defined in "an Act to revise the law in relation to notices" as amended in 1992 Illinois Compiled Statutes, Chapter 715, Act 5, Section 1 and 5. That a notice of which the annexed printed slip is a true copy, was published 07/11/2022 in said Northwest Suburbs DAILY HERALD.

IN WITNESS WHEREOF, the undersigned, the said PADDOCK PUBLICATIONS, Inc., has caused this certificate to be signed by, this authorized agent, at Arlington Heights, Illinois.

PADDOCK PUBLICATIONS, INC.
 DAILY HERALD NEWSPAPERS

BY *Daula Baltz*
 Designee of the Publisher and Officer of the Daily Herald

Control # 4585343

Attachment: Public Notice (212 S. Bothwell Street - VAR Lot Coverage)

VILLAGE OF PALATINE
Zoning Board of Appeals

SCHEDULED 07/26/22 07:00 PM

CASE STAFF STATEMENT (ID # 7758)

936 S. Mallard Court

TO: Palatine Zoning Board of Appeals
Jan Wood, Chair

FROM: Alex Bradshaw

PETITIONER: Andrew & Katie Hellman

CASE NUMBER: 22-28

ADDRESS: 936 S. Mallard Court

PROPOSAL:

Special Use to permit an addition to be set back 21 feet from the rear lot line, instead of the minimum required 45 feet.

LOCATION: 936 S. Mallard Court District 2 (Lamerand)	CURRENT ZONING: R-1B Single-Family Residential
--	--

SURROUNDING CONDITIONS:

North:	R-1B Single-Family Residential
South:	R-1B Single-Family Residential
East:	R-1B Single-Family Residential
West:	R-1A Single-Family Residential

BACKGROUND:

The Petitioners are proposing to construct a 205 square foot sunroom addition that encroaches approximately 24 feet into the minimum required rear yard setback of 45 feet. The proposed addition will replace the existing deck off the rear of the residence. Therefore, the Petitioner is requesting approval of the following:

Special Use to permit an addition to be set back 21 feet from the rear lot line, instead of the minimum required 45 feet.

SITE ANALYSIS:

- The Subject Property is zoned R-1B Single Family and is part of the Hunting Ridge Unit No. 2 Subdivision.
- The Subject Property is approximately 14,500 sf. The lot currently consists of a two-story home that is existing non-conforming to the current required rear yard setback

for an R-1B zoned property.

- The Subject Property received an Administrative Variation for rear yard setback relief for the existing deck in 1992 (O-94-92). The Admin Variation granted a "Variation of eleven (11) feet to permit a **deck** to be fourteen (14) feet from the rear lot line...", which encroaches an additional seven (7) feet when compared to the pending setback reduction request.
- The existing residence is existing non-conforming, as the existing rear yard setback is 14 feet, instead of the required 45 feet. The proposed addition will not encroach into the either side yard setback.
- Staff has observed that the two immediately adjacent lots on South Mallard Court have rear yard setbacks similar, between 25 feet - 30 feet, to that which is proposed at the Subject Property.
- Per Code, both building and lot coverage are well under the maximum allowed percentage.
- The Petitioners have obtained signatures of consent from all immediately adjacent property owners.

DEPARTMENTAL REVIEWS:

Community Services	No Issues Identified.
Engineering	No Issues Identified.
Environmental Health	N/A
Fire Prevention	N/A
Public Works	N/A
Police	N/A

STANDARDS FOR SPECIAL USE: Since this Petition is not for a use publicly operated or traditionally affected with the public interest, those standards under Section 14.05 D (2) and (3) are applicable. Specifically, the Petitioners must show that the Special Use, if granted, is so designed, located, and proposed to be operated that the public health, safety, and welfare will be protected and will not cause substantial injury to the value of other property in the neighborhood in which it is located. The Petitioners have attempted to address the required standards.

STAFF RECOMMENDATION:

The Petitioners are proposing to construct a sunroom home addition off the rear of their existing residence. The Subject Property previously received relief for a rear yard setback reduction for the existing deck. The proposed addition has a smaller footprint and will be setback further from the rear lot line than the existing deck. Additionally, the

existing residence as a whole is existing non-conforming to the current required rear yard setback due to the unique layout of the residence on the lot.

Therefore, Staff recommends approval of the requested Special Use, subject to the following condition:

1. The Special Use shall substantially conform to the Site Plan and Elevations submitted by the Petitioners, Andrew & Katie Hellman, except as such plans may be changed to conform to the Village's Codes and Ordinances.

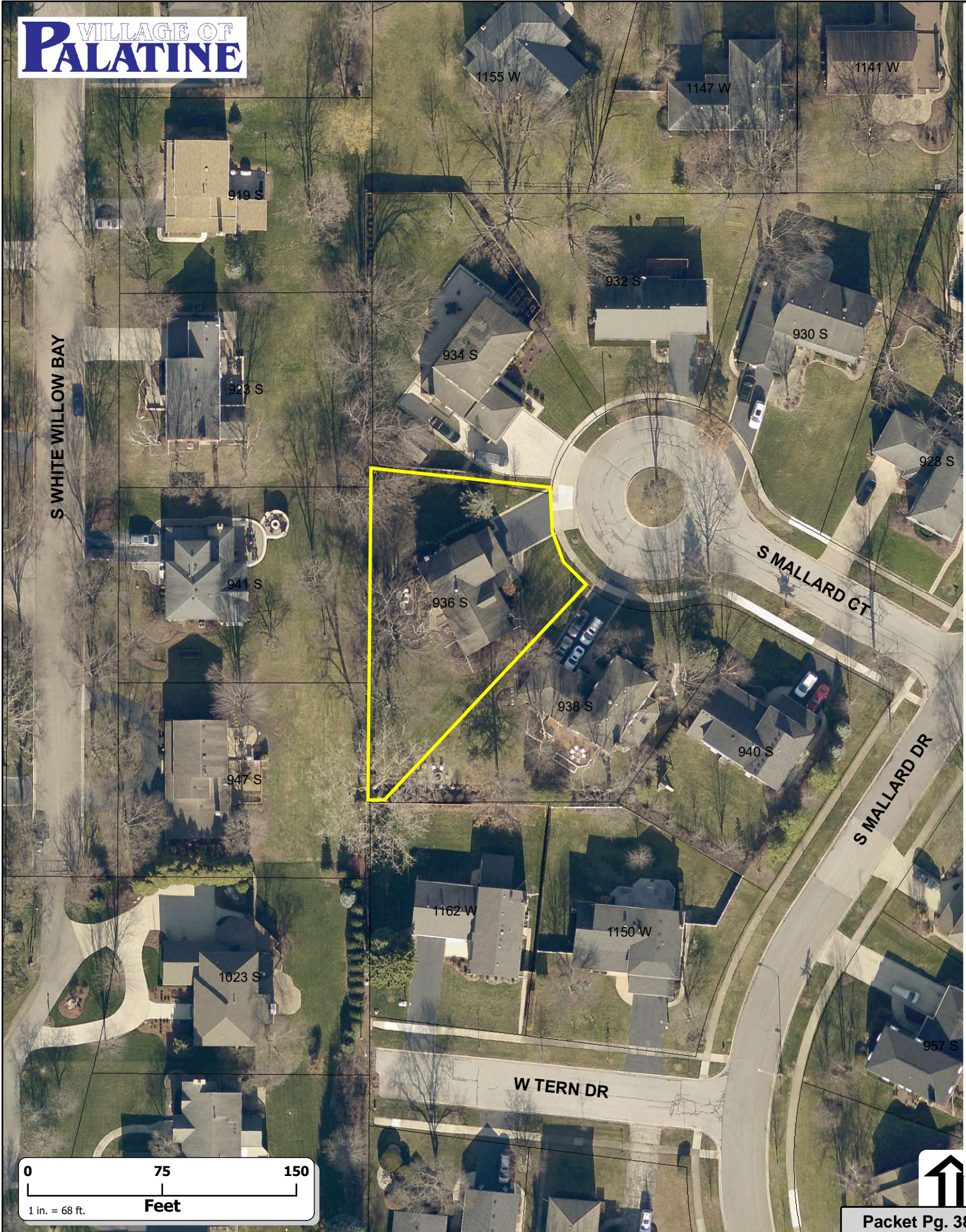
ATTACHMENTS:

- Aerial Map
- Application
- Plat of Survey - Site Plan
- Floor Plan
- Elevations
- Surrounding Property Owners Consent Letter
- Existing Conditions
- Public Notice

936 S. Mallard Court

3.2.a

VILLAGE OF
PALATINE



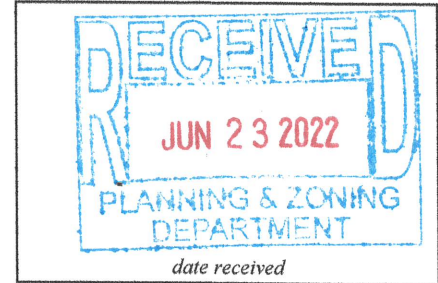
Attachment: Aerial Map (936 S. Mallard Court - SU Addition Setback Reduction)

VILLAGE OF PALATINE

SPECIAL USE & VARIATION APPLICATION

Department of Planning & Zoning
 200 E. Wood Street • Palatine, IL • 60067-5339
 Telephone: (847) 359-9047 • Fax (847) 963-6247

Office Use Only	Project Planner	Zoning Case #
	Filing Fee	Notification Deadline
	ZBA Public Hearing Date	Village Council Date



Background Information	PETITIONER(S)		Business Name (if applicable)	
	Andrew & Katie Hellman			
	Subject Property Address 936 S Mallard Ct			
	AUTHORIZED AGENT (if applicable)		Business Name (if applicable)	
	Timberbuilt Rooms			
	Address		City/State/Zip Code	
	841 Equity Drive, St. Charles, Illinois 60174			
	Telephone	Fax	Email	
	630-443-7100	630-443-7101	lwelbes@Timberbuiltrooms.com	
	Relationship to Petitioner (contractor, architect, etc.) Contractor			
TYPE OF APPLICATION (check one)				
<input checked="" type="checkbox"/> Special Use <input type="checkbox"/> Special Use Amendment <input type="checkbox"/> Variation				
Existing Zoning District		Existing Land Use	Proposed Land Use	
R1B		Deck 22' x 17'	Sunroom 12' x 17' x 12'	
Generally describe your request:				
The applicant is seeking a sunroom to built to the rear of the property. This sunroom will be 12 Ft deep and 17 Ft long and replacing the existing wood deck structure which is currently extends 22 feet away from the property structure and 17 feet long This new structure will reflect a smaller footprint extending from the house.				
Materials used will match the existing house siding color, and roof color as well to blend in with existing color and tone of house.				
This is a similar structure to that already approved and completed at 1037 Partridge Drive in Palatine. This project was approved and completed in April 2022.				
The property sits roughly 33 feet from the property line currently which is already under the 45 foot requirement, because of the property angle there is no point that would meet the 45 foot rule.				
Enclosed are pictures of our property, a floor plan, and a picture of what the structure will look like, not an exact rendering, as the color and roof will match existing home structure				
We are asking for an exception to the 45 foot rule between the house and the property line. We do not have 45 feet currently from the home to the lot line, and the current deck structure is 22 feet.				
The project would result in 10 additional feet of land between property line and home structure, this also is a betterment to the property resulting in greater property values.				

Attachment: Application (936 S. Mallard Court - SU Addition Setback Reduction)



SPECIAL USE

Required Materials

- Filing Fee of \$ 386.00
- Application Form
- Plat of Survey (must show all current improvements and be sealed by an Illinois certified surveyor)
- Site Plan & Floor plan (dimension, location, and setbacks of all existing and proposed buildings) – **one 11x17 copy each, electronic version preferred**
- Real Estate Interest Disclosure Form (see attached)
- Proof of Ownership or Lease (e.g. Title Insurance Policy, Deed, or Purchase Contract)
- Business Plan (if applicable; including, but not limited to nature of business, hours of operation, number of employees, and menu)

Additional Materials (as required by the Village)

- Elevation Plan (front, side, and rear elevations of a proposed building), and/or Floor Plan (proposed interior layout) – **one 11x17 copy of each plan, electronic versions preferred**
- Engineering Plans (must indicate existing conditions, topography, storm water management, tree preservation, utility connections, detention calculations, and a cost estimate)
- Photographs (e.g. ground-level or aerials)
- Other materials as deemed necessary by the Village

Petitioner Justification

The Petitioner is required to present specific evidence related to each of the following standards to justify the request (paraphrased from Section 14.05 of the Palatine Zoning Ordinance). Answer the items below and attach a separate sheet if necessary. ***If you are applying for a Variation only, you do not need to answer these items.***

1. The use is deemed necessary for the public convenience at that location

N/A

2. The use is designed, located, and proposed to be operated that the public health, safety and welfare will be protected

Yes

3. The use will not cause substantial injury to nearby property values

Correct, this would improve the value of the property resulting in higher property values in surrounding areas

4. With respect to live entertainment uses, the use shall not:

- a. Produce noise levels so great as to constitute an unreasonable interference for persons outside the confines of the establishment
- b. Impose undue health, sanitation or safety burdens on the village
- c. Create excessive demands on the Village of Palatine Police Department
- d. Be of a nature otherwise prohibited by law or village ordinance

5. For fence standards, see Section 14.05 of the Palatine Zoning Ordinance

This effort is for person use only and will not effect anything listed above.

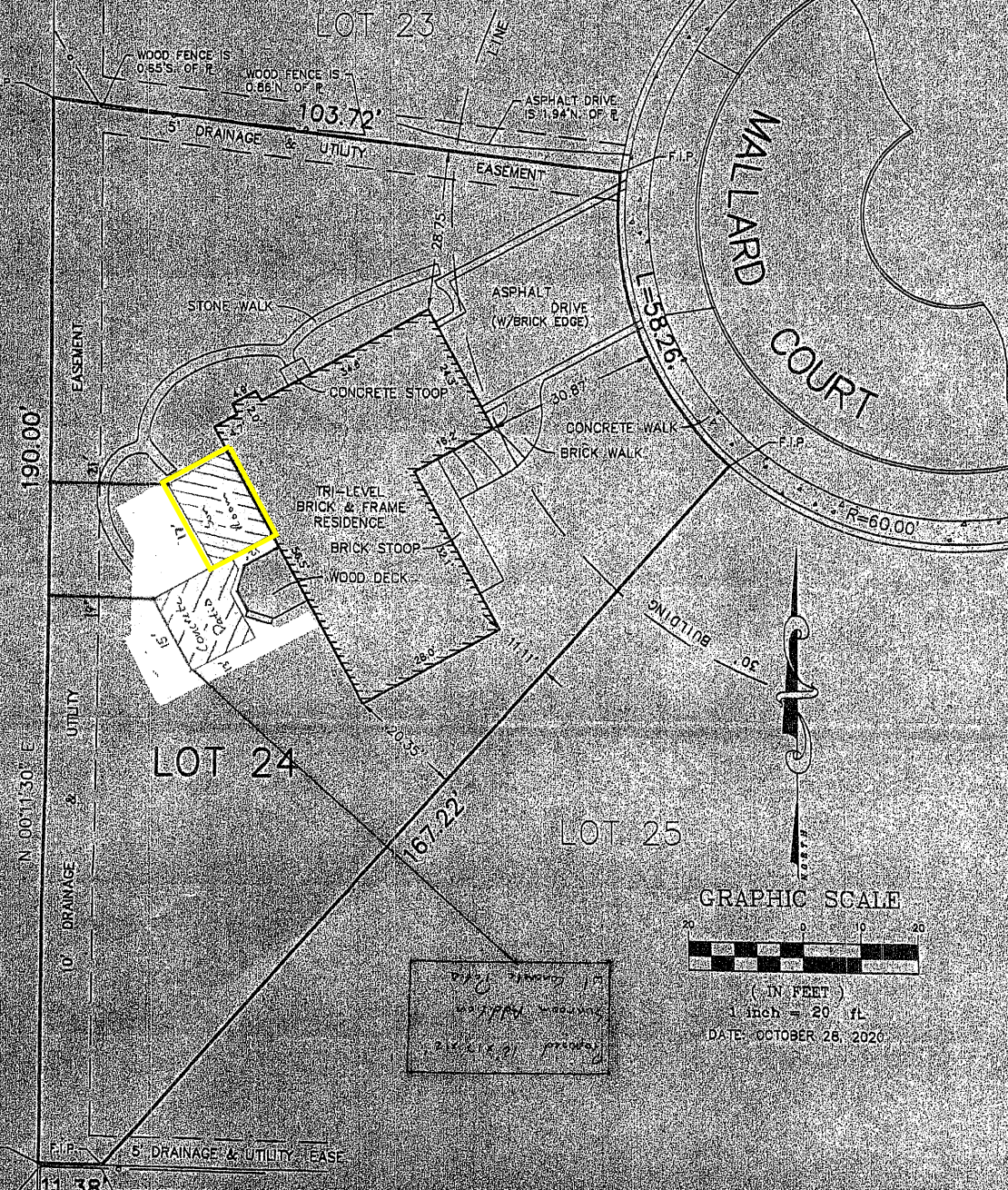
Attachment: Application (936 S. Mallard Court - SU Addition Setback Reduction)

PLAT OF SURVEY

ORDERED BY:
SUSAN J. KIM, LAW
21860 W. FIELD PARKWAY
SUITE 118
DEER PARK, IL 60010
PHONE: (847) 780-6404

LOT 24 IN BLOCK 5 IN HUNTING RIDGE UNIT 2, BEING A SUBDIVISION OF PART OF THE NORTHEAST QUARTER OF SECTION 28, TOWNSHIP 42 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS, ACCORDING TO THE PLAT THEREOF RECORDED IN THE RECORDER'S OFFICE OF COOK COUNTY, ILLINOIS, ON APRIL 14, 1969, AS DOCUMENT NO. 20808410, IN COOK COUNTY, ILLINOIS.

COMMONLY KNOWN AS: 936 MALLARD COURT, PALATINE, ILLINOIS 60067



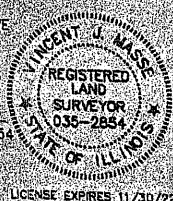
DATE: OCTOBER 26, 2020

Handwritten note:
1/2 acre of
residence
2/26/21

WOOD FENCE IS 1/40'E. OF CORNER
WOOD FENCE IS 0.60'S. OF CORNER

VINCENT J. MASSE, AN ILLINOIS REGISTERED LAND SURVEYOR, HEREBY CERTIFY THAT I HAVE SURVEYED THE ABOVE DESCRIBED PROPERTY, AND THAT THE PLAT ABOVE IS A CORRECT REPRESENTATION OF SAID SURVEY.

Vincent J. Masse
VINCENT J. MASSE II, LAND SURVEYOR # 2854
THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.
P.D.F. # 184-004041 LICENSE EXPIRES 11/30/22



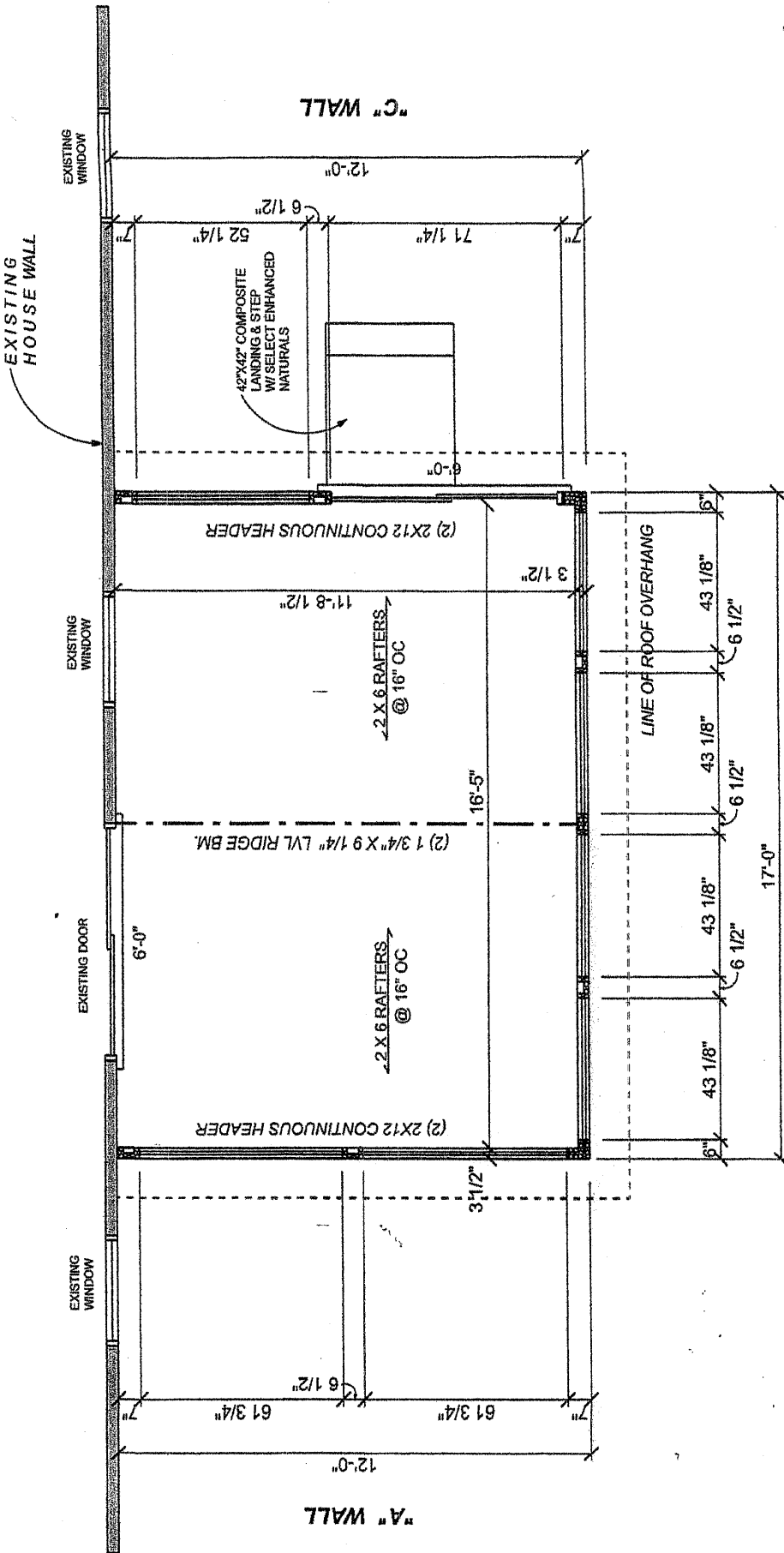
NOTES:

- COMPARE YOUR DESCRIPTION AND SITE MONUMENTS WITH THIS PLAT AT ONCE AND REPORT ANY DISCREPANCIES WHICH YOU MAY FIND.
- BUILDING LINE RESTRICTIONS AND EASEMENTS ARE SHOWN ONLY WHERE THEY ARE SO RECORDED IN THE SUBDIVISION PLAT OR ARE FURNISHED WITH THE ORDERED DESCRIPTION. REFER TO YOUR DEED, ABSTRACT AND/OR TITLE POLICY.
- ALL DIMENSIONS ARE SHOWN IN FEET AND DECIMAL PARTS THEREOF, AND ARE NOT TO BE ASSUMED BY SCALING.
- NO WELL OR SEPTIC IMPROVEMENTS SHOWN HEREON.
- THIS PLAT IS NOT CERTIFIED UNLESS A RED SEAL IS PRINTED HEREON.
- F.I.P. DENOTES FOUND IRON PIPE
- S.I.R. DENOTES SET IRON ROD
- S.P.R. DENOTES SET IRON ROD

CHAMBERLIN / MASSE
LAND SURVEYORS
14048 W. PETRONELLA DRIVE SUITE 102
LIBERTYVILLE, ILLINOIS 60040
PHONE: (847) 362-8444 crmasse.enr@gmail.com

DRAWN BY: DIB	JOB #: 220270	DRAWING #
CHECKED BY: V.J.M.	DATE: 10/27/20	1 OF 1

Attachment: Plat of Survey - Site Plan (936 S. Mallard Court - SU Addition Setback Reduction)



SUN ROOM FLOOR PLAN

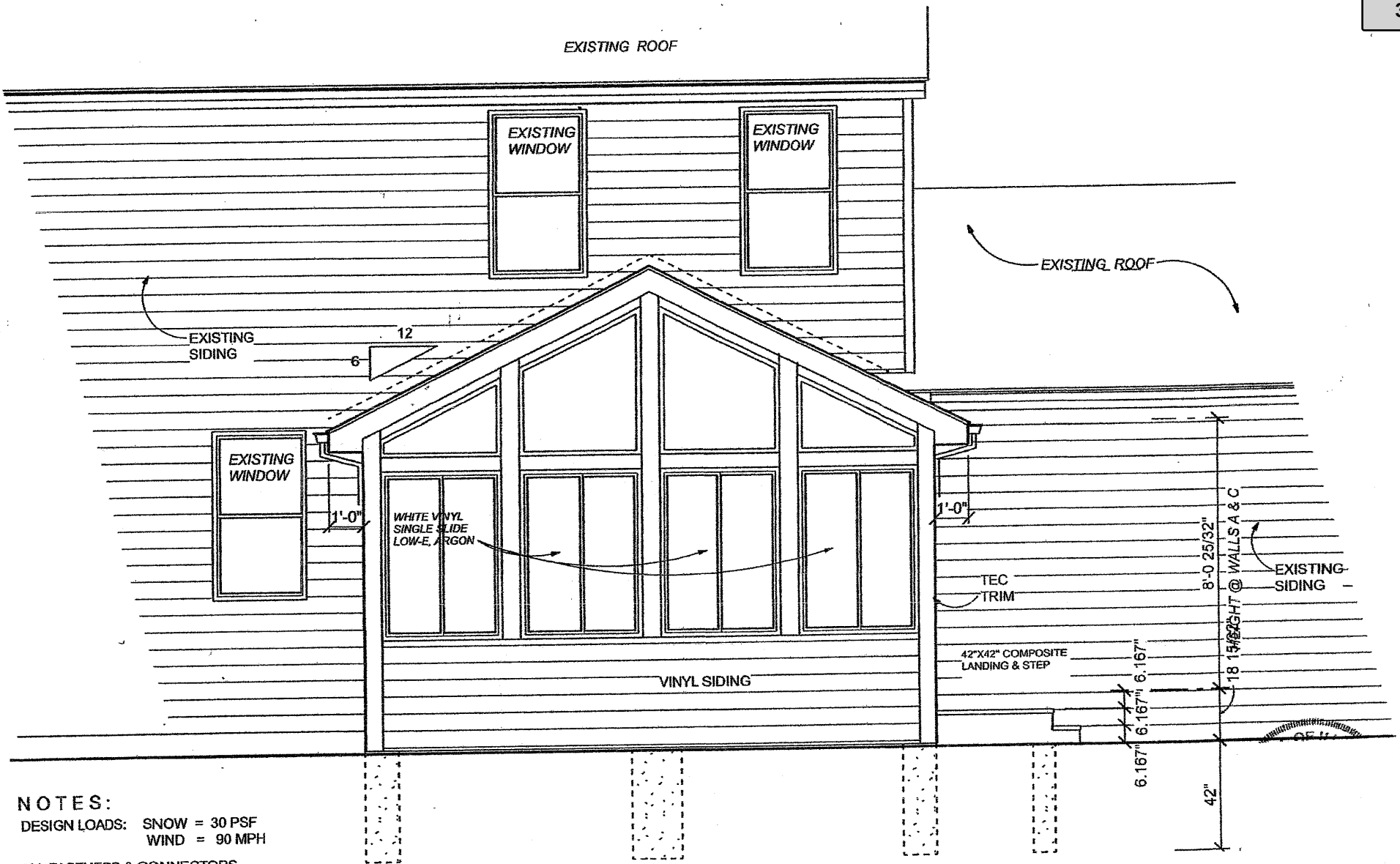
SCALE: 1/4" = 1'-0"

5

PROJECT:	REVISIONS:
DATE:	
DRAWN BY:	
CLOUD:	

First Floor Plan

TimberBuiltSM
Rooms
TimberBuilt, Inc.
44 Charles Street, Middleboro, MA 01948 Ph. (938) 443-7150



NOTES:
 DESIGN LOADS: SNOW = 30 PSF
 WIND = 90 MPH
 ALL FASTNERS & CONNECTORS
 TO BE HOT DIPPED GALVANIZED.
 ALL FLASHING TO BE AC2 APPROVED

Front Elevation
 SCALE: 1/4" = 1' - 0"



Front Elevation	

PROJECT:	REVISIONS:
DATE:	
DRAWN BY:	
CLOUD:	



Attachment: Elevations (936 S. Mallard Court - SU Addition Setback Reduction)


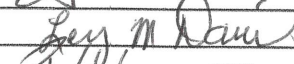
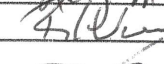

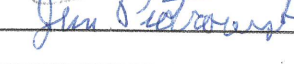


Attachment: Elevations (936 S. Mallard Court - SU Addition Setback Reduction)

Petition for Property Addition 936 S Mallard Ct Palatine IL

Thank you for considering our discussion. As the owners of 936 S Mallard Ct, we have decided to make an improvement to our property with the addition of a sun porch to the rear of the property. This structure will be 12 x 17 feet and will replace the lower deck area in the north rear of the property.

There is a zoning hearing that will take place on July 26th regarding the fact that zoning states there needs to be 45 feet between lot line and structure. In our case, we only have 33 feet and can't control the house placement nor changes to laws over 60+ years. Pictures of the like structure have been shown to homeowners that signed and either accepted or declined below. Addresses and signatures are captured. This petition will be provided to the Village of Palatine as supporting documentation for the hearing set for later this summer. We thank you for the discussion, time and consideration.

Print Name	Address	Agreed	Disagree	Signature
Caroline Gumbard	941 S. White Willow Bay	X		
Lesley Daniel	923 S White Willow Bay	X		
Ros Volesosky	947 S White Willow Bay	X		
Pavel Casel	939 S Mallard Ct	X		
Jim Piotrowski	938 S. MALLARD CT	X		

Attachment: Surrounding Property Owners Consent Letter (936 S. Mallard Court - SU Addition Setback Reduction)



Attachment: Existing Conditions (936 S. Mallard Court - SU Addition Setback Reduction)



Attachment: Existing Conditions (936 S. Mallard Court - SU Addition Setback Reduction)



Attachment: Existing Conditions (936 S. Mallard Court - SU Addition Setback Reduction)

PUBLIC NOTICE
A Public Hearing will be held before the Palatine Zoning Board of Appeals on Tuesday, July 26, 2022 at 7 PM, in the Village Council Chambers at Palatine Village Hall, 200 E. Wood Street, relative to a request for the following:
Special Use to permit a packaged liquor store.
The property is commonly known as 1565 N. Quentin Road.
The Petitioner is proposing to open a new packaged liquor store, Inverness Wine & Spirits.
The above petition has been filed by Munir Rafidia and is available for examination in the office of the Village Clerk, 200 E. Wood Street.
FILE #: 22-29
VILLAGE OF PALATINE
Jan Wood, Chair
Palatine Zoning Board of Appeals
DATED: This 11th day of July, 2022
Published in Daily Herald July 11, 2022 (4585346)

CERTIFICATE OF PUBLICATION

Paddock Publications, Inc.

Northwest Suburbs Daily Herald

Corporation organized and existing under and by virtue of the laws of the State of Illinois, DOES HEREBY CERTIFY that it is the publisher of the **Northwest Suburbs DAILY HERALD**. That said **Northwest Suburbs DAILY HERALD** is a secular newspaper, published in Arlington Heights and has been circulated daily in the Village(s) of: Arlington Heights, Barrington, Barrington Hills, Bartlett, Buffalo Grove, Deer Park, Des Plaines, Elk Grove, Franklin Park, Glenview, Hanover Park, Hoffman Estates, Inverness, Melrose Park, Morton Grove, Mt Prospect, Niles, Northbrook, Northfield, Northlake, Palatine, Park Ridge, Prospect Heights, River Grove, Rolling Meadows, Rosemont, Schaumburg, Schiller Park, South Barrington, Streamwood, Wheeling, Wilmette

County(ies) of Cook
and State of Illinois, continuously for more than one year prior to the date of the first publication of the notice hereinafter referred to and is of general circulation throughout said Village(s), County(ies) and State.

I further certify that the Northwest Suburbs DAILY HERALD is a newspaper as defined in "an Act to revise the law in relation to notices" as amended in 1992 Illinois Compiled Statutes, Chapter 715, Act 5, Section 1 and 5. That a notice of which the annexed printed slip is a true copy, was published 07/11/2022 in said Northwest Suburbs DAILY HERALD.

IN WITNESS WHEREOF, the undersigned, the said PADDOCK PUBLICATIONS, Inc., has caused this certificate to be signed by, this authorized agent, at Arlington Heights, Illinois.

PADDOCK PUBLICATIONS, INC.
DAILY HERALD NEWSPAPERS

BY *Daula Baltz*
Designee of the Publisher and Officer of the Daily Herald

Control # 4585346

Attachment: Public Notice (936 S. Mallard Court - SU Addition Setback Reduction)

VILLAGE OF PALATINE
Zoning Board of Appeals

SCHEDULED 07/26/22 07:00 PM

CASE STAFF STATEMENT (ID # 7721)

1835 N. Laurel Drive

TO: Palatine Zoning Board of Appeals
Jan Wood, Chair

FROM: Alex Bradshaw

PETITIONER: Dennis Galang

CASE NUMBER: 22-27

ADDRESS: 1835 N. Laurel Drive

PROPOSAL:
Special Use to permit a fence in the required front yard.

LOCATION: 1835 N. Laurel Drive District 4 (Solberg)	CURRENT ZONING: R-2 Single-Family
---	--

SURROUNDING CONDITIONS:

North:	R-2 Single-Family Residential
South:	R-2 Single-Family Residential
East:	R-2 Single-Family Residential
West:	R-2 Single-Family Residential

BACKGROUND:

The Petitioner is proposing to expand an existing 6 foot tall solid wood fence to enclose a portion of the required front and interior side yard. The portion of the proposed fence abutting Aster Avenue will have a minimum setback of approximately 8 feet from the front lot line. Therefore, the Petitioner is requesting approval of the following:

Special Use to permit a fence in the required front yard.

SITE ANALYSIS:

- The Subject Property is zoned R-2 Single-Family and part of the Pinehurst Manor Unit One Subdivision. The Subject Property is approximately 10,030 sf, located at the SE corner of the Laurel Drive and Aster Avenue intersection.
- The Subject Property contains a single-family residence and an approximately 155 sf frame shed in the southwest corner of the lot. There is also an existing six 6 foot tall solid fence enclosing the required interior side and rear yards

- The Petitioner is proposing to expand an existing 6 foot solid wood fence to enclose a portion of the required front and interior side yard. The portion of the proposed fence abutting Aster Avenue will be set back a minimum of 8 feet from the front lot line, and will connect back to the northwest corner of the residence.
- The proposed fence abuts a portion of the 30 foot front yard of the adjacent neighbor to the east, 855 E. Aster Avenue.
- Per the submitted application, the proposed fence will provide additional security and limit passersby from cutting through the Subject Property's front yard.
- Per the submitted application, the Petitioner provided a list of comparable fences on properties within the surrounding neighborhood. All fences listed are either existing non-conforming or were permitted as a fence in a side yard abutting a street.

DEPARTMENTAL REVIEWS:

Community Services	No Issues Identified.
Engineering	No Issues Identified.
Environmental Health	N/A
Fire Prevention	N/A
Public Works	N/A
Police	N/A

STANDARDS FOR SPECIAL USE: Since this Petition is not for a use publicly operated or traditionally affected with the public interest, those standards under Section 14.05 D (2) and (3) are applicable. Specifically, the Petitioners must show that the Special Use, if granted, will be operated in a manner consistent with the public health, safety, and welfare, and that the Special Use will not have a negative impact on the value of surrounding properties. The Petition for a Special Use is attached, and the Petitioners have attempted to address the required standards.

- (5) With respect to front yard fencing and fencing in a rear yard/side yard abutting a street, the following additional standards must be met:
- Will meet the following aesthetic criteria:
 - Will not destroy existing vistas in the area;
 - Will enhance the appearance of the homes and the streets in the area; and
 - Will not detract from the overall appearance of the community; or
 - The fencing is found to be necessary to protect private property or the safety of the inhabitants of the property.

STAFF RECOMMENDATION:

The Petitioner is proposing to expand an existing fence to enclose a portion of the Subject Property's required front yard. As the existing fence is in poor condition, the proposal will enhance the appearance of the home. Also, the addition of landscaping along the fence line, between the fence and the sidewalk, will provide an effective buffer and an enhanced vista to the area.

Staff understands that there are comparable front yard fences in the area. However, all of the examples that were compiled by the Petitioner are existing non-conforming fences with smaller setbacks from the lot line, and are without landscaping. Therefore, Staff recommends action at the discretion of the Zoning Board of Appeals for the proposed Special Use. If the Special Use is approved, Staff recommends the following condition:

1. The Special Use shall substantially conform to the Site Plan and Elevations submitted by the Petitioner, Dennis Galang, except as said plans may be changed to conform to the Village's Codes and Ordinances.

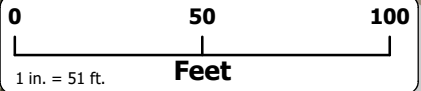
ATTACHMENTS:

- Aerial Map
- Application
- Plat of Survey
- Site Plan
- Neighbor Objection Letter - Antoniou
- Public Notice

1835 N. Laurel Drive



Attachment: Aerial Map (1835 N. Laurel Drive - SU Fence)

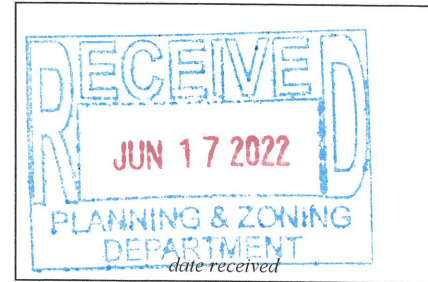


VILLAGE OF PALATINE

ADMINISTRATIVE SPECIAL USE & VARIATION APPLICATION

Department of Planning & Zoning
200 E. Wood Street · Palatine, IL · 60067-5339
Telephone: (847) 359-9047 · Fax (847) 963-6247

Office Use Only	Project Planner	Zoning Case #
	Filing Fee	Notification Deadline
	ZBA Public Hearing Date	Village Council Date



Background Information	PETITIONER(S)		Business Name (if applicable)	
	Dennis Galang			
	Subject Property Address 1835 N. Laurel Drive			
	AUTHORIZED AGENT (if applicable)		Business Name (if applicable)	
	Address		City/State/Zip Code	
	Telephone	Fax	Email	
	Relationship to Petitioner (contractor, architect, etc.)			
	TYPE OF APPLICATION (check one)			
	<input checked="" type="checkbox"/> Special Use <input type="checkbox"/> Special Use Amendment <input type="checkbox"/> Variation			
	Existing Zoning District	Existing Land Use	Proposed Land Use	
Generally describe your request:				
Locate new 6' high fence within the front yard along Aster Avenue. At its closest point, fence will be setback 8' from the front line.				
The proposed fence on the new location will provide additional security and peace of mind to homeowners.				
Additionally, homeowners can put in place a play area for children within the property having privacy and security.				
With the current layout, homeowners are unable to control random individual roaming around the open space next to the 2 children's bedrooms and family room.				
Public safety & convenience will not be affected on the proposed request.				

Attachment: Application (1835 N. Laurel Drive - SU Fence)



Administrative Special Use

Required Materials

- Filing Fee of \$ _____
- Application Form
- Plat of Survey (must show all current improvements and be sealed by an Illinois certified surveyor)
- Site Plan & Floor plan (dimension, location, and setbacks of all existing and proposed buildings) – **one 11x17 copy each, electronic version preferred**
- Real Estate Interest Disclosure Form (see attached)
- Proof of Ownership or Lease (e.g. Title Insurance Policy, Deed, or Purchase Contract)

Additional Materials (as required by the Village)

- Elevation Plan (front, side, and rear elevations of a proposed building), and/or Floor Plan (proposed interior layout) – **one 11x17 copy of each plan, electronic versions preferred**
- Engineering Plans (must indicate existing conditions, topography, storm water management, tree preservation, utility connections, detention calculations, and a cost estimate)
- Photographs (e.g. ground-level or aerials)
- Other materials as deemed necessary by the Village

Petitioner Justification

The Petitioner is required to present specific evidence related to each of the following standards to justify the request (paraphrased from Section 14.05 of the Palatine Zoning Ordinance). Answer the items below and attach a separate sheet if necessary. ***If you are applying for a Variation only, you do not need to answer these items.***

1. The use is deemed necessary for the public convenience at that location
Public convenience will not be affected.

2. The use is designed, located, and proposed to be operated that the public health, safety and welfare will be protected
Yes, public and homeowners safety and welfare will be protected.
Professional license contractor will perform the job.

The proposed request will provide additional security and peace of mind to homeowners.

3. The use will not cause substantial injury to nearby property values
Correct, no impact to nearby properties.

Similar properties around the neighborhood has similar structure. Please see exhibit 1 for list of home address with similar structure and layout within Pinehurst manor.

4. With respect to live entertainment uses, the use shall not:
 - a. Produce noise levels so great as to constitute an unreasonable interference for persons outside the confines of the establishment
 - b. Impose undue health, sanitation or safety burdens on the village
 - c. Create excessive demands on the Village of Palatine Police Department
 - d. Be of a nature otherwise prohibited by law or village ordinance
5. For fence standards, see Section 14.05 of the Palatine Zoning Ordinance
Proposed request will provide protection to property .Provide safety and privacy to homeowners. It will not destroy or detract the overall appearance of the community.

It will enhance the appearance of home. Similar properties(exhibit 1)within community have identical layout and similar materials were used.. Please reference exhibit 2 for the proposed material to be used.

Attachment: Application (1835 N. Laurel Drive - SU Fence)

Exhibit 1	
1	1014 E Capri Dr.
2	842 E. Aster Ave.
3	1020 E. Lily Ln.
4	828 E. Lily Ln.
5	1936 N. Ivy Pl
6	800 E. Marshall Ct.
7	803 Marshall Ct.
8	2103 N. Westmoreland Dr.
9	947 E. Aster Ave.
10	1937 N. Capri Dr.

Attachment: Application (1835 N. Laurel Drive - SU Fence)

Exhibit 2.

Red cedar 6 feet high with steel post.



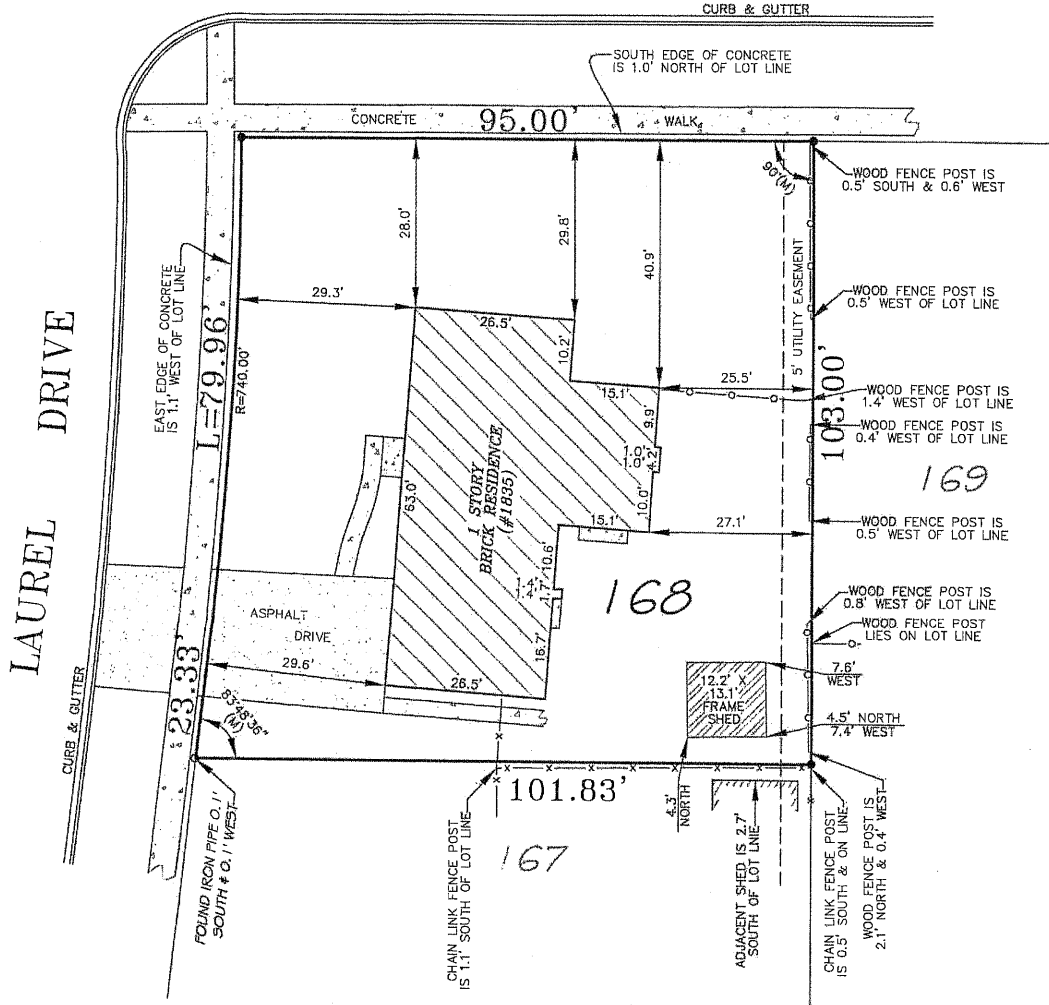
Attachment: Application (1835 N. Laurel Drive - SU Fence)

PLAT OF SURVEY

OF

LOT 168 IN PINEHURST MANOR UNIT NO. 1, BEING A SUBDIVISION IN SECTION 1, TOWNSHIP 42 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED APRIL 29, 1964 AS DOCUMENT 19112927 IN COOK COUNTY, ILLINOIS.

ASTER AVENUE



LEGEND

(R/M) - RECORD / MEASURED AREA = 10,029 SQ. FT.
 L - ARC LENGTH MORE OR LESS
 R - RADIUS
 CH - CHORD

PREPARED FOR: GIESLA & PEARSE, PC. (ATTORNEYS AT LAW)
 JOB ADDRESS: 1835 N. LAUREL DR., PALATINE, IL
 SELLER/BUYER: ZAPLAN / GALANG
 JOB NO.: 21-12-0095

NEKOLA SURVEY, INC.

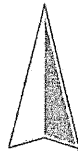
PROFESSIONAL LAND SURVEYING SERVICES
 WWW.NEKOLASURVEY.COM
 400 N. SCHMIDT RD., STE. 203
 BOLINGBROOK, ILLINOIS 60440
 (630) 226-1530 PHONE (630) 226-1430 FAX
 DESIGN FIRM NO. 184.005564

☐ - "X" IN BOX INDICATES THE HEREON DRAWN PLAT WAS ORDERED AS A NON MONUMENTED SURVEY.

NO IMPROVEMENTS SHOULD BE MADE ON THE BASIS OF THIS PLAT ALONE. FIELD MONUMENTATION OF CRITICAL POINTS SHOULD BE ESTABLISHED PRIOR TO COMMENCEMENT OF ANY AND ALL CONSTRUCTION. FOR BUILDING LINES, EASEMENTS AND OTHER RESTRICTIONS NOT SHOWN HEREON REFER TO YOUR DEED, ABSTRACT, TITLE POLICY, CONTRACTS AND LOCAL BUILDING AND ZONING ORDINANCES. FENCE LOCATIONS ARE MADE TO CENTER OF POSTS UNLESS OTHERWISE NOTED.

NOTE:
 SET IRON PIPE @ ALL LOT CORNERS, UNLESS OTHERWISE NOTED.

NOTE:
 SOME GROUND IMPROVEMENTS MAY NOT BE SHOWN DUE TO SNOW COVER.



NORTH
 SCALE: 20'



FIELD WORK COMPLETED ON THE 3RD DAY OF JANUARY, 2022.

(STATE OF ILLINOIS)
 (COUNTY OF WILL) SS

NEKOLA SURVEY INC. DOES HEREBY CERTIFY THAT IT HAS SURVEYED THE TRACT OF LAND ABOVE DESCRIBED, AND THAT THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.

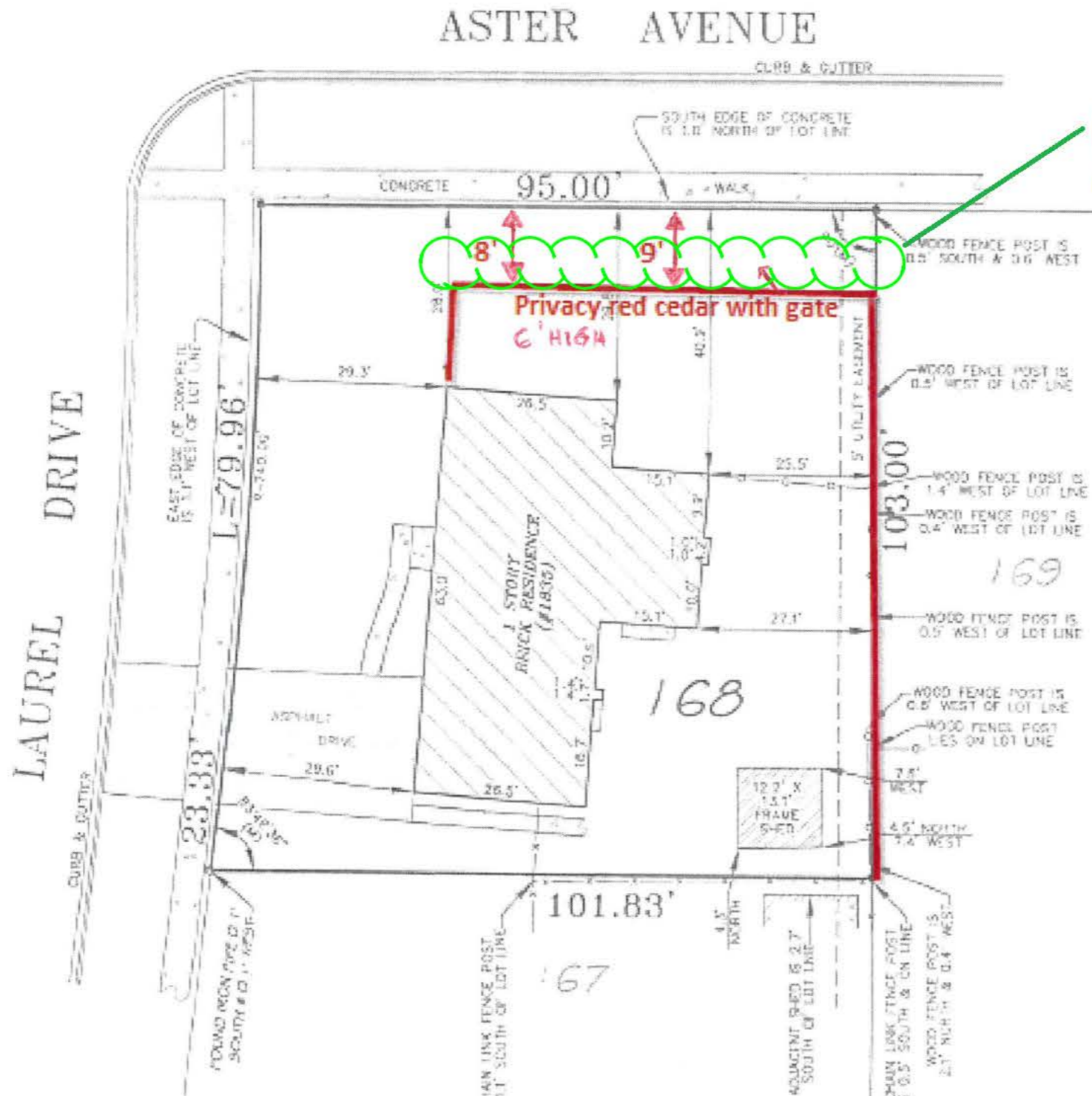
DATED THIS 4TH DAY OF JANUARY, 2022.

Wayne W. Nekola
 IPLS No. 2923

LICENSE RENEWAL DATE: 30 NOVEMBER 2022.

© COPYRIGHT NEKOLA SURVEY INC. 2022 "ALL RIGHTS RESERVED"

Attachment: Plat of Survey (1835 N. Laurel Drive - SU Fence)



Propose landscaping in the area between the proposed fence and the property line.

July 21, 2022

Alex Bradshaw

Palatine Planning and Zoning Board

RE: Special Use Permit approval for improvements at 1835 N. Laurel Drive

Members of the Planning and Zoning Board,

My name is Nancy Antoniou. I own the home located at 855 E. Aster Ave., and am the next door neighbor of the Mr. Galang, the homeowner requesting the special use permit for property improvements at the address referenced above. I am one of the few original homeowners left in the Pinewood Manor subdivision, having built the house in 1965. I have lived in this house ever since.

Over the years, I have seen several families come and go from Mr. Galang's house. During this time, one of the homeowners worked together with me and my family to design a fence they would build between the two properties that was of an agreeable height and length, maintaining an aesthetic and safety that we felt was proper for our driveway access, yet still offering them the privacy they wanted to achieve. Recently, that fence has fallen into disrepair, prompting conversation with Mr. Galang on how to rectify the situation. During this conversation, it became clear that Mr. Galang was not aware that the fence was on his property and was his responsibility. Since the fence was not salvageable, we discussed with Mr. Galang some options that might be agreeable to both parties, just as we did with the previous homeowner that built the fence. These options centered around fencing that maintained the aesthetic and safety that we required, but still offered the privacy they were certainly entitled. It was our understanding that one of these options would likely be chosen. Needless to say, we were surprised when we saw the proposed plan, with the significantly larger fence and extended fence line.

We have some concerns about the proposed fence, as follows:

1. As you have probably seen from the neighborhood layout, the side yard and the backyard of the property at 1835 North Laurel borders the west side of my property and the FRONT of my property. This means that the property line runs parallel to my driveway. It is always a safety concern when trying to back out of my driveway, as my line of sight to view most of the traffic coming into the neighborhood is over the side yard of my neighbor. The proposed fence (and landscaping) enhancement is going to severely obstruct this line of sight. As I back out of my driveway, the back of my vehicle will reach the sidewalk prior to me being able to have a line of sight on to the sidewalk **for any type of pedestrian traffic**. This is an unnecessary safety concern.
2. Although I realize that the proposed fence is meant to allow for the residents in 1835 North Laurel to have more of a private yard, it will obstruct the front yard of our property at 855 E.

Aster Avenue. I believe the ordinance for fencing for 2022 states that a fence cannot protrude into the front yard past the property line. In this case, it would most certainly protrude into the front yard of our property.

3. Aesthetics is another concern. The proposed fence is of significant size, and I will be the neighbor who is most greatly impacted by the view and appearance of this fence in relation to my property. Due to the fence extending well beyond my front property line, it will create a large fenced in area on the side of the house where I park my car and access my home. Any past fencing was never more than 4 feet high in this area, and did not extent past the front of my house. This proposed fence creates an aesthetic that is not acceptable, as well as a safety concern since it presents an opportunity for someone to conceal themselves to avoid my detection when coming and going from my home.

If there is any doubt about the concerns I have presented, I invite you to take a visual trip off of Old Hicks Road into the neighborhood, and travel east on Aster Avenue past the home at 1835 North Laurel towards my home. It should give you a great visual and a feel for the aesthetic issues a proposed fence of this size will present. The fence would be one of the first things you will see as you enter the Pinewood Manor subdivision off of Old Hicks Road, not the beauty of the street itself.

I respectfully ask that you review these issues in detail, and I thank you for your time and consideration of this matter.

Nancy W. Antoniou

855 E. Aster Avenue

PUBLIC NOTICE
 A Public Hearing will be held before the Palatine Zoning Board of Appeals on Tuesday, July 26, 2022 at 7 PM, in the Village Council Chambers at Palatine Village Hall, 200 E. Wood Street, relative to a request for the following:
Special Use to permit a fence in the required front yard.
 The property is commonly known as 1835 N. Laurel Drive.
 The Petitioner is proposing to expand an existing six (6) foot solid wood fence to enclose a portion of the required front and interior side yard. The portion of the proposed fence abutting E. Aster Avenue will have a minimum setback of approximately eight (8) feet from the front lot line.
 The above petition has been filed by Dennis Galang and is available for examination in the office of the Village Clerk, 200 E. Wood Street.
 FILE #: 22-27
 VILLAGE OF PALATINE
 Jan Wood, Chair
 Palatine Zoning Board of Appeals
 DATED: This 11th day of July, 2022
 Published in Daily Herald July 11, 2022 (4585347)

CERTIFICATE OF PUBLICATION

Paddock Publications, Inc.

Northwest Suburbs **Daily Herald**

Corporation organized and existing under and by virtue of the laws of the State of Illinois, DOES HEREBY CERTIFY that it is the publisher of the **Northwest Suburbs DAILY HERALD**. That said **Northwest Suburbs DAILY HERALD** is a secular newspaper, published in Arlington Heights and has been circulated daily in the Village(s) of: Arlington Heights, Barrington, Barrington Hills, Bartlett, Buffalo Grove, Deer Park, Des Plaines, Elk Grove, Franklin Park, Glenview, Hanover Park, Hoffman Estates, Inverness, Melrose Park, Morton Grove, Mt Prospect, Niles, Northbrook, Northfield, Northlake, Palatine, Park Ridge, Prospect Heights, River Grove, Rolling Meadows, Rosemont, Schaumburg, Schiller Park, South Barrington, Streamwood, Wheeling, Wilmette

County(ies) of Cook
 and State of Illinois, continuously for more than one year prior to the date of the first publication of the notice hereinafter referred to and is of general circulation throughout said Village(s), County(ies) and State.

I further certify that the Northwest Suburbs DAILY HERALD is a newspaper as defined in "an Act to revise the law in relation to notices" as amended in 1992 Illinois Compiled Statutes, Chapter 715, Act 5, Section 1 and 5. That a notice of which the annexed printed slip is a true copy, was published 07/11/2022 in said Northwest Suburbs DAILY HERALD.

IN WITNESS WHEREOF, the undersigned, the said PADDOCK PUBLICATIONS, Inc., has caused this certificate to be signed by, this authorized agent, at Arlington Heights, Illinois.

PADDOCK PUBLICATIONS, INC.
 DAILY HERALD NEWSPAPERS

BY *Daula Baltz*
 Designee of the Publisher and Officer of the Daily Herald

Control # 4585347

Attachment: Public Notice (1835 N. Laurel Drive - SU Fence)

VILLAGE OF PALATINE
Zoning Board of Appeals

SCHEDULED 07/26/22 07:00 PM

CASE STAFF STATEMENT (ID # 7728)

16 N Brockway Street

TO: Palatine Zoning Board of Appeals
Jan Wood, Chair

FROM: Lyn Bremanis

PETITIONER: Tony DeFlippis, Pizza Bella

CASE NUMBER: 22-13

ADDRESS: 16 N. Brockway Street

PROPOSAL:

Special Use to permit a restaurant with a local liquor license, pursuant to Section 11.02 (d) (19) of the Palatine Zoning Ordinance;

Variation to permit 230 square feet of total signage, instead of the permitted 75 square feet, pursuant to Section 8.03 (a) (3) of the Palatine Zoning Ordinance;

Variation to permit painted signs on the south elevation of the building, pursuant to Section 8.01 (e) (3) of the Palatine Zoning Ordinance; and

Variation to permit signage to face the side yard, pursuant to Section 8.01 (e) (8) of the Palatine Zoning Ordinance.

<u>LOCATION:</u> 16 N Brockway St District 6 (Helms)	<u>CURRENT ZONING:</u> B-1 Shopping Center District
--	---

SURROUNDING CONDITIONS:

North:	B-1 Shopping Center District
South:	Planned Development (Palatine Bank and Trust)
East:	B-1 Shopping Center District
West:	B-1 Shopping Center District

BACKGROUND:

The Subject Property was previously occupied by Zimmer Hardware (which closed in 2019). The Petitioner has purchased the property and is proposing to relocate the

existing Pizza Bella Restaurant from Northwest Highway to the Subject Property. The proposed restaurant will offer seating, take-out and delivery, as well as liquor service. As part of the proposal, there will be a walk-up window facing Brockway Street. In addition to signage on the front of the building, the Petitioner is also proposing some mural style signage on the side of the building. Therefore the Petitioner is requesting approval of the following:

Special Use to permit a restaurant with a local liquor license;

Variation to permit 230 square feet of total signage, instead of the permitted 75 square feet; and

Variation to permit painted signs on the south elevation of the building and to allow signage to face the side yard.

SITE ANALYSIS:

- The Subject Property is zoned B-1 Shopping Center District and is located within Palatine's Central Business District.
- The proposal is a sit down and take-out pizza restaurant (with liquor service) and will contain 82 seats.
- The proposed hours of operation are:
 - Monday - Thursday 10 AM - 10 PM
 - Friday - Saturday 10 AM - 12 AM
 - Sunday 10 AM - 9 PM
- The building contains three floors totaling 7,895 square feet. The lower level (2,360 square feet) would contain food storage and preparation areas. The main floor would contain the seating area and kitchen (3,885 square feet). The Petitioner is not proposing to make any changes to the second floor (1,650 square feet) and use it solely as storage.
- The business plan indicates there will be 10-15 total employees with approximately 40 seats being utilized at a time. The business model forecasts 30% dine in and 70% delivery/take-out.
- Per the Zoning Ordinance, 52 parking spaces are required for this use with the first floor restaurant (1/100) and the lower level and second floor (1/300). The Subject Property is located in the Central Business District and allows for the required parking to be waived by the Administrator.

- The business plan indicates there will be an agreement with Palatine Bank and Trust to utilize their parking lot for evenings and weekends for delivery orders/drivers.
- There is on-street parking along Brockway and Slade Streets, as well as public parking lots within close proximity. In addition, the Village recently obtained a parking agreement with the owner of the BMO Harris Building (50 N. Brockway Street) to allow public parking in their parking lots on nights and weekends.
- Consistent with other downtown restaurant uses, Staff is proposing a condition requiring employees to enroll and utilize the designated downtown employee parking areas
- Per Code, the Subject Property could have a signage totaling a maximum of 78 square feet (one square foot of signage per each linear foot of frontage). The Petitioner is requesting a variation for a two attached signs on the front of the building at 115 square feet and a painted sign and pizza logo at 115 square feet, for a total of 230 square feet.

DEPARTMENTAL REVIEWS:

Community Services	No issues were identified
Engineering	No issues were identified
Environmental Health	No issues were identified
Fire Prevention	No issues were identified
Public Works	N/A
Police	N/A

STANDARDS FOR SPECIAL USE: Since this Petition is not for a use publicly operated or traditionally affected with the public interest, those standards under Section 14.05 D (2) and (3) are applicable. Specifically, the Petitioners must show that the Special Use, if granted, is so designed, located, and proposed to be operated that the public health, safety, and welfare will be protected and will not cause substantial injury to the value of other property in the neighborhood in which it is located. The Petitioners have attempted to address the required standards.

STANDARDS FOR A VARIATION: Standards for a variation are found in Section 14.03 D (1) and (2) of the Zoning Code. Specifically, the Petitioners must show that the property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations governing the district in which it is located; that the plight of the owner is due to unique circumstances; and that the variation, if granted, will not alter the essential character of the locality. The Petition for Variation is attached, and the Petitioners have attempted to address the required standards.

STAFF RECOMMENDATION:

The proposed restaurant, to be located within the Central Business District, would be located in an area where restaurants are common and would be compatible with the downtown area. With the available public parking, Staff is comfortable with the parking requirements. In addition, the employees will be required to utilize the downtown employee parking areas.

The proposed signage is unique as there is main signage on the front of the building and painted signage of the side that adds architectural interest at a more pedestrian scale (and will not be lit). Staff does not believe that the proposal will alter the essential character of the downtown.

Therefore Staff recommends approval of the Special Use and Variations subject to the following conditions.

1. The Special Use shall substantially conform to the Business Plan, Floor Plan, and Sign Elevations submitted by the Petitioner, except as such plan may be changed to conform to the Village of Palatine's Codes and Ordinances.
2. All employees of Pizza Bella shall enroll in and utilize the designated downtown employee parking areas.

ATTACHMENTS:

- Aerial
- Application
- Plat of Survey
- Business Plan
- Floor Plans
- Elevations
- Signage
- Public Notice

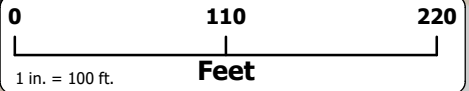
16 N Brockway Street

VILLAGE OF
PALATINE



Village of Palatine Fire Fighter's Memorial

Attachment: Aerial (16 N Brockway St - SU VAR Restaurant)



VILLAGE OF PALATINE

SPECIAL USE & VARIATION APPLICATION

Department of Planning & Zoning
 200 E. Wood Street · Palatine, IL · 60067-5339
 Telephone: (847) 359-9047 · Fax (847) 963-6247

Office Use Only	Project Planner	Zoning Case #
	Filing Fee	Notification Deadline
	ZBA Public Hearing Date	Village Council Date



Background Information	PETITIONER(S)		Business Name (if applicable)	
	Tony DeFilippis		Little Brothers Pizza Inc dba Pizza Bella	
	Subject Property Address 16 N Brockway Palatine, IL 60067			
	AUTHORIZED AGENT (if applicable)		Business Name (if applicable)	
	Address		City/State/Zip Code	
	Telephone	Fax	Email	
	Relationship to Petitioner (contractor, architect, etc.)			
	TYPE OF APPLICATION (check one)			
	<input checked="" type="checkbox"/> Special Use <input type="checkbox"/> Special Use Amendment <input type="checkbox"/> Variation			
	Existing Zoning District	Existing Land Use	Proposed Land Use	
B-2	Retail	Pizzeria/Restaurant		
Generally describe your request: Pizza Bella is requesting the special use of moving its current location and expand its operations. . We are requesting to add dine in option to our existing business and fulfill the demand of the community one slice at time! _____ _____ _____ _____ _____ _____				

Attachment: Application (16 N Brockway St - SU VAR Restaurant)

Required Materials

- Filing Fee of \$ _____
- Application Form
- Plat of Survey (must show all current improvements and be sealed by an Illinois certified surveyor)
- Site Plan & Floor plan (dimension, location, and setbacks of all existing and proposed buildings) – **one 11x17 copy each, electronic version preferred**
- Real Estate Interest Disclosure Form (see attached)
- Proof of Ownership or Lease (e.g. Title Insurance Policy, Deed, or Purchase Contract)
- Business Plan (if applicable; including, but not limited to nature of business, hours of operation, number of employees, and menu)

Additional Materials (as required by the Village)

- Elevation Plan (front, side, and rear elevations of a proposed building), and/or Floor Plan (proposed interior layout) – **one 11x17 copy of each plan, electronic versions preferred**
- Engineering Plans (must indicate existing conditions, topography, storm water management, tree preservation, utility connections, detention calculations, and a cost estimate)
- Photographs (e.g. ground-level or aerials)
- Other materials as deemed necessary by the Village

Petitioner Justification

The Petitioner is required to present specific evidence related to each of the following standards to justify the request (paraphrased from Section 14.05 of the Palatine Zoning Ordinance). Answer the items below and attach a separate sheet if necessary. ***If you are applying for a Variation only, you do not need to answer these items.***

1. The use is deemed necessary for the public convenience at that location

In efforts to bring life back into an eye sore property of the downtown area relocating Pizza Bella would allow for a community demanded sit down pizzeria. It would allow Pizza Bella the opportunity to expand its business and add another level of product and service to the people of Palatine and surrounding areas.

2. The use is designed, located, and proposed to be operated that the public health, safety and welfare will be protected

Since its first day of operation in 2008, Pizza Bella's top priority has been the public health, safety, & welfare. We strive for excellence when it comes to adhere to the guidelines set forth for the public health.

3. The use will not cause substantial injury to nearby property values

This will most certainly help surrounding property values.

4. With respect to live entertainment uses, the use shall not:
 - a. Produce noise levels so great as to constitute an unreasonable interference for persons outside the confines of the establishment
 - b. Impose undue health, sanitation or safety burdens on the village
 - c. Create excessive demands on the Village of Palatine Police Department
 - d. Be of a nature otherwise prohibited by law or village ordinance

5. For fence standards, see Section 14.05 of the Palatine Zoning Ordinance



VARIATION

Required Materials

- Filing Fee of \$ _____
- Application Form
- Plat of Survey (must show all current improvements and be sealed by an Illinois certified surveyor)
- Site Plan & Floor plan (dimension, location, and setbacks of all existing and proposed buildings) – **one 11x17 copy each, electronic version preferred**
- Real Estate Interest Disclosure Form (see attached)
- Proof of Ownership or Lease (e.g. Title Insurance Policy, Deed, or Purchase Contract)

Additional Materials (as required by the Village)

- Elevation Plan (front, side, and rear elevations of a proposed building), and/or Floor Plan (proposed interior layout) – **one 11x17 copy of each plan, electronic versions preferred**
- Engineering Plans (must indicate existing conditions, topography, storm water management, tree preservation, utility connections, detention calculations, and a cost estimate)
- Photographs (e.g. ground-level or aerials)
- Other materials as deemed necessary by the Village

Petitioner Justification

The Petitioner is required to present specific evidence related to each of the following standards to justify the request (paraphrased from Section 14.03 of the Palatine Zoning Ordinance). Answer the items below and attach a separate sheet if necessary. ***If you are applying for a Special Use only, you do not need to answer these items.***

1. That the property cannot yield a reasonable return if used only under the conditions allowed by the regulations governing the zoning district in which it is located

Giving the current state and the expansion of Pizza Bella, it would be near impossible to grow into full potential with the request granted. The current state of the building as is would not allow for any business to operate and benefit a reasonable return.

2. That the plight of the owner is due to unique circumstances

The property as is fails to meet any safety guidelines, structural integrity, and does not meet requirements for ADA accessibility.

3. That the variation, if granted, will not alter the essential character of the locality

A goal of the improvement is to keep the character and history the property is to the community.

4. In order to supplement the above standards, the Zoning Board of Appeals may also consider the following:

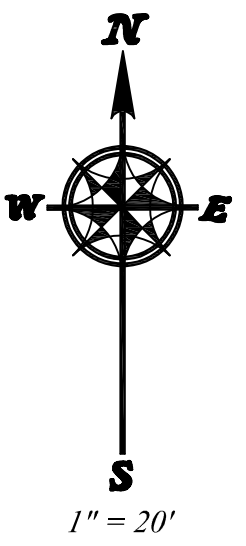
- a. The particular surroundings, shape, or topographical conditions of the property
- b. A unique hardship for the property not generally applicable to other properties in the same zoning district
- c. The request is not based on a desire to make more money out of the property
- d. The petitioner has not created the alleged hardship for the property
- e. The request will not be detrimental to the public welfare or other properties in the neighborhood
- f. The request will not impair the supply of light and air to adjacent properties, substantially increase the danger of fire, endanger the public safety, or substantially diminish or impair neighboring property values



MURRY AND MOODY, LTD.

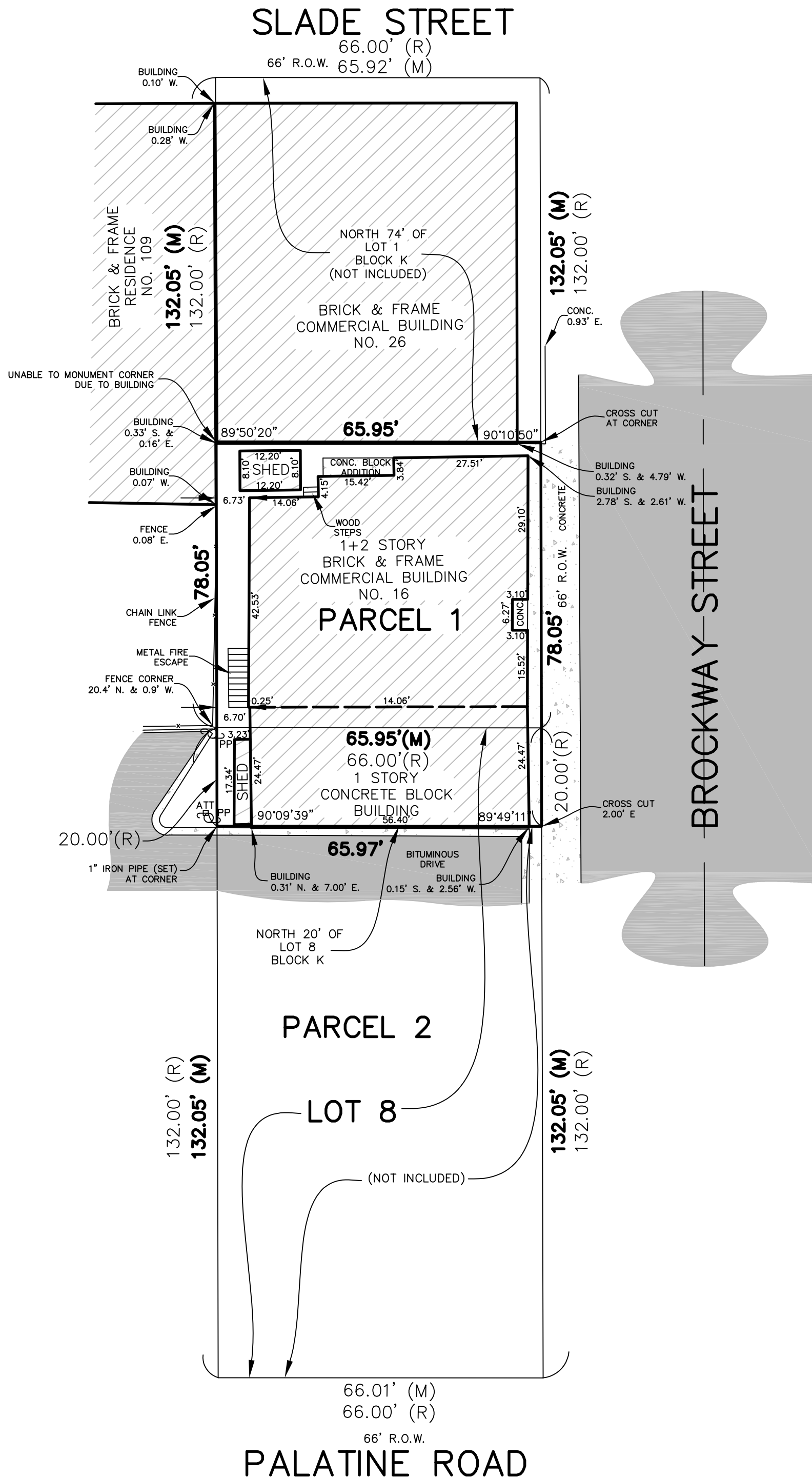
Land Surveyors

Illinois Professional Land Surveying Firm Corporation License No. 184-002845
933 S. Plum Grove Road, Suite 101
Palatine, Illinois 60067
www.murrysurvey.com info@murrysurvey.com Phone: (847)358-5960



PLAT OF SURVEY OF

PARCEL 1: THE SOUTH 58 FEET OF LOT 1 IN BLOCK "K" IN TOWN OF PALATINE, ACCORDING TO THE PLAT OF JOEL WOODS SUBDIVISION OF SECTION 14 AND 15 TOWNSHIP 42 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN IN COOK COUNTY, ILLINOIS.
PARCEL 2: THE NORTH 200 FEET OF LOT 8 IN BLOCK "K" AFORESAID IN COOK COUNTY, ILLINOIS.
PARCEL 1: THE SOUTH 58 FEET OF LOT 1 IN BLOCK "K" IN TOWN OF PALATINE ACCORDING TO THE PLAT OF JOEL WOODS SUBDIVISION OF SECTIONS 14 AND 15 IN TOWNSHIP 42 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN IN COOK COUNTY, ILLINOIS. PARCEL 2: THE NORTH 20 FEET OF LOT 8 IN BLOCK "K" AFORESAID IN COOK COUNTY, ILLINOIS.
AREA = 5,148.00± S.F. / 0.118 ACRES



LEGEND AND NOTES

Dimensions shown thus: 50.25 are feet and decimal parts thereof. Angular data shown thus: 90°00'00" indicate degrees, minutes and seconds.

50.25 / N 90°00'00" E indicates measure dimension / bearing.
(50.25) / (N 90°00'00" E) indicates record dimension / bearing.
[50.25 d] / [N 90°00'00" E d] indicates deed dimension / bearing.

Bearings shown hereon, if any, per local or assumed data, unless shown otherwise.

Compare your points before using same and report any differences immediately.

Check legal description with deed or title policy and report any discrepancy immediately. Building lines and easements, if any, shown hereon are as shown on the recorded subdivision plat or as indicated.

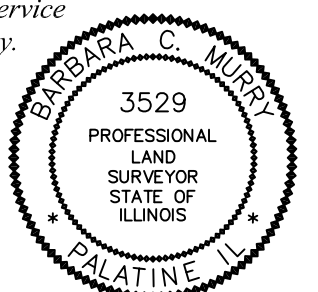
Order Number: 19-1305
Survey Made For: Tony Defalipio

STATE OF ILLINOIS } s.s.
COUNTY OF COOK }

I, Barbara C. Murry, an Illinois Professional Land Surveyor, do hereby certify that I have surveyed the above described property, and that the above plat is a correct representation of said survey and that this professional service conforms to the current Illinois minimum standards for a boundary survey.

Date of completion of field work: November 26, 2019

Palatine, Illinois: December 05, 2019



Illinois Professional Land Surveyor - Barbara C. Murry 035-003529
License Renewal date: November 30, 2020

Project Number: 19130500
Field Book: 197M-71-72
Drawing File: 19130500.dwg

Attachment: Plat of Survey (16 N Brokway St. - SU VAR Restaurant)



Little Brothers Pizza Inc dba Pizza Bella, would like to relocate its existing location of 100 W Northwest Hwy to the downtown area of 16 N Brockway. This new location would allow the expansion of our business to fulfill a demand and better serve the community. Pizza Bella has always had and continues to have an impeccable relationship with the Village and its constituents. This relocation will significantly aid in continuing to foster that relationship and bringing success to both Pizza Bella and the downtown Palatine area for years to come. We believe this location fits with the overall vision Palatine has for the area.

Pizza Bella Vision:

Pizza Bella has been rooted in the Palatine community for almost 15 years. Our objective is to bring our family-oriented pizzeria to the downtown area. We have steadily proven that we provide (arguably) the best pizza around for pickup and delivery and feel the people of the community deserve our pizza from oven to table! We desire to be that go-to hometown destination with great pizza that can be paired with a cold beverage (for those that can, a frosty beer or wine). We stand by our motto “if we won’t it eat, we won’t serve it!”

Proposed Address:

16 N Brockway
Palatine, IL 60067

Proposed Hours of Operation:

Mon-Thurs 10am-10pm
Friday-Saturday 10am-12am
Sunday-10am-9pm

Customer Volume:

We expect customer flow to follow our current operations of lunch time and dinner hours. We project seating of customers will be no more than 40 people at any given time. We do anticipate the percentage of dine in vs our current traffic (take out & delivery) to be about a 70% take out & delivery to 30% dine in. As we add to the traffic of the downtown area, we have procured alternative parking options for hours that coincide with surrounding businesses and avoid disruption of their business. Regarding take-out orders, per staff meetings the proposed address has 7 parking spots designated which we plan to use the spots directly in front (no more than 4 at any given time.) Regarding staff, we will ensure that all staff park in the Harris Bank lot & the public lot south of Palatine Rd (Garfield Parking lot.) Per staff meeting we have been told this lot is available to us.) Regarding delivery orders/drivers, we have an

agreement between Palatine Bank and Trust to utilize their lot during nights and weekends. We wish to become a working and vital part of the downtown area rather than a nuisance.

Estimated Staff: 10-15 staff at the location.

To address the concerns of the second floor: Per Village of Palatine staff meetings the second floor is used for office/storage of Pizza Bella.

Products offered:

See attached food menu. We also request full-service bar that primarily consists of beer & wine.

LOYALTY PROGRAM

EARN FABULOUS REWARDS



200 Points
2.00 Off 20.00 or More

300 Points
Free Dessert

400 Points
5.00 Off 20.00 or More

500 Points
Free 16" Thin Crust Cheese Pizza

SIGN UP ONLINE!
VISIT THE CONTACT US PAGE ON PBPIZZA.COM

WRAPS, PANINI & SUBS

WRAPS OR PANINI

- Chicken or Turkey Avocado** 9.54
Grilled chicken or oven roasted turkey, avocado, lettuce, tomatoes, red onions, swiss & mayo
- Chicken or Turkey Bacon Club** 9.54
Grilled chicken or oven roasted turkey, bacon, lettuce, tomatoes, red onions, cheddar & ranch dressing
- Chicken Artichoke** 9.54
Grilled chicken breast, artichoke hearts, lettuce, roasted red peppers, tomatoes, red onions, fresh mozzarella & house dressing
- Buffalo Chicken** 9.54
Breaded chicken tenders, mild sauce, lettuce, tomatoes, red onions, cheddar & bleu cheese dressing
- Chicken Caesar** 9.54
Grilled chicken breast, romaine lettuce, red onions, black olives, shaved asiago, croutons & Caesar dressing
- Chicken or Eggplant Parmigiana** 9.54
Eggplant or chicken dipped in marinara & mozzarella

SUBS

- Caprese** 6" 8.54 12" 14.54
Fresh mozzarella, lettuce, tomatoes, red onions, cucumbers, basil & house dressing
- Italian** 6" 8.54 12" 14.54
Genoa salami, pepperoni, hot capicola, lettuce, tomatoes, red onions, black olives, mozzarella & house dressing
- Turkey** 6" 8.54 12" 14.54
Thinly sliced oven roasted turkey breast, lettuce, tomatoes, red onions, swiss & mayo
- Roast Beef** 6" 8.54 12" 14.54
Thinly sliced homemade roast beef, lettuce, tomatoes, red onions, cheddar & mayo
- American** 6" 8.54 12" 14.54
Ham, hand salami, lettuce, tomatoes, red onions, American cheese & mayo

MAKE IT A COMBO!
Add Fries or Soup of the Day 2.25

TO ANY SANDWICH, WRAP, PANINI OR SUB SANDWICH

SANDWICHES

- Bella Beef** 10.04
Thinly sliced beef, grilled onions, mushrooms & mozzarella, served on garlic bread
- Homemade Italian Beef** 9.04
Homemade Italian Sausage 8.54
Our sausage is grilled to order - please allow more time
- Combo Sandwich** 10.54
Italian beef & sausage - please allow more time
- Pepper & Egg Sandwich** 7.04
Scrambled eggs with sautéed green peppers

- Chicken Sandwich** 8.54
Your choice of grilled or breaded chicken with lettuce, tomatoes, red onions & mayo served on french bread
- The Godfather** 12.34
Italian beef, homemade meatballs, crumbled Italian sausage topped with red sauce & mozzarella on french bread
- Homemade Meatball** Homemade pan-fried meatballs smothered in our marinara 8.04

DESSERTS

- Homemade Tiramisu** 5.79
- Chocolate Cake** 4.79
- Homemade Mini Cannoli** Freshly filled (2) 4.50
- Freshly Baked Chocolate Chip Cookie** HALF DOZEN 5.25 DOZEN 8.95



DRINKS

- 2 Liter** 2.75
- Bottled Water** Aquea Panna 2.25
- Cans** 1.50
- 6 Pack** 7.50

LOYALTY MAKES YOU ROYALTY AT PIZZA BELLA
Join our Loyalty Program for great rewards!

Pizza Bella follows the best practice techniques & guidelines for preparing our gluten free items, but there is still a chance of cross contamination. *CONSUMER ADVISORY: Consuming raw or undercooked meat, eggs, poultry or seafood increases your risk of foodborne illness, especially if you have certain medical conditions. If you have a particular food allergy please let us know when ordering. Prices & menu items subject to change without notice. Tax not included. © Grando Cheese Company 1/2022 All Rights Reserved.

CARRY OUT SELECTIONS



PBPIZZA.COM
847-359-2700
100 W. Northwest Hwy
Palatine, IL 60067
(Eurofresh Plaza)

DAILY SPECIALS

Not valid with any other offer or promotions. Not Valid on Holidays

- | | |
|--|---|
| TUESDAY | FRIDAY |
| 16" Thin Crust Cheese Pizza 13.49 | Fried Shrimp Dinner 9.49 |
| Baked Mostaccioli 8.99 | Homemade Stuffed Shells 8.99 |
| WEDNESDAY | SATURDAY |
| Detroit-Style Pan, 16" x 14" Cheese pizza 13.99 | Rib Dinner FULL SKILLET 15.49 HALF SKILLET 14.99 |
| Chicken or Eggplant Parmigiana 10.99 | Ravioli Cheese or meat 8.99 |
| THURSDAY | SUNDAY |
| 16" NY Style Crust Cheese Pizza 9.99 | Lasagna Cheese, meat or spinach 9.99 |
| Giambotta Sausage, peppers, onions & potatoes 8.99 | 18" Thin Crust Cheese Pizza 15.49 |
| | Bella Nonna Grandma-style, 12" x 16" cheese 13.99 |

WE CATER

Monday Closed • Tues-Thurs 3pm - 9pm
Fri 11am - 9pm Sat 3pm - 9pm • Sun 3pm - 8pm
LAST ORDERS TAKEN 15 MIN. PRIOR TO CLOSING

SERVING GLUTEN FREE PIZZA & PASTA

Delivery Charge 4.00 • Minimum Delivery 15.00
(Delivery outside normal delivery range subject to 5.00 delivery charge)

PIZZA BELLA CATERING
See our catering menu online at pbpizza.com



APPETIZERS

- Baked Clams** (6) 8.04 (12) 14.24 (18) 19.54 (24) 25.54
- Fried Calamari** 13.29
Marinara & lemon wedge
- Grilled Calamari** 14.29
Marinara & lemon wedge
- Grilled Mito** 21.29
Seasoned calamari, shrimp & cod
- Cheese Lover Combo** 15.54
Homemade mozzarella sticks, mac n' cheese wedges, cheesy breadsticks & toasted ravioli
- Italian Nachos** (Beer Nuggets) 10.04
Our take on nachos! Our pizza dough fried, smothered in marinara & topped with mozzarella
- Breaded Mushrooms** SM 8.04 LB 11.54

- Cheesy Breadsticks** (2) 6.54 (4) 8.54 (8) 12.54
Stuffed with mozzarella, served with marinara
- Mozzarella Sticks** SM 8.04 LB 12.54
Served with marinara
- Toasted Ravioli** SM 8.04 LB 12.04
Our red sauce
- Jalapeno Poppers** SM 8.54 LB 14.04
With cream cheese
- Fried Mac N' Cheese Wedges** SM 8.04 LB 14.04
- Onion Rings** SM 7.54 LB 12.54
- Chicken Strips** SM 9.04 LB 16.04
- French Fries** SM 4.04 LB 6.04
With cheese SM 5.04 LB 8.04



Toasted Ravioli

SOUPS

Cup 16 oz. 5.54 Bowl 32 oz. 7.54
All soups are homemade with the freshest ingredients

- Minestrone** Available daily
- Chicken Noodle** Available Tuesday, Thursday & Saturday ONLY
- Cream of Chicken** Available Wednesday, Friday & Sunday ONLY

WINGS

- Choose Your Sauce:** Mild, BBQ, Garlic Parmesan, Sriracha, Inferno, Mango Habanero & Teriyaki
- Breaded or Unbreaded Buffalo Wings** (8) 9.54 (10) 16.54 (15) 22.54 (20) 27.54 (30) 69.54 (100) 129.54



Chef Salad



Mozzarella Sticks

SALADS

- Garden Salad** SM 9.54 LB 16.54
Romaine & iceberg lettuce, spinach, black olives, carrots, celery, red cabbage, cucumbers, tomatoes, green peppers & red onions
- Chopped Salad** SM 10.54 LB 16.54
Romaine & iceberg lettuce, pepperoni, pasta, bacon, red cabbage, cucumbers, tomatoes, carrots, mushrooms, green olives, black olives, pepperoncini, bleu cheese, feta & mozzarella
- Caesar Salad** SM 9.54 LB 16.54
Romaine lettuce, shaved asiago, red onions, black olives, croutons & Caesar dressing
- Chef Salad** SM 10.54 LB 16.54
Romaine & iceberg lettuce, oven roasted turkey breast, ham, red cabbage, spinach, cucumbers, tomatoes, green peppers, red onions, carrots, cheddar & croutons
- Add grilled chicken breast** 6.54

DRESSINGS

- House (Balsamic Vinaigrette), Caesar, Ranch, Bleu Cheese, Honey Mustard

JOIN OUR LOYALTY PROGRAM
EARN FABULOUS REWARDS

DINNERS

Made to Order, Please allow extra time
Served with coleslaw, french bread & choice of fries or baked potato

- Pizza Bella's Ribs** FULL SLAB 24.74 HALF SLAB 19.74
- Fried Shrimp** 14.74



Wings



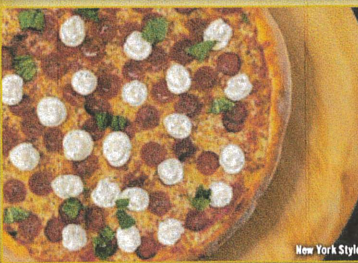
Pizza Bella's Ribs

PASTAS

- Served with french bread
- Choose One Pasta & your Favorite Sauce:** Spaghetti, Mostaccioli, Fettuccini, Rigatoni, Farfalle, Angel Hair
- Marinara Sauce** 10.54
- Alfredo Sauce** 12.04
Smooth blend of cream, butter & Parmesan
- Bolognese** 11.54
Flavorful meat sauce
- Aglio' Olio** 10.04
Fresh garlic & oil With broccoli 11.04
- Carbonara** 15.04
Cream sauce, ham & bacon
- Vodka (Picky) Sauce** 12.04
Combination of marinara & alfredo
- PASTA ADD ONS**
Homemade pan-fried meatballs smothered in our marinara 6.29
Our grilled to order homemade Italian sausage 6.29
Shrimp 9.25 Gluten Free Penne Add 5.25

HOUSE SPECIALTIES

- Served with french bread
- Baked Mostaccioli** 10.24
Topped with red sauce & melted mozzarella
- Gnocchi** 10.84
Potato dumpling with red sauce
- Chicken Marsala** 14.84
Mushrooms with wine sauce & a side of pasta with marinara or oven roasted potatoes
- Bella Piatto** 14.84
Italian sausage, mushrooms, onions & garlic sautéed in spicy chunky marinara served with your choice of pasta
- Pasta Calabria** 13.84
Vodka sauce, Italian sausage, mushrooms & broccoli served with your choice of pasta
- Bella Piatto Al' Mare** 27.95
Our version of zuppa di pesce! A spicy chunky marinara with sautéed mushrooms, onions, fresh garlic, scallops, shrimp, baby clams & mussels
- Homemade Baked Lasagna** 11.24
Meat, cheese or spinach
- Eggplant or Chicken Parmigiana** 13.24
Topped with red sauce & mozzarella served with your choice of pasta
- Platto Al' Angelina** 15.84
Pan-seared chicken breast, sautéed artichokes, roasted red peppers, fresh spinach & mushrooms in a white wine garlic sauce with angel hair
- Chicken Francese** 14.84
Chicken limeone with your choice of oven roasted potatoes or side of pasta with marinara



New York Style

PIZZA

	SM 12" serves 1-2	MED 14" serves 3-4	LG 16" serves 4-5	XL 18" serves 5-6
Thin Crust				
Each ingredient	17.09	19.09	21.09	23.09
	3.29	3.49	3.79	3.99
Detroit-Style Pan 10" x 14" serves 3-4		19.09		
Thick, crunchy, crispy, buttery, cheese-laden crust				
Each ingredient		2.99		
NY-Style Crust			21.09	
Each ingredient			3.79	
Double Dough Cheese			21.09	23.09
Hand rolled edge & is slightly thicker than our traditional thin crust				
Each ingredient			2.99	3.29
Bella Nonna			21.09	
Grandma-style, 12" x 16" rectangle crust				
Each ingredient			3.29	
Gluten Free Cheese	19.59			
Each ingredient	2.79			
Panzerotti or Calzone Fried or baked 12.59 Each ingredient 3.49				

Ask for Extra Thin!

SPECIALTY PIZZA

Prices based on thin crust. No substitutions

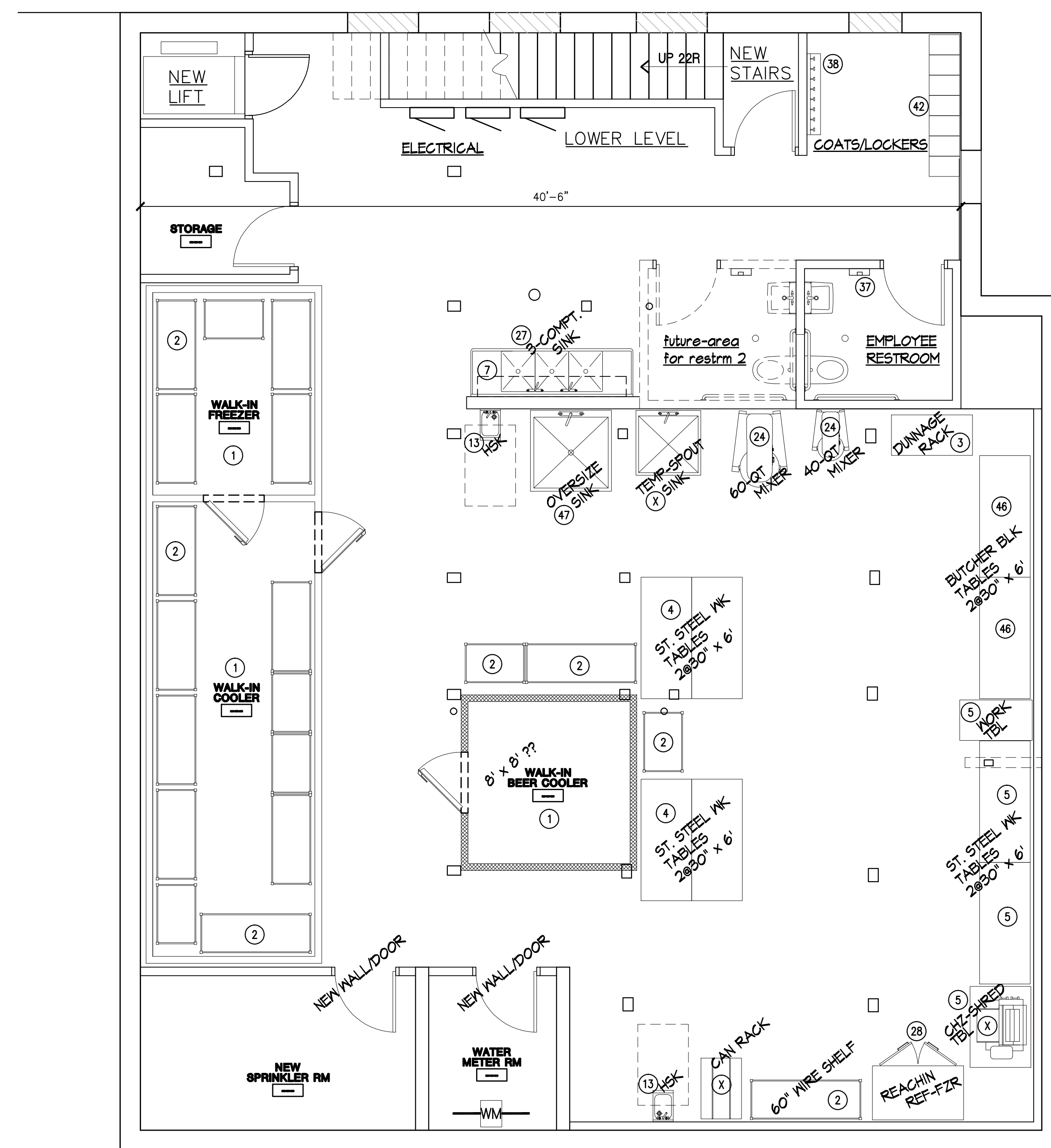
	SM 12" serves 1-2	MED 14" serves 3-4	LG 16" serves 4-5	XL 18" serves 5-6
NEW Brockway		19.09		
Our inch-high, airy, focaccia-style crust with caramelized cheese edges topped with our amazing homemade pizza sauce, fresh garlic, plum tomatoes & fresh mozzarella				
Each ingredient		3.29		
Bella Quattro	25.29	28.29	31.29	34.29
Sausage, mushrooms, bell peppers & onions				
Supreme	25.29	28.29	31.29	34.29
Sausage, pepperoni, mushrooms, peppers, onions & black olives				
The Papa	25.29	28.29	31.29	34.29
Italian beef, hot giardiniera, roasted red peppers & fresh garlic				
Brother Pete	25.29	28.29	31.29	34.29
Sausage, mushrooms, spinach, tomatoes & fresh mozzarella				
Brother Marc	25.29	28.29	31.29	34.29
Sausage, pepperoni, bacon & meatballs				
The Luca	25.29	28.29	31.29	34.29
Beef juice, Italian beef, garlic, hot giardiniera, mozzarella & cheddar				
Uncle Vince	25.29	28.29	31.29	34.29
Olive oil, crushed plum tomatoes, sausage & hot giardiniera				
Ms. Piggy	25.29	28.29	31.29	34.29
BBQ sauce, pulled pork, caramelized red onions, mozzarella & cheddar				
NEW Bianco	25.29	28.29	31.29	34.29
Spinach, mushrooms, feta, garlic & olive oil				
Little Brother	24.29	27.29	30.29	32.29
Tomatoes, fresh basil, fresh garlic & fresh mozzarella				
Spinach Classic	25.29	28.29	31.29	34.29
Sautéed spinach, fresh garlic & ricotta				
Veggie Delight	24.29	27.29	30.29	32.29
Mushrooms, bell peppers, onions & tomatoes				

PIZZA TOPPINGS

- INGREDIENTS**
- ARTICHOKEs
 - BLACK OLIVES
 - FETA
 - FRESH GARLIC
 - FRESH TOMATOES
 - GREEN OLIVES
 - HOT GIARDINIERA
 - JALAPEÑOS
 - PLUM TOMATOES
 - MUSHROOMS
 - ONIONS
 - PEPPERONCINI PEPPERS
 - MIXED BELL PEPPERS (green, red & yellow)
 - PINEAPPLE
 - RICOTTA CHEESE
 - SPINACH
 - HAM
 - MEATBALLS
 - PEPPERONI
 - SAUSAGE
 - BASIL
 - RED ONIONS
- PREMIUM INGREDIENTS**
- *Changed as 2 ingredients
 - ROASTED RED PEPPERS
 - EGGPLANT
 - ANCHOVIES
 - BACON
 - CHICKEN
 - GROUND BEEF
 - ITALIAN BEEF
 - FRESH MOZZARELLA
 - CHEDDAR

Attachment: Business Plan (16 N Brockway St - SU VAR Restaurant)

REVISION	BY
PERMIT SET	RK



MARK	#	DESCRIPTION	MANUF.	SIZE	PROVIDED BY	REMARKS
1		WALK-IN COOLER	KOLPAK	SEE PLAN	OWNER	
2		S.S. STORAGE SHELF	METRO			
3		DUNNAGE RACK	METRO			
4		S.S. WORK TABLE - FLAT TOP	ADVANCE TABCO			
5		S.S. WORK TABLE - BACK SPLASH	ADVANCE TABCO			
6		DRY STORAGE SHELF	METRO			
7		S.S. WALL SHELF	METRO			
8		COUNTER			MILLWORK SUB	
9		POS REGISTERS			OWNER	
10		EXHAUST HOOD & MAKE-UP AIR	CAPTIVE-AIR		OWNER	
11		FIRE PREVENTION SYSTEM (HOOD)	CAPTIVE-AIR		OWNER	
12		S.S. QUILTED WALL PANELS				
13		S.S. (NSF) HAND SINK	ADVANCE TABCO			
14		ICE MACHINE	SCOTSMAN			
15		CONVECTION OVEN				
16		REFRIG PREP TABLE	TRUE			
17		UPRIGHT FRY COOLER				
18		TRIPLE BASKET FRYER				
19		CHARBROILER (ON S.S. BASE)	MAGIC KITCHEN			
20		GRIDDLE (ON S.S. BASE)	ANETS			
21		SALAD COOLER PREP	SSPPT			
22		PIZZA OVEN (2)	FISH OVEN EQUIP.	#75-36	OWNER	
23		DOUGH ROLLER W/ S.S. STAND				
24		FLOOR MIXER	HOBART			
25		(2) DOOR REACH-IN COOLER				
26		(2) COMP PREP SINK	ADVANCE TABCO			
27		(3) COMP SINK	ADVANCE TABCO			
28		(3) DOOR REACH-IN COOLER				
29		SLICER				
30		BAG-IN-BOX SYSTEM				
31		SODA / ICE MACHINE			VENDOR	
32		Ø PVC CONDUIT (IN SLAB)				
33		CUP DISPENSER				
34		CONDIMENT RACK				
35		SNEEZE GUARD				
36		MOP SINK W/ HANGERS				
37		HAND DRYER - ELECTRIC	WORLD DRYER			
38		COAT RACK				
39		HD GAS LINES - EXPOSED				
40		S.S. RAILING (ORDER LINE)			G.C.	
41		TRASH RECEPTACLE			MILLWORK	
42		METAL LOCKERS				
43		COFFEE AND ICE TEA DISP.				
44		SANDWICH/SALAD PREP REFRIG.				
45		PIZZA DISPLAY	HATCO			
46		BUTCHER BLOCK TBL/SS LEGS			OWNER	
47		OVERSIZE SINK & FAUCET				
48		TEMPERED SINK & FAUCET				
49		PASTA COOKER				
50		KETTLE COOKER				
51		DISHWASHER w/SIDE TABLES	HOBART			

FURNITURE/EQUIPMENT FLOOR PLAN-LOWER
SCALE: 1/4" = 1' - 0"

• RONALD KIRSININKAS, ARCHITECT
rkirsininkas@gmail.com (630) 234-9570

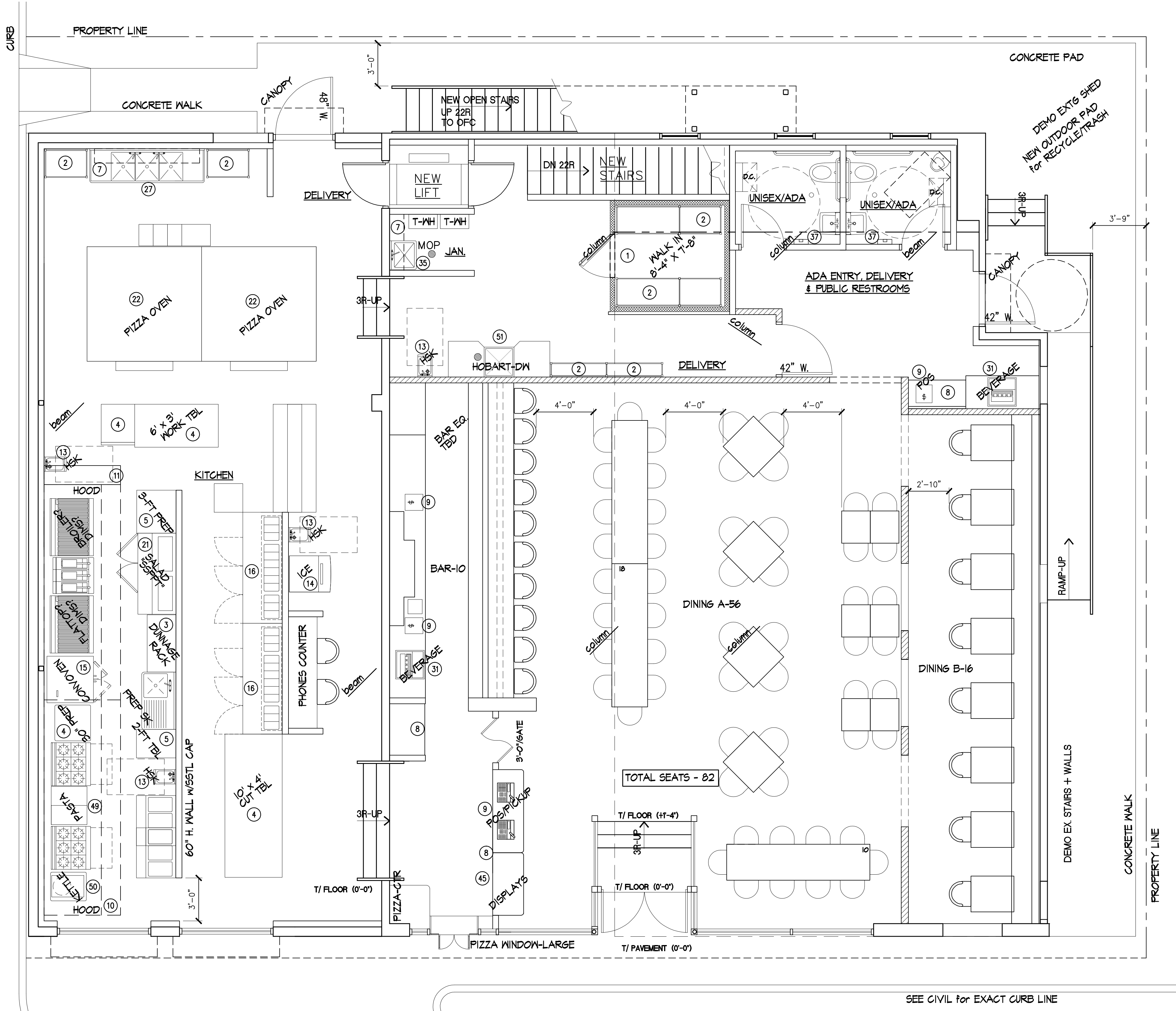
PIZZA BELLA - BUILD OUT
16 NORTH BROCKWAY STREET
PALATINE IL 60067

PROJECT:	
DRAWN:	RK
CHECKED:	RK
DATE:	01/xx/2022
SCALE:	AS NOTED
JOB NO.:	21-0016
SHEET:	

Ax

EQUIPMENT SCHEDULE

MARK	#	DESCRIPTION	MANUF.	SIZE	PROVIDED BY	REMARKS
1		WALK-IN COOLER	KOLPAK	SEE PLAN	OWNER	
2		S.S. STORAGE SHELF	METRO			
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6		DRY STORAGE SHELF	METRO			
7		S.S. WALL SHELF	METRO			
8		COUNTER			MILLWORK SUB	
9		POS REGISTERS			OWNER	
10		EXHAUST HOOD & MAKE-UP AIR	CAPTIVE-AIR		OWNER	
11		FIRE PREVENTION SYSTEM (HOOD)	CAPTIVE-AIR		OWNER	
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49		PASTA COOKER				
50		KETTLE COOKER				
51		DISHWASHER w/SIDE TABLES	HOBART			



BROCKWAY STREET

FURNITURE/EQUIPMENT FLOOR PLAN-MAIN
SCALE: 1/4" = 1' - 0"

REVISION	BY
PERMIT SET	RK

Attachment: Floor Plans (16 N Brockway St. - SU VAR - Restaurant)

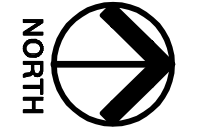
PROJ. BCT: PIZZA BELLA - BUILD OUT
16 NORTH BROCKWAY STREET
PALATINE IL 60067

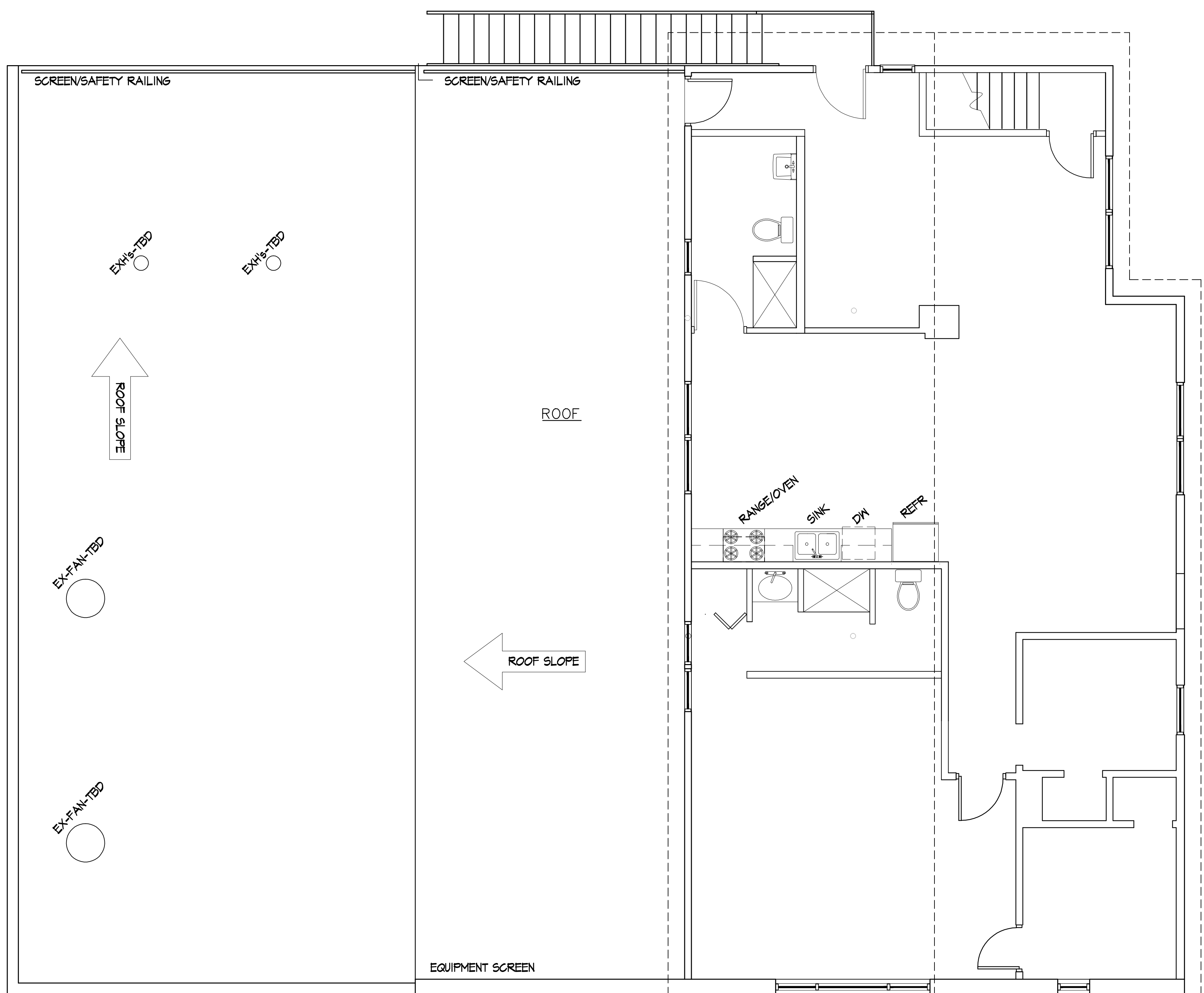
DRAWN: RK
CHECKED: RK
DATE: 01/xx/2022
SCALE: AS NOTED
JOB NO.: 21-0016
SHEET

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x OF x SHEETS
Packet Pg. 77

PRINT DATE: 01/11/2022



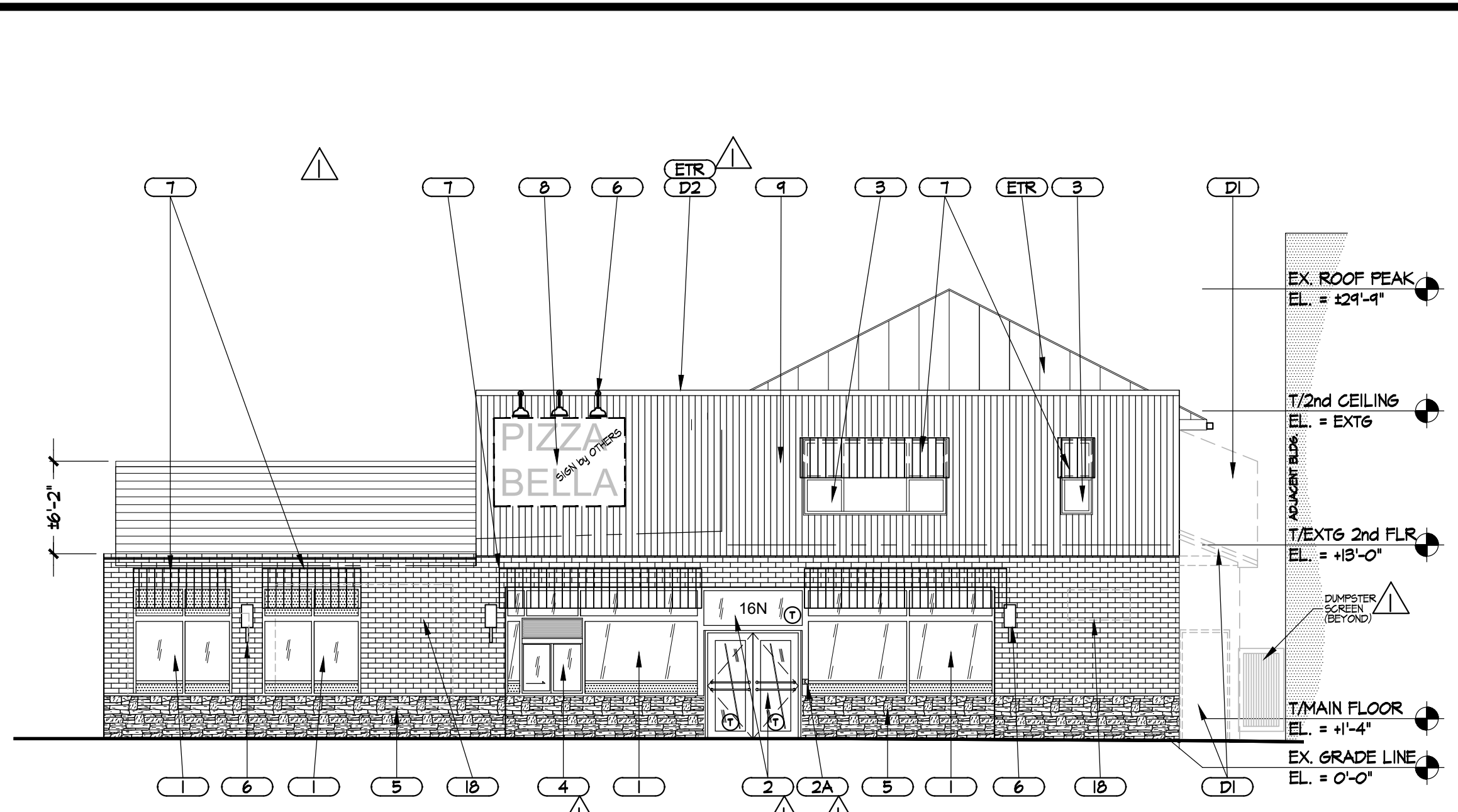


EQUIPMENT SCHEDULE						
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14		ICE MACHINE	SCOTSMAN			
15		CONVECTION OVEN				
16		REFRIG PREP TABLE	TRUE			
17		UPRIGHT FRY COOLER				
18		TRIPLE BASKET FRYER				
19		CHARBROILER (ON S.S. BASE)	MAGIC KITCHEN			
20		GRIDDLE (ON S.S. BASE)	ANETS			
21		SALAD COOLER PREP	SSPPT			
22		PIZZA OVEN (2)	FISH OVEN EQUIP.	#75-36	OWNER	
23		DOUGH ROLLER W/ S.S. STAND				
24		FLOOR MIXER	HOBART			
25		(2) DOOR REACH-IN COOLER				
26		(2) COMP PREP SINK	ADVANCE TABCO			
27		(3) COMP SINK	ADVANCE TABCO			
28		(3) DOOR REACH-IN COOLER				
29		SLICER				
30		BAG-IN-BOX SYSTEM				
31		SODA / ICE MACHINE			VENDOR	
32		Ø PVC CONDUIT (IN SLAB)				
33		CUP DISPENSER				
34		CONDIMENT RACK				
35		SNEEZE GUARD				
36		MOP SINK W/ HANGERS				
37		HAND DRYER - ELECTRIC	WORLD DRYER			
38		COAT RACK				
39		HD GAS LINES - EXPOSED				
40		S.S. RAILING (ORDER LINE)			G.C.	
41		TRASH RECEPTACLE			MILLWORK	
42		METAL LOCKERS				
43		COFFEE AND ICE TEA DISP.				
44		SANDWICH/SALAD PREP REFRIG.				
45		PIZZA DISPLAY	HATCO			
46		BUTCHER BLOCK TBL/SS LEGS			OWNER	
47		OVERSIZE SINK & FAUCET				
48		TEMPERED SINK & FAUCET				
49		PASTA COOKER				
50		KETTLE COOKER				
51		DISHWASHER w/SIDE TABLES	HOBART			

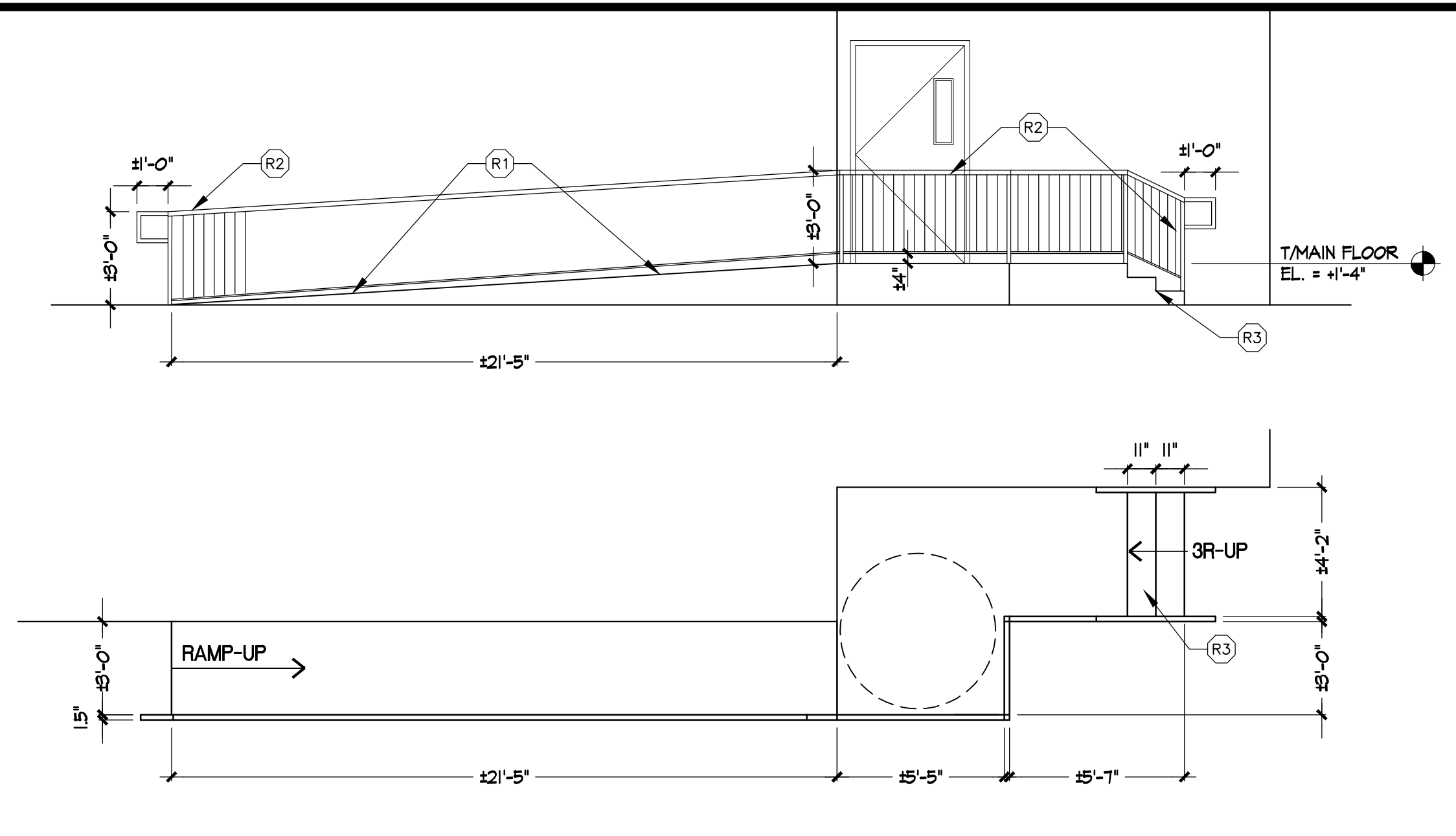
FURNITURE/EQUIPMENT PAN-UPPER
SCALE: 1/4" = 1' - 0"

REVISION	BY
PERMIT SET	RK
<p>PROJECT:</p> <p>PIZZA BELLA - BUILD OUT 16 NORTH BROCKWAY STREET PALATINE IL 60067</p>	
<p>ARCHITECT:</p> <p>RONALD KIRSININKAS, ARCHITECT rkirsininkas@gmail.com (630) 234-9570</p>	
<p>ATTACHMENT: Floor Plans (16 N Brockway St - SU VAR Restaurant)</p>	
DRAWN	RK
CHECKED	RK
DATE	01/xx/2022
SCALE	AS NOTED
JOB NO.	21-0016
SHEET	
<p>Ax</p>	
x OF	x SHEETS
<p>Packet Pg. 78</p>	

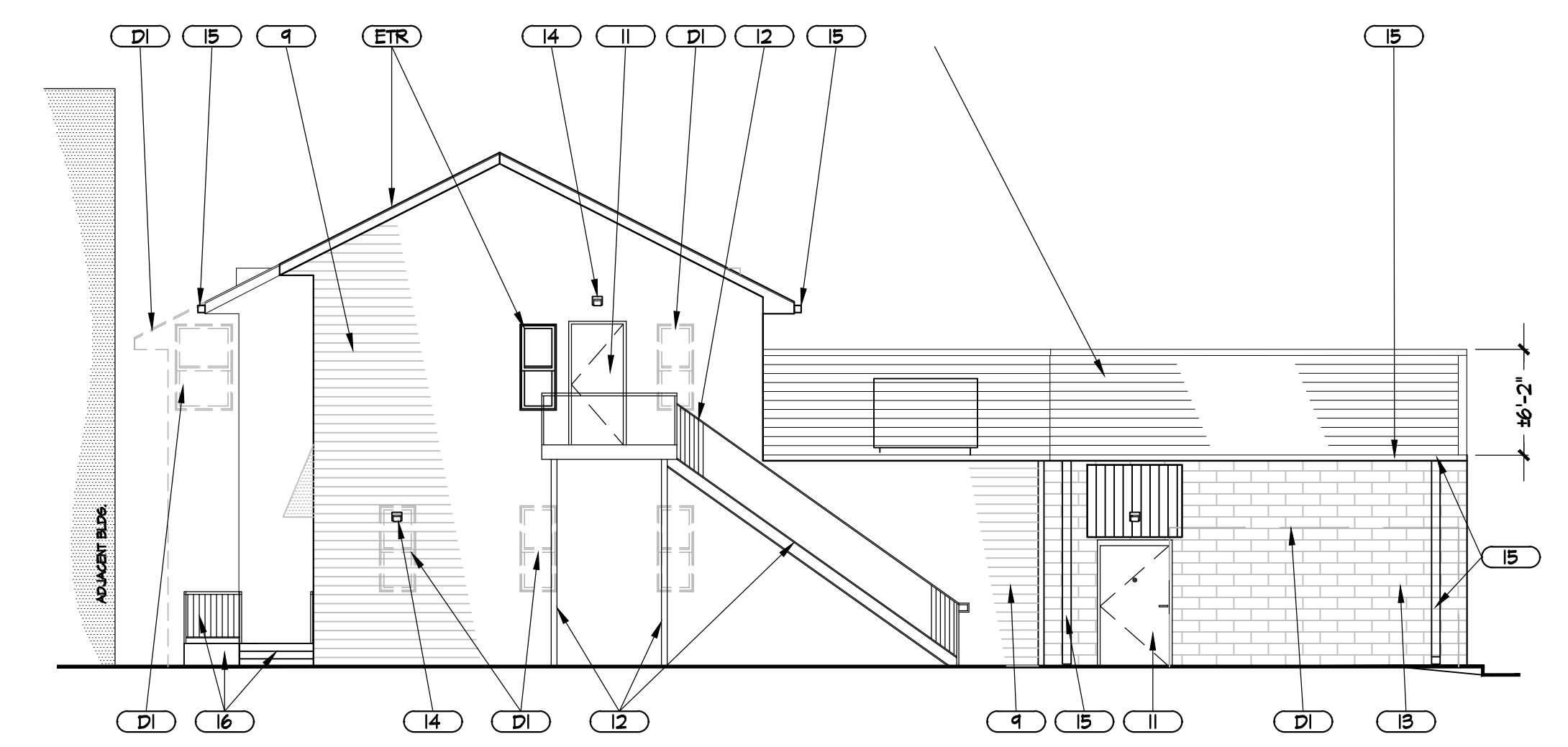
PRINT DATE: 01/11/2022



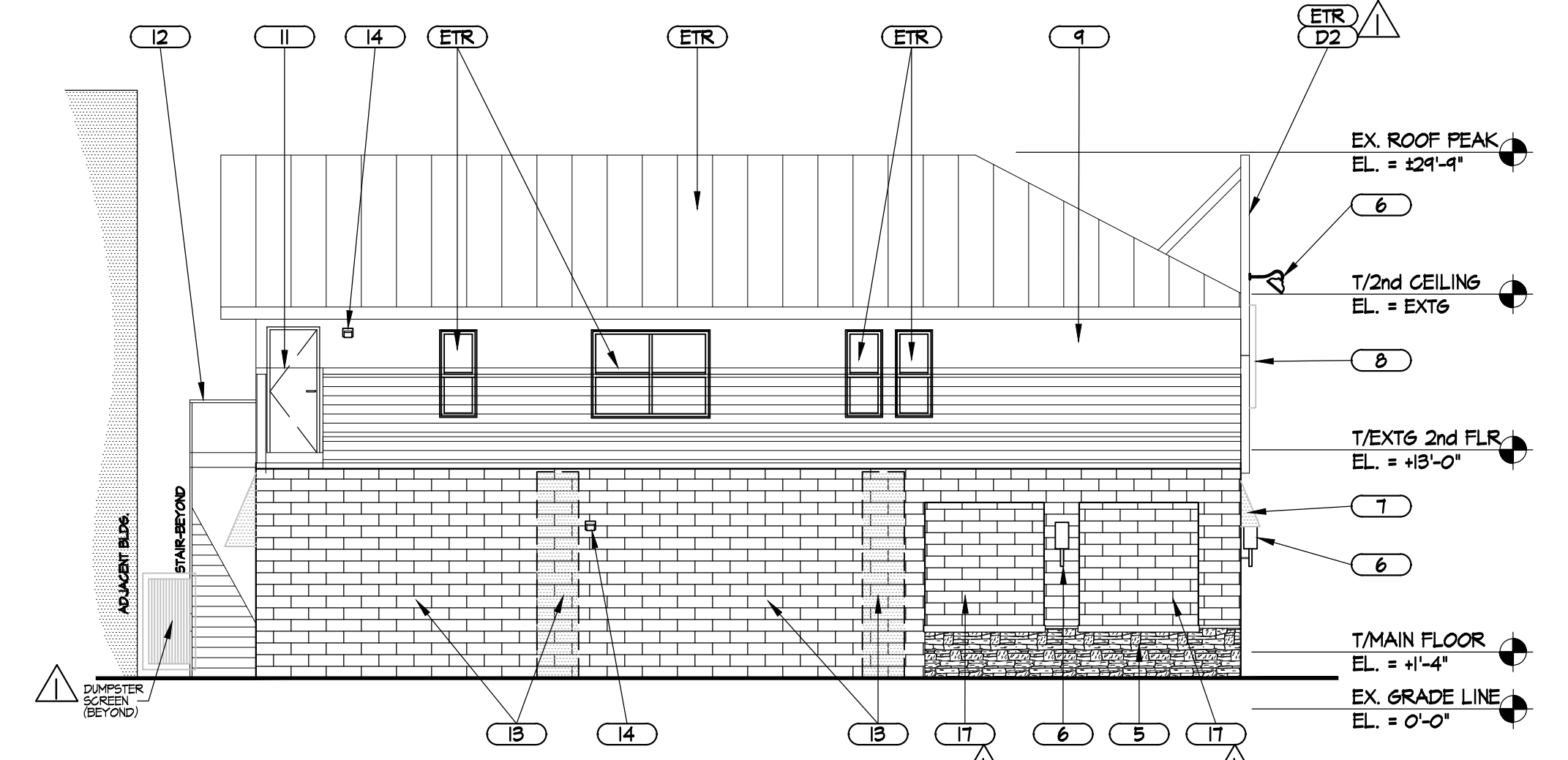
FRONT (EAST) ELEVATION
SCALE: 1/8" = 1' - 0"



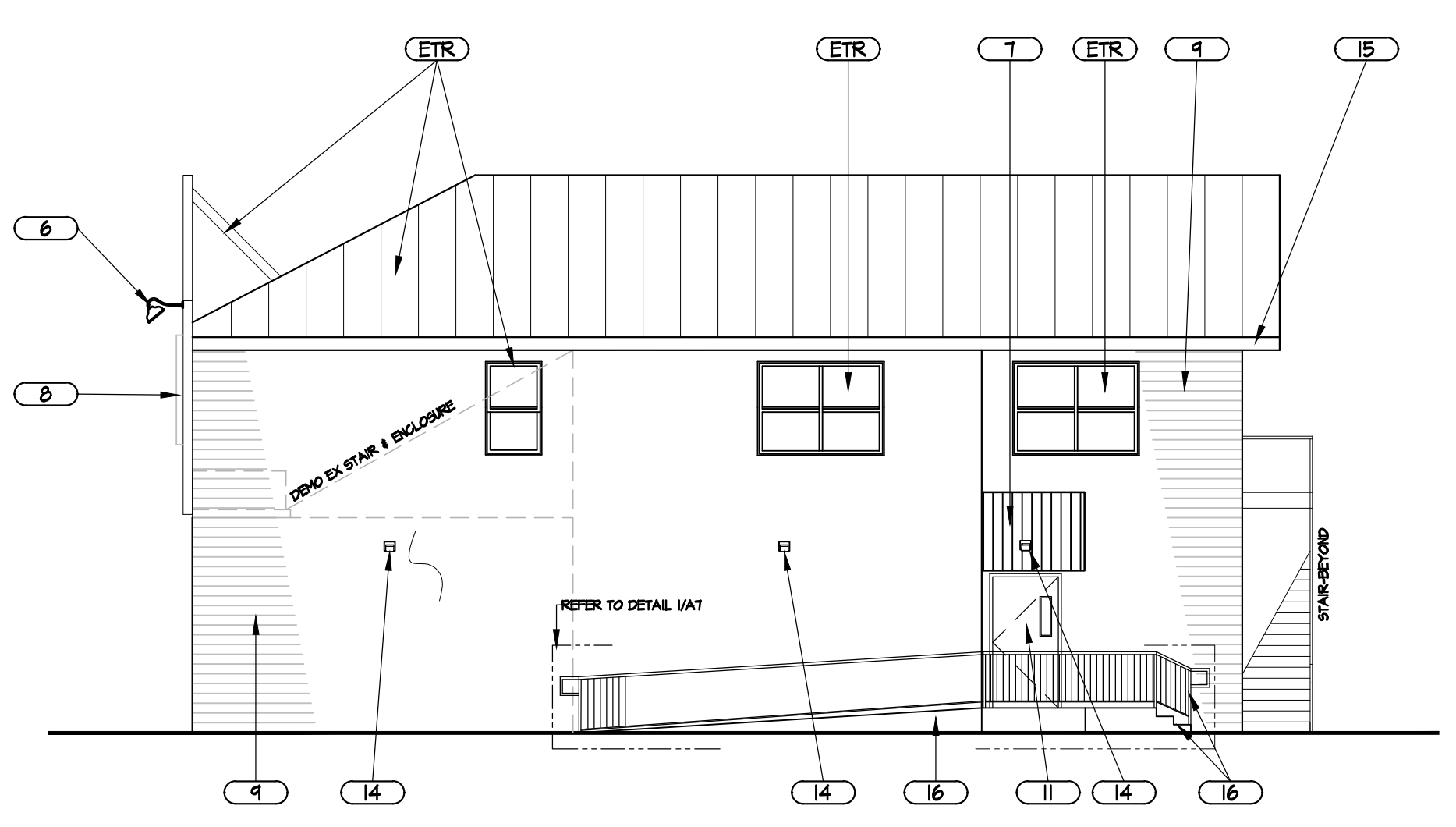
ACCESSIBLE RAMP DETAIL
SCALE: 1/4" = 1' - 0"



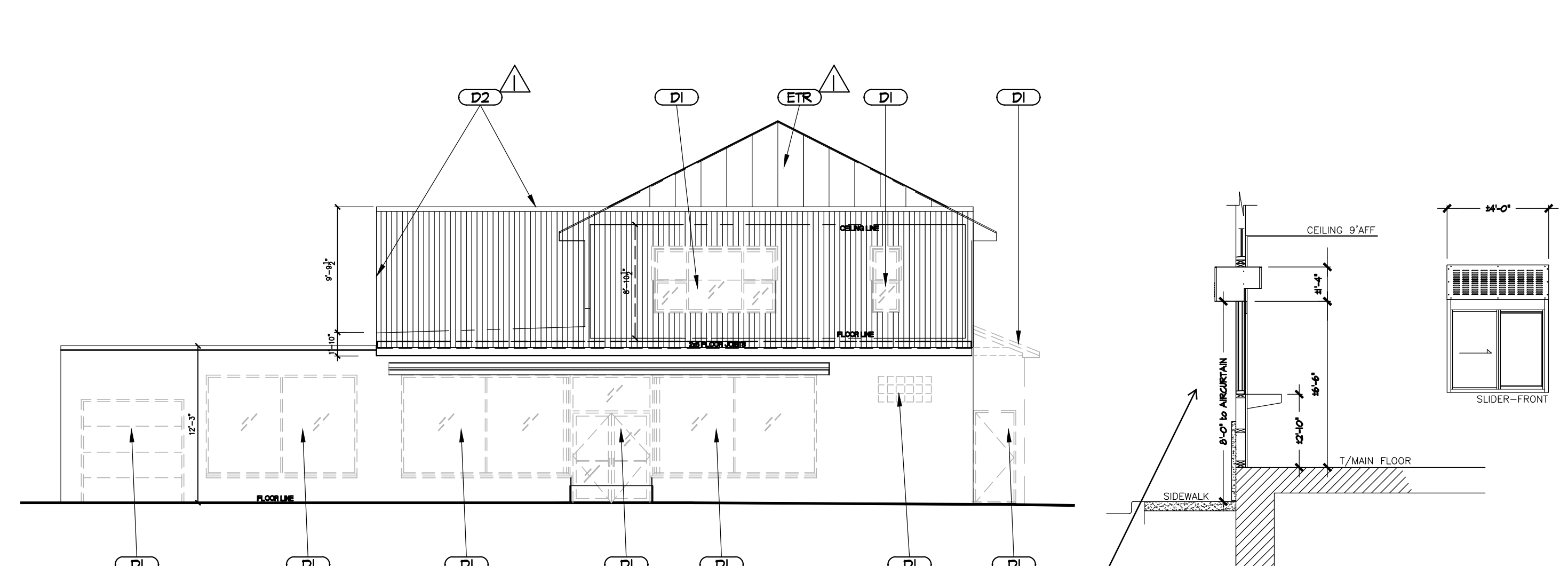
REAR (WEST) ELEVATION
SCALE: 1/8" = 1' - 0"



SIDE (SOUTH) ELEVATION
SCALE: 1/8" = 1' - 0"



SIDE (NORTH) ELEVATION
SCALE: 1/8" = 1' - 0"



EXISTING FRONT ELEVATION - DEMOLITION
SCALE: 1/8" = 1' - 0"

PIZZA WINDOW DETAIL
SCALE: 1/4" = 1' - 0"

EXTERIOR ELEVATION KEYNOTES

- ETR EXISTING TO REMAIN; GC SHALL INSPECT ALL ITEMS IN FIELD; REPAIR, REPLACE, CORRECT ALL ITEMS AS REQUIRED & COORDINATE w/OWNER
- 1 NEW STOREFRONT SYSTEM; REMOVE EXTG, CLEAR ANODIZED ALUMINUM FRAMES, 1" CLEAR INSULATED GLASS, TEMPERED GLASS AS REQUIRED BY CODES; SHADED AREAS OPAQUE SPANDREL (INSULATED) GLASS
- 2 NEW ALUMINUM/GLASS MEDIUM STYLE ENTRY DOORS w/TRANSOM TO MATCH STOREFRONT. INCLUDE ALL DOOR HARDWARE AS REQUIRED, PROVIDE ADDRESS VINYL; MIN 4" H w/0.5" STROKE
- 2A NEW KNOX BOX at FRONT ENTRY PER FIRE DEPT.
- 3 REPLACE (2) UPPER LEVEL FRONT WINDOWS TO MATCH STOREFRONT
- 4 PIZZA WALK-UP WINDOW; READY HEATED #275 SERIES SLIDER & AA300 HEATED AIR CURTAIN SEE DETAIL 2/A7.0
- 5 MANUFACTURED STONE VENEER OVER EXISTING BRICK INCLUDE WATERFALL SILL TRIM 3"-0" H. ELDORADO STONE (or EQ) COLOR/STYLE AS SELECTED BY OWNER
- 6 DECORATIVE WALL SCONCE LIGHTS, SELECTED BY OWNER. SEE ELECTRICAL DWGS
- 7 SLOPED STANDING SEAM ALUMINUM CANOPY; COLOR/STYLE AS SELECTED BY OWNER
- 8 RESTAURANT SIGNAGE by OWNER; GC/EC TO PROVIDE POWER TO GOOSENECK LIGHTS AS REQ'D. SIGN VENDOR SHALL APPLY & SECURE A SEPARATE VILLAGE SIGN PERMIT
- 9 EXISTING HORIZONTAL WALL SIDING; REPAIR DISTRESSED AREAS AS REQ'D (VIF) NEW PAINT COLOR-TBD BY OWNER
- 10 GC TO CONSTRUCT EQUIPMENT SCREEN WALL; CONFIRM REQ'D HEIGHT w/ROOFTOP EQUIPMENT
- 11 HOLLOW METAL, INSULATED, PAINTED NEW DOOR AND FRAME PER PLAN
- 12 EXTERIOR METAL STAIR w/RAILINGS, OPEN SAFETY TREADS, GALVANIZED METAL & PAINTED PER OWNER COLOR SELECTION
- 13 REPAIR ALL AREAS OF DAMAGED, CRACKED CMU WALLS AS REQ'D; PAINT w/SW-LOXON MASONRY PAINT, COLOR BY OWNER
- 14 EXTERIOR WALL PAK SECURITY LIGHT FIXTURE; SEE ELECTRICAL DWGS
- 15 FURNISH & INSTALL NEW ALUMINUM GUTTERS & DOWNSPOUTS
- 16 CONCRETE (ADA) RAMP, ENTRY DOOR STOOP & STEPS; COMPLETE WITH NEW 1.5" METAL RAILINGS; PRIME/PAINT AS REQUIRED-SEE DETAIL
- 17 OMITTED PER OWNER EXTERIOR WALL ART PANEL
- 18 INFILL AREAS MASONRY WALL AS REQUIRED UPON REMOVAL OF DEMO ITEMS

GENERAL NOTES:

- REFER TO PLAN; REMOVE OLD WINDOWS AS INDICATED- PATCH OPENING & INSTALL SIDING TO MATCH, AS REQUIRED
- NEW EXTERIOR STAIRS & RAILINGS SHALL BE A DESIGNATED DESIGN ITEM IN CONJUNCTION WITH THE GC SELECTED SUBCONTRACTOR
- OWNER SHALL PROVIDE SELECTIONS ON ALL COLOR, MATERIALS AND EXTERIOR FIXTURES IN CONJUNCTION WITH THE GC
- GC & SPECIFIC SUBCONTRACTORS SHALL INSPECT EXTERIOR WALLS, ROOF & GROUNDS TO CORRECT ANY HAZARDS AND DAMAGES AS REQUIRED

DEMOLITION NOTES:

- D1 REMOVE DASHED ITEMS AS INDICATED; REPLACE PER ABOVE KEYNOTES
- D2 REPAIR EXISTING FRONT SCREEN FRAMING, PATCH & PAINT COMPLETE PER OWNER

EXTERIOR RAMP/STAIR NOTES:

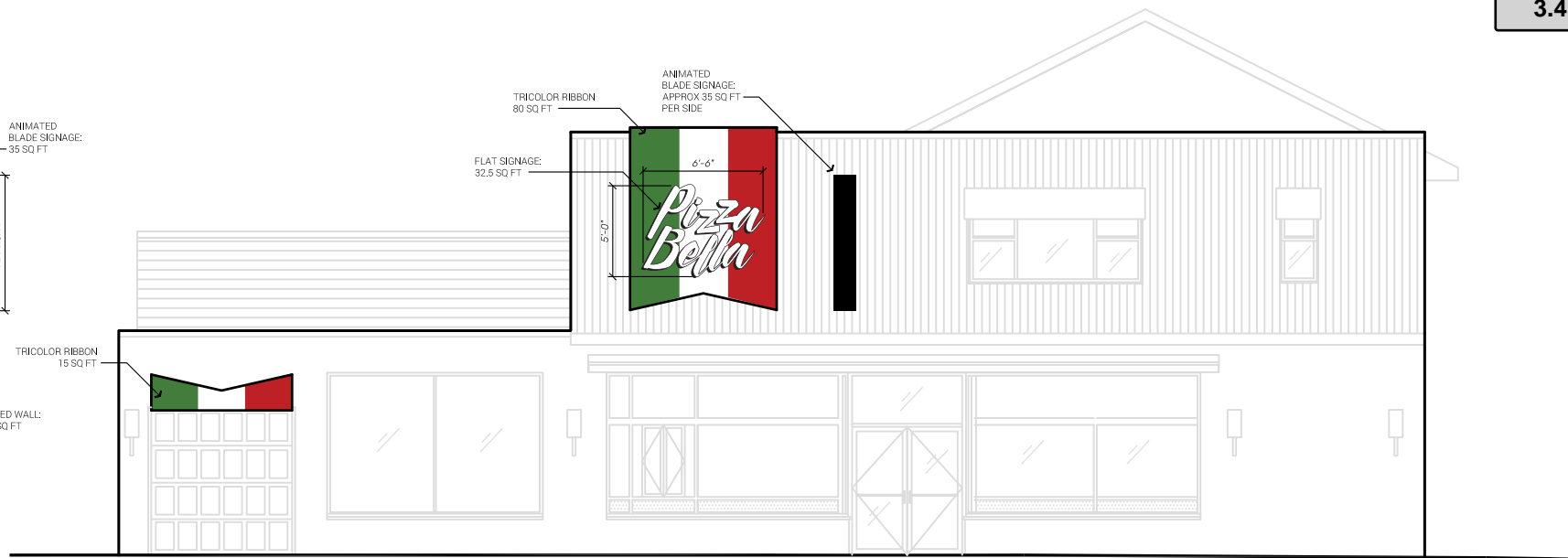
- R1 RAMP SLOPE 1:16; RUN 21.4' RISE 16" CONCRETE "BROOMED" FINISH on RAMP & LANDINGS
- R2 1-1/2"ø TUBULAR EXTERIOR RAILING w/VERTICAL PICKETS (SPACED TO BLOCK A 4" SPHERE)
- R3 CONCRETE STEPS; 3 EQUAL RISERS, ANTI-SLIP NOSINGS; MIN. 11" TREADS

REVISION	BY
PROJ111111	RK
VLS REVISED SPECIAL USE 06/12/2022	RK

PROJECT:
PIZZA BELLA - BUILD OUT
16 NORTH BROCKWAY STREET
PALATINE IL 60067

DRAWN: RK
CHECKED: RK
DATE: 03/28/2022
SCALE: AS NOTED
JOB NO.: 21-0016
SHEET: A7.0

Attachment: Elevations (16 N Brockway St - SU VAR Restaurant)

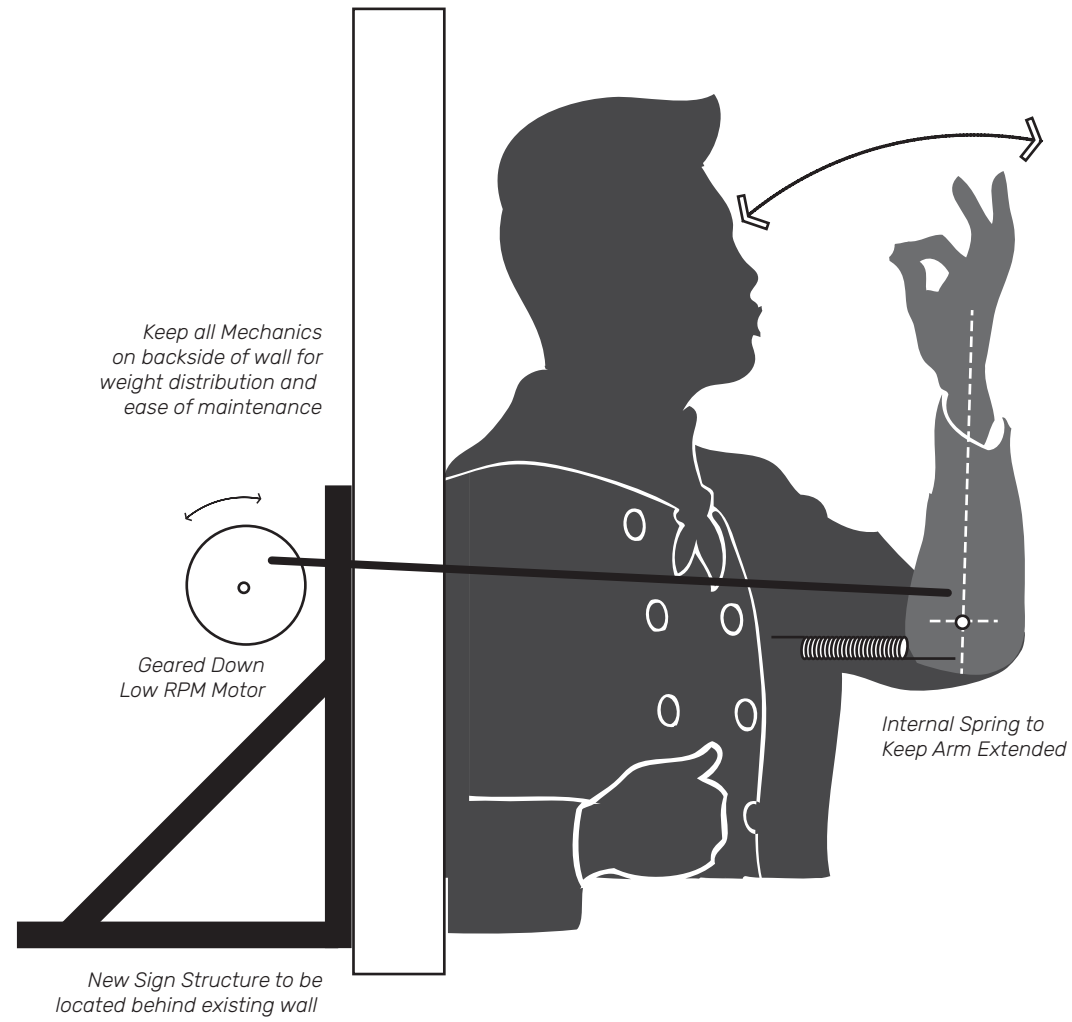


SIDE MURAL

SOUTH ELEVATION

FRONT SIGNAGE

EAST ELEVATION



PROPOSED PIZZA BELLA EXTERIOR
15 JUN 2022

Pizza Bella

PUBLIC NOTICE
 A Public Hearing will be held before the Palatine Zoning Board of Appeals on Tuesday, July 26, 2022 at 7 PM, in the Village Council Chambers at Palatine Village Hall, 200 E. Wood Street, relative to a request for the following:
Special Use to permit a restaurant with a local liquor license.
Variation to permit 230 square feet of total signage, instead of the permitted 75 square feet.
Variation to permit painted signs on the south elevation of the building and to allow signage to face the side yard.
 The property is commonly known as 16 N. Brockway Street.
 The Petitioner is proposing to relocate an existing restaurant (Pizza Bella) to the subject property.
 The above petition has been filed by Tony DeFilippis, Little Brothers Pizza Inc. and is available for examination in the office of the Village Clerk, 200 E. Wood Street.
 FILE #: 22-13
 VILLAGE OF PALATINE
 Jan Wood, Chair
 Palatine Zoning Board of Appeals
 DATED: This 11th day of July, 2022
 Published in Daily Herald July 11, 2022 (4585342)

CERTIFICATE OF PUBLICATION

Paddock Publications, Inc.

Northwest Suburbs **Daily Herald**

Corporation organized and existing under and by virtue of the laws of the State of Illinois, DOES HEREBY CERTIFY that it is the publisher of the **Northwest Suburbs DAILY HERALD**. That said **Northwest Suburbs DAILY HERALD** is a secular newspaper, published in Arlington Heights and has been circulated daily in the Village(s) of: Arlington Heights, Barrington, Barrington Hills, Bartlett, Buffalo Grove, Deer Park, Des Plaines, Elk Grove, Franklin Park, Glenview, Hanover Park, Hoffman Estates, Inverness, Melrose Park, Morton Grove, Mt Prospect, Niles, Northbrook, Northfield, Northlake, Palatine, Park Ridge, Prospect Heights, River Grove, Rolling Meadows, Rosemont, Schaumburg, Schiller Park, South Barrington, Streamwood, Wheeling, Wilmette

County(ies) of Cook
 and State of Illinois, continuously for more than one year prior to the date of the first publication of the notice hereinafter referred to and is of general circulation throughout said Village(s), County(ies) and State.

I further certify that the Northwest Suburbs DAILY HERALD is a newspaper as defined in "an Act to revise the law in relation to notices" as amended in 1992 Illinois Compiled Statutes, Chapter 715, Act 5, Section 1 and 5. That a notice of which the annexed printed slip is a true copy, was published 07/11/2022 in said Northwest Suburbs DAILY HERALD.

IN WITNESS WHEREOF, the undersigned, the said PADDOCK PUBLICATIONS, Inc., has caused this certificate to be signed by, this authorized agent, at Arlington Heights, Illinois.

PADDOCK PUBLICATIONS, INC.
 DAILY HERALD NEWSPAPERS

BY *Daula Baltz*
 Designee of the Publisher and Officer of the Daily Herald

Control # 4585342

Attachment: Public Notice (16 N Brockway St - SU VAR Restaurant)

VILLAGE OF PALATINE
Zoning Board of Appeals

SCHEDULED 07/26/22 07:00 PM

CASE STAFF STATEMENT (ID # 7719)

375 W. Northwest Highway

TO: Palatine Zoning Board of Appeals
Jan Wood, Chair

FROM: Alex Bradshaw

PETITIONER: Manny Rafidia

CASE NUMBER: 22-25

ADDRESS: 375 W. Northwest Highway (One Taco Dos Tequilas)

PROPOSAL:
Special Use Amendment to permit an expanded floor plan for an existing restaurant.

LOCATION: 375 W. Northwest Highway District 6 (Helms)	CURRENT ZONING: B-2 General Business District
---	---

SURROUNDING CONDITIONS:

North:	P - Planned Development (Residential - Lexington Oaks Townhomes)
South:	M - Manufacturing / U - Utility/Municipal (Vacant Grassland)
East:	B-2 General Business District (Steven's Pointe)
West:	P - Planned Development (Residential - Hidden Prairie Townhomes)

BACKGROUND:

The Petitioner is proposing to expand the floor plan for an existing restaurant, One Taco Dos Tequilas, into an adjoining tenant space. Per the submitted application, the proposed expansion will be utilized for video gaming, which is considered an ancillary use. Therefore, the Petitioner is requesting approval of the following:

Special Use Amendment to permit an expanded floor plan for an existing restaurant.

SITE ANALYSIS:

- The existing One Taco Dos Tequilas restaurant is proposing to expand their operations into the tenant space north of their current location, all of which is within the Century Plaza Shopping Center. The proposed expansion will add approximately 368 sf to the floor plan, bringing the restaurant's total to approximately 2,700 sf.
- The proposed change to the floor plan will functionally be a Special Use Amendment to the Special Use O-60-19.

- The limited seating added for the proposed ancillary video gaming use will not impact the parking requirement for the Subject Property.
- There are no proposed changes to the hours of operation.

DEPARTMENTAL REVIEWS:

Community Services	No Issues Identified.
Engineering	No Issues Identified.
Environmental Health	N/A
Fire Prevention	N/A
Public Works	N/A
Police	N/A

STANDARDS FOR SPECIAL USE: Since this Petition is not for a use publicly operated or traditionally affected with the public interest, those standards under Section 14.05 D (2) and (3) are applicable. Specifically, the Petitioners must show that the Special Use, if granted, is so designed, located, and proposed to be operated that the public health, safety, and welfare will be protected and will not cause substantial injury to the value of other property in the neighborhood in which it is located. The Petitioners have attempted to address the required standards.

STAFF RECOMMENDATION:

The Petitioner is proposing to expand the floor plan of their existing restaurant into a vacant tenant space directly adjacent to the current location. As the additional seating associated with the expanded floor plan is limited the parking requirement will remain the same. Furthermore, the new space's proposed ancillary use will not change the current hours of operation. Therefore, Staff recommends approval of the requested Special Use Amendment with the following condition:

1. The Special Use shall substantially conform to the Floor Plan submitted by the Petitioner, Manny Rafidia, except as such plans may be changed to conform to the Village's Codes and Ordinances.

ATTACHMENTS:

- Aerial Map
- Application
- Business Plan
- Floor Plan
- Public Notice

375 W. Northwest Highway (One Taco)

3.5.a



Attachment: Aerial Map (375 W. Northwest Hwy - SU Amend)



**ADMINISTRATIVE
SPECIAL USE & VARIATION APPLICATION**

Department of Planning & Zoning
200 E. Wood Street · Palatine, IL · 60067-5339
Telephone: (847) 359-9047 · Fax (847) 963-6247

Office Use Only	Project Planner	Zoning Case #
	Filing Fee	Notification Deadline
	ZBA Public Hearing Date	Village Council Date



Background Information	PETITIONER(S) Manny Rafidia		Business Name (if applicable) One Taco Dos Tequilas	
	Subject Property Address 375 W. Northwest Hwy.			
	AUTHORIZED AGENT (if applicable) Manny Rafidia		Business Name (if applicable) One Taco Dos Tequilas	
	Address PO Box 338, Itasca, IL 60143		City/State/Zip Code	
	Telephone 847-921-9200	Fax	Email crmadison@gmail.com	
	Relationship to Petitioner (contractor, architect, etc.) Owner			
	TYPE OF APPLICATION (check one) <input type="checkbox"/> Special Use <input checked="" type="checkbox"/> Special Use Amendment <input type="checkbox"/> Variation			
	Existing Zoning District	Existing Land Use	Proposed Land Use	
	Generally describe your request: _____ Special Use Amendment to incorporate an expanded floor plan (additional 1,690 square feet) from the initially approved special use for the use of future video gaming area. _____ Video Gaming Terminals will be maintained & monitored by J&J Ventures. J&J Ventures will have cameras on gaming terminals and cash machine with DVR and motion detector camera alarm on gaming area. The gaming terminals will not be visible from the outside. The gaming area will be private and only persons of 21 years of age and older will be allowed access which will be monitored by staff. _____ _____			

Attachment: Application (375 W. Northwest Hwy - SU Amend)



Administrative Special Use

Required Materials

- Filing Fee of \$ _____
- Application Form
- Plat of Survey (must show all current improvements and be sealed by an Illinois certified surveyor)
- Site Plan & Floor plan (dimension, location, and setbacks of all existing and proposed buildings) – **one 11x17 copy each, electronic version preferred**
- Real Estate Interest Disclosure Form (see attached)
- Proof of Ownership or Lease (e.g. Title Insurance Policy, Deed, or Purchase Contract)

Additional Materials (as required by the Village)

- Elevation Plan (front, side, and rear elevations of a proposed building), and/or Floor Plan (proposed interior layout) – **one 11x17 copy of each plan, electronic versions preferred**
- Engineering Plans (must indicate existing conditions, topography, storm water management, tree preservation, utility connections, detention calculations, and a cost estimate)
- Photographs (e.g. ground-level or aerials)
- Other materials as deemed necessary by the Village

Petitioner Justification

The Petitioner is required to present specific evidence related to each of the following standards to justify the request (paraphrased from Section 14.05 of the Palatine Zoning Ordinance). Answer the items below and attach a separate sheet if necessary. ***If you are applying for a Variation only, you do not need to answer these items.***

1. The use is deemed necessary for the public convenience at that location

The request for allowing video gaming terminals will be of public convenience offering the adult 21 and over community to have entertainment after or prior to enjoying a wonderful meal at our location. This will allow the 21 and over community to stay in the same area vs. driving to other townships for this entertainment use.

2. The use is designed, located, and proposed to be operated that the public health, safety and welfare will be protected

The proposed use of allowing video gaming terminals will be located in a separate space which only has one entry in, located next to the host station and the bar, allowing constant monitoring of entry as to not allow anyone under 21 year of age to enter. Additionally, video monitoring will be 24/7 and alarmed in all non-business hours.

3. The use will not cause substantial injury to nearby property values

The proposed gaming area will not be visible to the public from the exterior window or the dining/bar area of the restaurant. The location is in a private area that will only be accessed in one location within the establishment, where staff is constantly monitoring.

4. With respect to live entertainment uses, the use shall not:

- a. Produce noise levels so great as to constitute an unreasonable interference for persons outside the confines of the establishment
- b. Impose undue health, sanitation or safety burdens on the village
- c. Create excessive demands on the Village of Palatine Police Department
- d. Be of a nature otherwise prohibited by law or village ordinance

5. For fence standards, see Section 14.05 of the Palatine Zoning Ordinance

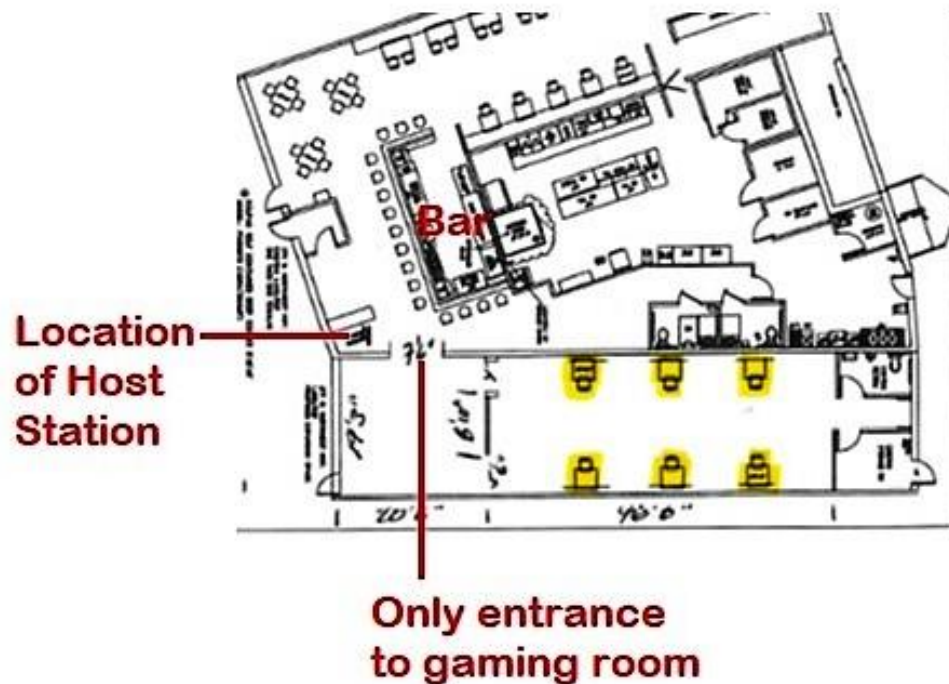
N/A

Attachment: Application (375 W. Northwest Hwy - SU Amend)

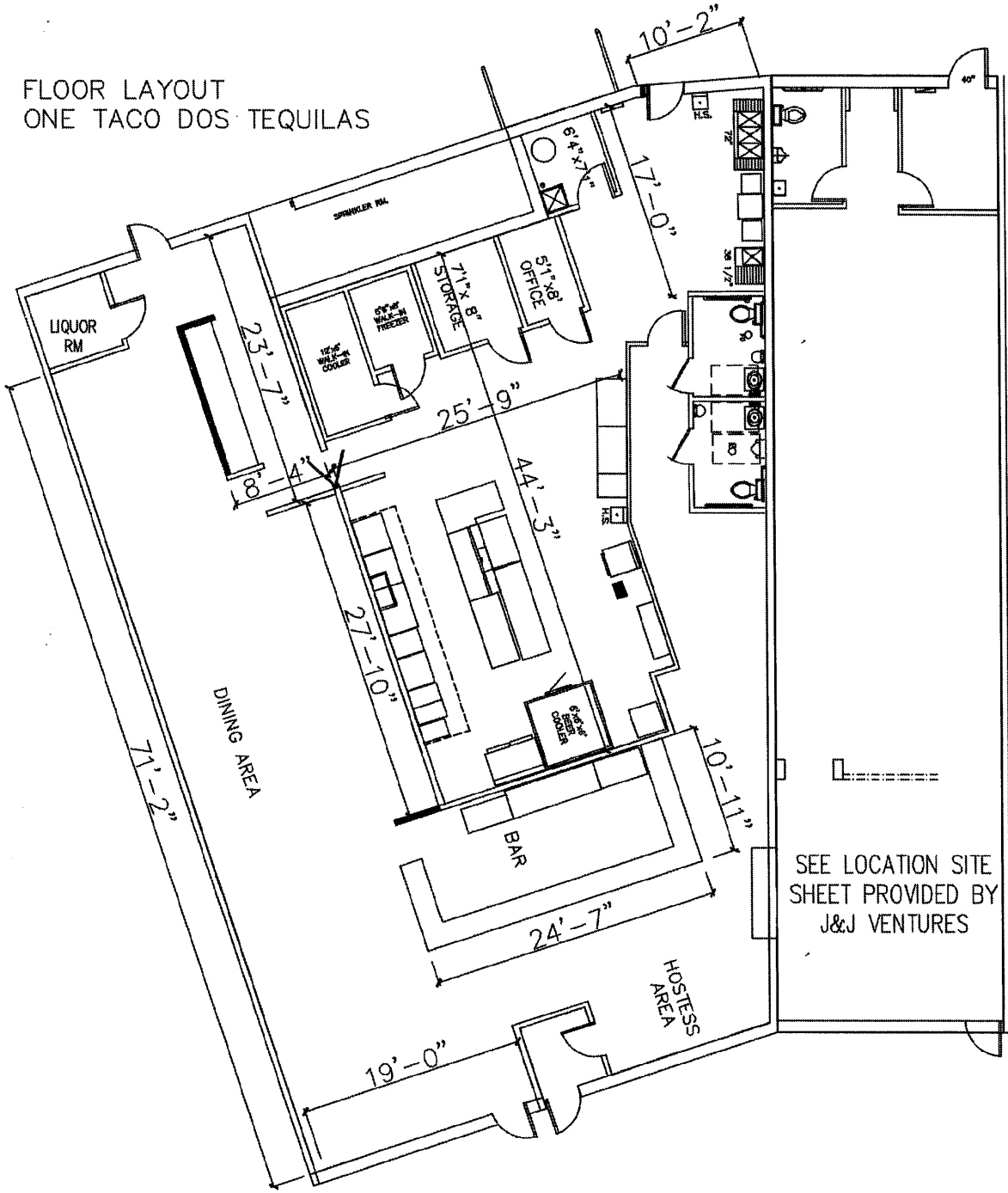
One Taco Palatine, Inc.
d/b/a One Taco Dos Tequilas
 375 W. Northwest Hwy.
 Palatine, IL 60067

Addendum to Business Plan to add video gaming.

The proposed gaming room is located to the right of the main bar and restaurant and only accessible through the main bar. The only entrance into the gaming room is located next to the hostess station and across from the bar. The gaming area will be private and only persons 21 years of age or older will be allowed in the gaming area. The hostess/bartender on staff will monitor the entry and require valid identification before allowing entry at all times to ensure patrons 21 years of age or older are allowed access. There shall be no additional seating in the gaming room, only the players shall be allowed in this gaming area. A staff member shall physically monitor and walk through the gaming area at a minimum of every 30 minutes. The games will not be visible from the outside. The gaming room will have six (6) video gaming terminals. The gaming terminals will be installed, maintained and monitored by J&J Ventures. J&J Ventures will have specific cameras on the gaming terminals and cash machine, with DVR and motion detection camera alarm for the gaming area.



FLOOR LAYOUT
ONE TACO DOS TEQUILAS



SEE LOCATION SITE SHEET PROVIDED BY J&J VENTURES

SEATING CAPACITY = 90
 DINING/BAR = 80
 GAMING = 10

KITCHEN-FOOD PREP = 1,075 SF
 DINING = 985 SF
 BAR = 270 SF

Attachment: Floor Plan (375 W. Northwest Hwy - SU Amend)



J&J Gaming

1500 S. Rancy St. Effingham IL

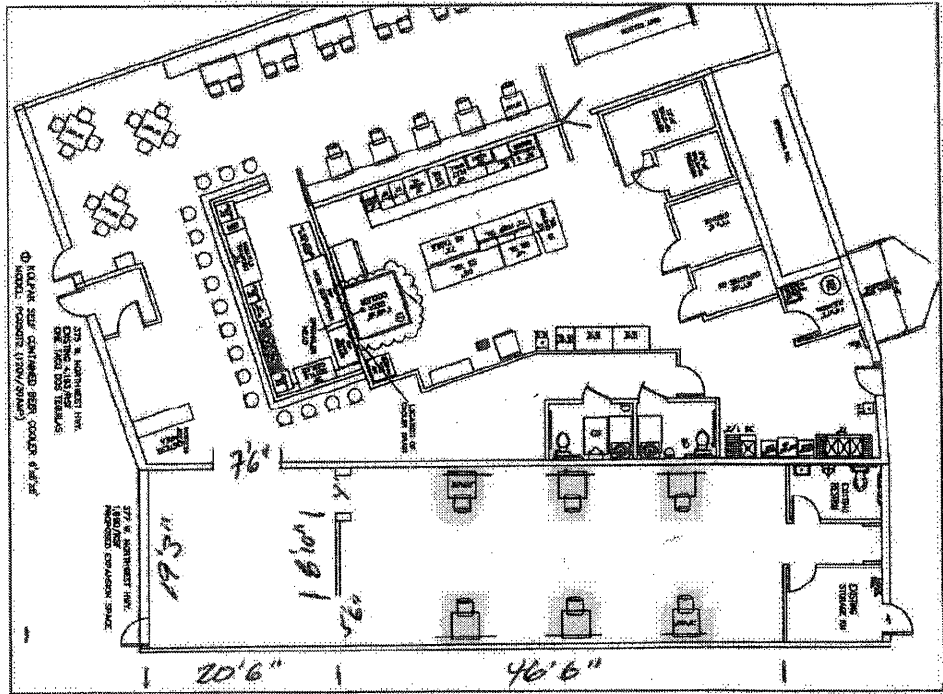
jventures.com

(855) 921-1030

Location Site Sheet

Date: 5-18-22 Territory: SCHAUMBURGH

Location Name: ONE TACO DOS TERQUILAS



Please attach photos of the location and include the following information on your site sheet:

- Gaming room orientation
- Gaming area dimensions (Length x Width x Height)
- Location of VGTs, NRT, closest outlets and internet modem
- Mark all entrances and attendant/bartender location in view of gaming room entrance

Notes:

PROPOSED GAMING ROOM TO BE LOCATED TO THE RIGHT OF MAIN BAR + RESTAURANT. ACCESSIBLE THROUGH MAIN BAR ONLY. SIX GAMES TO BE LOCATED HERE

Ceiling height: 10' inches Drop ceiling: YES NO Stanchion: YES NO

Electrical ready: YES NO Internet ready: YES NO Redemption: NRT SCX
*Denote location of internet modem.

Sci Games equipment needs moved: YES NO 3608 sq ft APPROX.

VGT's: 1 2 3 4 5 6 7 8 9 10 Spacers: 6" 10" 12" 16" Tables: 16" x 24" X6

Sales Contact: SCOTT MALAK Phone: 847-452-6005

Attachment: Floor Plan (375 W. Northwest Hwy - SU Amend)

PUBLIC NOTICE
 A Public Hearing will be held before the Palatine Zoning Board of Appeals on Tuesday, July 26, 2022 at 7 PM, in the Village Council Chambers at Palatine Village Hall, 200 E. Wood Street, relative to a request for the following:
Special Use Amendment to permit an expanded floor plan for an existing restaurant.
 The property is commonly known as 375 W. Northwest Highway.
 The Petitioner is proposing to expand the floor plan for an existing restaurant, One Taco Dos Tequilas, into an adjoining tenant space. Per the submitted application, the proposed expansion will be utilized for video gaming, which is considered an ancillary use.
 The above petition has been filed by Munir Rafidia and is available for examination in the office of the Village Clerk, 200 E. Wood Street.
 FILE #: 22-25
 VILLAGE OF PALATINE
 Jan Wood, Chair
 Palatine Zoning Board of Appeals
 DATED: This 11th day of July, 2022
 Published in Daily Herald July 11, 2022 (4585344)

CERTIFICATE OF PUBLICATION

Paddock Publications, Inc.

Northwest Suburbs **Daily Herald**

Corporation organized and existing under and by virtue of the laws of the State of Illinois, DOES HEREBY CERTIFY that it is the publisher of the **Northwest Suburbs DAILY HERALD**. That said **Northwest Suburbs DAILY HERALD** is a secular newspaper, published in Arlington Heights and has been circulated daily in the Village(s) of: Arlington Heights, Barrington, Barrington Hills, Bartlett, Buffalo Grove, Deer Park, Des Plaines, Elk Grove, Franklin Park, Glenview, Hanover Park, Hoffman Estates, Inverness, Melrose Park, Morton Grove, Mt Prospect, Niles, Northbrook, Northfield, Northlake, Palatine, Park Ridge, Prospect Heights, River Grove, Rolling Meadows, Rosemont, Schaumburg, Schiller Park, South Barrington, Streamwood, Wheeling, Wilmette

County(ies) of Cook

and State of Illinois, continuously for more than one year prior to the date of the first publication of the notice hereinafter referred to and is of general circulation throughout said Village(s), County(ies) and State.

I further certify that the Northwest Suburbs DAILY HERALD is a newspaper as defined in "an Act to revise the law in relation to notices" as amended in 1992 Illinois Compiled Statutes, Chapter 715, Act 5, Section 1 and 5. That a notice of which the annexed printed slip is a true copy, was published 07/11/2022 in said Northwest Suburbs DAILY HERALD.

IN WITNESS WHEREOF, the undersigned, the said PADDOCK PUBLICATIONS, Inc., has caused this certificate to be signed by, this authorized agent, at Arlington Heights, Illinois.

PADDOCK PUBLICATIONS, INC.
DAILY HERALD NEWSPAPERS

BY *Daula Baltz*
Designee of the Publisher and Officer of the Daily Herald

Control # 4585344

Attachment: Public Notice (375 W. Northwest Hwy - SU Amend)

VILLAGE OF PALATINE
Zoning Board of Appeals

SCHEDULED 07/26/22 07:00 PM

CASE STAFF STATEMENT (ID # 7759)

1565 N. Quentin Road

TO: Palatine Zoning Board of Appeals
Jan Wood, Chair

FROM: Alex Bradshaw

PETITIONER: Munir Rafidia

CASE NUMBER: 22-29

ADDRESS: 1565 N. Quentin Road

PROPOSAL:
Special Use to permit a packaged liquor store.

LOCATION: 1565 N. Quentin Road District 1 (Millar)	CURRENT ZONING: Planned Development (Ellen Plaza)
--	---

SURROUNDING CONDITIONS:

North:	P - Planned Development (Insignia Homes - Residential Townhomes)
South:	Cook County (Jelly Café)
East:	R-1 Single-Family (Vacant)
West:	Deer Grove Forest Preserve

BACKGROUND:

The Petitioner is proposing to open a new packaged liquor store, Inverness Wine & Spirits. Therefore, the Petitioner is requesting approval of the following:

Special Use to permit a packaged liquor store.

SITE ANALYSIS:

- The Subject Property, zoned Planned Development, is located within the shopping center at the northeast corner of Dundee Road and Quentin Road.
- The subject tenant space was previously granted a Special Use to operate as a health club greater than 3,000 sf. However, the health club has since closed and the tenant space has been vacant since April of 2017.
- Per the submitted Business Plan, the hours of operation are:
 - Monday - Thursday: 11 AM - 9 PM

- Friday - Saturday: 11 AM - 10 PM
- Sunday: 12 PM - 8 PM
- In addition to alcohol, the Business Plan states that the store will also sell candy, snacks (e.g. prepackaged chips, peanuts, etc.), and soft drinks.
- Per the submitted Business Plan, the Petitioner will utilize the rear door to the alley behind the building for all deliveries. All daily deliveries will be limited to between 1-3 PM. Additionally, all trash and recycling will be stored in the premises and will have a nightly service for disposal of all discarded cardboard/recycling materials.
- The Business Plan indicates that there will be four part-time employees and three full-time employees, all of which will be obtain BASSET certification.
- The parking requirement would not change with this proposed use.

DEPARTMENTAL REVIEWS:

Community Services	No Issues Identified.
Engineering	No Issues Identified.
Environmental Health	N/A
Fire Prevention	No Issues Identified.
Public Works	N/A
Police	No Issues Identified.

STANDARDS FOR SPECIAL USE: Since this Petition is not for a use publicly operated or traditionally affected with the public interest, those standards under Section 14.05 D (2) and (3) are applicable. Specifically, the Petitioners must show that the Special Use, if granted, is so designed, located, and proposed to be operated that the public health, safety, and welfare will be protected and will not cause substantial injury to the value of other property in the neighborhood in which it is located. The Petitioners have attempted to address the required standards.

STAFF RECOMMENDATION:

The subject tenant space was previously granted a Special Use to operate as a health club, but has been vacant since 2017. The Petitioner is proposing to open a liquor store to fill the space and take advantage of the busy Dundee Road and Quentin Road intersection. The surrounding area consists of residential town homes to the north and Jelly Café to the south.

Staff understands that the proposed hours of operation are significantly later than the other tenants within the Plaza. However, the impact on the adjacent residential properties is diminished due to the tenant space being located on the far south end of the Plaza, by having deliveries occur only during the day, between 1 and 3 PM, and by

scaling back the hours of operation to be open no later than 10 PM on Friday and Saturday. Therefore, Staff recommends approval of the proposed Special Use, subject to the following condition:

1. The Special Use shall substantially conform to the Business Plan and Floor Plan submitted by the Petitioner, Munir Rafidia, except as such plans may be changed to conform to the Village of Palatine Codes and Ordinances.

ATTACHMENTS:

- Aerial Map
- Application
- Business Plan
- Floor Plan
- Plat of Survey
- Public Notice

1565 N. Quentin Road



Attachment: Aerial Map (1565 N. Quentin Road - SU Liquor Store)



SPECIAL USE & VARIATION APPLICATION

Department of Planning & Zoning
 200 E. Wood Street · Palatine, IL · 60067-5339
 Telephone: (847) 359-9047 · Fax (847) 963-6247

Office Use Only	Project Planner	Zoning Case #
	Filing Fee	Notification Deadline
	ZBA Public Hearing Date	Village Council Date

date received

Background Information	PETITIONER(S)		Business Name (if applicable)
	Subject Property Address		
	AUTHORIZED AGENT (if applicable)		Business Name (if applicable)
	Address		City/State/Zip Code
	Telephone	Fax	Email
	Relationship to Petitioner (contractor, architect, etc.)		
	TYPE OF APPLICATION (check one)		
	<input type="checkbox"/> Special Use <input type="checkbox"/> Special Use Amendment <input type="checkbox"/> Variation		
	Existing Zoning District	Existing Land Use	Proposed Land Use
	Generally describe your request:		
_____ _____ _____ _____ _____ _____ _____ _____			

Attachment: Application (1565 N. Quentin Road - SU Liquor Store)



Special Use

Required Materials

- Filing Fee of \$ _____
- Application Form
- Plat of Survey (must show all current improvements and be sealed by an Illinois certified surveyor)
- Site Plan & Floor plan (dimension, location, and setbacks of all existing and proposed buildings) – **one 11x17 copy each, electronic version preferred**
- Real Estate Interest Disclosure Form (see attached)
- Proof of Ownership or Lease (e.g. Title Insurance Policy, Deed, or Purchase Contract)

Additional Materials (as required by the Village)

- Elevation Plan (front, side, and rear elevations of a proposed building), and/or Floor Plan (proposed interior layout) – **one 11x17 copy of each plan, electronic versions preferred**
- Engineering Plans (must indicate existing conditions, topography, storm water management, tree preservation, utility connections, detention calculations, and a cost estimate)
- Photographs (e.g. ground-level or aerials)
- Other materials as deemed necessary by the Village

Petitioner Justification

The Petitioner is required to present specific evidence related to each of the following standards to justify the request (paraphrased from Section 14.05 of the Palatine Zoning Ordinance). Answer the items below and attach a separate sheet if necessary. ***If you are applying for a Variation only, you do not need to answer these items.***

1. The use is deemed necessary for the public convenience at that location

The request for allowing an upscale wine and spirits store will be of convenience for the public allowing the area residents along with the surrounding area to purchase a variety of specialty and unique wines and beverages that would not be available at most common locations.

2. The use is designed, located, and proposed to be operated that the public health, safety and welfare will be protected

The proposed use of allowing this wine & spirits store will be staffed at all times with educated and responsible adults that will require identification as to not allow anyone under the age of 21 to purchase alcoholic beverages and will ensure that the establishment is under constant video monitoring and alarmed after business hours.

3. The use will not cause substantial injury to nearby property values

The proposed wine and spirits store will be a visually "upscale" store, offering specialty and unique alcoholic beverages. There will be no neon lighted signage in the windows, only window decals to be located in every other window pane as to not overdo the decor. The location will be properly monitored and maintain a safe and "upscale" retail store for the public.

4. With respect to live entertainment uses, the use shall not:
 - a. Produce noise levels so great as to constitute an unreasonable interference for persons outside the confines of the establishment
 - b. Impose undue health, sanitation or safety burdens on the village
 - c. Create excessive demands on the Village of Palatine Police Department
 - d. Be of a nature otherwise prohibited by law or village ordinance
5. For fence standards, see Section 14.05 of the Palatine Zoning Ordinance

N/A

Attachment: Application (1565 N. Quentin Road - SU Liquor Store)

Ellen Plaza

June 24, 2022

1557 – 1589 N. Quentin Rd, Palatine, IL 60074

Business Plan:

Inverness Wine & Spirits

Dear Mayor and Board of Trustees,

Please see attached business plan and layout of proposed wine and spirit facility at 1565 N. Quentin Rd, Palatine, IL 60074.

We are proposing to seek a full liquor license to sell high end wine, spirits, and craft beer. We believe we will attract business from Inverness, Barrington, and Palatine areas. Our hours of operation will be:



This establishment will employ four part-time employees and three full-time employees. All employees will have a basset certificate from the Village of Palatine in order to be hired for work. We will diligently check every person's I.D. regardless of their age and set high standards for the workplace environment. Also, this establishment will be ADA compliant.

Furthermore, we are installing a surveillance system throughout the place to cover the entrance and exits. The system will save surveillance footage for approximately 30 days. The deliveries will be limited between 1-3PM daily and will be delivered through the back door. Lastly, we will sell candy, snacks (e.g chips, peanuts, etc.), and soft drinks.

We hope that you will approve our above request.

Please do not hesitate to contact me at (847) 921-9200 or crmadison@gmail.com.

Kind regards,
Manny Rafidia

Attachment: Business Plan (1565 N. Quentin Road - SU Liquor Store)

Please find my responses below to address the concerns presented by the Residential Board for the townhomes to the north of the property.

We intend to dispose of the trash and recycling in the following manner. We will store all cardboard broken down boxes, etc., in the premises and have a nightly service for disposal of all discarded cardboard/recycling materials. The store will produce a minimum amount of trash, which will be disposed of in a regular 96-gallon container and picked up on the same weekly schedule as the other tenants at the property.

Images of the interior window signage is attached; one logo will be placed in every other window pane.

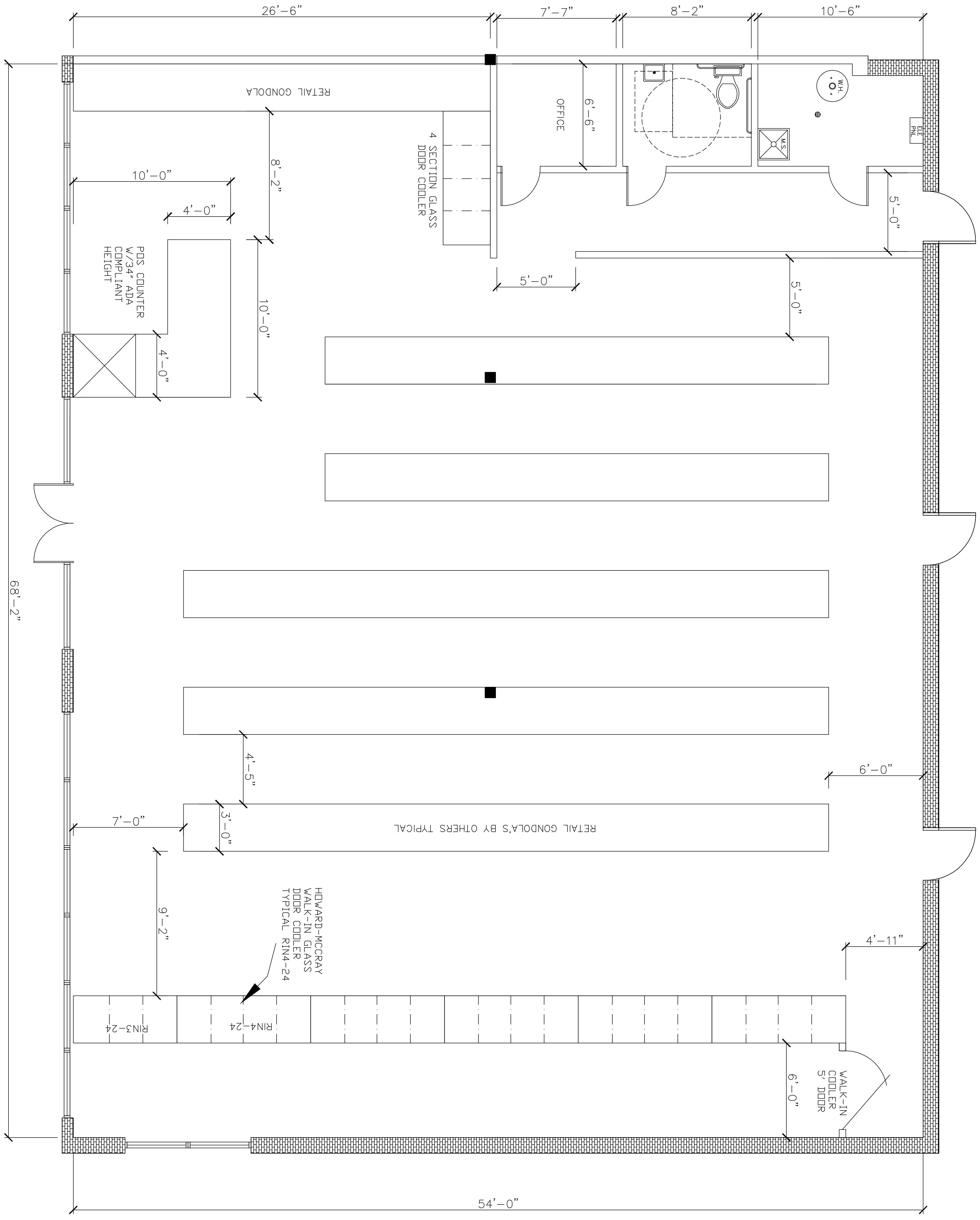
With regards to ownership experience. The owner, Manny Rafidia, has opened multiple wine & spirit stores, Armanetti Beverage Mart in Roselle along with the buildout of Armanetti's in Bartlett and the Wine Cellar in Palatine. Manny has several family members along with the younger generation as part of his real estate and retail business operations. Jeremy and Amir Rafidia, sons of Manny along with Henry and Mark Rafidia, Manny's nephews and Manny's brother Ed Rafidia, who is also a partner in all real estate owned, including Ellen Plaza. In addition, Manny has opened many restaurants, including One Taco Dos Tequilas located at 375 W. Northwest Hwy. in Palatine which is estimated to generate approximately two million dollars in sales this year. Also, the newly opened Hot Pockets Sports Bar located at 365 W. Northwest Hwy. with estimated annual sales to be approximately two million dollars.

Both Manny and his brother Ed have over 40 years of both real estate and retail business experience. The family members help operate all the business and Manny will assign one member to perform the day-to-day operations.

We are open to working with the neighboring townhome board members on our hours of operation. We propose our hours of operation Monday-Thursday 11:00 am-9:00 pm, Friday-Saturday 11:00 am-10:00 pm and Sunday from 12:00 pm-8:00 pm.

To address the issues of traffic from cars attempting to utilize the rear gated-drive that connect the two adjacent properties, there is a gate that is locked by the home owner's association. If it is required to have any additional security measures taken other than the currently locked gate, we are willing to work with the association. Manny has been in contact with Pamela Wilkinson, President of Forest Glen Association and a situation was discussed about an issue they have had from the Animal Hospital, as to where there were droppings from the pets on their property, it was suggested that we put up a fencing barrier between the properties to eliminate this issue.

In conclusion, we believe the Ellen Plaza had suffered from high vacancies throughout the years and an upscale fine wine and spirits store will help create a stable, long term and viable business in the neighborhood. Manny and his team have successfully purchased distressed shopping centers in Addison, Roselle, Bartlett and Montgomery and has performed a complete over hall, not only in beautifying the centers but also obtaining long term, reputable tenants in these centers. We hope this will address the concerns the association have and would like to reiterate that we are more than willing to work with the association to respond and resolve any further concerns.



INVERNESS WINE & SPIRITS
 1565 N. QUENTIN RD.
 3,850/RSF

PUBLIC NOTICE
A Public Hearing will be held before the Palatine Zoning Board of Appeals on Tuesday, July 26, 2022 at 7 PM, in the Village Council Chambers at Palatine Village Hall, 200 E. Wood Street, relative to a request for the following:
Special Use to permit a packaged liquor store.
The property is commonly known as 1565 N. Quentin Road.
The Petitioner is proposing to open a new packaged liquor store, Inverness Wine & Spirits.
The above petition has been filed by Munir Rafidia and is available for examination in the office of the Village Clerk, 200 E. Wood Street.
FILE #: 22-29
VILLAGE OF PALATINE
Jan Wood, Chair
Palatine Zoning Board of Appeals
DATED: This 11th day of July, 2022
Published in Daily Herald July 11, 2022 (4585346)

CERTIFICATE OF PUBLICATION

Paddock Publications, Inc.

Northwest Suburbs Daily Herald

Corporation organized and existing under and by virtue of the laws of the State of Illinois, DOES HEREBY CERTIFY that it is the publisher of the **Northwest Suburbs DAILY HERALD**. That said **Northwest Suburbs DAILY HERALD** is a secular newspaper, published in Arlington Heights and has been circulated daily in the Village(s) of: Arlington Heights, Barrington, Barrington Hills, Bartlett, Buffalo Grove, Deer Park, Des Plaines, Elk Grove, Franklin Park, Glenview, Hanover Park, Hoffman Estates, Inverness, Melrose Park, Morton Grove, Mt Prospect, Niles, Northbrook, Northfield, Northlake, Palatine, Park Ridge, Prospect Heights, River Grove, Rolling Meadows, Rosemont, Schaumburg, Schiller Park, South Barrington, Streamwood, Wheeling, Wilmette

County(ies) of Cook
and State of Illinois, continuously for more than one year prior to the date of the first publication of the notice hereinafter referred to and is of general circulation throughout said Village(s), County(ies) and State.

I further certify that the Northwest Suburbs DAILY HERALD is a newspaper as defined in "an Act to revise the law in relation to notices" as amended in 1992 Illinois Compiled Statutes, Chapter 715, Act 5, Section 1 and 5. That a notice of which the annexed printed slip is a true copy, was published 07/11/2022 in said Northwest Suburbs DAILY HERALD.

IN WITNESS WHEREOF, the undersigned, the said PADDOCK PUBLICATIONS, Inc., has caused this certificate to be signed by, this authorized agent, at Arlington Heights, Illinois.

PADDOCK PUBLICATIONS, INC.
DAILY HERALD NEWSPAPERS

BY *Daula Baltz*
Designee of the Publisher and Officer of the Daily Herald

Control # 4585346

Attachment: Public Notice (1565 N. Quentin Road - SU Liquor Store)