



## PLANNING AND ZONING COMMISSION

MARCH 10, 2026 AT 7:00 PM

VILLAGE HALL - COUNCIL CHAMBERS  
200 E. WOOD STREET  
PALATINE, IL 60067-5339  
(847) 359-9050 [www.palatine.il.us](http://www.palatine.il.us)

## AGENDA

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### REGULAR MEETING

7:00 PM

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#### I. CALL TO ORDER

#### II. ROLL CALL

#### III. APPROVAL OF MINUTES

- A. February 10, 2026, Draft Planning and Zoning Commission Minutes

#### IV. PUBLIC HEARING

- A. 606 E. Kenilworth Avenue

- 1. Variation to construct a 12-foot wide stoop in the required side yard abutting a street, instead of the maximum width of 9 feet, for stoops as a permitted obstruction.

- B. 763 N. Franklin Avenue

- 1. Preliminary/Final Plat of Subdivision to permit a 2-lot single-family residential development.

- C. Preliminary Planned Development to allow a 40-unit townhouse development for the property at 885 W, Dundee Road and 1490 N. Quentin Road - **THE PETITIONER REVISED THE PRELIMINARY PLANNED DEVELOPMENT PLANS TO ALLOW A 38-UNIT TOWNHOUSE DEVELOPMENT**

#### V. PUBLIC COMMENT

#### VI. ADJOURNMENT

#### VII. COMMUNICATIONS



**PLANNING AND ZONING COMMISSION**

**FEBRUARY 10, 2026 AT 7:00 PM**

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**MINUTES**

**REGULAR MEETING**

**7:00 PM**

**I. CALL TO ORDER**

Chairman Wood called the meeting to order at 7:10PM

**II. ROLL CALL**

<b>PRESENT :</b>	Planning & Zoning Commissioner Jan Wood, Planning & Zoning Commissioner Tim Schubert, Planning & Zoning Commissioner Kevin Cavanaugh, Planning & Zoning Commissioner Stephen Fedota, Planning & Zoning Commissioner Eric Friedman, Planning & Zoning Commissioner Patrick Noonan, Planning & Zoning Commissioner Rodney Bettenhausen, Planning & Zoning Commissioner Robert Kolososki
<b>ABSENT :</b>	Planning & Zoning Commissioner Cindy Roth Wurster
<b>ARRIVED :</b>	

**III. APPROVAL OF MINUTES**

Commissioner Bettenhausen moved to approve the minutes, Commissioner Kolososki seconded the motion. Motion approved by Voice Vote

<b>RESULT:</b>	<b>MOTION APPROVED BY VOICE VOTE</b>
<b>MOVER:</b>	Rodney Bettenhausen
<b>SECONDER:</b>	Robert Kolososki
<b>AYES:</b>	Jan Wood, Tim Schubert, Kevin Cavanaugh, Stephen Fedota, Eric Friedman, Patrick Noonan, Rodney Bettenhausen, Robert Kolososki
<b>NAYS:</b>	None

A. PZC Minutes 1-27-2026

<b>RESULT:</b>	<b>APPROVED BY VOICE VOTE</b>
<b>MOVER:</b>	Bettenhausen
<b>SECONDER:</b>	Kolososki
<b>AYES:</b>	Jan Wood, Tim Schubert, Kevin Cavanaugh, Stephen Fedota, Eric Friedman, Patrick Noonan, Rodney Bettenhausen, Robert Kolososki
<b>NAYES:</b>	None

#### IV. PUBLIC HEARING

- A. Special Use for a Unique Use at 2105, 2111, and 2115 N. Rand Road

##### **SU-000238-2026 – 2105, 2111 and 2115 N Rand Road**

Notice was published in the Palatine Journal & Topics on January 22, 2026 and mailed to the owners of the surrounding properties.

##### **Petitioner's Exhibits:**

1. **Business Plan**
2. **Site Plan Update 1/9/2026**
3. **Property Owner Affidavit of No New Improvements**
4. **Public Notice**
5. **Deerpath Lake Objection**
6. **Deerpath Lake Pictures**

##### **Background:**

Mr. Vyverberg provides background and states the Subject Property is zoned B-5 and was annexed into the Village in 1994. It consists of 3 separate lots, with the building and parking lot being confined to the 2 lots fronting on Rand Road. Historically, this property operated as a used auto dealership prior to its annexation and Top Notch auto obtained a Special Use for used auto sales and repair in 1994. After a brief period of vacancy on the property, the 3.64-acre property has functioned as a used auto and repair dealer consistently since annexation and was most recently transferred to the last last used auto sales' tenant in 2021. Northwest Trucks has also operated on N. Rand Road (across the street from the Subject Property), since annexation into the Village in 1989. Northwest Trucks and the Village entered into an annexation agreement in 1988, prior to receiving the initial special use to allow for truck, trailer, and parts' sales, in addition to truck repair of said trucks. The Petitioner expanded the original use to 2200 N. Rand Road in 2021. The Petitioner indicates that the business is operating at 110% capacity and has a contract to purchase the Subject Property and is therefore requesting a Special

use for a Unique Use to allow for truck, trailer, and parts' sales for the property at 2105, 2111, and 2115 N. Rand Road

**Sworn in petitioner:** Kurt Kassulat – Owner -Northwest Trucks, Inc - 2120 N. Rand Road

Mr. Kassulat states that his business has operated in Palatine since 1984 as a truck dealership. He explains that the request is for additional overflow parking for new truck inventory. He notes that the properties were originally purchased for different development purposes, but the current proposal is limited to overflow parking only. The site would also be used for file storage, supplies, tools, and parts inside the existing building. He confirms that no hazardous materials will be stored on-site.

Commissioner Noonan indicated that he know the Petitioner from athletic coaching with him many years ago, but that would in no way impact his ability to objectively evaluate this proposal.

Mr. Kassulat presents photographs regarding visibility. He notes that some photos were not included in the packet but were available for viewing at the meeting. He explains that residential homes are not visible from where vehicles would be parked due to a dense hedge line and tree buffer. He states that even in winter conditions, visibility into the parking area is largely blocked. He notes that some resident-submitted photos were taken from elevated balconies behind hedge lines and do not fairly represent actual visibility conditions. He acknowledges a limited area of approximately 75–100 feet where visibility is more open and states he would be willing to enhance hedging in that area. He confirms that only existing pavement will be used and that no new pavement is proposed.

Commissioner Friedman asks about the site plan and what the yellow areas represent.

Mr. Kassulat explains that the yellow areas originally represented proposed new pavement for a different development concept, which is no longer being pursued since the business acquired another property (the former Holiday Inn Express site at Dundee and Route 53).

Chairman Wood asks whether the area will be used for overflow customer parking or vehicle storage.

Mr. Kassulat states it will be used only for new truck inventory overflow parking. He explains that the current site can accommodate approximately 150–180 trucks and that overflow could range between 15–40 trucks, depending on inventory levels. Only new tractors (truck cabs) will be stored—there is not a current need to park trailers on the subject property.

Chairman Wood asks whether he owns or leases the property.

Mr. Kassulat confirms ownership.

Chairman Wood asks whether the long-term plan is to relocate overflow parking to the former Holiday Inn property.

Mr. Kassulat states that this is the long-term intent but that redevelopment would

take approximately 2–3 years due to permitting, demolition, and construction requirements.

Chairman Wood references the site plan and notes that rear shrubbery does not appear dense.

Mr. Kassulat responds that there is approximately 8–10 feet of shrubbery at the edge of the pavement extending to Hicks Road and that it forms a solid visual buffer.

Chairman Wood asks about truck height.

Mr. Kassulat states that the trucks are approximately 13 feet tall and to block their visibility would require 15 feet in height. Mr. Kassulat indicates with their current sales cycle, nothing would be parked on the site for the next 3-4 months.

Commissioner Schubert clarifies that the anticipated volume is approximately 15–40 trucks at a time.

Mr. Kassulat confirms that current numbers are lower but that inventory growth could require that level of overflow capacity.

Chairman Wood asks whether there is a landscaping or fencing plan and whether additional buffering would be added along the residential property line.

Mr. Kassulat reiterates that existing hedge lines and tree buffers already block most views and that the angle of visibility is largely obstructed.

Chairman Wood asks about noise levels and times of operation.

Mr. Kassulat states that deliveries occur during normal business hours only, with no activity after 4:00 p.m. Operations begin at 7:00 a.m., and trucks would leave the lot starting around 8:00 a.m. Trucks parked in the subject property which have gone through a predelivery process and all trucks are delivered and 99% of sales are pre-ordered. He confirms there will be no nighttime operations.

Commissioner Friedman asks whether the existing building will be used for maintenance.

Mr. Kassulat states it will not be used for maintenance—only for storage of files and obsolete equipment.

Commissioner Friedman asks whether trucks will move between properties.

Mr. Kassulat states that once trucks are parked, they will remain on-site until delivered. The only rare exception would be if a new vehicle would not start, which should not occur, as these are new vehicles and prepared for delivery. If that rare instance occurred, it would be to have a starting unit brought over to that property.

Commissioner Schubert asks whether tow trucks will be used.

Mr. Kassulat states no tow trucks will be needed.

Commissioner Cavanaugh asks about truck operation while parked.

Mr. Kassulat states trucks do not need to be started, have battery shutoffs, and can remain parked for up to six months without operation.

Commissioner Schubert asks about vandalism or theft history.

Mr. Kassulat describes a theft ring incident from several years ago involving

computer thefts from trucks as part of a nationwide operation. He states that there have been no similar incidents for over a year and that in 42 years of operation, theft has not been a recurring issue.

Commissioner Bettenhausen asks whether the existing building will be remodeled. Mr. Kassulat states no remodeling is planned; the building will remain structurally maintained for storage use only.

Commissioner Kolososki asks about future plans for the property once the Holiday Inn site is developed.

Mr. Kassulat states the property could be sold for retail redevelopment in the future.

Mr. Vyverberg provides staff background, zoning context, and site analysis, noting that the Rand Road corridor is zoned B-5 and consistent with surrounding commercial uses.

Mr. Noonan inquired as to if the property were to redevelop, what the required setback from the residential property. He presents zoning maps, site photos, and notes the required 25-foot buffer distances from the residential property. He also summarized the limited nature of the proposed use.

**Public Comment:**

Victoria Halminiak, 475 E. Fawn Lane, expresses concerns regarding visibility, landscaping quality, potential vandalism, crime, visual impact, and property values. She questions the use of only one parcel and the future of the other properties.

Marsha Bjornseth, 503 E. Fawn Lane, raises concerns regarding property use and future development.

Nicholas Burbulis, Property Manager, 50 E. Commerce Drive, Schaumburg, IL, raises concerns regarding vandalism risk, residential proximity, lighting, business operations, and long-term use. He submits written statements from property owners and requests Commissioner Noonan's recusal.

Mr. Vyverberg responds that Commissioner Noonan is not required to recuse himself and knowing the Petitioner through athletic coaching many years ago would not specifically require a recusal, particularly after it was disclosed to the Commission.

Alan Reizman, 479 E. Fawn Lane, expresses opposition to truck visibility from residential properties.

Mary Seroczynski, 478 E. Fawn Lane, raises concerns regarding emissions, traffic congestion, and environmental impacts.

Kristina Ness, 457 E. Fawn Lane, raises concerns regarding lighting and glare into residential units.

Jerry Horning, 482 E. Fawn Lane, raises concerns regarding safety, vandalism, and neighborhood character.

Chairman Wood invites the petitioner to respond.

Mr. Kassulat addresses concerns regarding theft, lighting, emissions, and storage. He states no additional lighting will be installed, no outdoor storage will occur, and only trucks will be stored. He offers to disconnect backward-facing lights. He confirms no signage will be added and that the site will not be used for customer operations.

Staff confirms fence height standards (8 feet maximum in commercial abutting residential zones).

**Staff Recommendation:**

**STANDARDS FOR SPECIAL USE:** Since this Petition is not for a use publicly operated or traditionally affected with the public interest, those standards under Section 14.05 D (2) and (3) are applicable. Specifically, the Petitioners must show that the Special Use, if granted, is so designed, located, and proposed to be operated that the public health, safety, and welfare will be protected and will not cause substantial injury to the value of other property in the neighborhood in which it is located. The Petitioners have attempted to address the required standards. The petitioner is requesting to construct a Special Use for a unique use to accommodate the further expansion of the existing business. The petition and proposed plans will produce a negative impact upon the value of the surrounding area. Furthermore, the proposal meets the standards of the remaining standards of the R-2 zoning district. Therefore, Staff recommends approval of the proposed Special use, subject to the following conditions:

1. The Special Use shall substantially conform to the site plan attached hereto and the business plan, dated January 9, 2026, except, as such, may be changed to conform with Village Codes and Ordinances.
2. The final fencing, screening plan, or landscaping plan shall be submitted in a manner acceptable to the Director of Planning and Zoning.
3. The final vehicle parking and layout plan shall be submitted in a manner acceptable to the Director of Planning and Zoning. Page 12 of 86

Ms. Bjornseth expressed opposition to the petition, citing concerns about visual impacts and the effect of truck storage on adjacent residential properties.

**There were no further questions. The public hearing was closed.**

**Commissioner Schubert Made a motion to approve subject Staff's conditions; seconded by Commissioner Fedota**

**DISCUSSION:**

Commissioner Schubert thanked the residents for attending and providing public input. He noted that the subject property had previously been used for vehicle-related purposes and stated that the proposed use does not materially differ from prior

storage of cars and vehicles. He indicated that he did not believe the request would negatively affect surrounding properties and expressed support for the petition.

Commissioner Kolososki stated that the proposed landscaping would provide substantial screening. He referenced existing environmental conditions in the area, including traffic congestion and vehicle emissions along Rand Road, and acknowledged the unfortunate circumstances but did not believe the request would create additional negative impacts beyond existing conditions.

Commissioner Fedota noted the small residential footprint within an area predominantly surrounded by commercial uses, buffered by landscaping, and located along a commercial corridor. He stated that the proposal represents an appropriate and balanced land use between commercial and residential development.

Chairman Wood stated that she carefully weighed the request and expressed familiarity with the area and its context. She acknowledged resident concerns regarding visual impacts, including views from patios and balconies, and considered public safety, property values, and general welfare. She noted that the property is zoned for such uses and is surrounded by similar development, and that alternative commercial or warehouse uses would also present similar concerns. She indicated that the site may benefit from improved landscaping and buffering over time and expressed understanding of the neighbors' concerns, while recognizing the zoning and land use context of the area.

**Chairman Wood summarized that this request has met the standards and was unanimously approved by a vote of 8-0. This item will tentatively go to Village Council on Monday March 2, 2026**

<b>RESULT:</b>	<b>APPROVED</b>
<b>MOVER:</b>	Schubert
<b>SECONDER:</b>	Fedota
<b>AYES:</b>	Jan Wood, Tim Schubert, Kevin Cavanaugh, Stephen Fedota, Eric Friedman, Patrick Noonan, Rodney Bettenhausen, Robert Kolososki
<b>NAYES:</b>	None

- B. Preliminary Planned Development to allow a 40-unit townhouse development at 885 W. Dundee Road and 1490 N. Quentin Road - **THIS ITEM WAS CONTINUED UNTIL THE MARCH 10, 2026 PLANNING AND ZONING COMMISSION MEETING**

**PPD-000014-2025 – 1490 N Quentin Rd & 885 W Dundee Rd**

Notice was published in the Journal & Topics on January 22<sup>nd</sup>, 2026 and mailed to the owners of the surrounding properties.

**Petitioner's Exhibits:**

1. **Engineering Plans**
2. **Architectural Plans**
3. **Elevations**
4. **Landscaping Plans**
5. **Developer narrative**
6. **Site Access letter**
7. **Preliminary Planned Development Description**
8. **Real Estate Disclosure Contract**
9. **2025 Comprehensive Plan**
10. **Annexation Publication**
11. **Public Notice**

Mr. Vyverberg provided background on the subject property, approximately 4.8 acres, currently located in unincorporated Cook County. The developer (contract purchaser) has submitted an application for Preliminary Planned Development review to allow for a 40-unit rental townhouse development (8.26 dwelling units per acre).

Historically, the property operated as a gas station and car wash for many years. The gas station improvements were demolished, and the site was cleared in preparation for redevelopment.

The subdivision directly south of the subject property, Lakeside Estates, is located within the Village. Additionally, with the exception of the property directly west, the adjacent subdivision along W. Aspen Court (Lakewood's Aspen Woods Resubdivision) is also incorporated within the Village, with both subdivisions following R-2 zoning standards. Deer Grove–West, part of the Cook County Forest Preserve, is located directly across W. Dundee Road from the subject property.

As part of the Preliminary Planned Development application, the property owners have also submitted an annexation application. That application will not be acted upon by the Village Council until the Final Planned Development and related zoning petitions are reviewed by the Village Council at a future date.

**Sworn in petitioners:**

Lawrence Freedman, Attorney for Petitioner  
Ash, Anos, Freedman & Logan  
95 Revere Drive, Northbrook, Illinois

David Schwartz, Developer / Contract Purchaser  
Cornersite LLC  
3190 Doolittle Drive, Northbrook, Illinois

Mr. Freedman stated that he is familiar with the subject property at Quentin Road and Dundee Road, noting that it was previously developed and zoned under Cook County jurisdiction. He indicated that the intent of the petition is to annex the property into the

Village of Palatine and rezone it to a Planned Development (PPD), which would allow the Village to exercise regulatory control through an annexation agreement and provide an additional level of enforceability for both the Village and the property owner.

Mr. Schwartz stated that Cornersite LLC is a development firm with experience in retail and residential projects, including the Starbucks development on Northwest Highway. He discussed the firm's track record with recent rental developments in other communities, including a project in Arlington Heights. He indicated that the typical rental range for similar developments is approximately \$3,900 to \$4,500 per month, with a target market of empty nesters and young professional couples, including individuals working from home.

Mr. Schwartz presented aerial imagery of the subject property and discussed the surrounding land uses. He stated that the development team reached out to the vacant property owners to the west regarding a potential acquisition, but that property was not available for sale.

Mr. Schwartz reviewed the Comprehensive Plan and discussed the existing billboards located on the property. He stated that one billboard is subject to a short-term lease and would be removed, and the second billboard is subject to a long-term lease of approximately ten years. He discussed access rights associated with the billboard lease and noted that full access to the development would be from Quentin Road, with right-in/right-out access from Dundee Road.

Mr. Schwartz presented the preliminary site plan and stated that the development team has worked with Village staff to refine the design. He noted that the Village expressed concerns regarding density and massing, and that several units were removed from earlier versions of the plan. He stated that the design was modified to reduce the "wall effect" through building orientation, the use of three side-facing buildings, berming, and landscaping. He further noted that access to the property to the west was considered as part of the planning process.

Mr. Schwartz presented floor plans for two-story and three-story units and described how the buildings would be arranged to avoid a continuous wall effect. He stated that each unit would have two parking spaces and reviewed the total parking count for the development.

Mr. Schwartz also presented preliminary elevations and aerial renderings and discussed the proposed building materials, which he described as traditional in character. He stated that the development team is excited about the project and believes it will be a high-quality addition to the area.

Commissioner Schubert asked about the proximity of the billboard to the proposed townhomes.

Mr. Schwartz stated the billboard is approximately 15–20 feet from the townhomes and noted that the pitch of the roofline prevents overlap with the roof structure.

Commissioner Friedman asked whether the billboard was drawn to scale on the plans, noting it appeared to overlap the patio area.

Mr. Schwartz stated he would verify the scale on the drawing and confirmed the billboard is well above the roofline.

Commissioner Schubert asked whether the billboard would be removed when the lease expires.

Mr. Freedman stated that the annexation agreement will prohibit renewal or extension of the lease and that the billboard will be removed upon lease expiration.

Commissioner Friedman asked whether the billboard lease includes an easement and inquired about the nature of the billboard.

Mr. Freedman confirmed the billboard is electronic and subject to a long-term lease agreement.

Commissioner Friedman asked about the proposed stormwater management location and whether detention could be relocated to the southwest corner of the site.

Mr. Schwartz stated that poor soil conditions exist in that portion of the site and that it is largely unbuildable. He noted that safety measures such as fencing and landscape screening may be incorporated.

Commissioner Friedman expressed concern about vehicles backing into traffic near the roadway and potential safety issues.

Commissioner Friedman asked about pedestrian connectivity and ADA-accessible routes from the development to public sidewalks.

Mr. Schwartz stated the site plan is preliminary and acknowledged the connectivity issue, indicating it may be addressed near the corner of the internal drive line.

Commissioner Friedman asked whether steeper parking lot slopes are common in similar developments compared to gradual grading.

Mr. Schwartz stated that grading solutions are developed with civil engineers and reflect existing natural grade conditions.

Commissioner Friedman asked whether Dundee Road is designated as emergent wetlands and if preservation requirements were identified.

Mr. Schwartz stated that wetlands were not identified in their research.

Commissioner Bettenhausen asked whether the former gas station site met EPA remediation requirements.

Mr. Schwartz confirmed that all required environmental remediation was completed.

Commissioner Bettenhausen expressed concern regarding driveway width and safety, noting the 19-foot minimum aisle width and potential unloading conflicts in the street.

Mr. Schwartz stated the drive aisles meet Palatine code requirements, exceed industry standards, and are compliant with Village standards.

Commissioner Bettenhausen raised concerns about the three-story townhome elevations, noting the rear façades face perimeter properties and appear visually unengaging.

Mr. Schwartz stated the orientation is intentional to preserve privacy and courtyard-facing living spaces, explaining that reversing the orientation would result in driveway-facing units.

Commissioner Kolososki asked how many dwelling units per acre were proposed. Mr. Schwartz stated the density is 8.26 dwelling units per acre.

Commissioner Kolososki stated the site appears overcrowded and expressed concern that maximizing density may reduce overall quality and guest parking availability.

Commissioner Bettenhausen referenced a 2001 ordinance indicating 6–7 dwelling units per acre and stated the proposed density of 8.2 units per acre is excessive. Mr. Freedman stated the density is comparable to other developments within the Village.

Chairman Wood asked whether the units would remain rental properties. Mr. Vyverberg stated they are proposed as rental units and would require a condominium plat and Village approval to convert to ownership units. Mr. Freedman stated the development will remain under single ownership and is not proposed as for-sale units.

Chairman Wood asked whether an HOA would be established. Mr. Schwartz stated the property would be owner-managed and professionally maintained.

Chairman Wood asked about snow removal planning. Mr. Schwartz stated snow removal would be professionally managed and that dense developments are routinely serviced without operational issues.

Chairman Wood asked whether traffic impacts had been evaluated. Mr. Schwartz stated that on a roadway with approximately 20,000 vehicles per day, the project would not create a significant traffic impact.

Chairman Wood asked about typical household occupancy per unit. Mr. Schwartz stated the typical occupancy is approximately two persons per unit, primarily empty nesters and young professionals, with minimal children.

Commissioner Friedman asked whether on-site maintenance staff would be present. Mr. Schwartz stated maintenance would be provided on-call and by appointment.

Chairman Wood asked about rental occupancy at similar developments. Mr. Schwartz stated the Mount Prospect project was completed in 2024 and is fully rented, with rents ranging from approximately \$3,400 to \$4,500.

Commissioner Kolososki asked about density comparisons to other projects.

Mr. Schwartz stated a separate project consists of 1.7 acres with higher density and lower parking ratios, noting no operational issues.

Chairman Wood asked about the landscaping and buffering plan.

Mr. Schwartz stated a 4–5 foot berm is proposed along Dundee and Quentin Roads and that final landscaping plans will exceed minimum code requirements.

Mr. Vyverberg provided additional information, including site photos, private drive measurements, parking ratios, utility access, zoning context, comprehensive plan consistency, and traffic impact analysis. He stated the use is consistent with long-standing comprehensive plan recommendations and comparable developments within the Village.

Public Testimony:

Dina Kaner, 777 W. Anthony Drive, asked about the anticipated construction timeframe and whether the development would be a gated community. She stated the intersection of Quentin Road and Dundee Road is difficult to navigate and noted frequent accidents, adding that both roadways are narrow and congested.

Vince Delugio, attorney for the owners of the vacant property to the west, 1000 George Street, Barrington, stated he represents the owners of 885 W. Dundee Road (Kathleen Delugio and Vincent Delugio). He stated the owners support redevelopment efforts but requested coordination with their property. He asked that a full development package be considered and requested efforts to incorporate access and connectivity to the adjacent vacant parcel.

Vincent Delugio, Sr., co-owner of the adjacent vacant property, stated that previous development efforts were unsuccessful due to access and fire department requirements. He expressed interest in future redevelopment of his property and requested that the proposed development provide roadway access through the subject site. He raised concerns regarding wetlands, drainage, stormwater runoff impacts onto his property, density, and how the proposed layout may affect future development potential.

Kathleen Delugio raised concerns regarding incorrect property addressing in the plans and issues related to billboard placement and lighting impacts.

A representative of the Delugio family requested that any development plan include coordinated access to the adjacent property and a comprehensive, unified site approach.

Frank Hannon, 1289 Shoreside Court, stated he is a resident of the subdivision south of the subject property. He expressed support for the development, stating the site has been an eyesore for many years. He noted concerns regarding the south-facing elevations but stated the project would be a positive improvement and not a low-quality development.

Larry Tartakovsky, 777 W. Anthony Drive, expressed concerns regarding stormwater retention and overflow protection. He stated the development would increase traffic congestion.

James Burg, 933 W. Aspen Court, stated concerns regarding property values, density, compatibility with surrounding single-family homes, and the introduction of multi-family development in the area. He asked whether the project would include subsidized or affordable housing units and stated the density does not fit the surrounding neighborhood.

Tim Walsh, 913 W. Aspen Court, echoed prior concerns regarding building height, density, rental occupancy, and community compatibility. He stated concerns that renters may not maintain properties to the same standard as owners and requested reconsideration of the scale and density of the development.

Dina Kaner returned to the podium and reiterated concerns regarding three-story buildings and height impacts.

**Petitioner Response:**

Lawrence Freedman, attorney for the petitioner, stated that the anticipated construction timeframe is approximately 18–20 months from the start of site work. He clarified that the development would not be a gated community and confirmed there would be no affordable or subsidized units included in the project.

David Schwartz, developer, stated that the project is intended to be rental-only, managed by the owner rather than an HOA. He emphasized that the design and layout consider the surrounding properties and that the three-story units are placed thoughtfully to minimize impacts on adjacent homes.

Commissioner Friedman asked whether the petitioner had considered cross-access to the vacant property to the west. Mr. Schwartz stated that while the developers are willing to cooperate, they cannot guarantee full access; however, they would work with the Village and adjacent property owners to make the connection compatible with site constraints.

James Burg asked about the timeframe to reach construction. Mr. Vyverberg replied that the timeframe depends on completion of all necessary permits and approvals, and that final site plan approval would follow the preliminary review.

Chairman Wood asked the petitioner to address concerns regarding density and property values. Freedman stated that the plan is preliminary and that adjustments to aisle widths or layout could be made at the final development stage, but the number of units would likely remain unchanged. He noted that the billboard is under a long-term lease and not under the petitioner's control, so its removal cannot be guaranteed before the lease expires.

Commissioner Noonan asked Mr. Vyverberg to clarify the difference between preliminary and final planned development approvals for the benefit of the residents. Mr. Vyverberg explained that preliminary approval establishes the general layout and

concept, while final approval requires detailed engineering, landscaping, architecture, and other plans to ensure compliance with Village standards.

Commissioner Fedota asked about the difference in height between the two- and three-story buildings. Schwartz confirmed the three-story units are only marginally taller than the two-story units and designed to minimize visual impact.

Commissioner Friedman requested to see renderings of similar developments completed by the petitioner to better visualize the design. Schwartz presented examples, emphasizing the thoughtful layout, scale, and design appeal of the buildings.

Commissioner Cavanaugh asked if the petitioner's presentation materials would be included in the Village Council packet. Mr. Vyverberg confirmed that the presentation would be included and encouraged residents to review it to understand how the development would appear in practice.

Chairman Wood asked for confirmation of the total acreage for the development. The petitioner stated the site is approximately 4.8 acres.

**Staff Recommendation:**

The Subject Property is located in unincorporated Cook County and functioned as a gas station and car wash for many years therein, until its ultimate demolition and preparation for redevelopment. Over the last 25 years, the Village has adopted Comprehensive Plans recommending that attached single-family residential uses are appropriate for the Subject Property. The proposed plan complies with many of the previously contemplated requirements and also provides a potential access point for the future redevelopment of the unincorporated property directly west of the Subject Property. Staff is also recommending that final architectural plans and elevations are submitted in a manner acceptable to the Village to ensure that the final plans do not ultimately create a wall effect along Dundee and Quentin or within the site. As previously noted, the engineering plans were conditionally approved by the Village Engineer. Therefore, Staff recommends approval of the Preliminary Planned Development, subject to the following conditions:

1. The Final Engineering Plans and Final Engineer's Estimate of Probable Cost shall be submitted and revised in a manner acceptable to the Village Engineer and Director of Planning and Zoning.
2. A Public Improvement letter of credit shall be submitted in a manner acceptable to the Village Engineer and a Planned Development letter of credit shall be submitted in a manner acceptable to the Director of Planning and Zoning. A separate letter of credit shall be submitted in a manner acceptable to the Village Attorney and Director of Planning and Zoning to ensure the ultimate removal of the billboard in the northwest corner of the property. The construction schedule and timing of construction for the 3-unit building in the northwest corner of the property shall be determined in a manner acceptable to the Village of Palatine and in consideration of the adjacent existing billboard on the property.

3. Review fees in the amount of 1.5% of the total project improvement costs (as defined in the Village Code) shall be submitted in a manner acceptable to the Village Engineer.
4. The preliminary and final plat of consolidation (subdivision) shall be submitted in a manner acceptable to the Village Engineer and Director of Planning and Zoning and Village Engineer. The plat should include all necessary easements and any required maintenance language, in a manner acceptable to the Village Engineer.
5. Recording fees in the amount of \$600 shall be submitted.
6. A construction management plan indicating the proposed material delivery routes and contractor parking areas, shall be submitted to the Village Engineer and Director of Planning and Zoning.
7. All required extra agency (e.g. IDOT, CCHD, MWRD) permits shall be submitted in a manner acceptable to the Village Engineer.
8. The final architecture and elevation plans shall be revised and submitted in a manner acceptable to the Village.
9. The final landscaping/screening plan shall be submitted in a manner acceptable to the Director of Planning and Zoning. This would include the final proposed fencing plan and elevation for the proposed fencing plan on the southern and western sides of the property.
10. The final rules and regulations summarizing the requirements for the townhouse operations shall be submitted in a manner acceptable to the Village Attorney and the Director of Planning and Zoning.

**There were no further questions. The public hearing was closed.**

**Commissioner Fedota Made a motion to approve subject staff's conditions; seconded by Commissioner Cavanaugh**

**DISCUSSION:**

Commissioner Fedota stated that while the site is tight, the footprint is manageable. He noted that the project is designed as rentals managed by the owner, not an HOA. Although tight, it fits the plan and multiple homes could be accommodated. As a preliminary plan, it is a doable project.

Commissioner Kolososki stated the site feels too tight and compressed. While the concept is acceptable, it could be improved. He indicated he would not vote in favor as presented.

Chairman Wood stated that the development is too compressed for the area. She expressed concern about rental density and emphasized the need for more space. She noted that the project does not currently fit with surrounding development and could be redesigned with less density.

Commissioner Friedman stated he is comfortable with the project. He noted that the developer team provides a strong vision that helps visualize the final outcome. He acknowledged the thoughtful design of the two-story units around the perimeter,

which minimizes end-to-end impacts. He expressed concern regarding the stormwater solution and the billboard, stating that it is not appropriate for a residential area and would not want residents living under the sign.

**Final Vote / Outcome:**

The first motion to approve the Preliminary Planned Development subject to staff conditions was denied by a vote of 5-3.

Following the denial, a second motion was made to deny the project. During discussion, the petitioner’s attorney, Lawrence Freedman, requested that the item be tabled and continued to the next meeting to allow the petitioners an opportunity to address the issues and make any necessary changes.

Chairman Wood announced that the item would be continued to the March 10, 2026, Village Plan Commission meeting.

<b>RESULT:</b>	<b>MOTION TO APPROVE - FAILED</b>
<b>MOVER:</b>	FEDOTA
<b>SECONDER:</b>	CAVANAUGH
<b>AYES:</b>	Tim Schubert, Stephen Fedota, Eric Friedman
<b>NAYES:</b>	Jan Wood, Kevin Cavanaugh, Patrick Noonan, Rodney Bettenhausen, Robert Kolososki

<b>RESULT:</b>	<b>MOTION TO CONTINUE TO 3/10/2026 - APPROVED</b>
<b>MOVER:</b>	FRIEDMAN
<b>SECONDER:</b>	NOONAN
<b>AYES:</b>	Jan Wood, Kevin Cavanaugh, Patrick Noonan, Rodney Bettenhausen, Robert Kolososki
<b>NAYES:</b>	Tim Schubert, Stephen Fedota, Eric Friedman

**V. PUBLIC COMMENT**

No one came forward

**VI. ADJOURNMENT**

<b>RESULT:</b>	<b>APPROVED TO ADJOURN - 10:45PM</b>
<b>MOVER:</b>	Noonan
<b>SECONDER:</b>	Fedota
<b>AYES:</b>	Jan Wood, Tim Schubert, Kevin Cavanaugh, Stephen Fedota, Eric Friedman, Patrick Noonan, Rodney Bettenhausen, Robert Kolososki

---

<b>NAYES:</b> None
--------------------

## 606 E. Kenilworth Avenue Variation to construct a

### STAFF REPORT:

**TO:** Palatine Planning and Zoning Commission  
Jan Wood, Chair

**FROM:** R. Auer

**PETITIONER:** Eric Hagen, Contractor, on behalf of the property owner

**PLAN NUMBER:** VAR-000242-2026

### **BACKGROUND:**

The petitioner is requesting to expand a stoop, in a required side yard abutting a street, to 12 feet. Therefore, the petitioner is requesting:

**Variation to permit a 12-foot-wide stoop in the required side yard abutting a street, instead of the maximum 9-foot width for stoops, as a permitted obstruction.**

### **KEY ISSUES:**

- The Subject Property is zoned R-2, Single-family District and is approximately 11,175 sq. feet in size. The property is located in the Merrill's Home Addition to Palatine subdivision and is currently used for single-family residential uses.
- The petitioner is requesting to expand the existing 9-foot-wide stoop to a width of 12 feet. The applicant's motive for the request is to use the expanded patio for outdoor seating and to accommodate mobility needs. The request does not increase the depth of the stoop into the side yard abutting Kenilworth Avenue. The stoop will maintain its existing depth of 5 feet.
- Set forth by 10.01(d)(1)(l) of the Palatine, IL zoning ordinance, stoops are permitted in required side yards abutting a street as a permitted obstruction — up to a maximum width of 9 feet and 5 feet in depth.
- To determine the petition's alignment with the other homes in the area, Staff conducted a review of stoops in the nearby area. Upon survey of the area, staff observed nearby properties that possess a stoop wider than 9 feet, and are

located in the required yard.

**STANDARDS FOR A VARIATION:** Standards for a Variation are found in Section 14.03 D (1) and (2) of the Zoning Code. Specifically, the Petitioners must show that the property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations governing the district in which it is located; that the plight of the owner is due to unique circumstances; and that the variation, if granted, will not alter the essential character of the locality. The Petition for Variation is attached, and the Petitioners have attempted to address the required standards.

**STAFF RECOMMENDATION:**

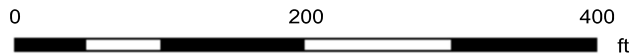
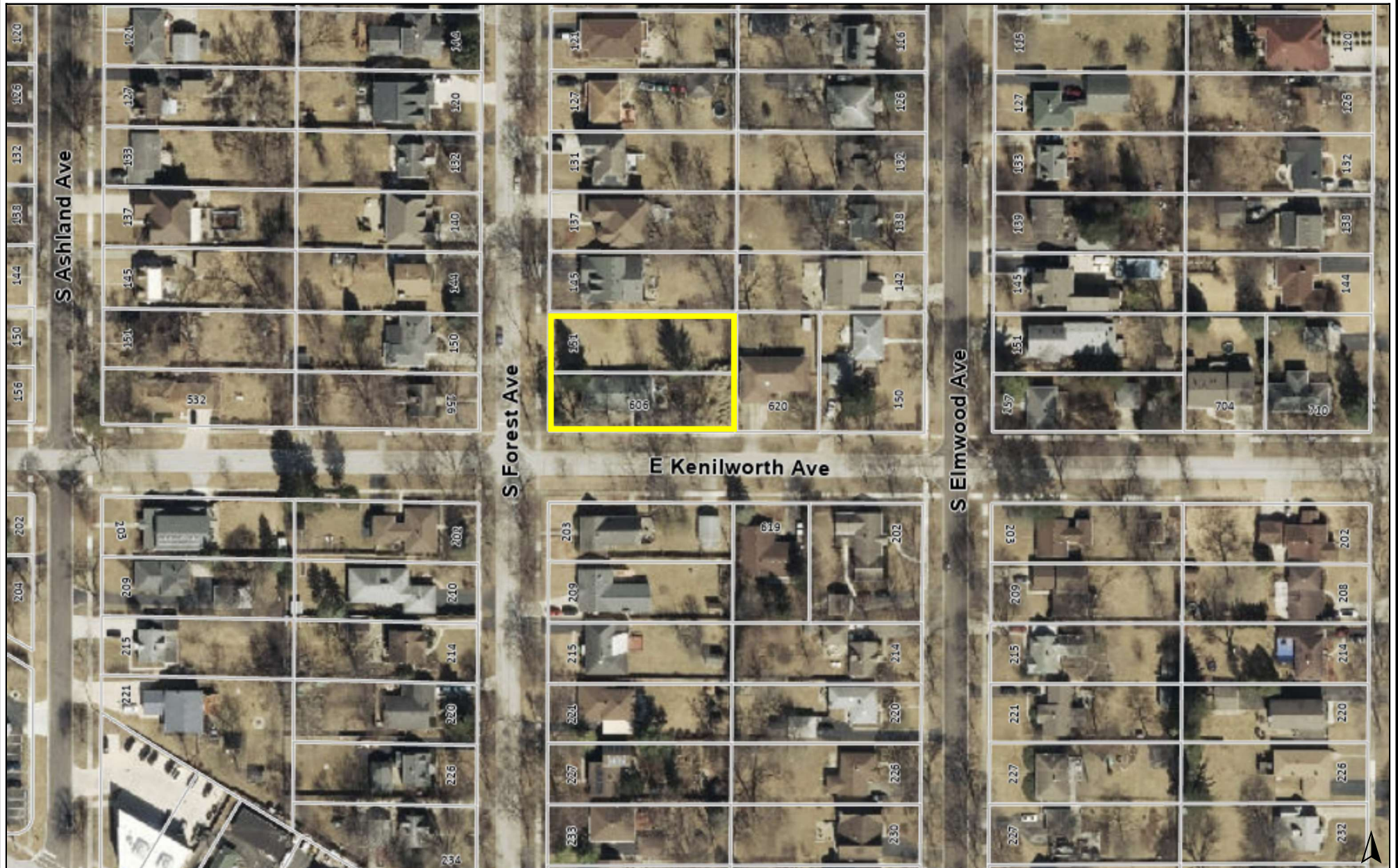
Staff does not anticipate the request to bring forth any adverse impact upon the subject property or surrounding area. The proposed stoop shares design qualities of the nearby area. Staff confirmed stoops in the nearby area exceed the permitted 9-foot maximum width. The proposal does not conflict with any additional zoning standards set forth by the Palatine, IL zoning ordinance.

Therefore, Staff recommends approval of the proposed Variation subject to the following conditions:

1. The Variation shall substantially conform to the plans prepared by the Petitioner, dated 02/04/2025, except as such plans may be changed to conform to Village Codes and Ordinances.

**ATTACHMENTS:**

1. Aerial Map
2. Variation Application
3. Site Plan
4. Petitioner Narrative
5. Plat of Survey
6. Public Notice



Print Date: 2/17/2026

Notes

Disclaimer: The GIS Consortium and MGP Inc. are not liable for any use, misuse, modification or disclosure of any map provided under applicable law. This map is for general information purposes only. Although the information is believed to be generally accurate, errors may exist and the user should independently confirm for accuracy. The map does not constitute a regulatory determination and is not a base for engineering design. A Registered Land Surveyor should be consulted to determine precise location boundaries on the ground.



**VARIATION APPLICATION**

**Department of Planning & Zoning**  
200 E. Wood Street · Palatine, IL · 60067-5339  
Telephone: (847) 359-9047 · Fax (847) 963-6247

Petitioner Name

Eric Hagen

Business Name (if applicable)

Craiger Custome Design

Subject Property Address

606 E. Kenilworth Avenue

Please provide a description of your proposed request:

Applied for a permit to renovate their existing 9' wide stoop in the front yard. Customer wants to extend stoop 1.5 feet at each side making it 12' wide.

**Petitioner Justification**

Variations shall not be granted except on findings based upon the evidence in each specific case. Please address the following standards as these will be used in considering the specific relief you are seeking.

That the property cannot yield a reasonable return if used only under the conditions allowed by the regulations governing the zoning district in which it is located:

Stoop was already wider than 4'. Front door is wider than 4'.

That the plight of the owner is due to unique circumstances:

They want an area for seating and with a narrow stoop there is none.

That the Variation, if granted, will not alter the essential character of the locality:

Extending the stoop 18" at each side will not alter the appearance of the locality.

In order to supplement the above standards, the Planning and Zoning Commission may also consider the following:

- a. The particular surroundings, shape, or topographical conditions of the property.
- b. A unique hardship for the property not generally applicable to other properties in the same zoning district.
- c. The request is not based on a desire to make more money out of the property.
- d. The petitioner has not created the alleged hardship for the property.
- e. The request will not be detrimental the public welfare or other properties in the neighborhood.
- f. The request will not impair supply of light and air to adjacent properties, substantially increase the danger of fire, endanger the public safety, or substantially diminish or impair neighboring property values.

(No response from petitioner)

# ANTON J. ADAMS

700 N. WILLE ST. MT. PROSPECT, ILL.

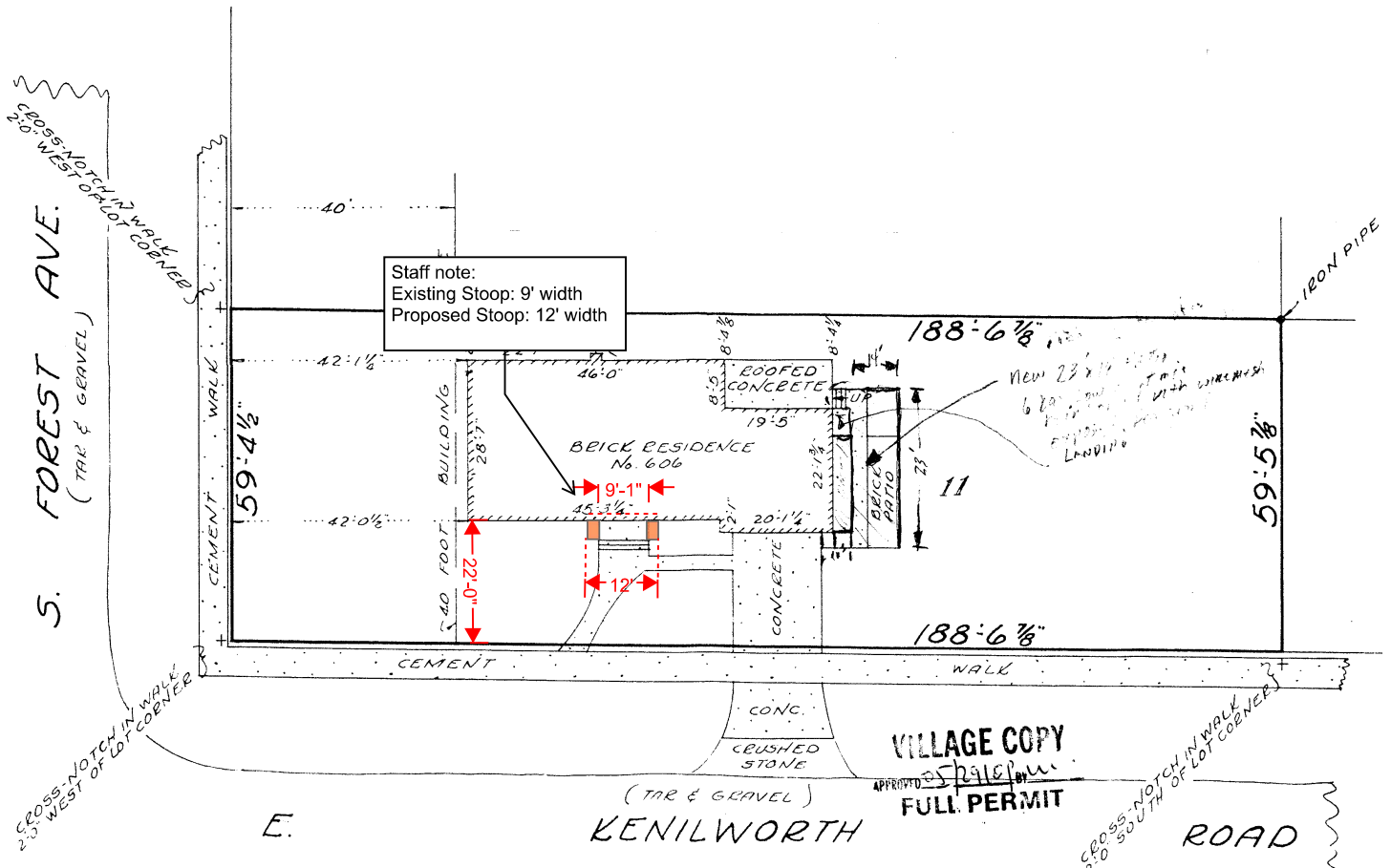
Registered Land Surveyor

Phone: CLEARBROOK 5-3512



## PLAT OF SURVEY *of*

LOT 11 IN BLOCK 10 IN MERRILL'S HOME ADDITION TO PALATINE,  
BEING A SUBDIVISION IN THE EAST 1/2 OF SECTION 23, TOWNSHIP 42 NORTH,  
RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN IN COOK COUNTY,  
ILLINOIS.



Staff note:  
Existing Stoop: 9' width  
Proposed Stoop: 12' width

VILLAGE COPY  
APPROVED [Signature]  
FULL PERMIT

Scale: 1 inch = 20 FEET  
Order No: 7086

Field book 42-10-C page 45  
Ordered by: ANNEN & BUSSE

CAUTION: Compare description in this plat with your deed, abstract or certificate of title; also compare all points before building by same and at once report any difference. Building lines shown only where they are so recorded in the maps; otherwise refer to your deed, abstract, or Zoning Board.

STATE OF ILLINOIS }  
COUNTY OF COOK } ss:  
I, ANTON J. ADAMS, Illinois Land Surveyor, hereby certify that I have surveyed the property described above and that the plat hereon drawn is a correct representation of said survey. All measurements corrected to the standard at 62 degrees Fahrenheit.  
MOUNT PROSPECT, ILLINOIS, Aug. 27<sup>TH</sup>, A.D. 1965.

*Anton J. Adams*  
Registered Illinois Land Surveyor No. 1423

January 13, 2026

To Whom It May Concern:

In a few months we will celebrate the 54<sup>th</sup> anniversary of buying our wonderful home at 606 E. Kenilworth Avenue in Palatine. Time and life pass quickly – so many memories. But I must tell you that sitting on our front stoop through all these years as newlyweds, as parents of young children, as parents of older children and now finally just the two of us and our dog warm our hearts. Our whole family has spent countless hours sitting on the stairs of our front porch sharing happy events, sharing sad events and just enjoying being with each other.

In the last 15 months I have had three major surgeries on my right hip. Rehab has been long and painful and I could hardly wait to sit on my stoop. The rehab is over and I am left with what I have. I can no longer sit on a cement stoop. I can no longer sit on my porch talking with the dog walkers, the people who just enjoy walking, the children and sometimes just enjoying the weather and peacefulness of "sitting on the stoop".

If the landing (stoop) of our porch is widened by 18 inches on each side we will be able to fit a lawn chair on each side and continue to enjoy one of the nicest features of our home – the porch. Also, part of the banister would provide a small holding feature.

I am sure my qualified and experienced contractor will build a very nice looking porch but we are not proposing this change for cosmetics. We are doing it for safety issues and for just being able to sit on our porch for the rest of our years and watch the word go by.

Barbara Kornacki  
606 E. Kenilworth Avenue  
Palatine, IL 60074

A handwritten signature in black ink that reads "Barbara Kornacki". The signature is written in a cursive, flowing style.

# ANTON J. ADAMS

700 N. WILLE ST. MT. PROSPECT, ILL.

Registered Land Surveyor

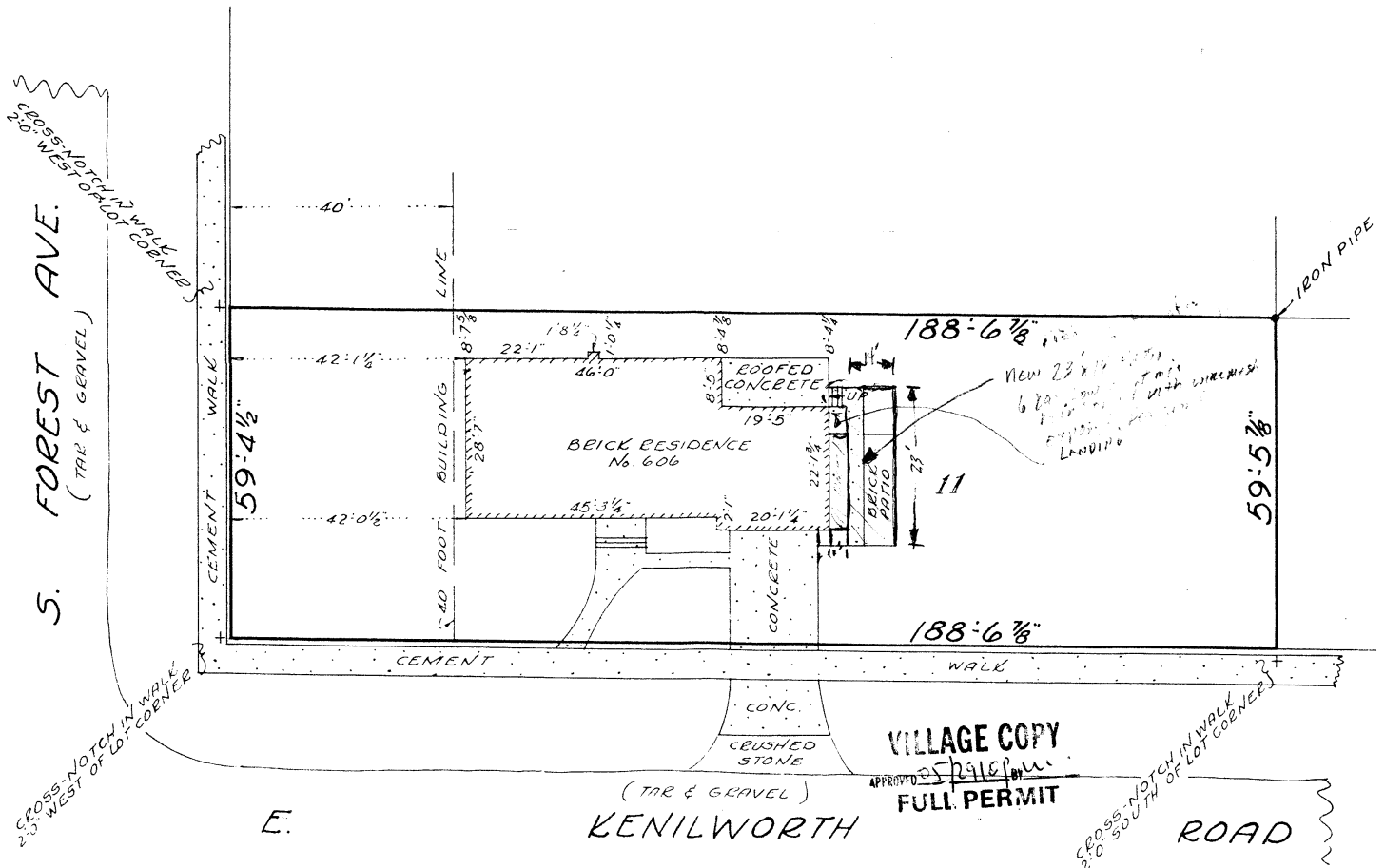
Phone: CLEARBROOK 5-3512



## PLAT OF SURVEY

*of*

LOT 11 IN BLOCK 10 IN MERRILL'S HOME ADDITION TO PALATINE,  
BEING A SUBDIVISION IN THE EAST 1/2 OF SECTION 23, TOWNSHIP 42 NORTH,  
RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN IN COOK COUNTY,  
ILLINOIS.



Scale: 1 inch = 20 FEET  
Order No: 7086

Field book 42-10-C page 45  
Ordered by: ANNEN & BUSSE

CAUTION: Compare description in this plat with your deed, abstract or certificate of title; also compare all points before building by same and at once report any difference. Building lines shown only where they are so recorded in the maps; otherwise refer to your deed, abstract, or Zoning Board.

5/26/09 KIL

STATE OF ILLINOIS }  
COUNTY OF COOK } ss:

I, ANTON J. ADAMS, Illinois Land Surveyor, hereby certify that I have surveyed the property described above and that the plat hereon drawn is a correct representation of said survey. All measurements corrected to the standard at 62 degrees Fahrenheit.

MOUNT PROSPECT, ILLINOIS, AUG. 27<sup>TH</sup>, A.D. 1965.

*Anton J. Adams*  
Registered Illinois Land Surveyor No. 1423

# CERTIFICATE OF PUBLICATION

DES PLAINES JOURNAL, INC., a corporation organized and existing under and by virtue of the laws of the State of Illinois, does hereby CERTIFY that it is the publisher of the:

Journal & Topics Newspapers  
AKA Des Plaines Journal, Inc.  
622 Graceland Ave.  
Des Plaines, IL 60016-4556

and that said newspaper(s) is a secular newspaper of general circulation and has been published weekly in the

(Village) (Town) (City) (Township) of PALATINE 606 E. Kenilworth Ave  
     
County of COOK

and State of Illinois, continuously for more than one year prior to date of the first publication of the notice attached hereto, and that said newspaper(s) complies with the requirements of Paragraphs 5 and 10, Chapter 100, of the Illinois Revised Statutes.

Further, that the notice, of which the attached is a true copy, was published ONE times in the said newspaper(s), namely once each week for ONE successive week(s) and that the first publication of said notice was made on the 19TH day of FEBRUARY, A.D. 2026, and the last publication thereof was made on the 19TH day of FEBRUARY, A.D. 2026.

- Your Legal appeared in the following Journal & Topics Newspapers (Des Plaines Journal, Inc.)
- Des Plaines Journal
  - Elk Grove Village Journal
  - Mt. Prospect Journal
  - Niles Journal
  - Park Ridge-Golf Mill Journal
  - Prospect Heights Journal
  - Rosemont Journal
  - Arlington Heights Topics
  - Buffalo Grove Topics
  - Palatine Topics
  - Rolling Meadows Topics
  - Wheeling Topics
  - Suburban Journal
  - Northwest Journal
  - Glenview Journal



*Mary A. Wenzl*

IN WITNESS WHEREOF, THE DES PLAINES JOURNAL, INC., has caused this certificate to be signed and its corporate seal affixed hereto at Des Plaines, Illinois this 19TH day of FEBRUARY A.D., 2026.

By \_\_\_\_\_

President  
Title of Corporate Officer

County of Cook  
State of Illinois

Subscribed and sworn to before me this 19TH day of FEBRUARY A.D., 2026.

My commission expires the 6TH day of AUGUST A.D., 2029.

**763 N. Franklin Avenue**

**STAFF REPORT:**

**TO:** Palatine Planning and Zoning Commission  
Jan Wood, Chair

**FROM:** Lyn Bremanis

**PETITIONER:** Eduard Khutornyy

**PLAN NUMBER:** PFSUB-000014-2025

**BACKGROUND:**

The subject properties were annexed in 1995 and total approximately 34,104 square feet (0.78 acres), consisting of three platted lots, which are zoned R-2 Single-Family Residential District. Therefore, the Petitioner is requesting approval to re-subdivide the three existing lots into two lots:

1. Preliminary and Final Plat of Subdivision (Re-Subdivision) for 2 single-family residential lots.

**KEY ISSUES:**

***Zoning and Site Design***

- The Petitioner is requesting subdivision approval to reduce the 3 existing single-family residential lots to 2 lots. The proposed site plan shows the existing home on the northern lot, with the southern lot remaining vacant. Both lots exceed the minimum requirements for the R-2 standards:

	<b>Lot Size (R-2 = 9,000 sq. ft.)</b>	<b>Lot Width (R-2 = 75 feet)</b>	<b>Lot Depth (R-2=110' required)</b>
<b>Lot 1</b>	19,334 sq. ft.	102.04'	189.47'
<b>Lot 2</b>	14,753 sq. ft.	77.86'	189.47'

- The existing home meets all the setback and lot coverage bulk standard

requirements, excepting for the legally non-conforming required side yard setback (north), which is 5.66 feet (the current R-2 requirement is 10 feet). This setback is also unaffected by the proposed subdivision.

### ***Engineering***

- The existing home is serviced by municipal sewer and water. There is also a sanitary sewer and water line along N. Franklin Avenue right-of-way, which would accommodate any future residential construction on the proposed southern lot.

### **STAFF RECOMMENDATION:**

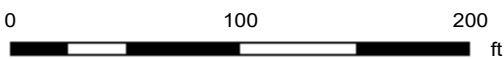
The Petitioner is requesting to re-subdivide from 3 lots into 2 lots while retaining the R-2 zoning designation. The proposed lot and addition plans are consistent with the Comprehensive Plan recommendations and comply with the underlying R-2 zoning requirements. Additionally, the re-subdivision will create 2 lots that meet the current R-2 standards.

Therefore, staff recommends approval of the Plat of Subdivision, subject to the following conditions:

1. The Final Plat of Subdivision shall be submitted on Mylar, in a manner acceptable to the Village Engineer, and shall substantially conform to the Plat of Subdivision prepared by Horizon Survey LLC, except as such plans may be revised to conform with Village Codes and Ordinances.
2. The Final Engineering Plans and Final Engineer's Estimate of Probable Cost (EEOPC) shall be submitted in a manner acceptable to the Village Engineer and Director of Planning and Zoning, including the addition and extension of public sidewalks along N. Franklin Avenue.
3. Review fees, in the amount of 1.5% of the total project improvement costs (as defined in the Village Code), based upon the finally accepted EEOPC shall be submitted in a manner acceptable to the Village Engineer.
4. A Public Improvement letter of credit in an amount of 115% of the EEOPC, for said public improvements, shall be submitted in a manner acceptable to the Village Engineer.
5. A Subdivision Improvement Agreement shall be required.
6. The existing landscaping along the Franklin Avenue ROW (shrubs and plantings) shall be removed from the Subject Lots, in a manner acceptable to the Village Engineer.
7. Recording fees in the amount of \$300 shall be submitted.

**ATTACHMENTS:**

1. Aerial Map
2. Plat of Subdivision
3. Preliminary and Final Plat of Subdivision Application
4. Plat of Survey
5. Public Notice



Print Date: 2/24/2026

Notes

Disclaimer: The GIS Consortium and MGP Inc. are not liable for any use, misuse, modification or disclosure of any map provided under applicable law. This map is for general information purposes only. Although the information is believed to be generally accurate, errors may exist and the user should independently confirm for accuracy. The map does not constitute a regulatory determination and is not a base for engineering design. A Registered Land Surveyor should be consulted to determine precise location boundaries on the ground.

**HORIZON SURVEY, LLC**

P.O. BOX 438607  
Chicago, IL 60643  
Office: 312-224-4477  
horizonsurveychicago@gmail.com

**OWNER'S CERTIFICATE**

STATE OF ILLINOIS )  
COUNTY OF COOK ) SS

I, EDUARD KHUTORNYI, IS THE OWNER OF THE LAND DESCRIBED AND SHOW HEREON AND HEREBY CONSENT TO THE SUBDIVISION THEREOF AND THE DEDICATION OF STREETS AND EASEMENTS AS SHOWN HEREON FOR THE USES AND PURPOSES THEREIN SET FORTH.

DATED THIS \_\_\_\_ DAY OF \_\_\_\_\_ A.D. 20\_\_

**OWNER**

**NOTARY CERTIFICATE**

STATE OF ILLINOIS )  
COUNTY OF COOK ) SS

I, A NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE AFORESAID, DO HEREBY CERTIFY THAT PERSONALLY KNOWN TO ME TO BE THE SAME PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGED THAT THEY SIGNED AND DELIVERED THE SAME AS THEIR FREE AND VOLUNTARY ACT.

GIVEN UNDER MY HAND AND NOTARIAL SEAL THIS \_\_\_\_ DAY OF \_\_\_\_\_ A.D. 20\_\_

**NOTARY PUBLIC**

MY COMMISSION EXPIRES: \_\_\_\_\_

**VILLAGE COUNCIL CERTIFICATE**

APPROVED BY THE VILLAGE COUNCIL OF THE VILLAGE OF PALATINE, COOK COUNTY, ILLINOIS, THIS \_\_\_\_ DAY OF \_\_\_\_\_ A.D. 20\_\_

**VILLAGE MAYOR**

**VILLAGE CLERK**

**VILLAGE ENGINEER CERTIFICATE**

STATE OF ILLINOIS )  
COUNTY OF COOK ) SS

THIS PLAT HAS BEEN CHECKED FOR CONFORMANCE TO THE VILLAGE OF PALATINE STANDARDS AND REQUIREMENTS, AND WORKING DRAWINGS AND SPECIFICATIONS FOR IMPROVEMENTS HAVE BEEN PREPARED IN CONFORMANCE WITH THE VILLAGE STANDARDS AND REQUIREMENTS AND ENGINEERING FEES DUE TO THE VILLAGE OF PALATINE HAVE BEEN PAID.

DATED THIS \_\_\_\_ DAY OF \_\_\_\_\_ A.D. 20\_\_

**VILLAGE ENGINEER**

**SURFACE WATER DRAINAGE CERTIFICATE**

STATE OF ILLINOIS )  
COUNTY OF COOK ) SS

WE HEREBY CERTIFY TO THE BEST OF OUR KNOWLEDGE AND BELIEF THAT ADEQUATE PROVISIONS HAVE BEEN MADE FOR THE DIVERSION AND DETENTION OF SURFACE WATERS INTO PUBLIC AREA OR DRAIN WITHIN THE RIGHTS OF THE SUBDIVIDER AND THAT SUCH SURFACE WATERS WILL NOT BE DEPOSITED ON ADJACENT LAND OWNERS PROPERTY IN SUCH CONCENTRATION AS MAY CAUSE DAMAGE BY EROSION OR SEDIMENTATION TO SUCH PROPERTY BECAUSE OF CONSTRUCTION OF THE SUBDIVISION.

DATED THIS \_\_\_\_ DAY OF \_\_\_\_\_ A.D. 20\_\_

**VILLAGE ENGINEER OR DESIGNEE**

**PLANNING AND ZONING COMMISSION CERTIFICATE**

APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE VILLAGE OF PALATINE, COOK COUNTY, ILLINOIS, THIS \_\_\_\_ DAY OF \_\_\_\_\_ A.D. 20\_\_

**CHAIRPERSON**

**SECRETARY**

**J.U.L.I.E. (JOINT UTILITY LOCATING INFORMATION FOR EXCAVATORS)** WAS NOT CONTACTED AS PART OF THIS SURVEY. UNDERGROUND UTILITIES, IF ANY, WERE NOT LOCATED UNLESS OTHERWISE SHOWN HEREON. PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CONTACT J.U.L.I.E. AT 8-1-1. COMPARE ALL POINTS BEFORE BUILDING, NO IMPROVEMENTS SHOULD BE MADE ON THE BASIS OF THIS PLAT ALONE. CRITICAL FIELD MONUMENTATION SHOULD BE ESTABLISHED PRIOR TO THE COMMENCEMENT OF ANY AND ALL CONSTRUCTION. PLEASE REFER TO DEED, TITLE POLICY AND/OR LOCAL ORDINANCES FOR BUILDING LINE RESTRICTIONS AND/OR EASEMENTS NOT SHOWN HEREON. PLEASE CHECK LEGAL DESCRIPTION WITH DEED AND IMMEDIATELY REPORT ANY DISCREPANCY TO THE SURVEYOR FOR EXPLANATION AND/OR CORRECTION. ALL DIMENSIONS AND MEASUREMENTS ARE SHOWN IN FEET AND DECIMAL PARTS THEREOF, AND ARE CORRECTED TO A TEMPERATURE OF 62 DEGREES FAHRENHEIT.

HORIZON SURVEY, LLC  
PROFESSIONAL LAND SURVEYING COMPANY

**Eduard Khutorny**

DRAWN BY: D.K.  
JOB #: 763NFRANKLINEAVE  
DATE OF COMPLETION IN THE FIELD: DECEMBER 23, 2025  
PREPARED FOR: EDUARD KHUTORNYI  
P.L.M. #: 02-16-205-004\_005\_006-0000 COOK COUNTY, ILLINOIS  
COMMONLY KNOWN AS: 763 N. FRANKLIN AVE., PALATINE, ILLINOIS

**SURVEYOR'S NOTE:**  
-NORTHWEST CORNER OF BUILDING IS 5.75 FEET INTO THE 35 FOOT BUILDING LINE  
-GROUND WAS FROZEN AND HEAVY SNOW WAS PRESENT AT THE TIME OF THIS SURVEY

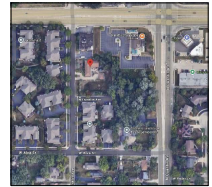
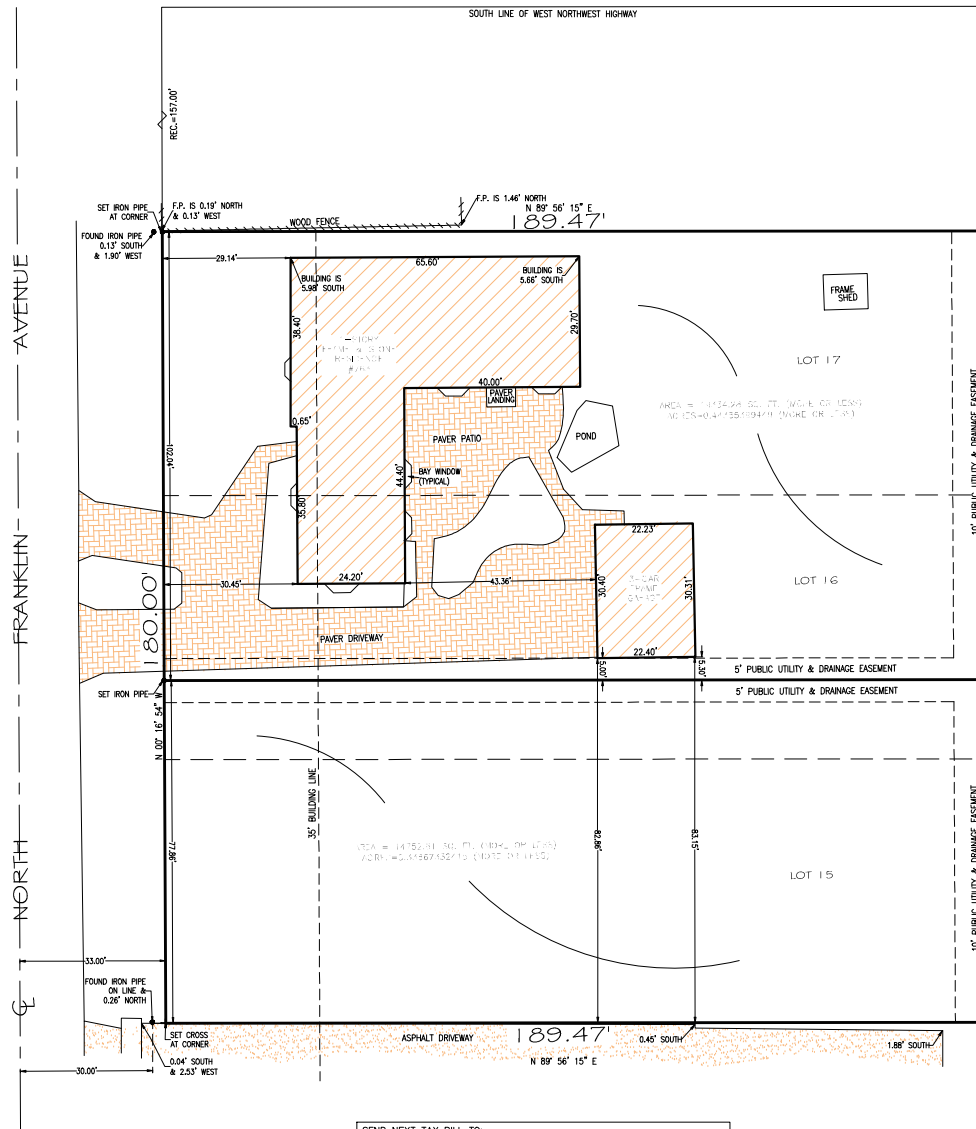
REV	DESCRIPTION	DATE
2	REVISION	02/25/26
1	ADDED LOT SQUARE FOOTAGE AND WIDTH	01/16/26
0	ISSUED	01/14/26
	DESCRIPTION	DATE

SEND NEXT TAX BILL TO:  
"Turnkey Transformation Inc, 4841 Wilderness Court, Long Grove, IL 60047"

# Final Plat of Subdivision of Turnkey

LOTS 15, 16 AND 17 IN BLOCK 1 IN FRANK E. MERRILL AND COMPANY'S GREATER PALATINE, A SUBDIVISION IN THE NORTHEAST 1/4 OF SECTION 16, TOWNSHIP 42 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF REGISTERED IN THE OFFICE OF THE REGISTRAR OF TITLES OF COOK COUNTY, ILLINOIS ON SEPTEMBER 10, 1926 AS DOCUMENT 318962 IN COOK COUNTY, ILLINOIS.

PIN(S): 02-16-205-004-0000  
02-16-205-005-0000  
02-16-205-006-0000



VICINITY MAP  
NOT TO SCALE



SCALE: 1" = 20'

**PUBLIC UTILITY EASEMENT**

PUBLIC UTILITY EASEMENTS ARE HEREBY RESERVED FOR THE USE OF PUBLIC UTILITY COMPANIES AND MUNICIPALITIES FOR THE INSTALLATION, OPERATION, MAINTENANCE, REPAIR, AND REPLACEMENT OF UTILITIES, INCLUDING ELECTRIC, GAS, WATER, SANITARY SEWER, STORM SEWER, TELEPHONE, CABLE, AND OTHER COMMUNICATION LINES, AS SHOWN HEREON.

**UTILITY EASEMENT RESTRICTION**

NO STRUCTURES, FENCES, OR OTHER OBSTRUCTIONS SHALL BE PLACED WITHIN UTILITY EASEMENTS SHOWN HEREON WHICH MAY INTERFERE WITH THE INSTALLATION, OPERATION, OR MAINTENANCE OF SAID UTILITIES.

**UTILITY EASEMENT RESTRICTION**

NO STRUCTURES, FENCES, OR OTHER OBSTRUCTIONS SHALL BE PLACED WITHIN UTILITY EASEMENTS SHOWN HEREON WHICH MAY INTERFERE WITH THE INSTALLATION, OPERATION, OR MAINTENANCE OF SAID UTILITIES.

**DRAINAGE EASEMENT**

DRAINAGE EASEMENTS, WHERE SHOWN, ARE RESERVED FOR THE PURPOSE OF SURFACE WATER DRAINAGE AND SHALL REMAIN FREE AND CLEAR OF OBSTRUCTIONS THAT MAY IMPEDE THE FLOW OF WATER.

**ACCESS DISCLAIMER (NO SHARED ACCESS)**

ALL LOTS SHOWN HEREON HAVE DIRECT ACCESS TO A PUBLIC RIGHT-OF-WAY. NO SHARED ACCESS OR COMMON ACCESS EASEMENTS ARE CREATED BY THIS PLAT.

**NO COMMON AREAS/ NO COMMON EASEMENTS**

THIS PLAT DOES NOT CREATE OR ESTABLISH ANY COMMON AREAS, HOMEOWNERS ASSOCIATION PROPERTY, OR COMMON EASEMENTS. ALL EASEMENTS SHOWN HEREON ARE FOR THE BENEFIT OF INDIVIDUAL LOTS OR PUBLIC UTILITIES ONLY.

**RECORDED EASEMENT DISCLAIMER**

EASEMENTS SHOWN HEREON ARE SUBJECT TO THE TERMS AND CONDITIONS OF RECORDED DOCUMENTS, IF ANY, AND ARE APPROXIMATE AS TO LOCATION UNLESS DIMENSIONED.

**SURVEYOR'S CERTIFICATE**

STATE OF ILLINOIS )  
COUNTY OF COOK ) SS

I, GEORGE E. STOURTON, AN ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 035-002058 HEREBY CERTIFY THAT I HAVE SURVEYED AND SUBDIVIDED THE FOLLOWING DESCRIBED PROPERTY:

LOTS 15, 16 AND 17 IN BLOCK 1 IN FRANK E. MERRILL AND COMPANY'S GREATER PALATINE, A SUBDIVISION IN THE NORTHEAST 1/4 OF SECTION 16, TOWNSHIP 42 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF REGISTERED IN THE OFFICE OF THE REGISTRAR OF TITLES OF COOK COUNTY, ILLINOIS ON SEPTEMBER 10, 1926 AS DOCUMENT 318962 IN COOK COUNTY, ILLINOIS.

THE PLAT CORRECTLY REPRESENTS SAID SURVEY AND SUBDIVISION IN EVERY DETAIL, ALL LOT CORNERS ARE MARKED BY IRON RODS AND PIPES UNLESS OTHERWISE NOTED. ALL DISTANCES ARE SHOWN IN FEET AND DECIMAL PARTS THEREOF.

I FURTHER CERTIFY THAT THE LAND IS WITHIN THE CORPORATE LIMITS OF THE VILLAGE OF PALATINE WHICH HAS ADOPTED A VILLAGE PLAN AND MAP AND IS EXERCISING THE SPECIAL POWER AUTHORIZED BY DIVISION 12 OF ARTICLE 11 OF THE ILLINOIS MUNICIPAL CODE AS AMENDED.

I FURTHER CERTIFY THAT UPON INSPECTION OF THE FLOOD INSURANCE RATE MAP FOR THE SUBJECT AREA, PANEL NUMBER 1709701771 WITH EFFECTIVE DATE OF AUGUST 19, 2008, IT APPEARS THAT THE PROPERTY SHOWN HEREON WOULD LINE IN "ZONE X", AREA OF MINIMAL FLOOD HAZARD.

DATED THIS 5TH DAY OF FEBRUARY, A.D. 2026.

*George E. Stourton*  
ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 035-002058





**PRELIMINARY & FINAL PLAT  
OF SUBDIVISION**

**Department of Planning & Zoning**  
200 E. Wood Street • Palatine, IL • 60067-5339  
Telephone: (847) 359-9047 • Fax (847) 963-6247  
[www.palatine.il.us](http://www.palatine.il.us)

**Petitioner Name**

Eduard Khutornyy

**Business Name (if applicable)**

**Property Owner (if different from petitioner)**

**Subject Property Address**

763 N Franklin Avenue

**Property Interest of Petitioner(s):**

Owner

Owner, Lessee, Contract Purchaser, etc.

**All existing land use(s) on the property are:**

Single Family Residential

**The proposed use(s) on the property, if this petition is approved is (are):**

Single Family Residential

**Current zoning of property:**

R-2 Single Family Residential

**Size of the property:** .78 acres

**State the specific action requested:**

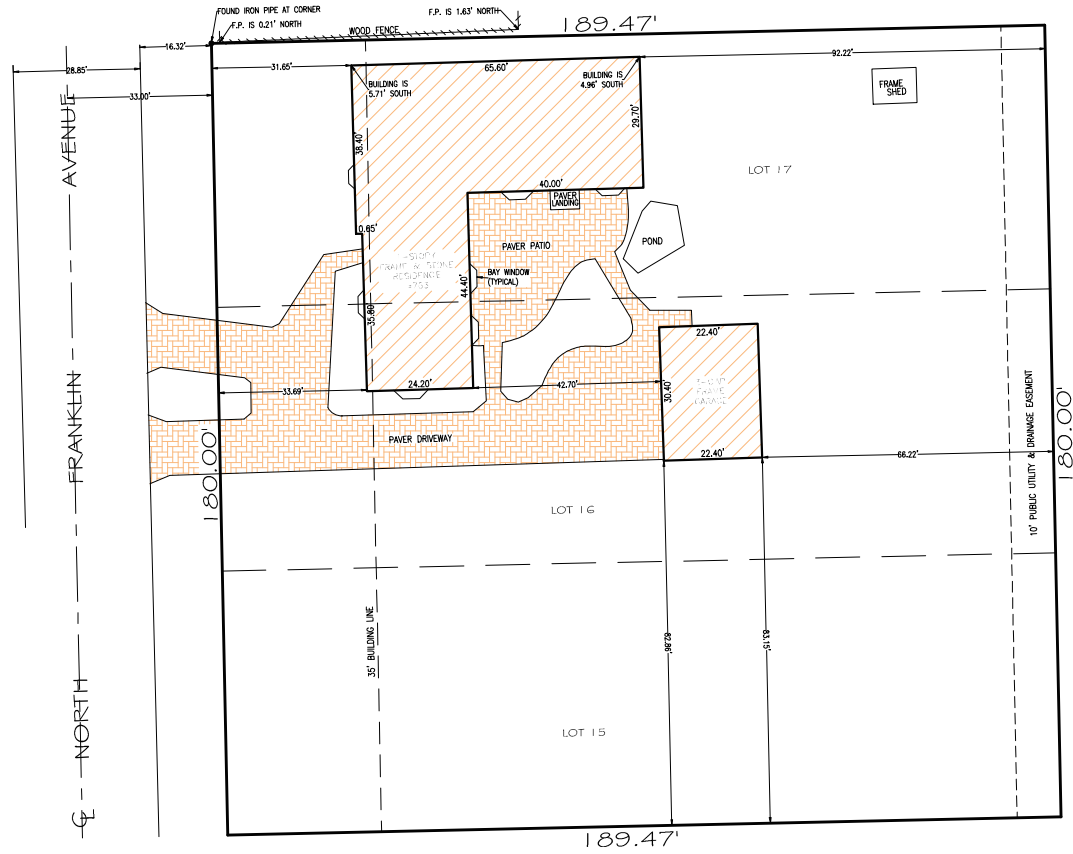
I would like to divide the lot in two parcels (addresses).

# PLAT OF SURVEY

LOTS 15, 16 AND 17 IN BLOCK 1 IN FRANK E. MERRILL AND COMPANY'S GREATER PALATINE, A SUBDIVISION IN THE NORTHEAST 1/4 OF SECTION 16, TOWNSHIP 42 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF REGISTERED IN THE OFFICE OF THE REGISTRAR OF TITLES OF COOK COUNTY, ILLINOIS ON SEPTEMBER 10, 1926 AS DOCUMENT 318962 IN COOK COUNTY, ILLINOIS.



SCALE: 1" = 20'



**SURVEYOR'S NOTE:**  
NORTHWEST CORNER OF BUILDING IS 3.35 FEET INTO THE 35 FOOT BUILDING LINE

COMPARE ALL POINTS BEFORE BUILDING, NO IMPROVEMENTS SHOULD BE MADE ON THE BASIS OF THIS PLAT ALONE. CRITICAL FIELD MONUMENTATION SHOULD BE ESTABLISHED PRIOR TO THE COMMENCEMENT OF ANY AND ALL CONSTRUCTION. PLEASE REFER TO DEED, TITLE POLICY AND/OR LOCAL ORDINANCES FOR BUILDING LINE RESTRICTIONS AND/OR EASEMENTS NOT SHOWN HEREON. PLEASE CHECK LEGAL DESCRIPTION WITH DEED AND IMMEDIATELY REPORT ANY DISCREPANCY TO THE SURVEYOR FOR EXPLANATION AND/OR CORRECTION. ALL DIMENSIONS AND MEASUREMENTS ARE SHOWN IN FEET AND DECIMAL PARTS THEREOF, AND ARE CORRECTED TO A TEMPERATURE OF 62 DEGREES FAHRENHEIT.

JOB # 763NFRANKLINAVE  
DATE OF COMPLETION IN THE FIELD: NOVEMBER 17, 2025  
PREPARED FOR: HANSON & ASSOCIATES  
P.I.N # 02-16-205-004\_005\_006-0000 COOK COUNTY, ILLINOIS  
COMMONLY KNOWN AS: 763 N. FRANKLIN AVE., PALATINE, ILLINOIS

STATE OF ILLINOIS } S.S.  
COUNTY OF COOK }  
THIS IS TO CERTIFY THAT HORIZON SURVEY, LLC., BY ITS MANAGING AGENT GEORGE E. STOURTON, P.L.L.S., PROFESSIONAL LAND SURVEYOR #2058, WHOSE LICENSURE EXPIRES NOVEMBER 30, 2026, HEREBY CERTIFIES THAT THE PROPERTY DESCRIBED ON THIS PLAT HAS BEEN SURVEYED AND THAT THE RESULTS OF THE SURVEY ARE SHOWN ON THIS PLAT. DIMENSIONS ARE IN U.S. STANDARD FEET AND DECIMALS THEREOF, SEXAGESIMAL BEARINGS BASED AS ASSUMED NORTH. THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.

DATED THIS 18TH DAY OF NOVEMBER, 2025

*George E. Stourton*  
GEORGE E. STOURTON PLS No. 2058  
Licensure Expires 11/30/2026

PUBLIC NOTICE

A Public Hearing will be held before the Village of Palatine Planning and Zoning Commission on Tuesday March 10, 2026 at 7 PM, in the Village Council Chambers in Palatine Village Hall, 200 E. Wood Street, relative to a request for the following:

**Preliminary/Final Plat of Subdivision to permit a 2-lot single-family residential subdivision.**

The properties are zoned R-2 single-family residential and are commonly known as 763 N. Franklin Avenue and the two vacant abutting lots directly south of 763 N. Franklin Avenue.

The Petitioner is requesting a Preliminary and Final Plat of Subdivision to consolidate (re-subdivide) the three single-family lots, into two single-family residential lots. The existing home at 763 N. Franklin Avenue would remain, in addition to one vacant lot.

The above petition has been filed by Eduard Khutornyy, owner and is available for examination in the office of the Village Clerk, 200 E. Wood Street.

FILE #: PFSUB-000014-2025 VILLAGE OF PALATINE

Jan Wood, Chair  
Palatine Planning and Zoning Commission

DATED: This 19<sup>th</sup> day of February 2026

# CERTIFICATE OF PUBLICATION

DES PLAINES JOURNAL, INC., a corporation organized and existing under and by virtue of the laws of the State of Illinois, does hereby CERTIFY that it is the publisher of the:

Journal & Topics Newspapers  
AKA Des Plaines Journal, Inc.  
622 Graceland Ave.  
Des Plaines, IL 60016-4556

and that said newspaper(s) is a secular newspaper of general circulation and has been published weekly in the

(Village) (Town) (City) (Township) of PALATINE 763 N. Franklin Ave  
     
County of COOK

and State of Illinois, continuously for more than one year prior to date of the first publication of the notice attached hereto, and that said newspaper(s) complies with the requirements of Paragraphs 5 and 10, Chapter 100, of the Illinois Revised Statutes.

Further, that the notice, of which the attached is a true copy, was published ONE times in the said newspaper(s), namely once each week for ONE successive week(s) and that the first publication of said notice was made on the 19TH day of FEBRUARY, A.D. 2026, and the last publication thereof was made on the 19TH day of FEBRUARY, A.D. 2026.

- Your Legal appeared in the following Journal & Topics Newspapers (Des Plaines Journal, Inc.)
- Des Plaines Journal
  - Elk Grove Village Journal
  - Mt. Prospect Journal
  - Niles Journal
  - Park Ridge-Golf Mill Journal
  - Prospect Heights Journal
  - Rosemont Journal
  - Arlington Heights Topics
  - Buffalo Grove Topics
  - Palatine Topics
  - Rolling Meadows Topics
  - Wheeling Topics
  - Suburban Journal
  - Northwest Journal
  - Glenview Journal



*Mary A. Wenzl*  
IN WITNESS WHEREOF, THE DES PLAINES JOURNAL, INC., has caused this certificate to be signed and its corporate seal affixed hereto at Des Plaines, Illinois this 19TH day of FEBRUARY A.D., 2026.

By Todd Wassell  
President  
Title of Corporate Officer

County of Cook  
State of Illinois

Subscribed and sworn to before me this 19TH day of FEBRUARY A.D., 2026.

My commission expires 6TH day of AUGUST A.D., 2029.

## Preliminary Planned Development to allow a 40-unit

### STAFF REPORT:

**TO:** Palatine Planning and Zoning Commission  
Jan Wood, Chair

**FROM:** Ben Vyverberg — Director of Planning and Zoning

**PETITIONER:** David Schwatz - Cornersite

**PLAN NUMBER:** PPD-0000014-2025

**This item was initially reviewed at the Planning and Zoning Commission meeting on February 10, 2026. After the initial review, the Planning and Zoning Commission continued this item until the March 10, 2026, Planning and Zoning Commission meeting to allow the Petitioner to review the initially proposed plans and determine if revisions could be made to address questions discussed at the initial Public Hearing. To that end, the Preliminary Planned Development plans were revised to request a now 38-unit townhouse development. The following summarizes the changes made to the initial application and plans:**

- 1) The unit count was reduced from 40 to 38 units;**
- 2) The retaining wall on the north side of the detention pond was removed and replaced with sloped grading;**
- 3) The overall impervious surface calculation was reduced by 3%, with an increased detention area in the northwest corner of the site; and**
- 4) The guest parking and overall parking rations were retained from the initial site plan.**

**The overall density was reduced from 8.26 units/acres (40/4.84 acres) to 7.85 units/acre (38/4.84 acres).**

**Staff maintains its recommendation to approve the Preliminary Planned Development, subject to the proposed conditions.**

### **BACKGROUND:**

The Subject Property, approximately 4.8 acres, is presently located in unincorporated Cook County and the developer (contract purchaser) has applied for preliminary planned development review to allow for a 40-unit rental townhouse development (8.26

units/acre). Historically, the property functioned as a gas station and car wash for many years, until the gas station improvements were demolished, and the site cleared for ultimate redevelopment purposes.

The Subdivision directly south of the Subject Property — Lakeside Estates is located in the Village. Additionally, excepting the property directly west, the adjacent subdivision along W. Aspen Court (Lakewood's Aspen Woods Resubdivision) is also incorporated, with both subdivisions following the R-2 zoning standards. Deer Grove — West, part of the Cook County Forest Preserve, is located directly across W. Dundee Road from the Subject Property.

As part of the Preliminary Planned Development application, the property owners concurrently submitted an annexation application. That application would not be acted upon by the Village Council until the final planned development and related zoning petitions are reviewed by the Village Council in the future.

Therefore, the Petitioner is requesting:

**Preliminary Planned Development Approval to allow 40 townhouse units at the Subject Property**

**KEY ISSUES:**

- The Subject Property is presently located in unincorporated Cook County and maintains a C-3 — General Service District zoning destination. Per the Cook County Code, the C-3 district is intended for more intensive service and small business uses compared to other preceding commercial districts. The C-3 district uses are typically located at intersections along major thoroughfares:

-



Cook County Zoning Map

- The C-3 district permits such uses as grocery stores, restaurants, gas stations, movie theaters, professional offices, and community center buildings.

**ARCHITECTURE and DESIGN:**

- The Petitioner is proposing a 40-unit rental townhouse development, with access provided along W. Dundee Road (right-in/right-out) and Quentin Road (full-access). The overall proposed density is 8.26 units/acres. The 40 units are divided between 10 buildings, with the 8 periphery buildings being 2-stories and the 2 center buildings being 3-stories. All units feature 2-car garages and driveway apron parking for 2-cars. There are also 16 parking spaces located throughout the development area for a total of 176 spaces. The overall parking ratio is 4.4 spaces/unit.
- The front yard setbacks along W. Dundee Road and N. Quentin Road range from 30–39 feet.
- Within the units, there are four different unit types — A-D. 16 units are model A; 12 units are model B; 8 units are model C; and 4 units are model D:

Model Type	Square footage	# of Stories	Bedroom/bathroom
A	2,429	2	3/2.5
B	2,206	2	3/2.5
C	2,296	3	3/2.5

D

2,255

3

3/2.5

- The contemplated building materials include facebrick, James Hardie board, lap siding, vinyl windows, and architectural shingles. In addition to the differing unit models, the 10 buildings are a mixture of 3-unit and 4-unit buildings, with the central interior buildings being 5-units. The development narrative indicates anticipated initial rental rates from \$3900-\$4500/month.
- The units also provide at-grade patios for the 2-story homes and balconies and patios for the 3-story homes within the center of the site. There is also a transitioning sidewalk connecting the 3-story buildings and sidewalks would be extended along both the W. Dundee Road and Quentin Road frontages.
- The developer has completed similar rental townhouse developments in Highland Park, Northbrook, and Mount Prospect, as further identified below:

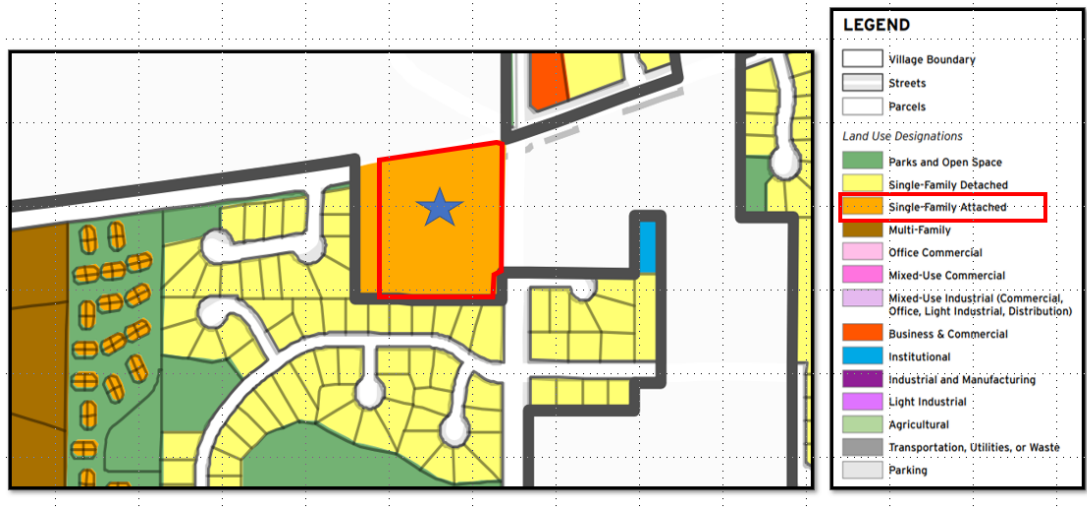
**Highland Park - [www.425bloom.com](http://www.425bloom.com)**

**Northbrook - [www.pointedrive.com](http://www.pointedrive.com)**

**Mount Prospect - [www.lionsparkrow.com](http://www.lionsparkrow.com)**

- In addition to the curb cuts along W. Dundee Road and N. Quentin Road, a 28-foot wide private drive transitions through the property, with a termination point in the northeast corner of the site, with a 5-foot inset to allow for backing maneuvers for the adjacent driveways. At the southwest corner of the site, there is also a 5-foot turnaround area for the adjacent driveways. This area is also noted as a potential expansion connection for the property directly west of the Subject Property. Staff notes that this property is not part of the proposed development and is under separate private ownership, but Staff recommended the inclusion of this potential access point to provide, as an alternative to the ultimate redevelopment of that property. That property also maintains a C-3 zoning designation in Cook County.

**Village of Palatine 2025 Comprehensive Plan - Future Land Use map & legend**



- The current comprehensive plan envisions an attached single-family development for this property. At 8.26 units/acre, the proposed development is within the typical density levels for similar developments within the Village. Additionally, in 2001, the Village Council adopted a sub-area plan for this property, which indicated that attached single-family uses were appropriate for the site and also envisioned the gas station/car wash remaining. That plan also recommended 40-foot setbacks for those homes abutting single-family residential subdivisions in Palatine and lower-profile building heights in these areas. The proposed plans provide 40-foot setbacks on the southern and western sides and are 2-stories in height for these areas.

## **ENGINEERING**

- The Subject Property grades north to south, with an approximately 9-foot grade differential across its 481-foot expanse. The previous gas station and car wash maintained 4 curb cut access points onto Quentin and Dundee Roads. For the proposed development, the W. Dundee Road access will be right-in/right-out, with a full-access planned in the southeast corner of the property on N. Quentin Road. There is a mountable median in this section of Quentin Road, which will allow vehicles exiting to turn left and head north on Quentin Road and access to travel west on Dundee Road.
- Village utilities exist in the area and the proposed engineering plans would connect therein. Village water would be connected and looped from the existing water lines on the south side of W. Dundee Road and the east side of N. Quentin Road. The sanitary line would extend and connect to the existing sanitary sewer on the west side of Quentin Road.

- The stormwater management for the site would generally maintain the existing grades and collect all the stormwater throughout the site. This would be accomplished through a series of storm utility holes and catch basins to transition the stormwater into the stormwater basin/pond in the southeast corner of the site. The pond would be constructed with retaining walls and would maintain a bottom elevation of 778.5 and a high waterline of 785. The Village Engineer has reviewed and conditionally accepted the preliminary engineering plans.
- The preliminary landscaping and screening plan includes a privacy fence along the southern and western sides of the property, in addition to evergreen/deciduous trees and privacy plantings upon a landscaped berm along the frontages of W. Dundee and N. Quentin Roads. Plantings are planned throughout the site, with foundational planting, with additional trees/shrubs throughout the site.
- Two existing billboards are present on the property at the northwest and southeast corners of the site. Per Code, off-site signage is not permitted within the Village. The existing southeast billboard has an expiring lease in a year and would be terminated and removed upon the Petitioner's closing on the property. The northwest billboard/LED sign has 12-years remaining on the lease. The Petitioner confirms the intention to remove the billboard as soon as is possible.

**STANDARDS FOR A PLANNED DEVELOPMENT:**

**(a) *Standards for all planned developments.* All planned developments shall comply with the following general standards.**

- (1) The planned development shall be designed, located and proposed to be operated so that the public health, safety and welfare will be protected.**
- (2) The planned development shall not cause substantial injury to the value of other property in the area in which it is located.**
- (3) The establishment of the planned development shall not impede the normal and orderly development and improvement of surrounding property.**
- (4) Adequate utilities, access roads, drainage and/or other necessary facilities have been or are being provided.**
- (5) Adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.**

**STAFF RECOMMENDATION:**

The Subject Property is located in unincorporated Cook County and functioned as a gas station and car wash for many years therein, until its ultimate demolition and preparation for redevelopment. Over the last 25 years, the Village has adopted Comprehensive Plans recommending that attached single-family residential uses are appropriate for the Subject Property. The proposed plan complies with many of the previously contemplated requirements and also provides a potential access point for the future redevelopment of the unincorporated property directly west of the Subject Property. Staff is also recommending that final architectural plans and elevations are submitted in a manner acceptable to the Village to ensure that the final plans do not ultimately create a wall effect along Dundee and Quentin or within the site. As previously noted, the engineering plans were conditionally approved by the Village Engineer. Therefore, Staff recommends approval of the Preliminary Planned Development, subject to the following conditions:

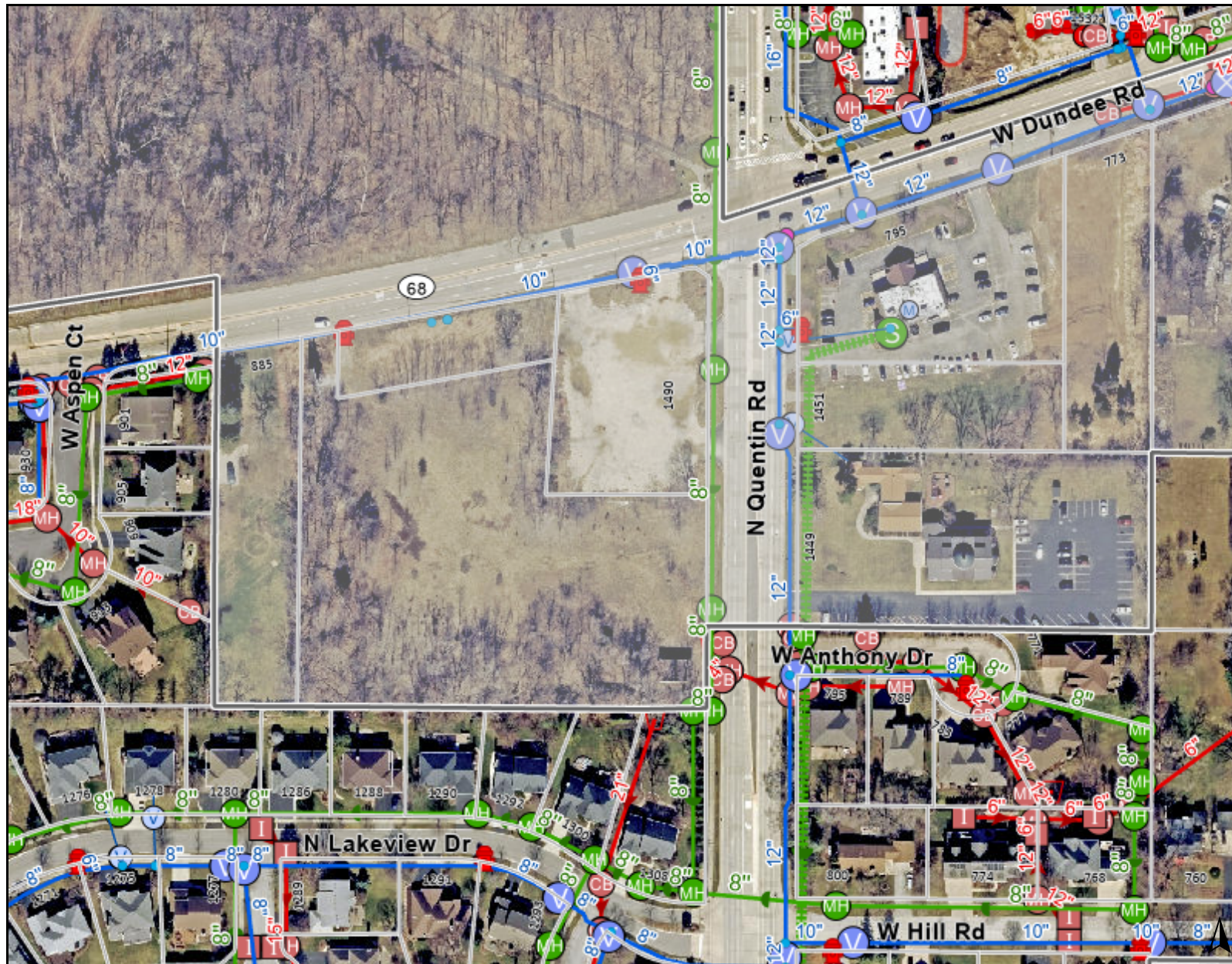
- 1. The Final Engineering Plans and Final Engineer's Estimate of Probable Cost shall be submitted and revised in a manner acceptable to the Village Engineer and Director of Planning and Zoning.**
- 2. A Public Improvement letter of credit shall be submitted in a manner acceptable to the Village Engineer and a Planned Development letter of credit shall be submitted in a manner acceptable to the Director of Planning and Zoning. A separate letter of credit shall be submitted in a manner acceptable to the Village Attorney and Director of Planning and Zoning to ensure the ultimate removal of the billboard in the northwest corner of the property.**
- 3. Review fees in the amount of 1.5% of the total project improvement costs (as defined in the Village Code) shall be submitted in a manner acceptable to the Village Engineer.**
- 5. The preliminary and final plat of consolidation (subdivision) shall be submitted in a manner acceptable to the Village Engineer and Director of Planning and Zoning. The plat should include all necessary easements and any required maintenance language, in a manner acceptable to the Village Engineer.**
- 6. Recording fees in the amount of \$600 shall be submitted.**
- 7. A construction management plan indicating the proposed material delivery routes and contractor parking areas, shall be submitted to the Village Engineer and Director of Planning and Zoning.**
- 8. All required extra agency (e.g. IDOT, CCHD, MWRD) permits shall be submitted in a manner acceptable to the Village Engineer.**
- 9. The final architecture and elevation plans shall be revised and submitted in a manner acceptable to the Village.**

**10. The final landscaping/screening plan shall be submitted in a manner acceptable to the Director of Planning and Zoning. This would include the final proposed fencing plan and elevation for the proposed fencing plan on the southern and western sides of the property.**

**11. The final rules and regulations summarizing the requirements for the townhouse operations shall be submitted in a manner acceptable to the Village Attorney and the Director of Planning and Zoning.**

**ATTACHMENTS:**

1. Aerial Map
2. Aerial Map - Expanded Area
3. REVISED PETITIONER NARRATIVE - Summary of Changes for March 10 PZC
4. REVISED SITE PLAN - 2025-0112\_Site Layout - 20260305-S-1.0
5. REVISED SITE AND ARCHITECTURAL PLANS - 2025-0112-Palatine Townhome PUD Proposal Package 20260306
6. REVISED ENGINEERING PLANS - 855 Dundee Civil Issue E 3.4.26 - Preliminary
7. Preliminary Engineering Plans
8. Utility Map - 8.5 x 11 Landscape with Legend
9. Preliminary Architectural Plans - 2025-0112-Palatine Townhome PUD Proposal Package 20260120\_v1 (1)
10. Preliminary Planned Development proposed elevations
11. 1490 Quentin Rd Townhomes Landscape Plan 2025-11-10-L-1\_v1Origin
12. Townhomes at Deer Grove - PROJECT NARRATIVE 9-11-2025\_v1 (1) (1)
13. 2025.08.13\_Palatine Townhomes\_Site Access\_Letter\_v1 (1)
14. PRELIMINARY PLANNED DEVELOPMENT Application
15. 2025 Village of Palatine Comprehensive Plan - Quentin & Dundee Roads
16. 2001 COMP PLAN Sub-Area - Quentin and Dundee Roads
17. Cook County Zoning Classification 5.3. \_\_\_ C\_3\_General\_Service\_District.
18. Plat of Survey
19. Public Notice

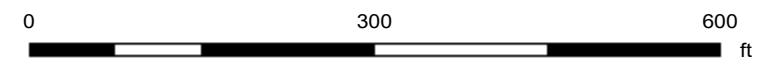


**Legend**

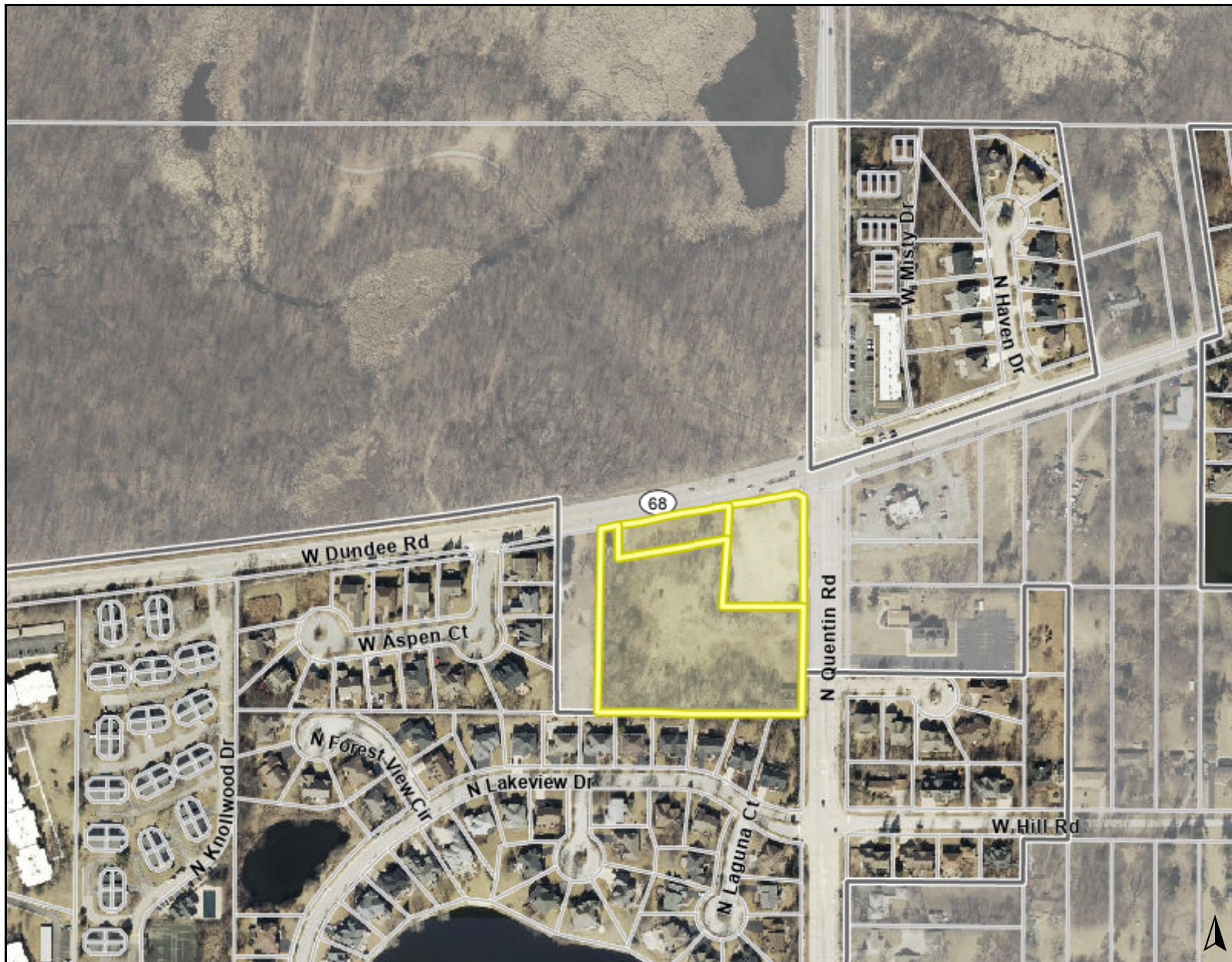
- myGIS Layers
- Hydrant
  - Water Fitting
  - Water Valve
    - Open
    - Closed
  - Water Service Valve
    - Open
  - Water Meter
  - Water Main Break
  - Water Lateral
    - Active
  - Water Main
    - Active
  - Sanitary Manhole
  - Sanitary Cleanout
  - Sanitary Lateral
    - Active
  - Sanitary Main
    - Active
  - Sanitary Force Main
    - Active
  - Storm Catch Basin
  - Storm Inlet

Print Date: 9/29/2025

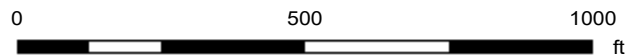
**Notes**



Disclaimer: The GIS Consortium and MGP Inc. are not liable for any use, misuse, modification or disclosure of any map provided under applicable law. This map is for general information purposes only. Although the information is believed to be generally accurate, errors may exist and the user should independently confirm for accuracy. The map does not constitute a regulatory determination and is not a base for engineering design. A Registered Land Surveyor should be consulted to determine precise location boundaries on the ground.



**Legend**



Print Date: 2/5/2026

**Notes**

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# CornerSite

Ben Vyverberg, Director of Planning and Zoning  
Village of Palatine  
200 E. Wood St  
Palatine, IL 60067

## **RE: Townhomes at Deer Grove – 885 W. Dundee Road – PZC Revisions**

Dear Ben,

Thank you for the continued review and additional input. Below is a summary of changes made to the site plan and density in order to address the comments we received from the commission and the community at the hearing on February 12<sup>th</sup>.

1. 2 units have been removed, bringing the project to 38 total units.
2. One unit has been removed from Building 1 located at the northwest corner of the property closest to the billboard, replacing a 3 unit building in lieu of the previous 2 unit building. This will create a larger buffer between the proposed building and the existing billboard and
3. One unit has been removed from building 4 located at the southeast corner of the property closest to the surface detention pond, replacing a 4 unit building with a a 3 unit building.
4. Removed retaining wall on north side of detention pond in southeast corner and replacing it with sloped grading. Additional hedges and landscape buffer will be installed along north end. Retaining wall to remain on south, east and west sides of detention pond.
5. Increased size of small surface detention area in the northwest corner.
6. Decreased impervious surface coverage by 3%
7. Retained all guest parking spots.

Thank you for your additional consideration and attention and we look forward to continuing to work with you on this project.

Best Regards,

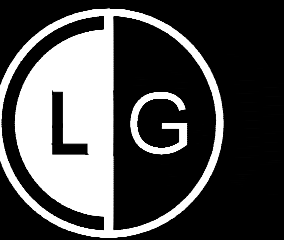


David Schwartz

847-230-1344

# CornerSite

[schwartz@cornersitellc.com](mailto:schwartz@cornersitellc.com)



LINDEN GROUP

ARCHITECTURE  
LAND PLANNING  
INTERIOR ARCHITECTURE  
LANDSCAPE ARCHITECTURE  
10100 ORLAND PARKWAY SUITE 110  
ORLAND PARK, ILLINOIS 60467  
(708) 799-4400  
WWW.LINDENGROUPINC.COM

**PROPOSED**  
**PALATINE TOWNHOMES**  
N Quentin Rd and W Dundee Rd, Palatine, Illinois



SITE DATA BASED ON EXISTING R-3 MULTI-FAMILY ZONING DISTRICT

REQUIRED	PROPOSED	CODE REQUIRED
TOTAL LAND AREA	210,941 SF 4.84 AC	5,000 SF PER DU
UNIT COUNT	38	
DENSITY	7.85 DU/AC	
YARDS		
FRONT SIDE	30'-0"	30 FEET
SIDE	40'-0"	25 FEET FOR CORNER LOTS 6'-0" ONE SIDE 16' TOTAL FOR INT. LOTS
REAR	40'-0"	40 FEET MIN
FAR	0.45	0.50 MAX
LOT COVERAGE	50.94%	50% MAX
BUILDING HEIGHT	± 34'-0"	50 FEET MAX OR 4 STORIES
PARKING		
GARAGE	76	
DRIVEWAY	76	
GUEST	14	
TOTAL	166 CARS (4.37 CARS / UNIT)	2.25 CARS / UNIT

**PROPOSED SITE PLAN**  
SCALE: 1" = 30'-0"

DATE	DESCRIPTION
10-16-2025	PS ZONING REVIEW
10-27-2025	PS REVISED SITE
3-5-2026	SF PALATINE VILLAGE COORDINATION

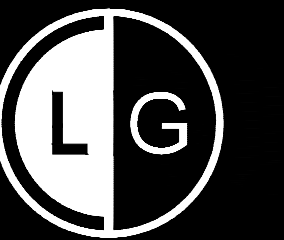
**2025-0112**  
PROJECT NUMBER  
**10-27-2025**  
DATE  
**PS/KK** **SF**  
DRAWN BY FINAL REVIEW

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ARCHITECTURAL  
SITE PUD

SHEET NAME  
**S-1.0**  
SHEET

P:\2025\2025-0112\Drawing Title\Coordinate Documents\Architectural\2025-0112\_Site\_Plan.dwg - 20250305.dwg - 3/5/2025 4:44 PM SPINWAS S-1.0



LINDEN GROUP

ARCHITECTURE  
LAND PLANNING  
INTERIOR ARCHITECTURE  
LANDSCAPE ARCHITECTURE  
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ORLAND PARK, ILLINOIS 60467  
(708) 799-4400  
WWW.LINDENGROUPINC.COM

**PROPOSED**  
**PALATINE TOWNHOMES**  
N Quentin Rd and W Dundee Rd, Palatine, Illinois



SITE DATA BASED ON EXISTING R-3 MULTI-FAMILY ZONING DISTRICT

REQUIRED	PROPOSED	CODE REQUIRED
TOTAL LAND AREA	210,941 SF 4.84 AC	5,000 SF PER DU
UNIT COUNT	38	
DENSITY	7.85 DU/AC	
YARDS		
FRONT SIDE	30'-0"	30 FEET
SIDE	40'-0"	25 FEET FOR CORNER LOTS 6'-0" ONE SIDE 16' TOTAL FOR INT. LOTS
REAR	40'-0"	40 FEET MIN
FAR	0.45	0.50 MAX
LOT COVERAGE	50.94%	50% MAX
BUILDING HEIGHT	± 34'-0"	50 FEET MAX OR 4 STORIES
PARKING		
GARAGE	76	
DRIVEWAY	76	
GUEST	14	
TOTAL	166 CARS (4.37 CARS / UNIT)	2.25 CARS / UNIT

**PROPOSED SITE PLAN**  
SCALE: 1" = 30'-0"

DATE	DESCRIPTION
10-16-2025	PS ZONING REVIEW
10-27-2025	PS REVISED SITE
3-5-2026	SF PALATINE VILLAGE COORDINATION

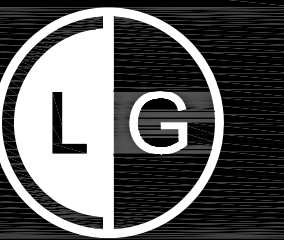
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ARCHITECTURAL  
SITE PUD

SHEET NAME  
**S-1.0**  
SHEET

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DRAWN BY: PS/KK



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PROPOSED  
**PALATINE TOWNHOMES**  
N Quentin Rd and W Dundee Rd, Palatine, Illinois



2-STORY  
PROPOSED FRONT ELEVATION - 4-UNIT BUILDING  
SCALE: 3/16" = 1'-0"



2-STORY  
PROPOSED REAR ELEVATION - 4-UNIT BUILDING  
SCALE: 3/16" = 1'-0"

DATE 10-16-2025 PS  
DRAWN PS  
DESCRIPTION ZONING REVIEW  
REVISD SITE

2025-0112

PROJECT NUMBER

10-27-2025

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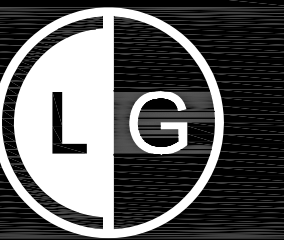
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PROPOSED  
2 STORY  
4 UNIT  
ELEVATIONS

SHEET NAME

A-1.0

SHEET



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PROPOSED  
**PALATINE TOWNHOMES**  
N Quentin Rd and W Dundee Rd, Palatine, Illinois



**2-STORY  
PROPOSED FRONT ELEVATION - 3-UNIT BUILDING**

SCALE: 3/16" = 1'-0"



**2-STORY  
PROPOSED REAR ELEVATION - 3-UNIT BUILDING**

SCALE: 3/16" = 1'-0"

\\US-NCP\project\_files\2025\2025-0112\Drawings\Architectural\CONCEPTS\2025-0112\_2-Story Unit and Building Elevation - 20251111.dwg, 1/20/2025 11:08 AM, R5201, K-1.1

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DRAWN: PS  
DESCRIPTION: ZONING REVIEW  
REVISOR: PS  
REVISED SITE

**2025-0112**

PROJECT NUMBER

**10-27-2025**

DATE

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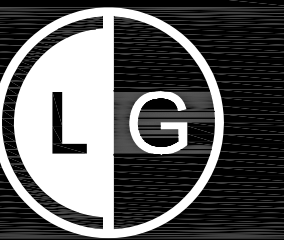
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PROPOSED  
2 STORY  
3-UNIT  
ELEVATIONS

SHEET NAME

**A-1.1**

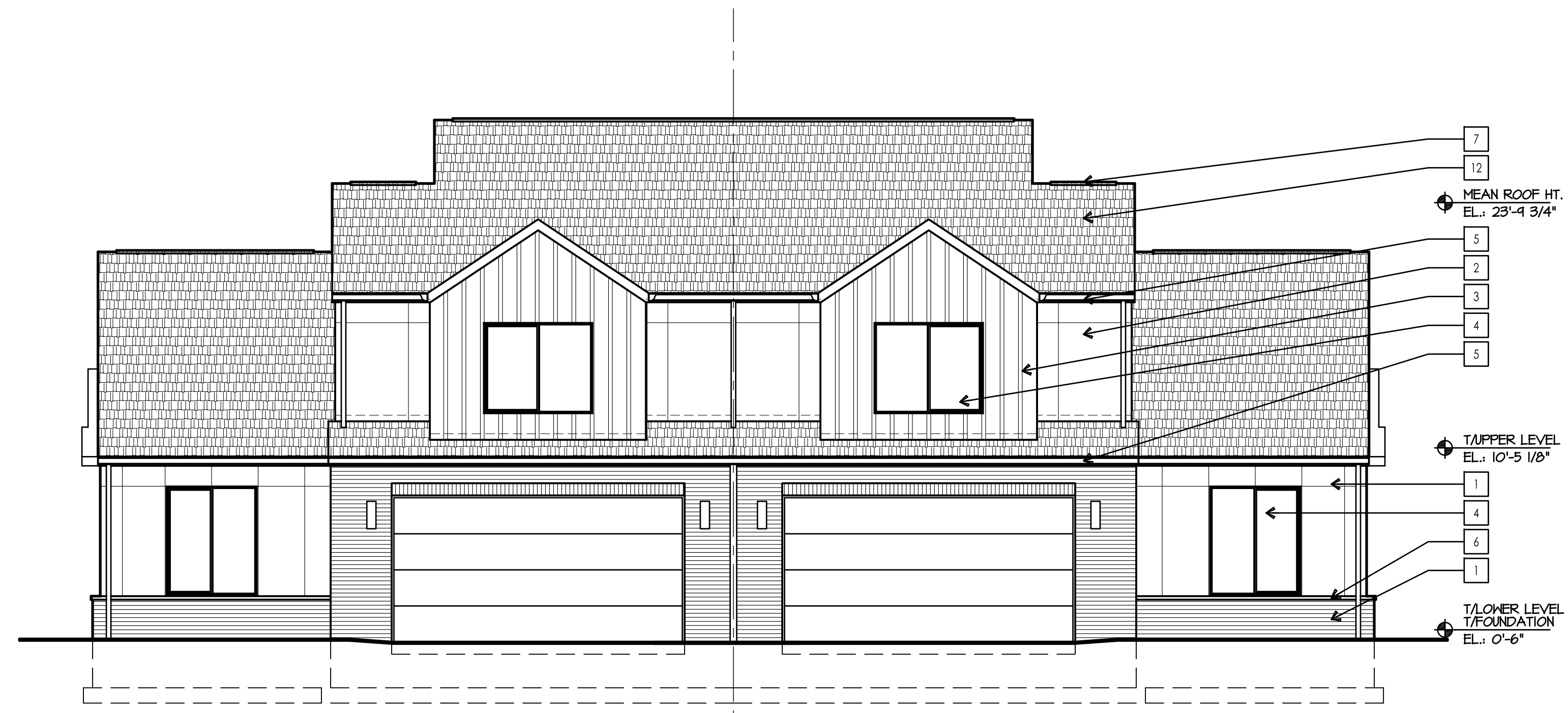
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PROPOSED  
**PALATINE TOWNHOMES**  
N Quentin Rd and W Dundee Rd, Palatine, Illinois



2-STORY  
PROPOSED FRONT ELEVATION - 2-UNIT BUILDING

SCALE: 3/16" = 1'-0"



2-STORY  
PROPOSED REAR ELEVATION - 2-UNIT BUILDING

SCALE: 3/16" = 1'-0"

DATE	DESCRIPTION
10-16-2025	PS ZONING REVIEW
10-27-2025	PS REVISED SITE
3-5-2026	SF PALATINE VILAGE COORDINATION

2025-0112

PROJECT NUMBER

10-27-2025

DATE

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PROPOSED  
2 STORY  
2-UNIT  
ELEVATIONS

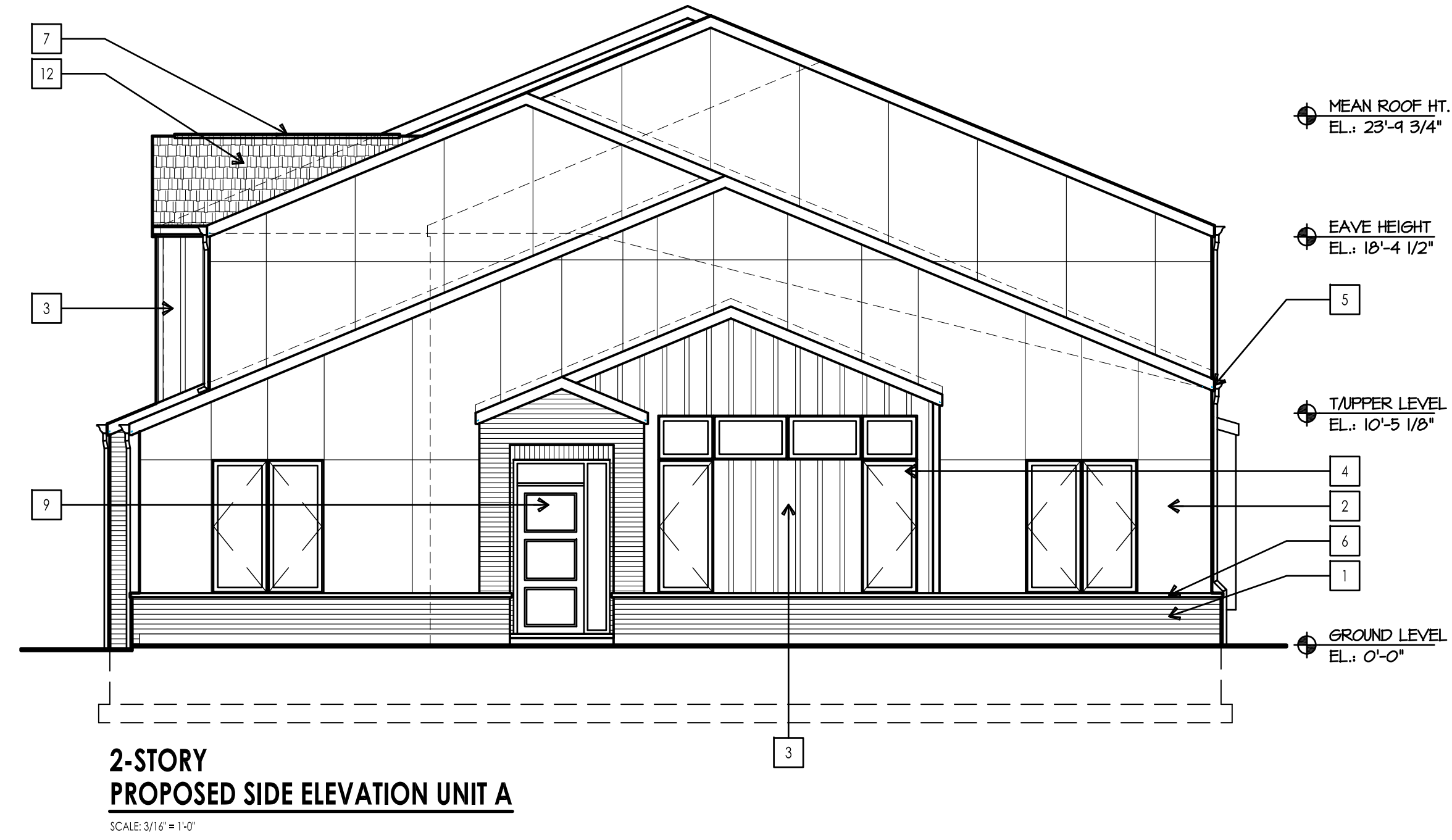
SHEET NAME

A-1.2

SHEET

**ELEVATION KEY NOTES**

- 1 FACEBRICK
- 2 JAMES HARDIE REVEAL PANEL CLADDING
- 3 JAMES HARDIE BOARD & BATTEN CLADDING
- 4 VINYL WINDOWS
- 5 PRE-FINISHED ALUMINUM GUTTER ON 1x6 ALUMINUM WRAPPED FASCIA
- 6 2-1/4" C.S. SILL
- 7 RIDGE VENT
- 8 PRE-FINISHED METAL CANOPY WITH SUPPORT STRUTS
- 9 INSULATED ENTRY DOOR WITH TRANSOM
- 10 PREFINISHED INSULATED OVERHEAD DOOR
- 11 WALL-MOUNTED LIGHT FIXTURE
- 12 ASPHALT ARCHITECTURAL SHINGLES
- 13 PRE-FINISHED METAL GUARDRAIL SYSTEM



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**PROPOSED**  
**PALATINE TOWNHOMES**  
N Quentin Rd and W Dundee Rd, Palatine, Illinois

DATE	DESCRIPTION
10-16-2025	PS ZONING REVIEW
10-27-2025	PS REVISED SITE
3-5-2026	SF PALATINE VILLAGE COORDINATION

**2025-0112**  
PROJECT NUMBER  
**10-27-2025**  
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**PROPOSED**  
**2 STORY**  
**SIDE ELEVATION**

SHEET NAME  
**A-1.3**  
SHEET



**3 STORY**  
**PROPOSED FRONT ELEVATION - 6-UNIT BUILDING**

3/16" = 1'-0"



**3 STORY**  
**PROPOSED REAR ELEVATION - 6-UNIT BUILDING**

3/16" = 1'-0"

DATE 10-16-2025 PS  
10-27-2025 PS  
3-5-2026 SF  
DRAWN DESCRIPTION ZONING REVIEW  
REVISOR SITE  
PALATINE VILLAGE COORDINATION

**2025-0112**

PROJECT NUMBER

**10-27-2025**

DATE

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**PROPOSED**  
**3 STORY**  
**6 UNIT**  
**ELEVATIONS**

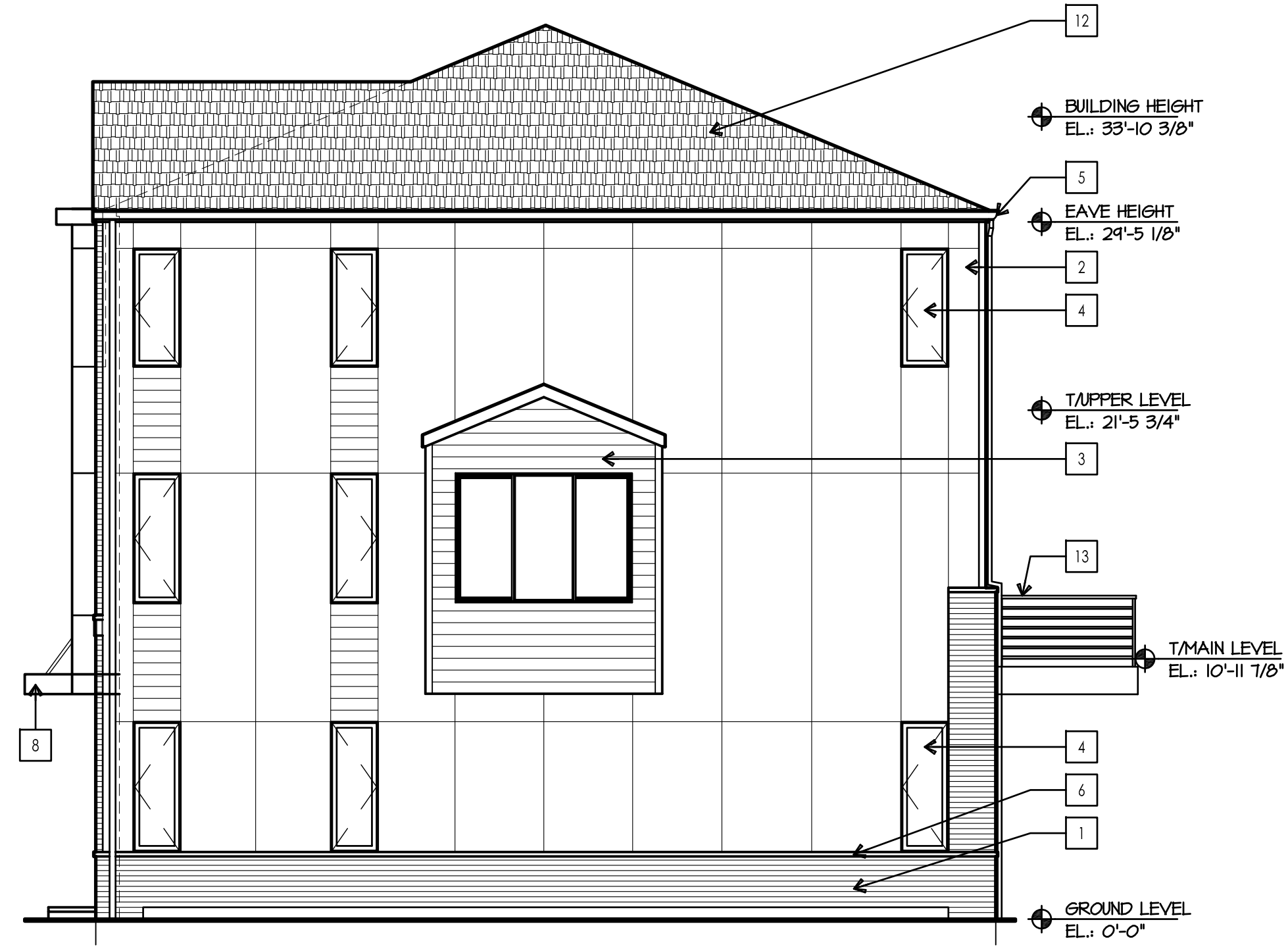
SHEET NAME

**A-1.4**

SHEET

**ELEVATION KEY NOTES**

- 1 FACEBRICK
- 2 JAMES HARDIE REVEAL PANEL CLADDING
- 3 JAMES HARDIE BOARD & BATTEN CLADDING
- 4 VINYL WINDOWS
- 5 PRE-FINISHED ALUMINUM GUTTER ON 1x6 ALUMINUM WRAPPED FASCIA
- 6 2-1/4" C.S. SILL
- 7 RIDGE VENT
- 8 PRE-FINISHED METAL CANOPY WITH SUPPORT STRUTS
- 9 INSULATED ENTRY DOOR WITH TRANSOM
- 10 PREFINISHED INSULATED OVERHEAD DOOR
- 11 WALL-MOUNTED LIGHT FIXTURE
- 12 ASPHALT ARCHITECTURAL SHINGLES
- 13 PRE-FINISHED METAL GUARDRAIL SYSTEM



**3-STORY  
PROPOSED SIDE ELEVATION UNIT D**

SCALE: 3/16" = 1'-0"



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**PROPOSED  
PALATINE TOWNHOMES**  
N Quentin Rd and W Dundee Rd, Palatine, Illinois

DATE	DRAWN	DESCRIPTION
10-16-2025	PS	ZONING REVIEW
10-27-2025	PS	REVISED SITE
3-5-2026	SF	PALATINE VILLAGE COORDINATION

**2025-0112**

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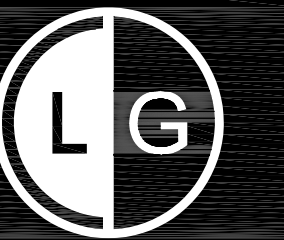
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**PROPOSED  
3 STORY  
SIDE ELEVATION**

SHEET NAME

**A-1.5**

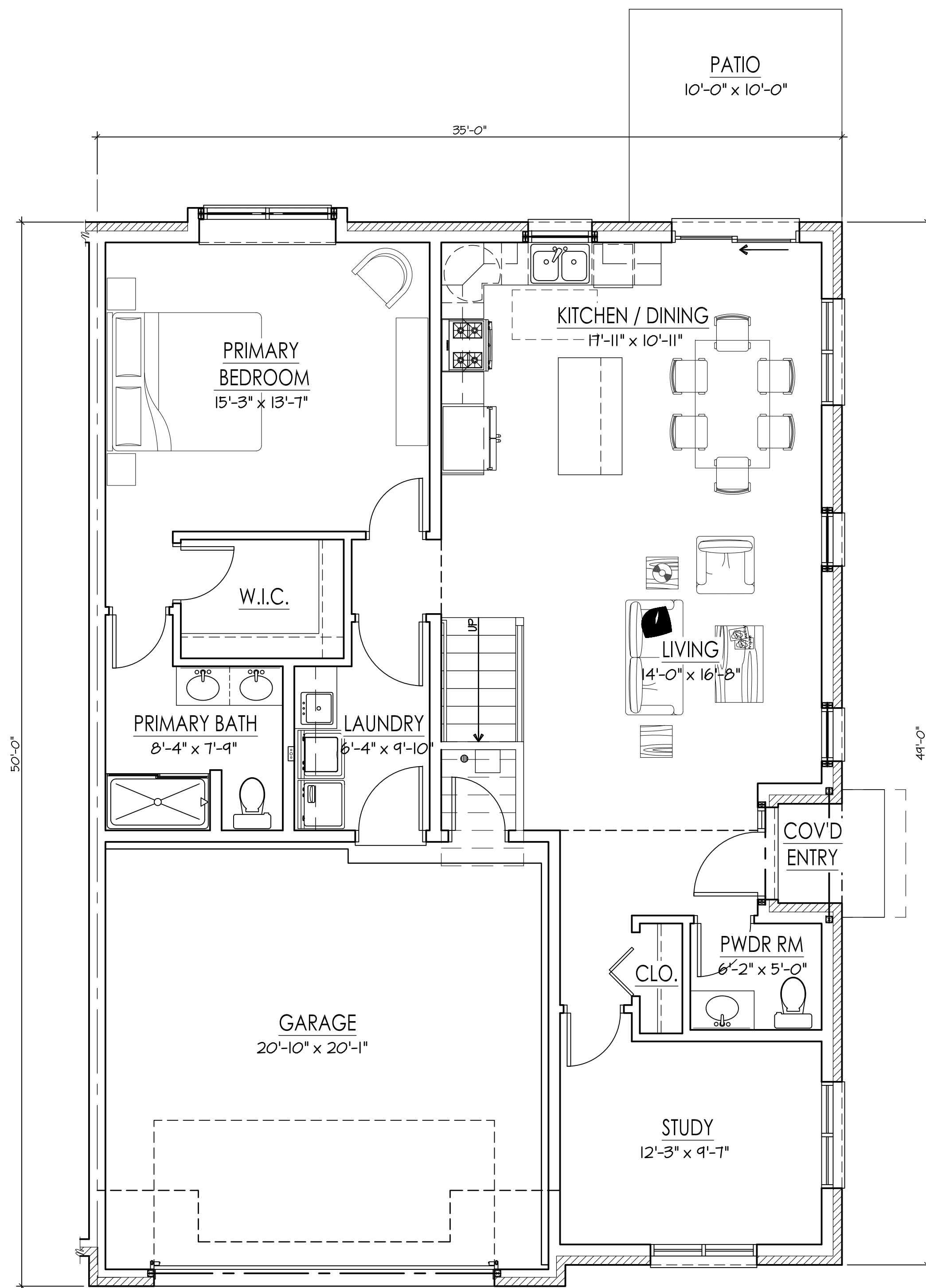
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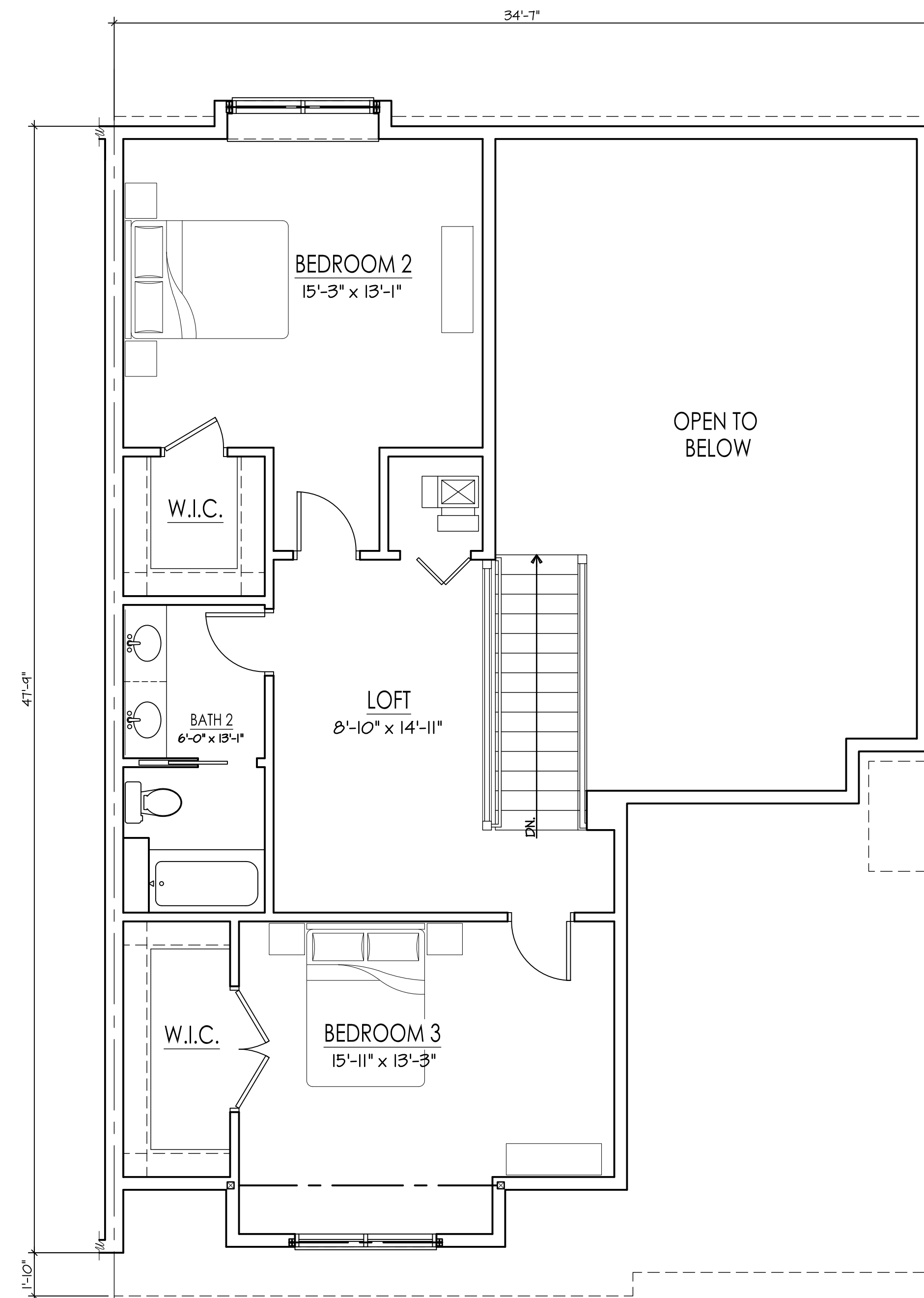
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PROPOSED  
**PALATINE TOWNHOMES**  
N Quentin Rd and W Dundee Rd, Palatine, Illinois



**UNIT - A  
FIRST FLOOR PLAN**  
1/4" = 1'-0" 1,584 SF



**UNIT - A  
SECOND FLOOR PLAN**  
1/4" = 1'-0" 840 SF

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DATE 10-16-2025 PS  
10-27-2025 PS  
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ZONING REVIEW  
REVISED SITE

**2025-0112**  
PROJECT NUMBER

**110-207-200265**  
DATE

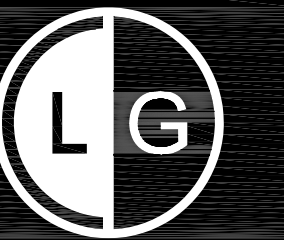
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UNIT A  
FLOOR PLANS

SHEET NAME

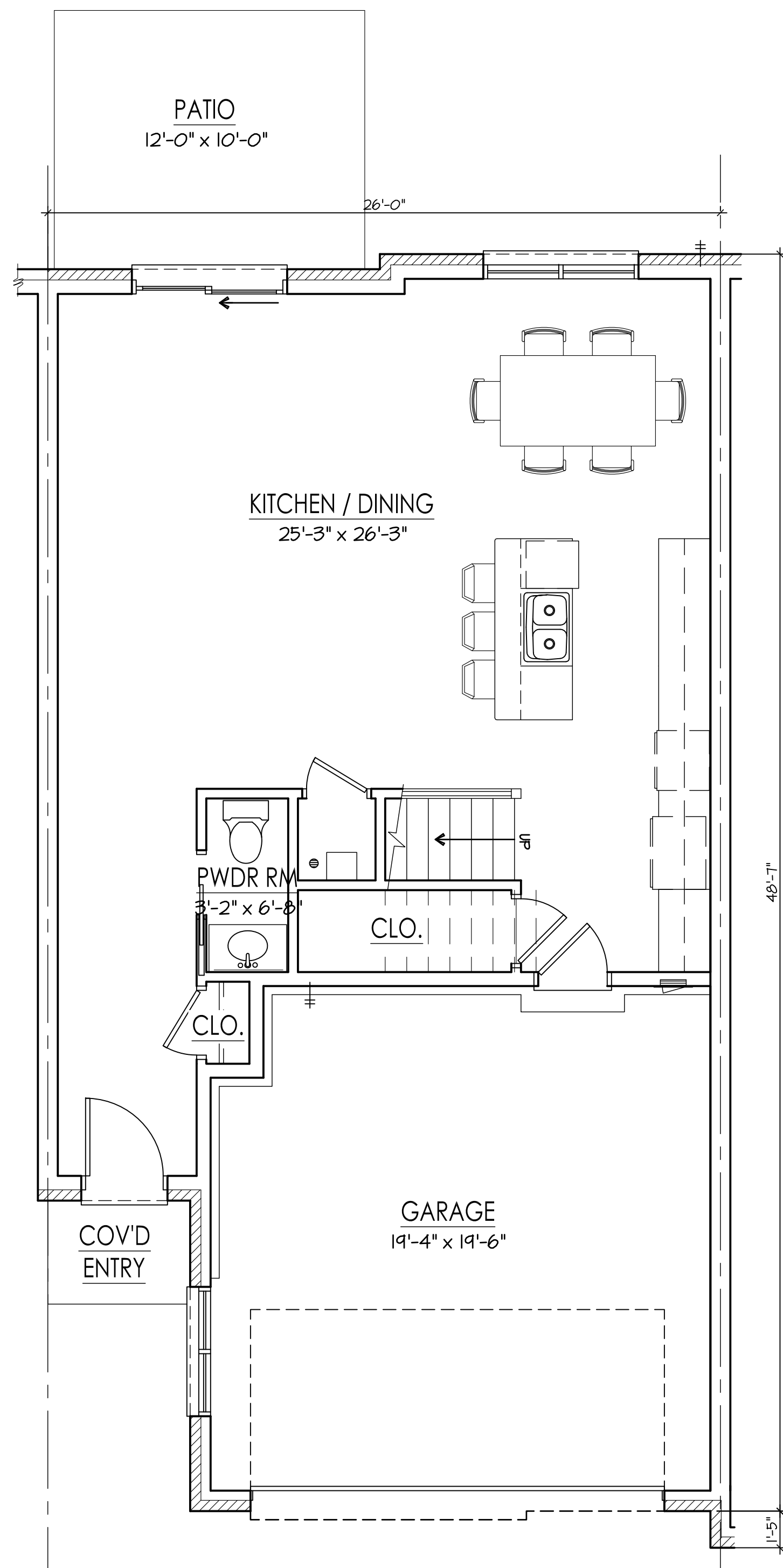
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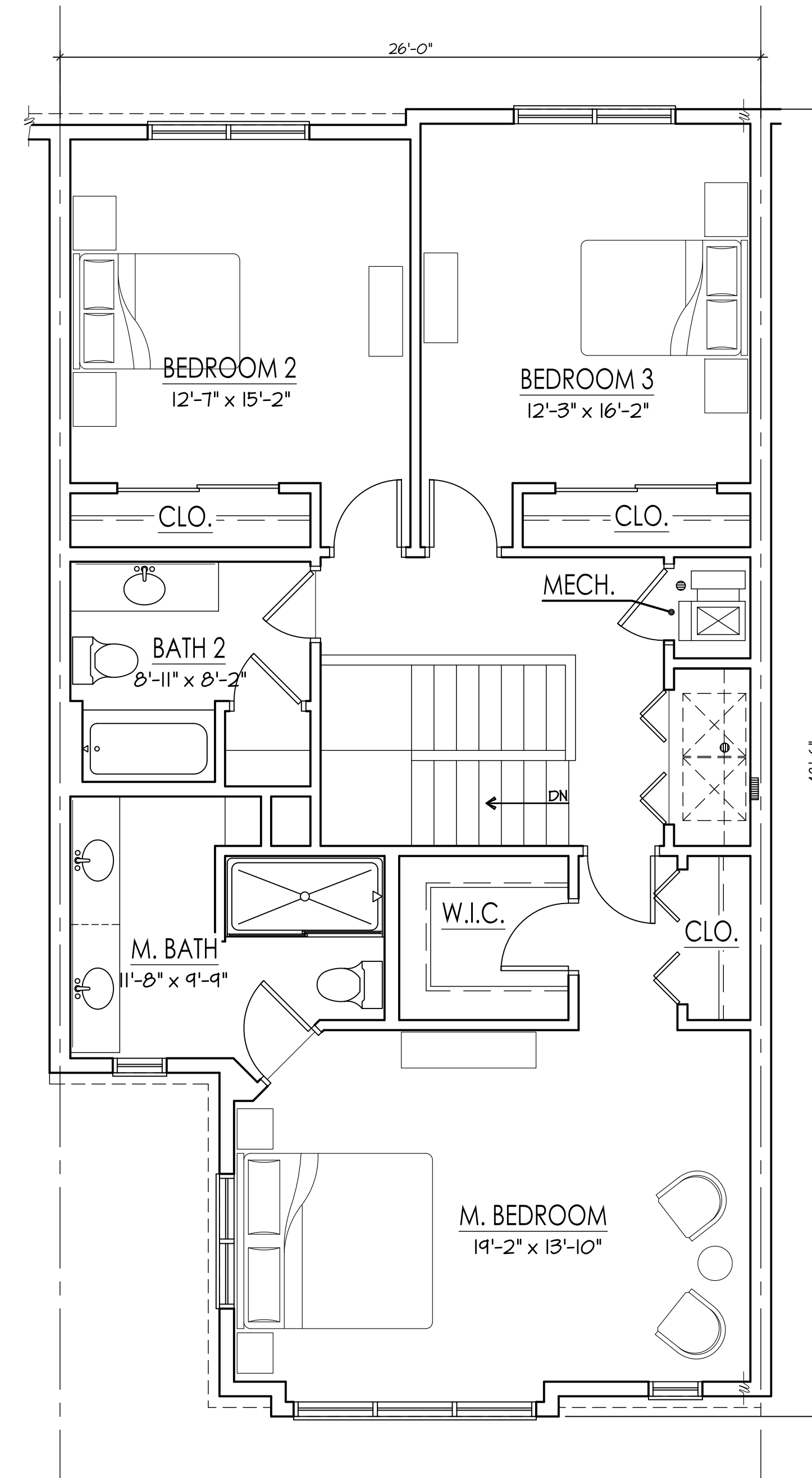
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PROPOSED  
**PALATINE TOWNHOMES**  
N Quentin Rd and W Dundee Rd, Palatine, Illinois



**UNIT B-FIRST FLOOR PLAN**

1/4" = 1'-0" 1/02 SF



**UNIT B-SECOND FLOOR PLAN**

1/4" = 1'-0" 1/04 SF

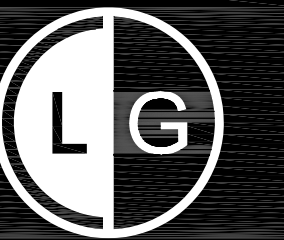
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DATE	DRAWN	DESCRIPTION
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8-22-2025	SF	FINAL REVIEW

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UNIT B  
FLOOR PLANS

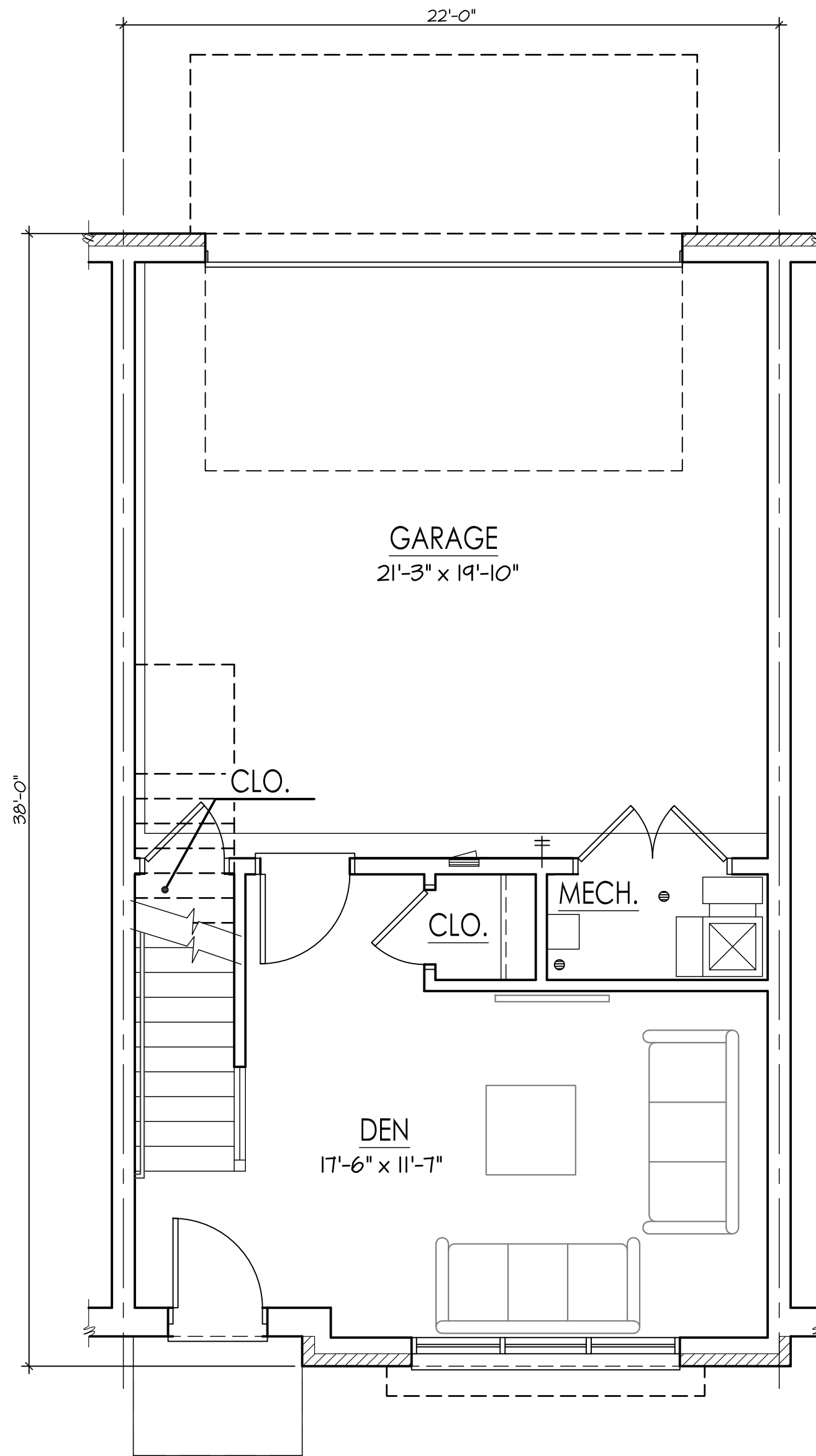
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SHEET



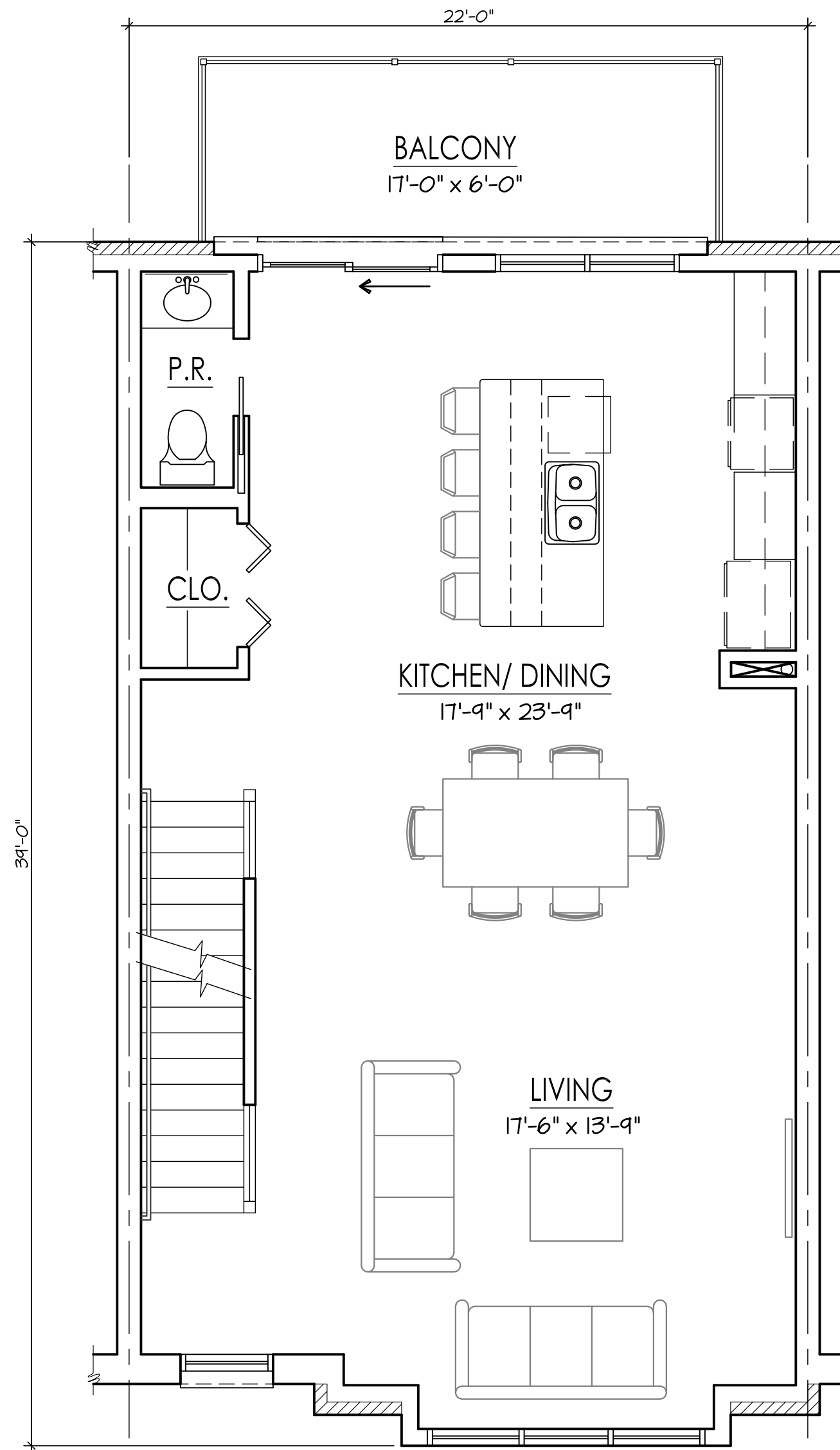
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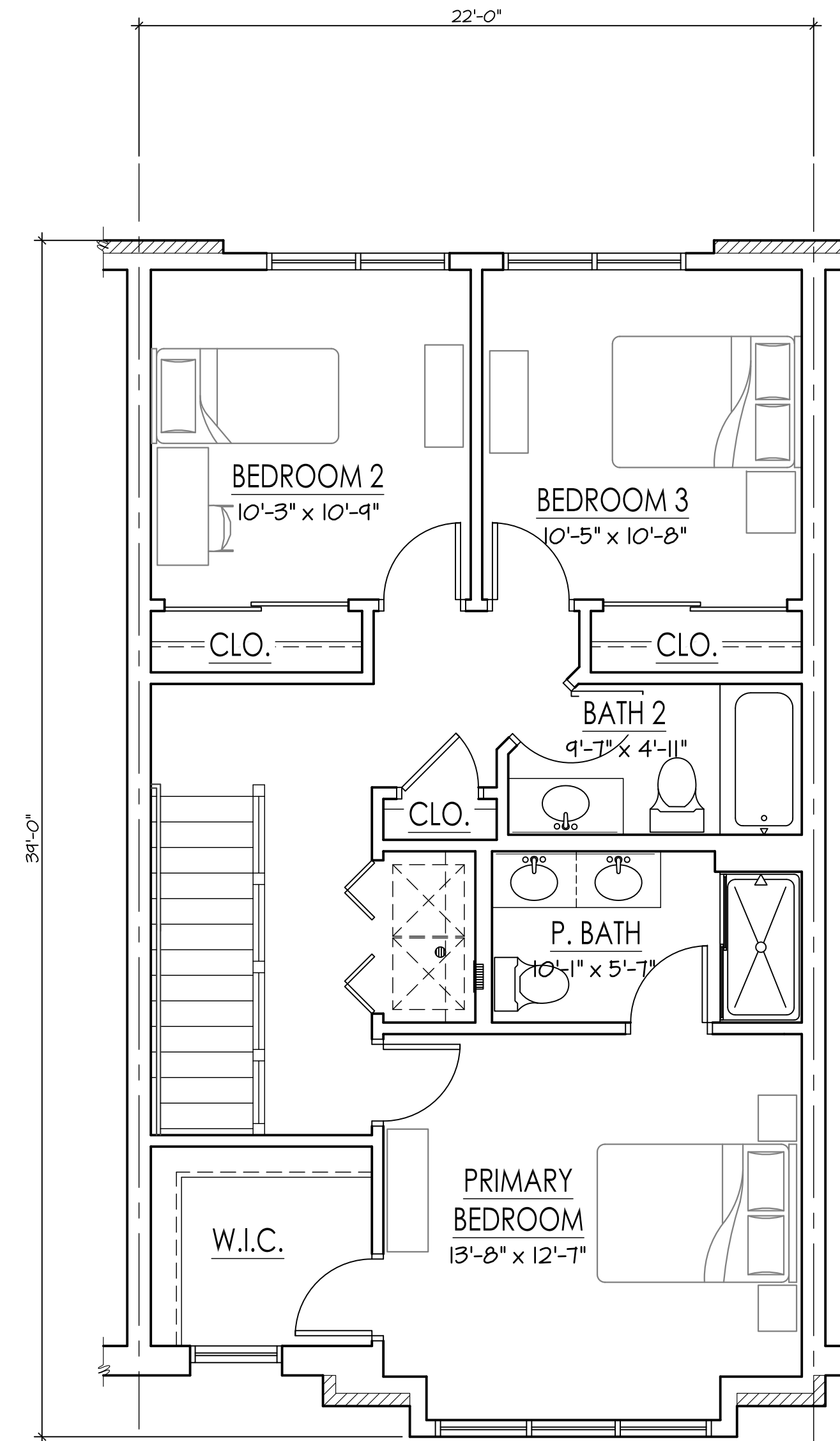
PROPOSED  
**PALATINE TOWNHOMES**  
N Quentin Rd and W Dundee Rd, Palatine, Illinois



**UNIT C-LOWER LEVEL FLOOR PLAN**  
1/4" = 1'-0" 760 SF



**UNIT C-MAIN LEVEL FLOOR PLAN**  
1/4" = 1'-0" 773 SF



**UNIT C-UPPER LEVEL FLOOR PLAN**  
1/4" = 1'-0" 773 SF

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2025-0112

PROJECT NUMBER

8-22-2025

DATE

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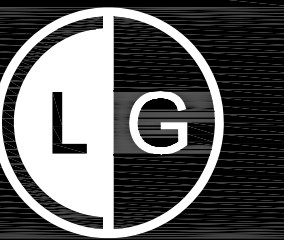
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UNIT - C  
FLOOR PLANS

SHEET NAME

**A-3C**

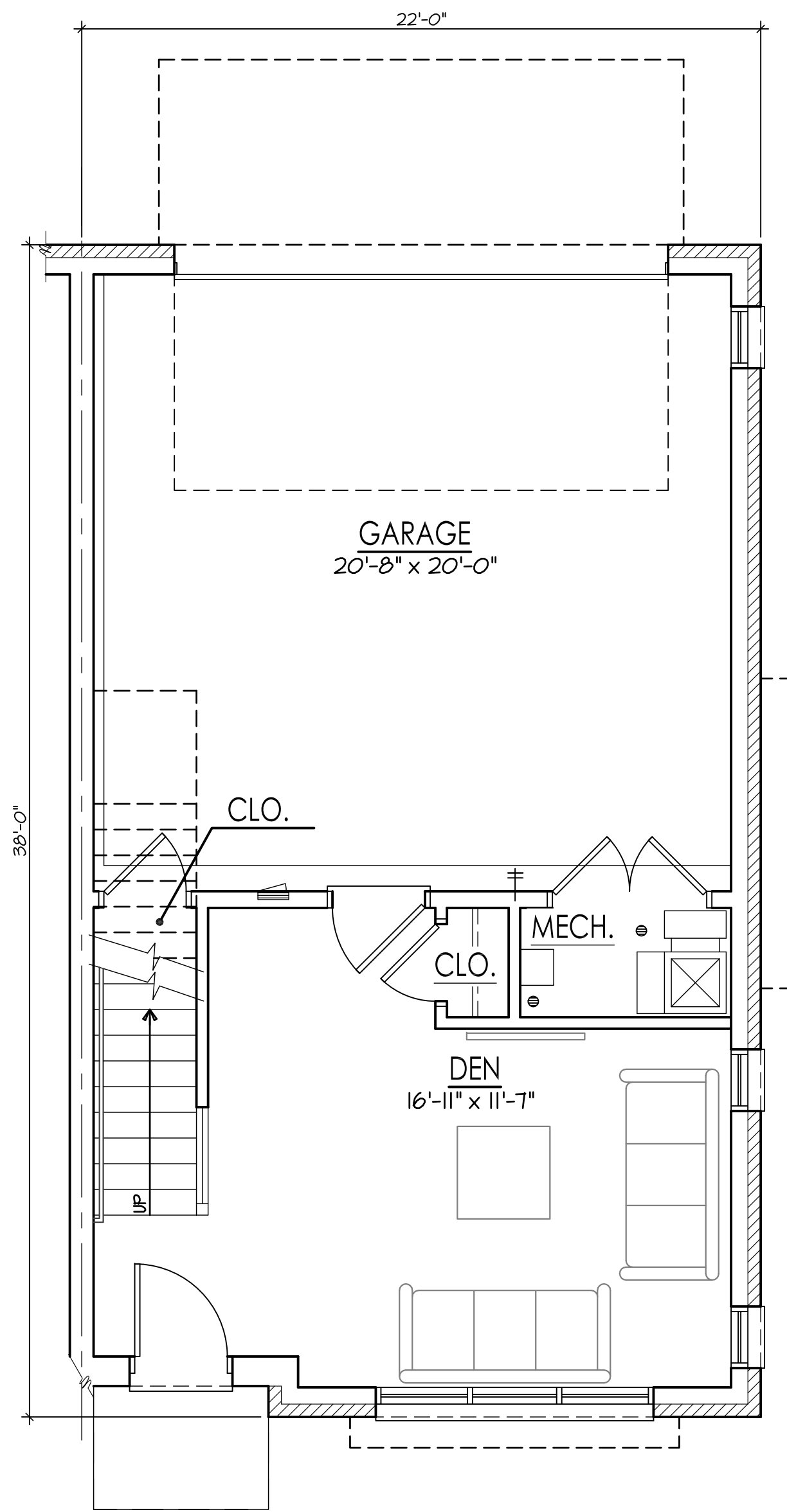
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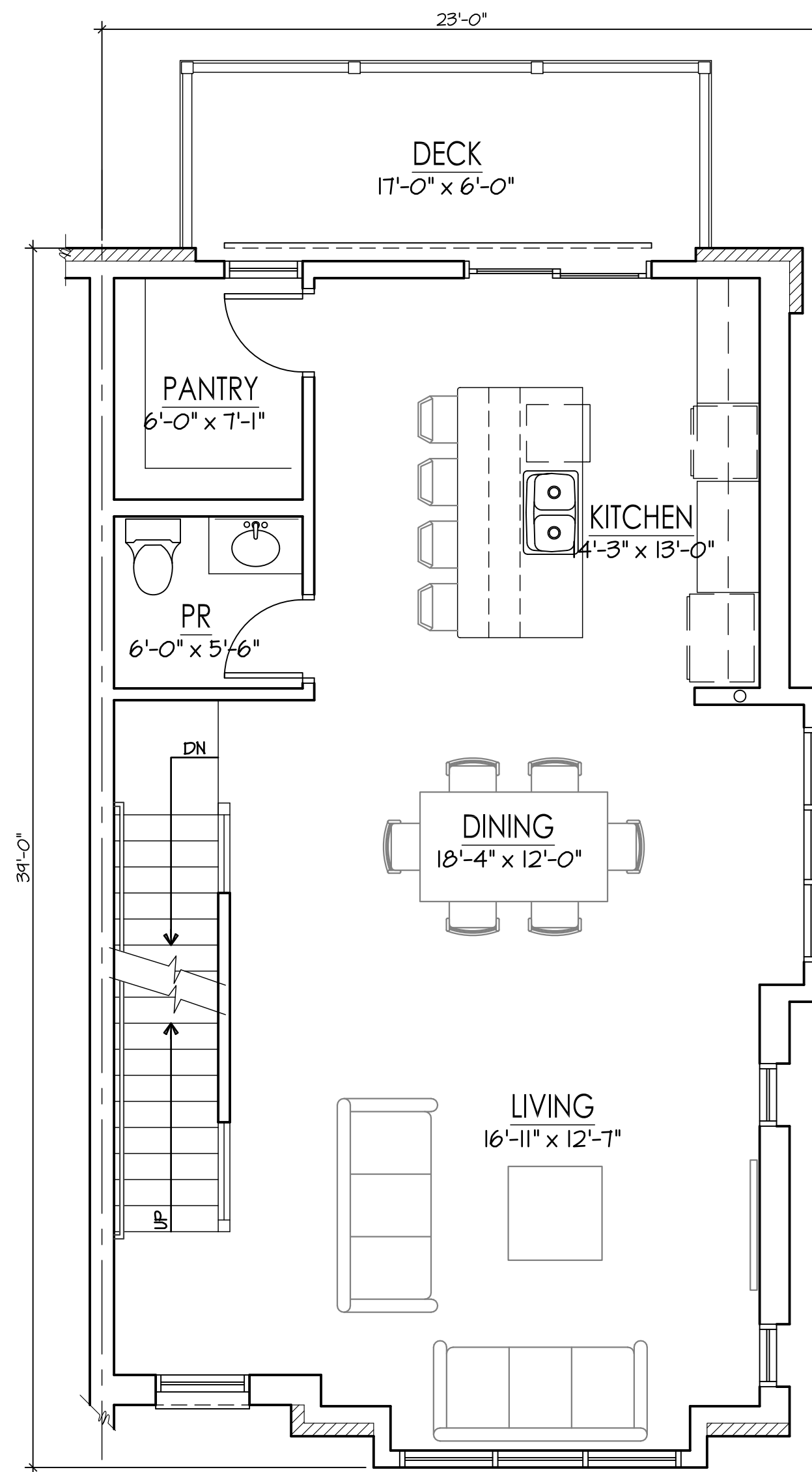
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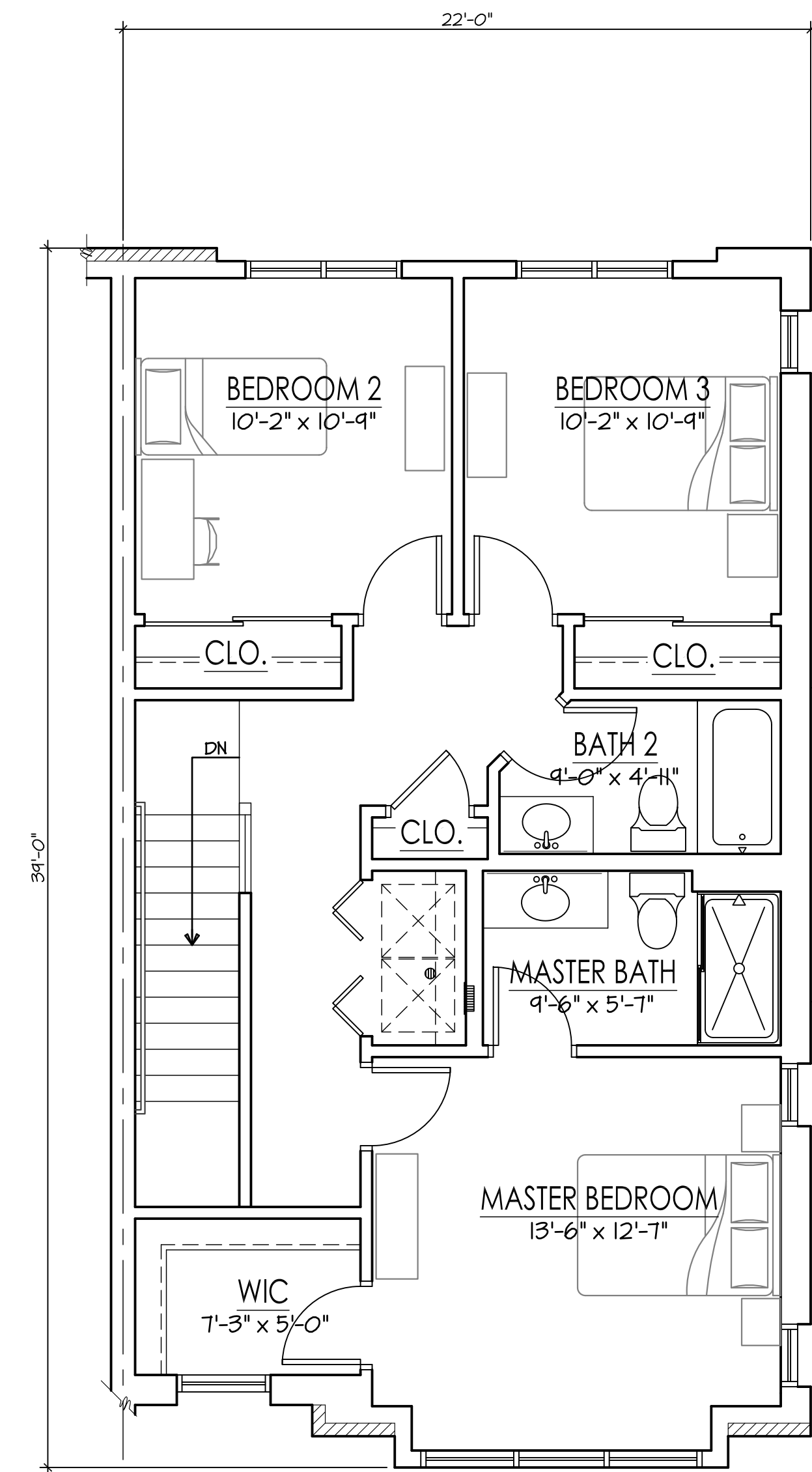
PROPOSED  
**PALATINE TOWNHOMES**  
N Quentin Rd and W Dundee Rd, Palatine, Illinois



**UNIT D-LOWER LEVEL FLOOR PLAN**  
1/4" = 1'-0" 734 SF



**UNIT D-MAIN LEVEL FLOOR PLAN**  
1/4" = 1'-0" 765 SF



**UNIT D-UPPER LEVEL FLOOR PLAN**  
1/4" = 1'-0" 751 SF

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DATE  
DRAWN DESCRIPTION

2025-0112

PROJECT NUMBER

8-22-2025

DATE

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UNIT - D  
FLOOR PLANS

SHEET NAME

**A-3D**

SHEET

**CERTAINEED  
LANDMARK SHINGLES  
GEORGETOWN GRAY**



**CASEMENT WINDOWS  
BRONZE FRAME**



**JAMES HARDIE  
RICH ESPRESSO  
SMOOTH LAP SIDING**

**JAMES HARDIE  
COBBLESTONE  
HARDIE TRIM BATTEN BOARDS  
& HARDIE PANEL**



**BRICKCRAFT BRICK  
DRIFTWOOD**

**OVERHEAD GARAGE DOOR  
MOCHA BROWN  
CLOPAY OR EQUAL**

**ALUMINUM AWNING  
DARK BROWN  
CHESTERFIELD AWNING CO.  
OR EQUAL**

**ALUMINUM DECK  
RAILING  
BURNISHED BRONZE  
TREX OR EQUAL**

**COMPOSITE DECKING  
TIDE POOL  
TREX OR EQUAL**

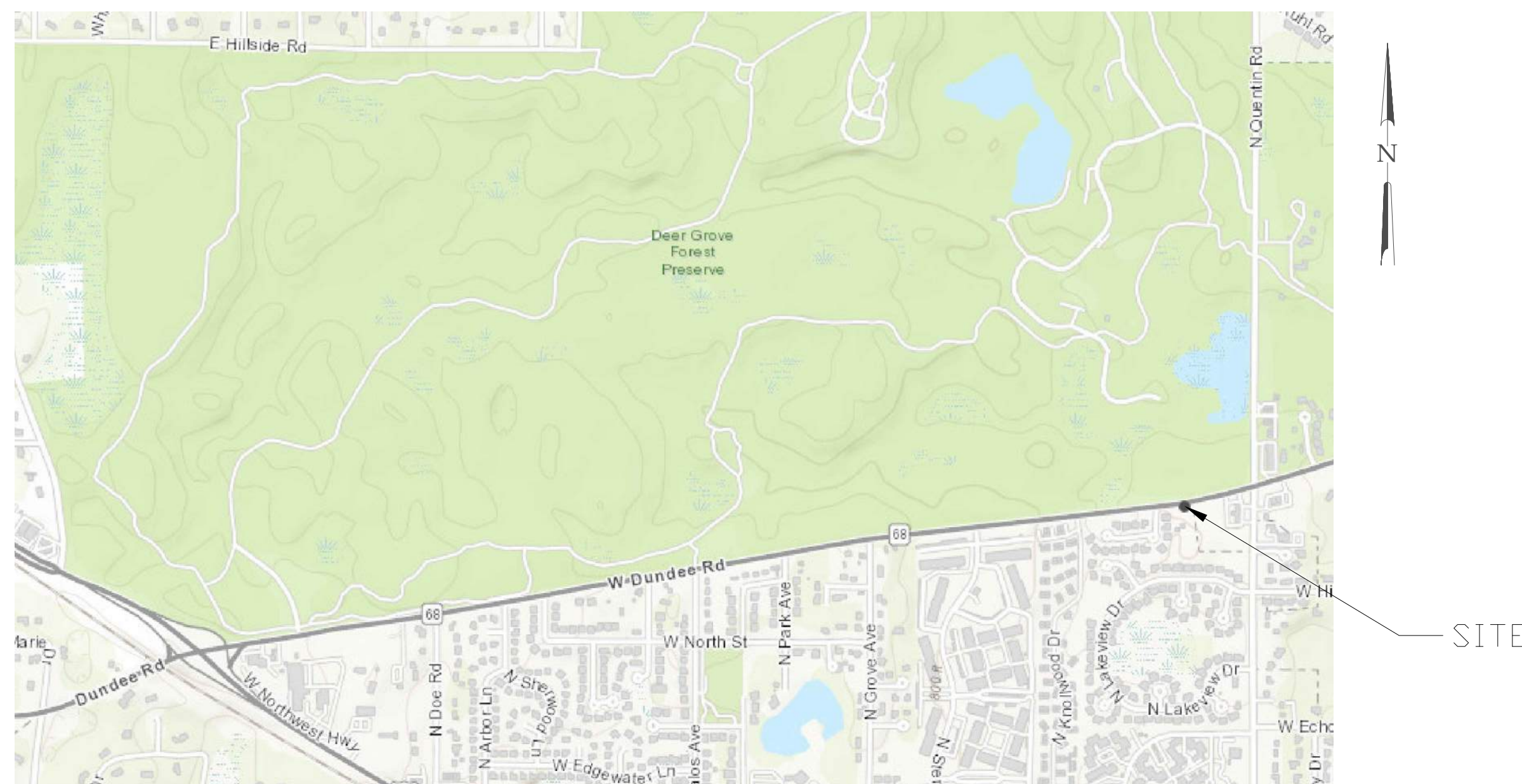
# NEW TOWNHOUSE DEVELOPMENT 855 DUNDEE RD., PALATINE, IL PRELIMINARY PLANS

SECTION: 9  
TOWNSHIP: 42N  
RANGE: 10E

PIN(S):  
02-09-203-(008  
THRU 010)-0000

BENCHMARK INFO  
SITE BENCHMARK IS ON THE SOUTH BOLT OF THE FIRE HYDRANT  
NORTH OF THE NORTH PROPERTY LINE ELEV. 794.39 NAVD 88

## SITE LOCATION MAP



## AERIAL MAP



### DRAWING INDEX:

- TITLE SHEET, LEGEND, SITE LOCATION, & AERIAL MAP
- EXISTING TOPOGRAPHY
- DEMOLITION PLAN
- PHASE - I -SOIL EROSION & SEDIMENTATION CONTROL PLAN
- PHASE - II -SOIL EROSION & SEDIMENTATION CONTROL PLAN
- SWPPP (NOT INCLUDED)
- PROPOSED GRADING & DRAINAGE PLAN - OVERALL SITE
- PROPOSED UTILITIES PLAN - OVERALL SITE
- PROPOSED PLAN & PROFILES (NOT INCLUDED)
- TRIBUTARY AREA & INUNDATION EXHIBITS (NOT INCLUDED)
- GEOMETRIC PLAN - OVERALL SITE
- AUTOTURN EXHIBIT
- MAINTENANCE OF TRAFFIC PLAN - WORK ZONE A (NOT INCLUDED)
- MAINTENANCE OF TRAFFIC PLAN - WORK ZONE B (NOT INCLUDED)
- MAINTENANCE OF TRAFFIC PLAN - WORK ZONE C(NOT INCLUDED)
- CONSTRUCTION NOTES (NOT INCLUDED)
- STANDARD DETAILS (NOT INCLUDED)
- IDOT DETAILS(NOT INCLUDED)
- IDOT CROSS-SECTIONS(NOT INCLUDED)
- CCHD DRAINAGE AREA EXHIBIT(NOT INCLUDED)
- CCHD CROSS-SECTIONS(NOT INCLUDED)

### NOTE

The location of existing underground utilities, such as water mains, sewers, gas lines, etc., as shown on the plans, has been determined from the best available information and is given for the convenience of the Contractor. However, the Owner and the Engineer do not assume responsibility in the event that during construction, utilities other than those shown may be encountered, and that the actual location of those which are shown may be different from the location as shown on the plans.

Bono Consulting, Inc. is not responsible for the safety of any party at or on the construction site. Safety is the sole responsibility of the contractor and any other person or entity performing work or services. Neither the owner nor engineer assumes any responsibility for the job site safety of persons engaged in the work or the means or methods of construction.

Current Standard Specifications of the Judicial Authority shall apply to the construction on this project.

Note: The exact location of all utilities shall be verified by the contractor prior to construction activities. For utility locations call:  
J.U.L.I.E. 1 (800) 892-0123

### PROJECT NARRATIVE

**GENERAL:** NEW TOWNHOUSE DEVELOPMENT WITH UTILITY MAINS AND STORMWATER MANAGEMENT

**AREA SUMMARY:**  
SITE AREA: 4.843 ACRES  
DISTURBED AREA OF SITE: 4.843 ACRES

**SPECIAL PROTECTION AREAS:** NO FLOODPLAIN WITHIN 100' OF SITE, THERE ARE NO WETLANDS WITHIN 100' OF SITE.

**UPSTREAM TRIBUTARY:** THERE IS NO UPSTREAM TRIBUTARY AREA OF FOR THE SITE.

**COMBINED/SEPARATE SEWER AREA INFO:** PROPOSED PROJECT IS LOCATED IN A SEPARATE SEWER AREA.

**DETENTION/VOLUME CONTROL FACILITY:** DETENTION (SITE AREA>3AC.) IS A REQUIREMENT PER MWRD, AND VOLUME CONTROL (DISTURBED AREA AREA>0.5AC.) IS REQUIRED PER MWRD REGULATIONS.

**SANITARY SEWERS:** NEW SANITARY MAIN IS PROPOSED FOR TOWNHOUSE SERVICES TO CONNECT TO.

**SOILS/INFILTRATION RATE:** REFER TO GEOTECHNICAL REPORT.

**GROUNDWATER ELEVATION:** ~13 FEET BELOW GRADE PER GEOTECHNICAL REPORT.

### LEGEND:

	EXISTING	PROPOSED
PROPERTY LINE	---	---
SANITARY SEWER LINE	--->	--->
WATER LINE	W	W
STORM SEWER LINE	---	---
STORM MANHOLE	⊙	⊙
SANITARY MANHOLE	⊙	⊙
COMBINED SEWER	--->	--->
COMBINED MANHOLE	⊙	⊙
CATCH BASIN	⊙	⊙
INLET	⊙	⊙
WATER VALVE VAULT	⊙	⊙
WATER VALVE	⊙	⊙
GRADE	---	---
DRAINAGE DIVIDE	---	---
CURB & GUTTER	---	---
CLEANOUT	---	---
DOWNSPOUT (ROOF DRAINS)	---	---
WATER B. BOX	---	---
TREE PROTECTION FENCE	---	---
CONSTRUCTION FENCE	---	---
INLET FILTER BASKET	---	---
TRAFFIC DIRECTION PAVEMENT MARKING	---	---
FIRE HYDRANT	---	---
RETAINING WALL WRAILING	---	---
TOP OF CURB	T/C XXXXX	T/C XXXXX
BOTTOM OF CURB	B/C XXXXX	B/C XXXXX
TOP OF CURB	T/C XXXXX	T/C XXXXX
BOTTOM OF GUTTER	B/G XXXXX	B/G XXXXX
WALK	W XXXXX	W XXXXX
BOTTOM OF WALK	B/W XXXXX	B/W XXXXX
DESRESSED CURB	D/C XXXXX	D/C XXXXX
BOTTOM OF GUTTER	B/G XXXXX	B/G XXXXX
MOUNTABLE CURB	M/C XXXXX	M/C XXXXX

DATE	REVISIONS
8-10-25	PRELIMINARY PLANS
9-2-25	PRELIMINARY PLANS-REVISED SITE PLAN
11-10-25	PRELIMINARY PLANS-REVISED PERVILLE COMMENTS
1-7-26	PRELIMINARY PLANS-REVISED PERVILLE COMMENTS
3-4-26	PRELIMINARY PLANS-REVISED PERVILLE COMMENTS

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TITLE SHEET, LEGEND, SITE  
LOCATION MAP, & AERIAL MAP

855 DUNDEE RD, PALATINE, IL 60074

PROJECT NO.:	250965
BASE FILE:	
SHEET FILE:	
ISSUE DATE:	AUG 12, 2025
SCALE:	NTS
SHEET NUMBER	1

# UNITED SURVEY SERVICE, LLC

CONSTRUCTION AND LAND SURVEYORS  
7710 CENTRAL AVENUE, RIVER FOREST, IL 60305  
TEL.: (847) 299-1010 FAX: (847) 299-5887  
E-MAIL: USURVEY@USANDCS.COM

## BOUNDARY AND TOPOGRAPHIC SURVEY

OF

THE EAST 516.94 FEET OF THAT PART OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 9, TOWNSHIP 42 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, LYING SOUTH OF THE SOUTH LINE OF DUNDEE ROAD (AS WIDENED) AND WEST OF THE WEST LINE OF QUINTEEN ROAD (AS WIDENED), IN COOK COUNTY, ILLINOIS.

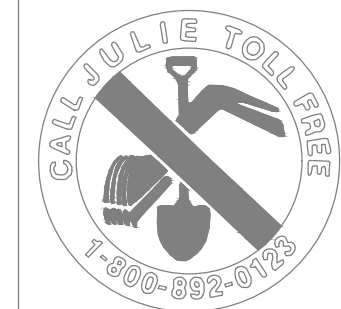
KNOWN AS: 885 W. DUNDEE ROAD, PALATINE, ILLINOIS

PERMANENT INDEX NUMBER:

02-09-203-008-0000  
02-09-203-009-0000  
02-09-203-010-0000

AREA=210,940.87 SQ.FT OR 4.84 ACRES

NOTE:  
ELEVATION DETERMINED BY GPS METHOD



**PUBLIC UTILITY NOTE:**  
LOCATION OF UNDERGROUND UTILITIES WHERE NOT SUBSTANTIATED BY PHYSICAL EVIDENCE ARE TAKEN FROM RECORDS NORMALLY CONSIDERED RELIABLE. NO RESPONSIBILITY FOR THEIR ACCURACY IS ASSUMED BY THE SURVEYOR.

**CONTRACTOR SHALL NOTIFY ALL PUBLIC UTILITY COMPANIES (GAS, ELECTRIC, TELEPHONE, SEWER AND WATER, ETC.) PRIOR TO COMMENCING ANY CONSTRUCTION.**

THESE COMPANIES WILL LOCATE ON THE GROUND THE LOCATION OF ALL CONDUIT, DUCTS, UNDERGROUND PIPING, ETC., ADJOINING AND CROSSING PROPOSED CONSTRUCTION.

### LEGEND ABBREVIATIONS

	SANITARY MANHOLE
	STORM MANHOLE
	CATCH BASIN
	INLET
	WATER VALVE VAULT
	FIRE HYDRANT
	TRAFFIC LIGHT
	LIGHT POLE
	WOOD UTILITY POLE
	TREE
	TRAFFIC SIGNAL MANHOLE
	MANHOLE
	SIGN
	CONC. CURB
	CONC. GUTTER
	TOP OF WALL
	RECORD DATA
	MEASURED DATA



DATE	REVISIONS
8-15-25	PRELIMINARY PLANS
9-5-25	PRELIMINARY PLANS REVISED SITE PLAN
11-15-25	PRELIMINARY PLANS REVISED PER ILLINOIS COMMENTS
1-7-26	PRELIMINARY PLANS REVISED PER ILLINOIS COMMENTS
3-4-26	PRELIMINARY PLANS REVISED PER ILLINOIS COMMENTS

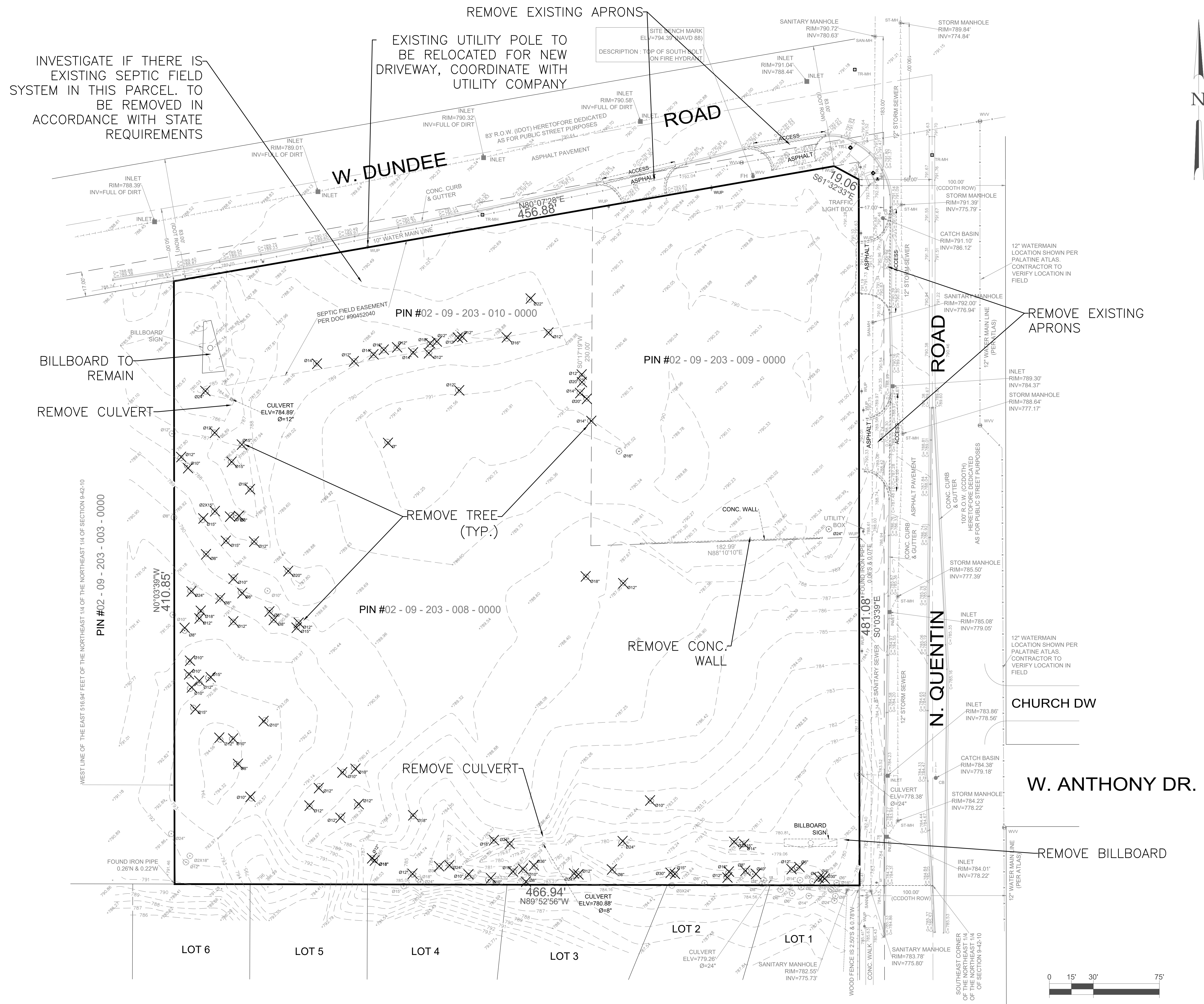
PROJECT STAFF	ISSUE
PROJECT MANAGER: W. HERRERA, P.E.	A
ENGINEER: B. HERRERA, P.E.	B
ENGINEER: C. HERRERA, P.E.	C
ENGINEER: D. HERRERA, P.E.	D
TECHNICIAN: E. HERRERA, P.E.	E

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**EXISTING TOPOGRAPHY**  
855 DUNDEE RD, PALATINE, IL 60074

PROJECT NO.:	250965
BASE FILE:	
SHEET FILE:	
ISSUE DATE:	AUG 12, 2025
SCALE:	1"=30'-0"
SHEET NUMBER	2



INVESTIGATE IF THERE IS EXISTING SEPTIC FIELD SYSTEM IN THIS PARCEL. TO BE REMOVED IN ACCORDANCE WITH STATE REQUIREMENTS

REMOVE EXISTING APRONS  
EXISTING UTILITY POLE TO BE RELOCATED FOR NEW DRIVEWAY, COORDINATE WITH UTILITY COMPANY

BILLBOARD TO REMAIN  
REMOVE CULVERT

REMOVE TREE (TYP.)

REMOVE CONC. WALL

REMOVE CULVERT

REMOVE EXISTING APRONS

CHURCH DW

W. ANTHONY DR.

REMOVE BILLBOARD

DATE	REVISIONS
8-15-25	PRELIMINARY PLANS
9-2-25	PRELIMINARY PLANS REVISED SITE PLAN
11-15-25	PRELIMINARY PLANS REVISED PER VALVE COMMENTS
1-7-26	PRELIMINARY PLANS REVISED PER VALVE COMMENTS
3-4-26	PRELIMINARY PLANS REVISED PER VALVE COMMENTS

PROJECT STAFF	ISSUE
PROJECT MANAGER: W. HERRERA, P.E.	A
ENGINEER: B. HERRERA, P.E.	B
ENGINEER: B. HERRERA, P.E.	C
ENGINEER: B. HERRERA, P.E.	D
ENGINEER: B. HERRERA, P.E.	E

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**DEMOLITION & TREE PRESERVATION PLAN**  
855 DUNDEE RD, PALATINE, IL 60074

PROJECT NO.:	250965
BASE FILE:	
SHEET FILE:	
ISSUE DATE:	AUG 12, 2025
SCALE:	1"=30'-0"
SHEET NUMBER	<b>3</b>

**BEST MANAGEMENT PRACTICES SEQUENCE**

NOTE: UPON IMPLEMENTATION AND INSTALLATION OF THE FOLLOWING AREAS: TRAILER, PARKING, LAY DOWN, PORTA-POTTY, WHEEL WASH, CONCRETE WASHOUT, MASON'S AREA, FUEL AND MATERIAL STORAGE CONTAINERS, SOLID WASTE CONTAINERS, ETC., IMMEDIATELY DENOTE THEM ON THE SITE MAPS AND NOTE ANY CHANGES IN LOCATION AS THEY OCCUR THROUGHOUT THE CONSTRUCTION PROCESS. IN ADDITION, NOTE ANY OFF-SITE AREAS WHERE FILL IS IMPORTED FROM OR SOIL IS EXPORTED TO ON THE SITE MAPS.

- PHASE - I
1. INSTALL TREE PROTECTION FENCING AND EROSION CONTROL, SILT FENCE, INLET FILTER BASKETS, MAINTAIN THROUGHOUT PROJECT.
  2. USE LANDWEHR ROAD FOR CONSTRUCTION ACCESS DRIVEWAY FOR CONSTRUCTION. INSTALL STABILIZED CONSTRUCTION ENTRANCE. OBSERVE ALL APPROPRIATE MUTCD/IDOT TRAFFIC CONTROL MEASURES FOR CONSTRUCTION TRAFFIC ENTERING HIGHWAY. CONTRACTOR IS RESPONSIBLE FOR KEEPING ROADS FREE OF MUD AND DEBRIS.
  3. PROTECT TREES THAT ARE SHOWN TO BE PROTECTED.
  4. CLEAR AND REMOVE BRUSH AND TREES.
  5. CONSTRUCT AND STABILIZE SEDIMENT BASIN(S) AND SEDIMENT TRAP(S) WITH APPROPRIATE OUTFALL STRUCTURES (CLEAR ONLY THOSE AREAS NECESSARY TO INSTALL BASINS AND TRAPS) WITHIN 30 DAYS OF TREE REMOVAL/BRUSH CLEARING.
  6. INSTALL UTILITIES AND PERFORM MASS GRADING.

HALT ALL ACTIVITIES AND CONTACT THE VILLAGE TO PERFORM INSPECTION AND CERTIFICATION OF BMPs. GENERAL CONTRACTOR SHALL SCHEDULE AND CONDUCT THE STORMWATER PRE-CONSTRUCTION MEETING WITH THE CONSTRUCTION MANAGER, AGENCY(ES) AND GROUND-DISTURBING CONTRACTORS BEFORE PROCEEDING WITH CONSTRUCTION.

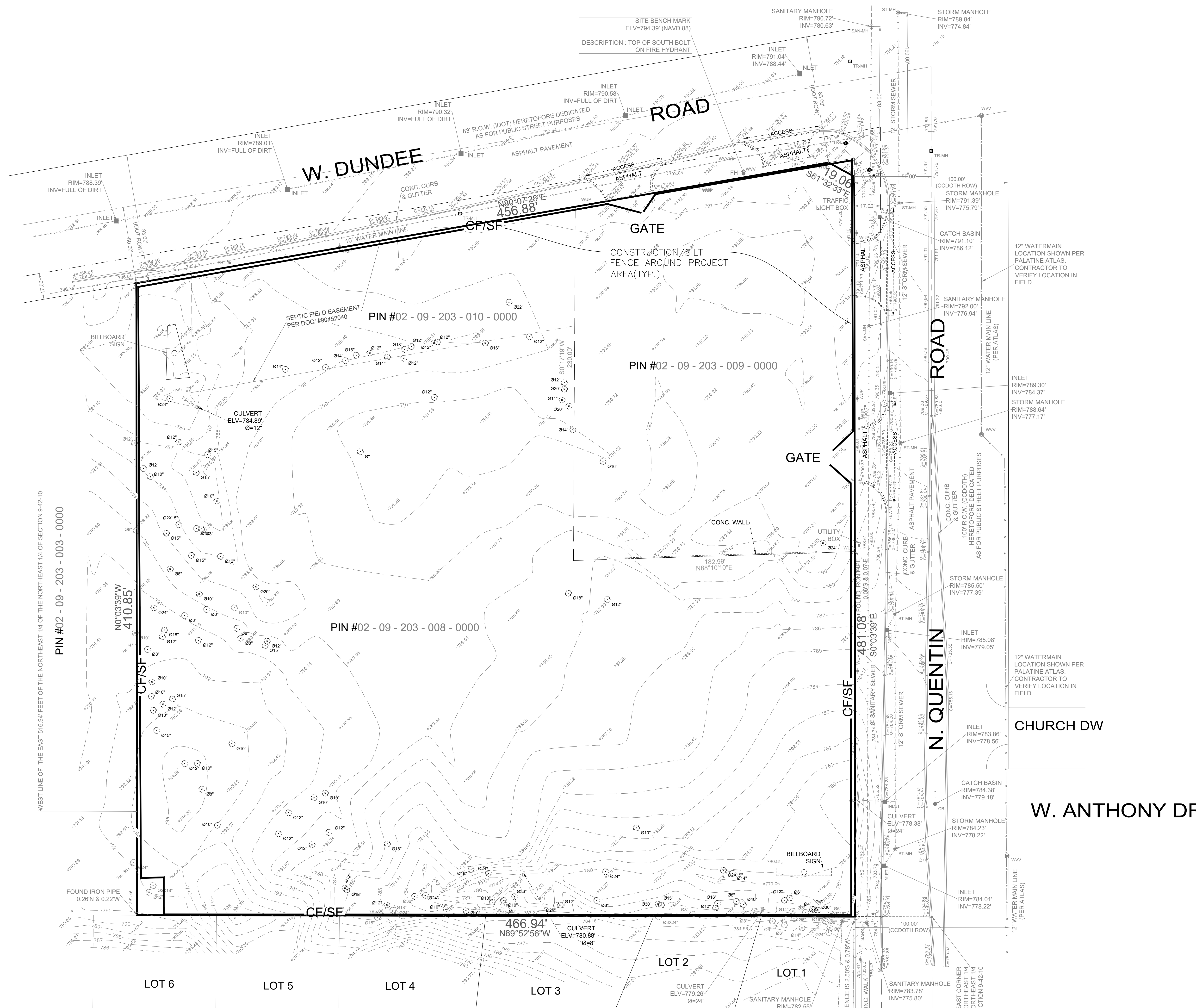
ALL EXCEPTIONS NOTED ON THE BMP CERTIFICATION FORM MUST BE ADDED TO THE FIRST DAILY REPORT AS A DEFICIENCY OR DEFICIENCIES AND RESOLVED WITHIN 24-HOURS. BMPs CAN NOT BE CERTIFIED IF ANY EXCEPTION REQUIRES GREATER THAN 24-HOURS TO RESOLVE.

DAILY INSPECTIONS AND REPORTING USING THE SWPPP MANAGEMENT TOOL MUST START THE DAY OF OR IMMEDIATELY AFTER BMP CERTIFICATION.

7. INSTALL AND STABILIZE HYDRAULIC CONTROL STRUCTURES (DIKES, SWALES, CHECK DAMS, ETC.).
8. BEGIN CLEARING AND GRUBBING THE SITE.
9. BEGIN GRADING THE SITE.

- PHASE - II
1. CONSTRUCT DETENTION FACILITIES.
  2. INSTALL UTILITIES, UNDERDRAINS, STORM SEWERS, CURBS AND GUTTERS.
  3. INSTALL RIP RAP AROUND OUTLET STRUCTURES AS EACH OUTLET STRUCTURE IS INSTALLED.
  4. INSTALL INLET PROTECTION AT ALL STORM SEWER STRUCTURES AS EACH INLET STRUCTURE IS INSTALLED.
  5. 12" MINIMUM OF SOIL/SEDIMENT TO BE REMOVED FROM BOTTOM OF DETENTION FACILITIES (EXCAVATE TO NATIVE SOIL) PRIOR TO BEING BROUGHT TO FINAL GRADE WITH INSTALLATION OF ENGINEERED SOIL MIXTURE.
  6. PERMANENTLY STABILIZE AREAS TO BE VEGETATED AS THEY ARE BROUGHT TO FINAL GRADE.
  7. PREPARE SITE FOR PAVING.
  8. PAVE SITE.
  9. INSTALL APPROPRIATE INLET PROTECTION DEVICES FOR PAVED AREAS AS WORK PROGRESSES.
  10. COMPLETE GRADING AND INSTALLATION OF PERMANENT STABILIZATION OVER ALL AREAS.
  11. CONTINUE DAILY INSPECTION REPORTS UNTIL THE FINAL DAILY INSPECTION REPORT, MARKED "READY TO TERMINATE PERMIT", IS SIGNED BY THE CONSTRUCTION MANAGER AND SUBMITTED VIA THE SWPPP MANAGEMENT TOOL.
  12. STABILIZE SITE AND INSTALL ALL FENCES CONCURRENTLY.

NOTE: THE GENERAL CONTRACTOR MAY COMPLETE CONSTRUCTION-RELATED ACTIVITIES CONCURRENTLY ONLY IF ALL PRECEDING BMPs HAVE BEEN COMPLETELY INSTALLED.



DATE	REVISIONS
8-15-25	PRELIMINARY PLANS
9-2-25	PRELIMINARY PLANS REVISED SITE PLAN
11-15-25	PRELIMINARY PLANS REVISED PER PALATINE COMMENTS
1-7-26	PRELIMINARY PLANS REVISED PER PALATINE COMMENTS
3-4-26	PRELIMINARY PLANS REVISED PER PALATINE COMMENTS

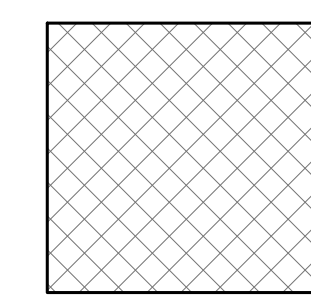
PROJECT MANAGER	ENGINEER	ENGINEER	TECHNICAL
W. HERRERA, P.E.			

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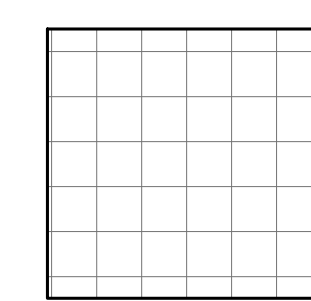
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 4 Blanchard Road, PO Box 65A, Cumberland, Maine, 04021  
 Phone: 207-293-5016 • Fax: 207-293-5952 • ssm@sewe.com

**PHASE - I - SOIL EROSION & SEDIMENTATION CONTROL PLAN**  
 855 DUNDEE RD, PALATINE, IL 60074

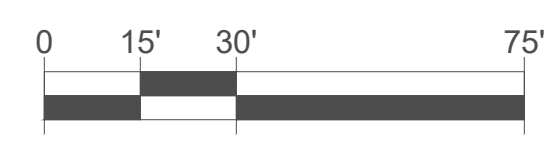
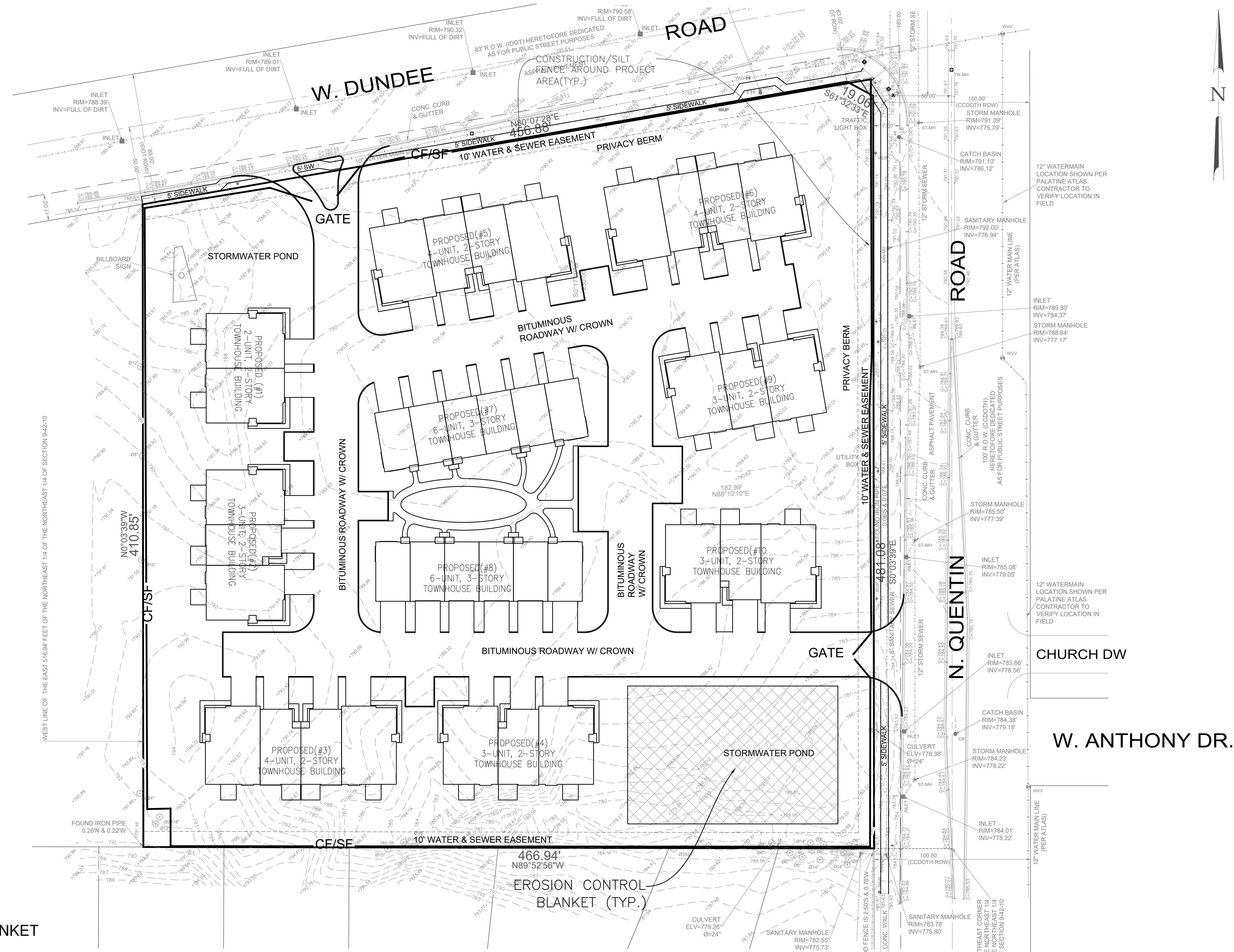
PROJECT NO.:	250965
BASE FILE:	
SHEET FILE:	
ISSUE DATE:	AUG 12, 2025
SCALE:	1"=40'-0"
SHEET NUMBER	<b>4</b>



EROSION CONTROL BLANKET



FILTER BASKET



PROJECT STAFF	ISSUE	REVISIONS	DATE
PROJECT MANAGER: W. HERRERA, P.E.	A	PRELIMINARY PLANS	8-15-25
ENGINEER:	B	PRELIMINARY PLANS REVISED SITE PLAN	9-5-25
ENGINEER:	C	PRELIMINARY PLANS REVISED PER PALATINE COMMENTS	11-10-25
TECHNICAL:	D	PRELIMINARY PLANS REVISED PER PALATINE COMMENTS	1-7-26
	E	PRELIMINARY PLANS REVISED PER PALATINE COMMENTS	3-4-26

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 bono@bonocconsulting.com  
 LICENSE # 0202/0202

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 www.seveeandmaher.com

**PHASE II - SOIL EROSION & SEDIMENTATION CONTROL PLAN**  
 855 DUNDEE RD, PALATINE, IL 60074

PROJECT NO.:	250965
BASE FILE:	
SHEET FILE:	
ISSUE DATE:	AUG 12, 2025
SCALE:	1"=30'-0"
SHEET NUMBER	<b>5</b>

STORMWATER POLLUTION PREVENTION PLAN

A COPY OF THIS PLAN, ALONG WITH ALL INSPECTION REPORTS, WILL BE KEPT AT THE SITE AT ALL TIMES. THE PERMITEE SHALL RETAIN COPIES OF STORMWATER POLLUTION PREVENTION PLANS AND ALL REPORTS AND NOTICES REQUIRED BY THIS PERMIT FOR A PERIOD OF AT LEAST THREE YEARS FROM THE DATE THE PERMIT COVERAGE EXPIRES OR IS TERMINATED.

SITE DESCRIPTION:

PROJECT NAME AND LOCATION:  
PROPOSED NORTHGATE ESTATES SUBDIVISION SITE IMPROVEMENT PLAN – 2420–50 LANDWEHR RD., NORTHBROOK, COOK COUNTY, IL.

PROJECT DESCRIPTION:  
A NEW 7 UNIT SUBDIVISION DEVELOPMENT TO BE CONSTRUCTED ON PROPERTY WITH TWO EXISTING HOUSES.

TOTAL SITE AREA = 3.541 ACRES

TOTAL AREA DISTURBED = 3.541 ACRES

RUNOFF COEFFICIENT OF SITE AFTER CONSTRUCTION = 0.705

SOILS: VARIES, PREDOMINATELY SILTY CLAY LOAM

RECEIVING WATERS: --

EXISTING SITE CONDITIONS: TWO PROPERTIES WITH EXISTING HOUSES

ADJACENT/OFFSITE AREAS: EXISTING SINGLE FAMILY RESIDENCES TO NORTH, WEST AND SOUTH. A STREET (LANDWEHR RD.) LIES TO THE EAST.

REFER TO IMPROVEMENT PLANS FOR PROPOSED SUBDIVISION DEVELOPMENT FOR ADDITIONAL SITE INFORMATION.

EROSION AND SEDIMENT CONTROLS

REFER TO THE IMPROVEMENT PLANS FOR PROPOSED SUBDIVISION DEVELOPMENT, AND THIS SWPPP.

STABILIZATION PRACTICES:

EXISTING VEGETATION SHALL BE PROTECTED AS MUCH AS POSSIBLE. TEMPORARY SEEDING AND MULCHING SHALL OCCUR WITHIN 7 DAYS FOLLOWING THE COMPLETION OF ANY LAND DISTURBING ACTIVITIES. EROSION CONTROL BLANKETS SHALL BE INSTALLED IMMEDIATELY FOLLOWING THE SEEDING OF SLOPES 6:1 OR GREATER.

STRUCTURAL PRACTICES:

INLET FILTERS SHALL BE INSTALLED IN EXISTING DRAINAGE STRUCTURES PRIOR TO ANY GROUND DISTURBING ACTIVITIES. A STABILIZED CONSTRUCTION ENTRANCE SHALL BE INSTALLED IMMEDIATELY FOLLOWING THE ESTABLISHMENT OF PROPOSED GRADES AT THE ENTRANCE LOCATION.

STORM WATER MANAGEMENT

REFER TO THE IMPROVEMENT PLANS FOR PROPOSED SUBDIVISION DEVELOPMENT AND THE STORMWATER MANAGEMENT CALCULATIONS FOR ADDITIONAL INFORMATION

RUNOFF:  
THE SITE DRAINS TO THE STORM SEWER LOCATED ON LANDWEHR RD..

VELOCITY DISSIPATION  
THE SITE UTILIZES THE STORM SEWER.

WASTE DISPOSAL

ALL WASTES COMPOSED OF BUILDING MATERIALS MUST BE REMOVED FROM THE SITE FOR DISPOSAL IN PERMITTED DISPOSAL FACILITIES. THE PROJECT SITE WILL BE KEPT CLEAR OF ALL HUMAN AND CONSTRUCTION DEBRIS. NO BUILDING MATERIALS, GAS OR OIL SHALL BE BURIED, DUMPED, OR DISCHARGED AT THE SITE. A SECURELY LIDDED DUMPSTER WILL BE PROVIDED FOR STANDARD SOLID WASTE.

HAZARDOUS WASTE WILL BE DISPOSED OF AS SPECIFIED BY THE VILLAGE OF NORTHBROOK, THE ILLINOIS ENVIRONMENTAL PROTECTION AGENCY, OR THE MANUFACTURER OF THE MATERIAL, WHICH EVER IS STRICTER. SITE PERSONNEL WILL BE INSTRUCTED IN THESE PRACTICES AND THE GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR THE PROPER DISPOSAL OF ALL HAZARDOUS WASTE PRODUCED AS A PART OF THIS CONSTRUCTION PROJECT.

SANITARY WASTE WILL BE COLLECTED IN PORTABLE UNITS AND DRAINED AS SPECIFIED BY THE VILLAGE OF NORTHBROOK.

ANY SPILLED OIL, GAS, OR OTHER CONSTRUCTION MATERIAL WILL BE CONTAINED AND CLEANED IMMEDIATELY. CONTAMINATED SOIL WILL BE DISPOSED OF IN AN APPROVED MANNER AT A LICENSED LANDFILL.

A SINGLE CONCRETE WASHOUT AREA WILL BE DESIGNATED BY THE CONTRACTOR FOR USE DURING THE DURATION OF THE PROJECT. THE WASHOUT AREA WILL BE DUG OUT OR BERMED UP TO CONTAIN ALL WASHOUT MATERIAL. ALL AFFECTED SOILS AND CONCRETE SPOILS WILL BE REMOVED FROM THE SITE UPON COMPLETION OF THE CONCRETE PLACEMENT ACTIVITIES.

OTHER REQUIREMENTS

THE VILLAGE OF NORTHBROOK CODE WILL GOVERN ALL EROSION CONTROL AND STORMWATER MANAGEMENT OPERATIONS.

IF ANY SITE AREA IS TO REMAIN DISTURBED FOR OVER 14 DAYS THEN 7 DAYS AFTER THE LAST DISTURBANCE THE CONTRACTOR MUST INITIATE STABILIZATION MEASURES.

NO FUEL OR OIL WILL BE STORED ON-SITE WITHOUT PROPER CONTAINMENT AND WRITTEN PERMISSION FROM THE VILLAGE OF NORTHBROOK.

THE CONTRACTOR WILL PREVENT OFF-SITE TRACKING OF SEDIMENTS. IF THE STABILIZED CONSTRUCTION ENTRANCE IS NOT SUFFICIENT, FURTHER MEASURES MUST BE IMPLEMENTED. ANY SEDIMENT LEFT ON THE PUBLIC ROADWAY WILL BE CLEANED OFF EVERY NIGHT.

DUST CONTROL, IF DEEMED NECESSARY BY THE VILLAGE ENGINEER, WILL BE DONE BY MEANS OF A WATER TRUCK SPRAYING WATER ON THE SURFACE OF THE SITE.

NON-STORMWATER DISCHARGES

IT IS EXPECTED THAT THE FOLLOWING NON-STORMWATER DISCHARGES WILL OCCUR FROM THIS SITE DURING THE CONSTRUCTION PERIOD:

- WATER FROM WATER MAIN AND FIRE HYDRANT FLUSHING.
- PAVEMENT WASH WATERS (WHERE NO SPILLS OR LEAKS OF TOXIC OR HAZARDOUS MATERIALS HAVE OCCURRED)
- UNCONTAMINATED GROUND AND SURFACE WATER FROM DEWATERING EXCAVATIONS AND DETENTION BASINS
- DUST CONTROL WATER

ALL NON-STORMWATER DISCHARGES WILL BE DIRECTED TO THE EXISTING DRAINAGE DITCH ALONG LANDWEHR RD.

PROPOSED SUBDIVISION DEVELOPMENT DEMOLITION AND RECONSTRUCTION SCHEDULE OF CONSTRUCTION

1. INSTALL SILT FENCE AND EROSION CONTROL MEASURES.
2. CONSTRUCT IMPROVEMENTS.
3. COMPLETE RESTORATION.
4. REMOVE TEMPORARY EROSION CONTROL MEASURES.

CCDOETH NOTES

- a. CARE IS TO BE TAKEN SO AS NOT TO DAMAGE ANY OF THE EXISTING TRAFFIC SIGNAL CONDUITS, FIBER CABLES, AND EQUIPMENT. IF ANY OF THE TRAFFIC SIGNAL CONDUITS, CABLES, AND/OR EQUIPMENT IS DAMAGED, THE CONTRACTOR SHALL REPAIR AND/OR REPLACE THE CONDUITS, CABLES, AND/OR EQUIPMENT AT NO COST TO THE COUNTY.
- b. THE COUNT IS NOT PART OF J.U.L.I.E. FOR LOCATION OF TRAFFIC SIGNAL EQUIPMENT, CONTACT THE MECHANICAL, ELECTRICAL, ARCHITECTURAL, AND LANDSCAPING DIVISION AT (312)630-1730.
- c. FOR THE LOCATION OF UNDERGROUND COUNTY MAINTAINED FACILITIES, SEE COUNTY SPECIAL PROVISION "TRAFFIC SIGNAL WORK GENERAL".

MAINTENANCE AND INSPECTION PROCEDURES

THE GENERAL CONTRACTOR FOR THIS PROJECT IS RESPONSIBLE FOR

MAINTAINING THE EROSION AND SEDIMENT CONTROL MEASURES IN GOOD AND EFFECTIVE OPERATING CONDITIONS.

THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL REGULAR INSPECTIONS REQUIRED BY THE NPDES GENERAL PERMIT #2 INCLUDING RECORDING AND KEEPING A RECORD OF EACH INSPECTION. THIS PROCESS WILL CONTINUE UNTIL FINAL STABILIZATION IS ACHIEVED AND A NOTICE OF TERMINATION IS RECEIVED BY THE OWNER. INSPECTIONS WILL BE PERFORMED AND RECORDED BY QUALIFIED INDIVIDUALS TRAINED BY THE GENERAL CONTRACTOR AT LEAST ONCE EVERY WEEK AND WITHIN 24 HOURS OF THE END OF A STORM THAT IS 0.5 INCHES OR GREATER.

DISTURBED AREAS AND AREAS USED FOR STORAGE OF MATERIALS THAT ARE EXPOSED TO PRECIPITATION SHALL BE INSPECTED FOR EVIDENCE OF, OR THE POTENTIAL FOR, POLLUTANTS ENTERING THE DRAINAGE SYSTEM. EROSION AND SEDIMENT CONTROL MEASURES IDENTIFIED IN THE PLAN SHALL BE OBSERVED TO ENSURE THAT THEY ARE OPERATING CORRECTLY. WHERE DISCHARGE LOCATIONS OR POINTS ARE ACCESSIBLE, THEY SHALL BE INSPECTED TO ASCERTAIN WHETHER EROSION CONTROL MEASURES ARE EFFECTIVE IN PREVENTING SIGNIFICANT IMPACTS TO RECEIVING WATERS. LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE SHALL BE INSPECTED FOR EVIDENCE OF OFFSITE SEDIMENT TRACKING.

BASED ON THE RESULTS OF THE INSPECTIONS, MODIFICATIONS NECESSARY SHALL BE IMPLEMENTED WITHIN 7 DAYS OF THE INSPECTION.

ALL MEASURES WILL BE MAINTAINED IN GOOD WORKING ORDER. ANY NECESSARY REPAIRS WILL BE INITIATED IMMEDIATELY.

SEDIMENT BUILDUP WILL BE REMOVED FROM SILT FENCES WHEN IT HAS REACHED 1/3 THE HEIGHT OF THE FABRIC.

SEDIMENT BUILDUP WILL BE REMOVED FROM OTHER EROSION CONTROLS AS NEEDED TO MAINTAIN STORMWATER FLOW THROUGH THE SITE AND AVOID SEDIMENT FROM BYPASSING THE EROSION CONTROLS.

EROSION CONTROL MEASURES WILL BE REPAIRED, MAINTAINED, OR INCREASED AT THE DIRECTION OF THE LOCAL SOIL AND WATER CONSERVATION DISTRICT, THE VILLAGE OF NORTHBROOK OR THE PARK DISTRICT'S ENGINEER.

A MAINTENANCE INSPECTION REPORT WILL BE MADE AFTER EACH INSPECTION. THE REPORT SHALL SUMMARIZE THE SCOPE OF THE INSPECTION, NAME(S) AND QUALIFICATIONS OF PERSONNEL MAKING THE INSPECTION, THE DATE(S) OF THE INSPECTION, MAJOR OBSERVATIONS RELATING TO THE IMPLEMENTATION OF THE STORMWATER POLLUTION PREVENTION PLAN, AND ACTIONS TAKEN TO SOLVE ANY PROBLEMS OBSERVED. THE INSPECTION REPORT SHALL BE SIGNED BY A QUALIFIED INDIVIDUAL PER NPDES GENERAL PERMIT NO. 2.

INSPECTION REPORTS SHALL BE RETAINED AS A PART OF THE STORM WATER POLLUTION PREVENTION PLAN FOR AT LEAST THREE YEARS AFTER FINAL STABILIZATION AND A NOTICE OF DISCONTINUATION HAS BEEN SUBMITTED TO THE DEPARTMENT.

CONTRACTOR'S CERTIFICATION

I CERTIFY UNDER PENALTY OF LAW THAT I UNDERSTAND THE TERMS AND CONDITIONS OF THE GENERAL NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT (ILR10) THAT AUTHORIZES THE STORMWATER DISCHARGES ASSOCIATED WITH INDUSTRIAL ACTIVITY FROM THE CONSTRUCTION SITE IDENTIFIED AS A PART OF THIS CERTIFICATION.

GENERAL CONTRACTOR

COMPANY NAME

COMPANY ADDRESS

COMPANY PHONE NUMBER

PRINTED NAME AND TITLE

SIGNATURE

DATE

SUB-CONTRACTOR #1

SUB-CONTRACTORS RESPONSIBILITY

COMPANY NAME

COMPANY ADDRESS

COMPANY PHONE NUMBER

PRINTED NAME AND TITLE

SIGNATURE

DATE

USE ADDITIONAL SHEETS FOR ADDITIONAL SUB-CONTRACTORS. EACH SHEET WILL HAVE THE PROJECT NAME AND LOCATION AS DESCRIBED IN THE SITE DESCRIPTION ON THIS SHEET. EACH ADDITIONAL SUB-CONTRACTOR WILL PROVIDE THEIR RESPONSIBILITY, COMPANY NAME, ADDRESS AND PHONE NUMBER, PRINTED NAME AND TITLE, SIGNATURE AND DATE. THIS INFORMATION WILL BE KEPT WITH THIS PLAN.

OWNERS'S CERTIFICATION

I CERTIFY UNDER PENALTY OF LAW THAT I UNDERSTAND THE TERMS AND CONDITIONS OF THE GENERAL NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT (ILR10) THAT AUTHORIZES THE STORMWATER DISCHARGES ASSOCIATED WITH INDUSTRIAL ACTIVITY FROM THE CONSTRUCTION SITE IDENTIFIED AS A PART OF THIS CERTIFICATION.

COMPANY NAME

COMPANY ADDRESS

COMPANY PHONE NUMBER

PRINTED NAME AND TITLE

SIGNATURE

DATE

DATE	REVISIONS
8-10-05	PRELIMINARY PLANS
9-5-05	PRELIMINARY PLANS REVISED PER VILLAGE COMMENTS
11-10-05	PRELIMINARY PLANS REVISED PER VILLAGE COMMENTS
1-7-06	PRELIMINARY PLANS REVISED PER VILLAGE COMMENTS
3-4-06	PRELIMINARY PLANS REVISED PER VILLAGE COMMENTS

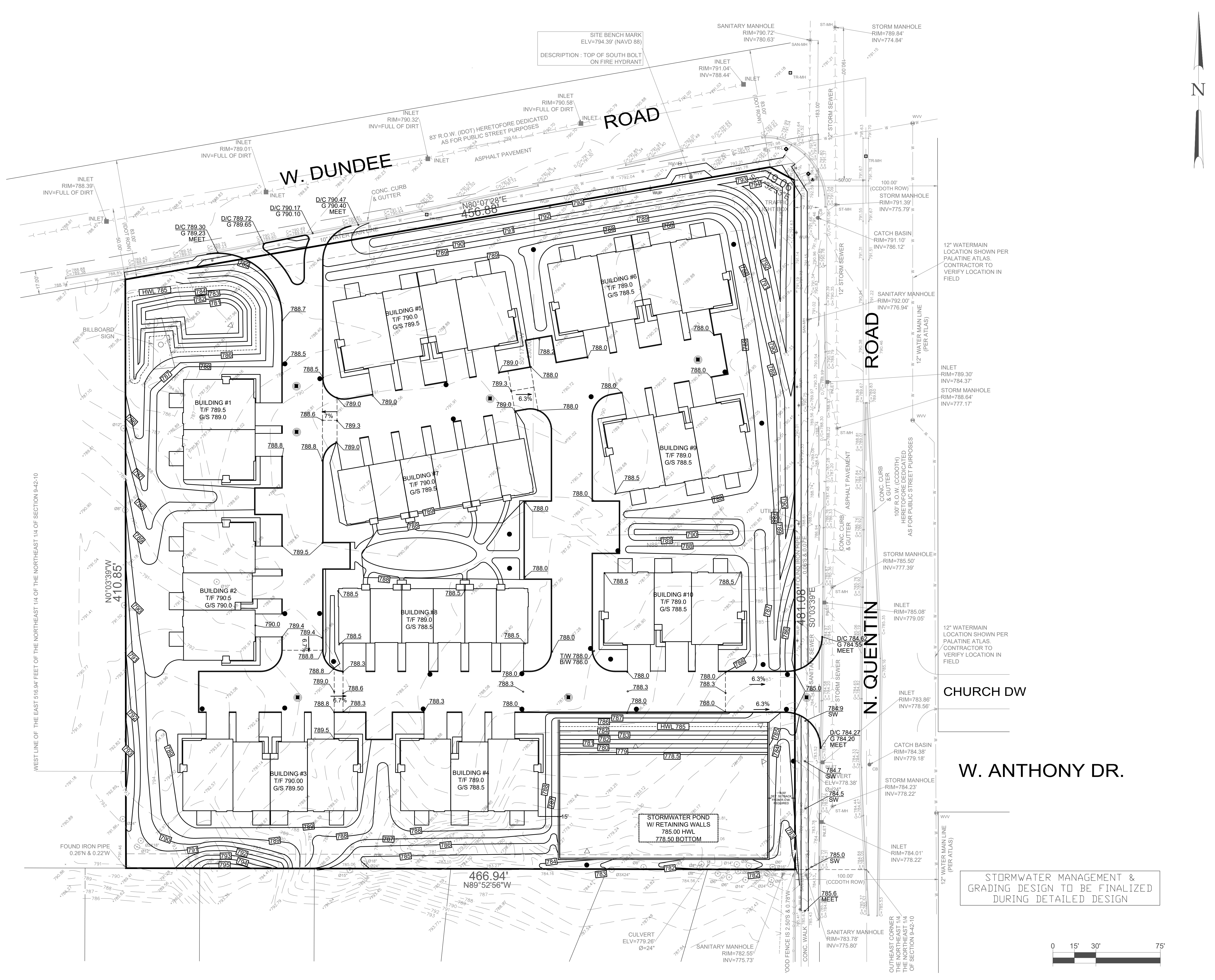
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**CIVIL ENGINEERS**  
A Sevee & Maher Engineers company  
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LIC#00297626

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Phone 207-829-5016 • Fax 207-829-5952 • sme-engineers.com

**SWPPP**  
**855 DUNDEE RD, PALATINE, IL 60074**

PROJECT NO.:	250965
BASE FILE:	
SHEET FILE:	
ISSUE DATE:	AUG 12, 2025
SCALE:	1"=30'-0"
SHEET NUMBER	
<b>6</b>	

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REVISIONS	DATE
PRELIMINARY PLANS	8-15-25
PRELIMINARY PLANS REVISED SITE PLAN	9-5-25
PRELIMINARY PLANS REVISED PER PALATINE ATLAS	11-15-25
PRELIMINARY PLANS REVISED PER PALATINE COMMENTS	1-7-26
PRELIMINARY PLANS REVISED PER PALATINE COMMENTS	3-4-26

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**CIVIL ENGINEERS**  
 A Sewer & Water Engineers company  
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**PROPOSED GRADING & DRAINAGE PLAN**  
**OVERALL SITE**  
 855 DUNDEE RD, PALATINE, IL 60074

PROJECT NO.:	250965
BASE FILE:	
SHEET FILE:	
ISSUE DATE:	AUG 12, 2025
SCALE:	1"=30'-0"
SHEET NUMBER	<b>7</b>

Townhouse Development, SW Corner of Dundee & Quentin, Palatine

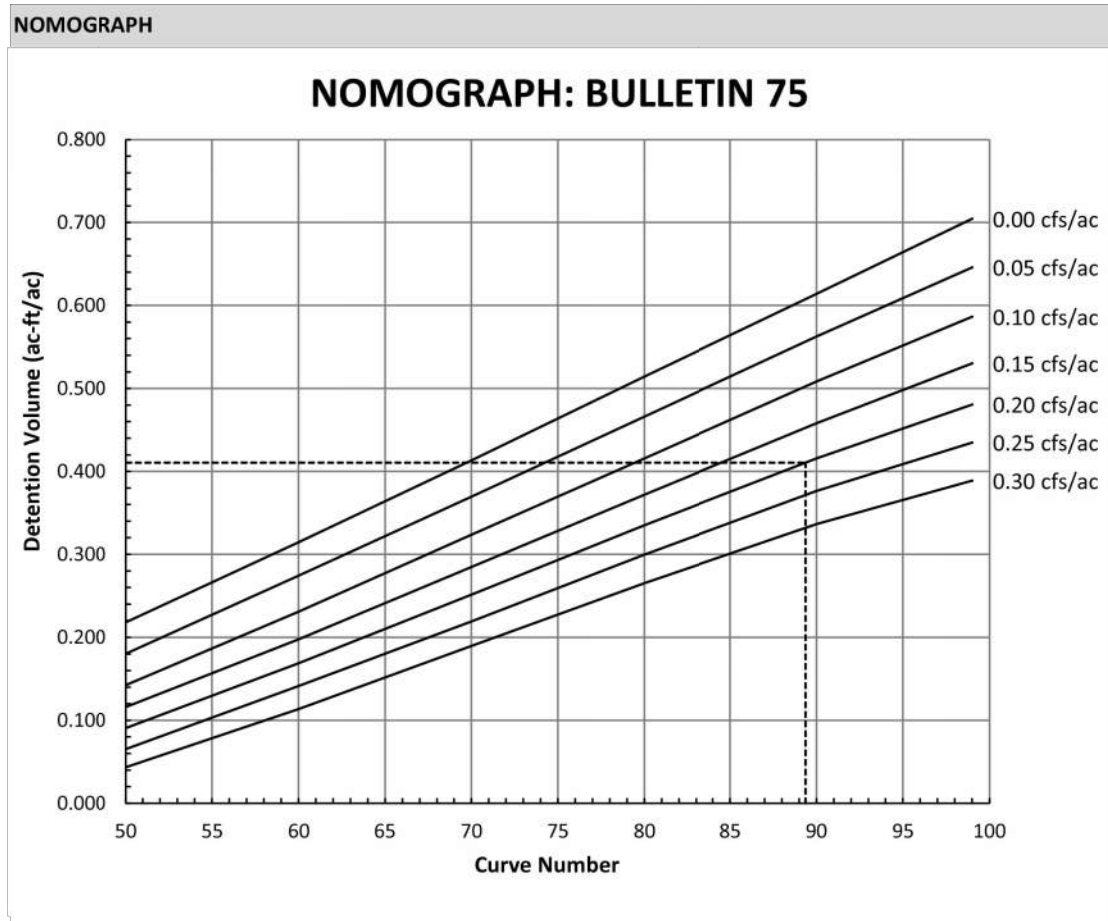
Date: 3.4.26

	Existing		Proposed	
	Sq. Ft.	Acres	Sq. Ft.	Acres
Entire Lot	210,941	4.843		
Building	0	0.000	49,497	1.136
Hardscapes	0	0.000	58,066	1.333
Impervious Area	0	0.000	107,563	2.469
			50.99%	
Pervious Area	210,941	4.843	103,378	2.373
Increase in Impervious Area			2.469 Ac.	
Disturbed area of the Site =			4.843 Ac.	

NOMOGRAPH: BULLETIN 75 RAINFALL DATA

PROJECT: Townhouse Development - Dundee & Quentin PERMIT NUMBER:  
 LOCATION: SW Corner of Dundee & Quentin, Palatine DATE: 11.10.25

DEVELOPMENT INFORMATION	
1. Detained Area	4.843 acres
2. Curve Number	89.37
3. Actual Release Rate	0.969 cfs
REQUIRED DETENTION VOLUME	
4. Required Detention Volume	1.988 ac-ft



4/7/2022

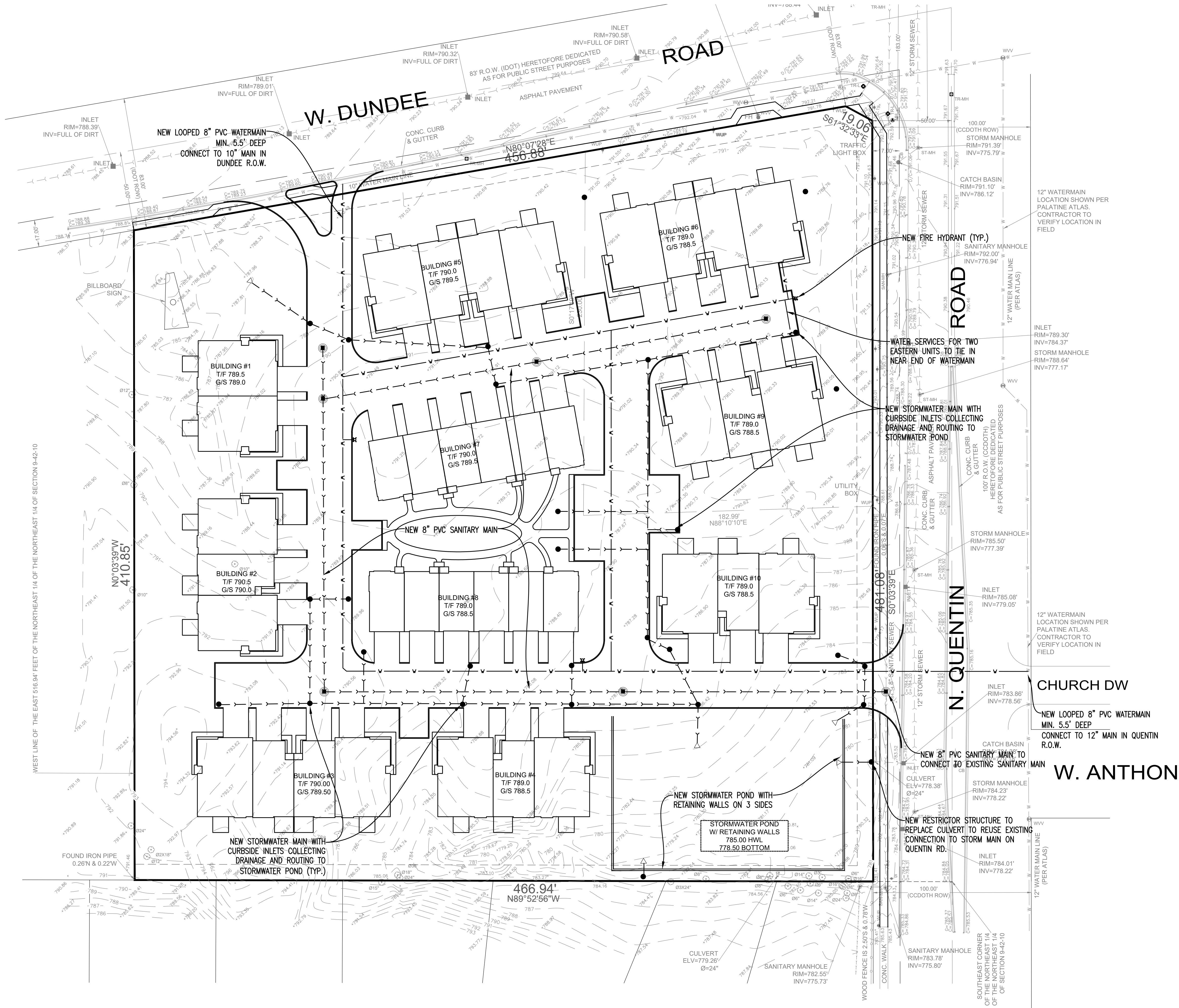
1) Southeast Pond Surface Ponding (HWL: 785.00)				
Elevation	Area (sq. ft.)	Avg. Area	Depth	(6' Ponding) Vol. (cu. ft.)
785.00	13,326			
784.00	12,891	13,109	1.00	13,109
783.00	12,456	12,674	1.00	12,674
782.00	12,019	12,238	1.00	12,238
781.00	11,584	11,802	1.00	11,802
780.00	11,149	11,367	1.00	11,367
779.00	10,712	10,931	1.00	10,931
778.50	10,495	10,804	0.50	5,302
				77,420

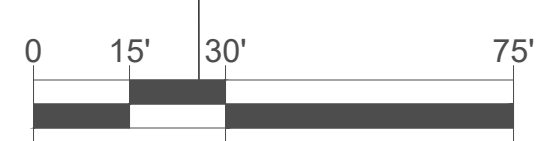
2) Northwest Pond Surface Ponding (HWL: 785.0)				
Elevation	Area (sq. ft.)	Avg. Area	Depth	(4' Ponding) Vol. (cu. ft.)
785.00	3,857			
784.00	2,959	3,408	1.00	3,408
783.00	2,140	2,550	1.00	2,550
782.00	1,500	1,820	1.00	1,820
781.00	974	1,237	1.00	1,237
				9,015

3) Pipe Storage			
Pipe Size	Length (ft.)	Unit Volume	Vol. (cu. ft.)
8	0	0.349	0.00
10	0	0.545	0.00
12	1050	0.785	824.67
15	0	1.227	0.00
18	0	1.767	0.00
36	0	7.069	0.00
48	0	12.566	0.00
			825



STORMWATER MANAGEMENT & GRADING TO BE FINALIZED DURING DETAILED DESIGN



PROJECT STAFF	ISSUE	REVISIONS	DATE
PROJECT MANAGER: W. HERRERA, P.E.	A	PRELIMINARY PLANS	8-15-25
ENGINEER: B. HERRERA, P.E.	B	PRELIMINARY PLANS REVISED SITE PLAN	9-5-25
ENGINEER: B. HERRERA, P.E.	C	PRELIMINARY PLANS REVISED PER ILLINOIS COMMENTS	11-10-25
TECHNICIAN: B. HERRERA, P.E.	D	PRELIMINARY PLANS REVISED PER ILLINOIS COMMENTS	1-7-26
TECHNICIAN: B. HERRERA, P.E.	E	PRELIMINARY PLANS REVISED PER ILLINOIS COMMENTS	3-4-26

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 bono@bonoconsulting.com

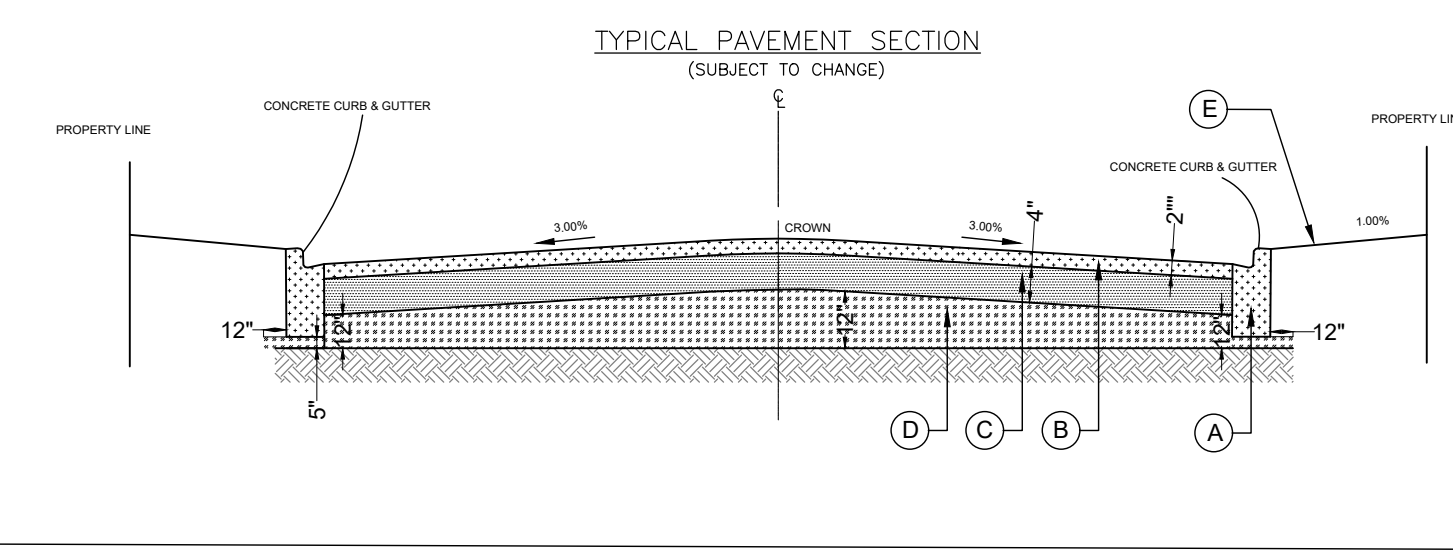
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 www.sevee.com

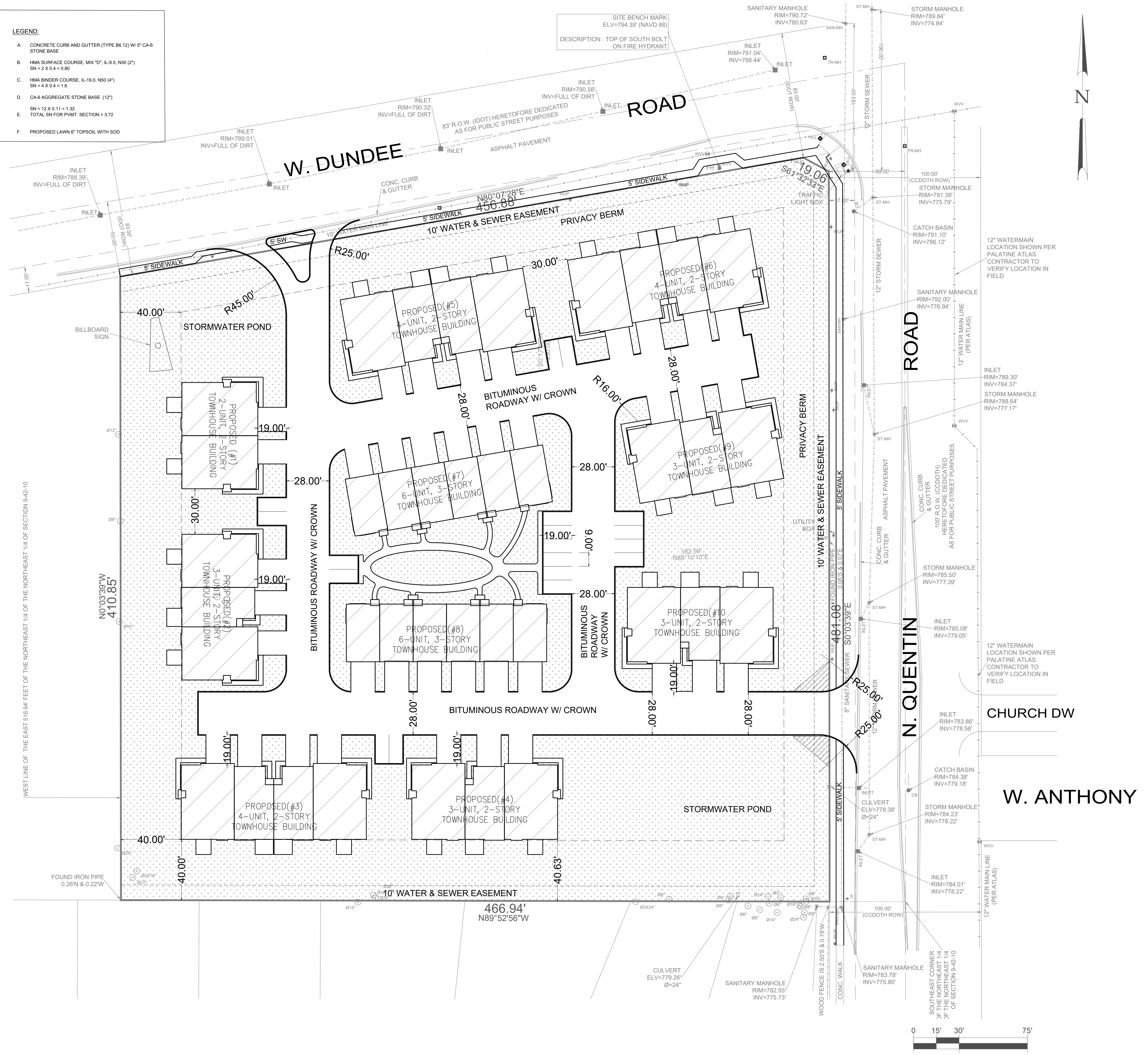
**PROPOSED UTILITY PLAN**  
**OVERALL SITE**  
 855 DUNDEE RD, PALATINE, IL 60074

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PROJECT NO.: 250965  
 BASE FILE:  
 SHEET FILE:  
 ISSUE DATE: AUG 12, 2025  
 SCALE: 1"=30'-0"  
 SHEET NUMBER  
**8**



- LEGEND:**
- A. CONCRETE CURB AND GUTTER (TYPE B6.12) W/ 5" CA-6 STONE BASE
  - B. HMA SURFACE COURSE, MIX "D", IL-9.5, N50 (2") SN = 2 X 0.4 = 0.80
  - C. HMA BINDER COURSE, IL-19.0, N50 (4") SN = 4 X 0.4 = 1.6
  - D. CA-6 AGGREGATE STONE BASE (12")
  - E. TOTAL SN FOR PVMT, SECTION = 3.72
  - F. PROPOSED LAWN 6" TOPSOIL WITH SOD



PROJECT STAFF	ISSUE	REVISIONS	DATE
PROJECT MANAGER: W. HERRERA, P.E.	A	PRELIMINARY PLANS	8/15/25
ENGINEER: W. HERRERA, P.E.	B	PRELIMINARY PLANS REVISED SITE PLAN	9/2/25
ENGINEER: W. HERRERA, P.E.	C	PRELIMINARY PLANS REVISED PER PALATINE COMMENTS	11/15/25
TECHNICAL: W. HERRERA, P.E.	D	PRELIMINARY PLANS REVISED PER PALATINE COMMENTS	1/7/26
	E	PRELIMINARY PLANS REVISED PER PALATINE COMMENTS	3/4/26

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 847-923-3000  
 bono@bonoconsulting.com  
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**SITE PLAN & GEOMETRIC PLAN**

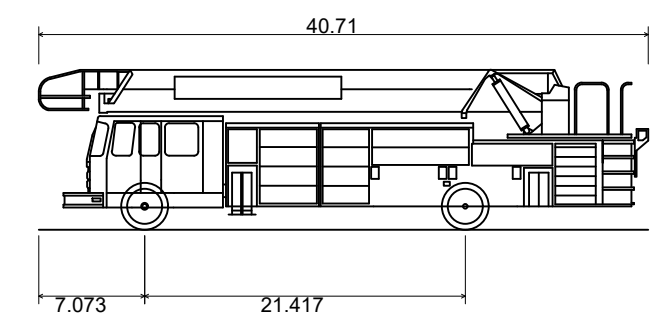
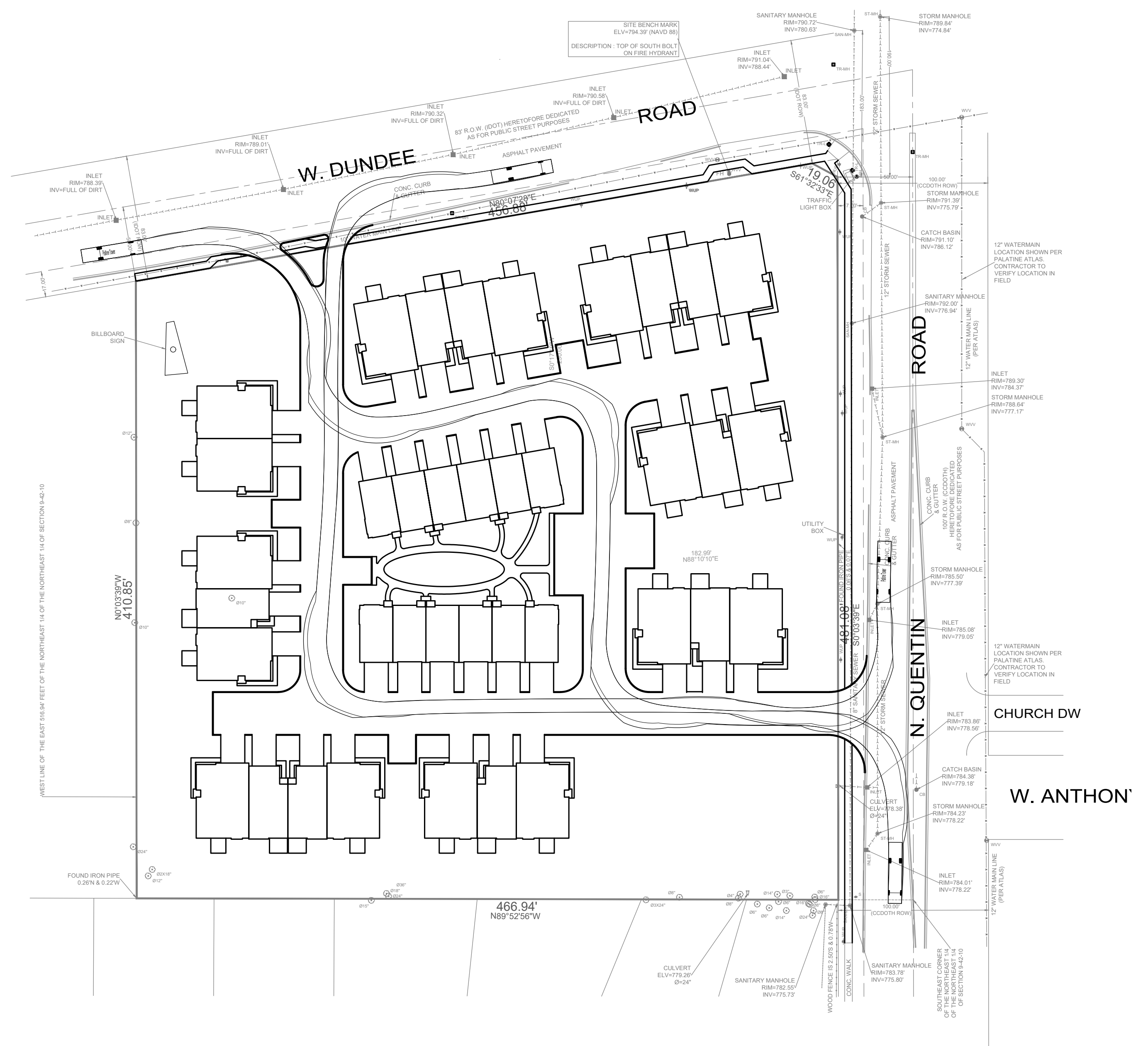
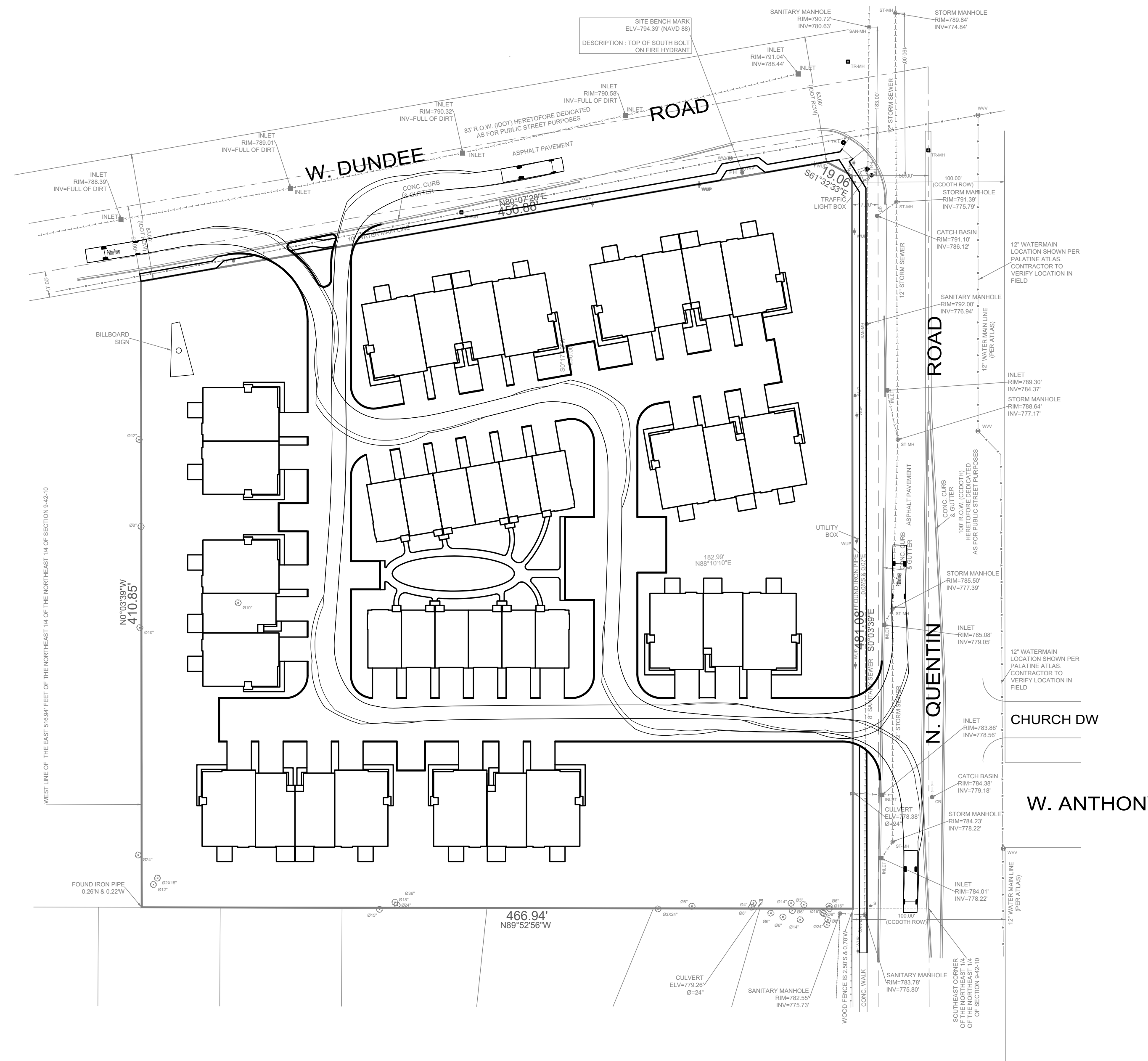
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PROJECT NO.: 250965  
 BASE FILE:  
 SHEET FILE:  
 ISSUE DATE: AUG 12, 2025  
 SCALE: 1"=30'-0"  
 SHEET NUMBER  
**11**

FIRE TRUCK TURNING EXHIBIT - ENTERING FROM DUNDEE

FIRE TRUCK TURNING EXHIBIT - ENTERING FROM QUENTIN



Paltine Tower  
 Overall Length 40.710ft  
 Overall Width 8.930ft  
 Overall Body Height 10.685ft  
 Min Body Ground Clearance 1.025ft  
 Track Width 8.930ft  
 Lock-to-lock time 6.00s  
 Max Wheel Angle 50.00°

PROJECT STAFF	ISSUE	REVISIONS	DATE
PROJECT MANAGER: W. HERRERA, P.E.	A	PRELIMINARY PLANS	8-10-24
ENGINEER:	B	PRELIMINARY PLANS REVISED SITE PLAN	9-5-25
ENGINEER:	C	PRELIMINARY PLANS REVISED PER VALVE COMMENTS	11-10-26
TECHNICIAN:	D	PRELIMINARY PLANS REVISED PER VALVE COMMENTS	1-7-28
	E	PRELIMINARY PLANS REVISED PER VALVE COMMENTS	3-4-28

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AUTOTURN EXHIBITS  
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PROJECT NO.:	250965
BASE FILE:	
SHEET FILE:	20
ISSUE DATE:	AUG 12, 2025
SCALE:	1"=20'-0"
SHEET NUMBER	12

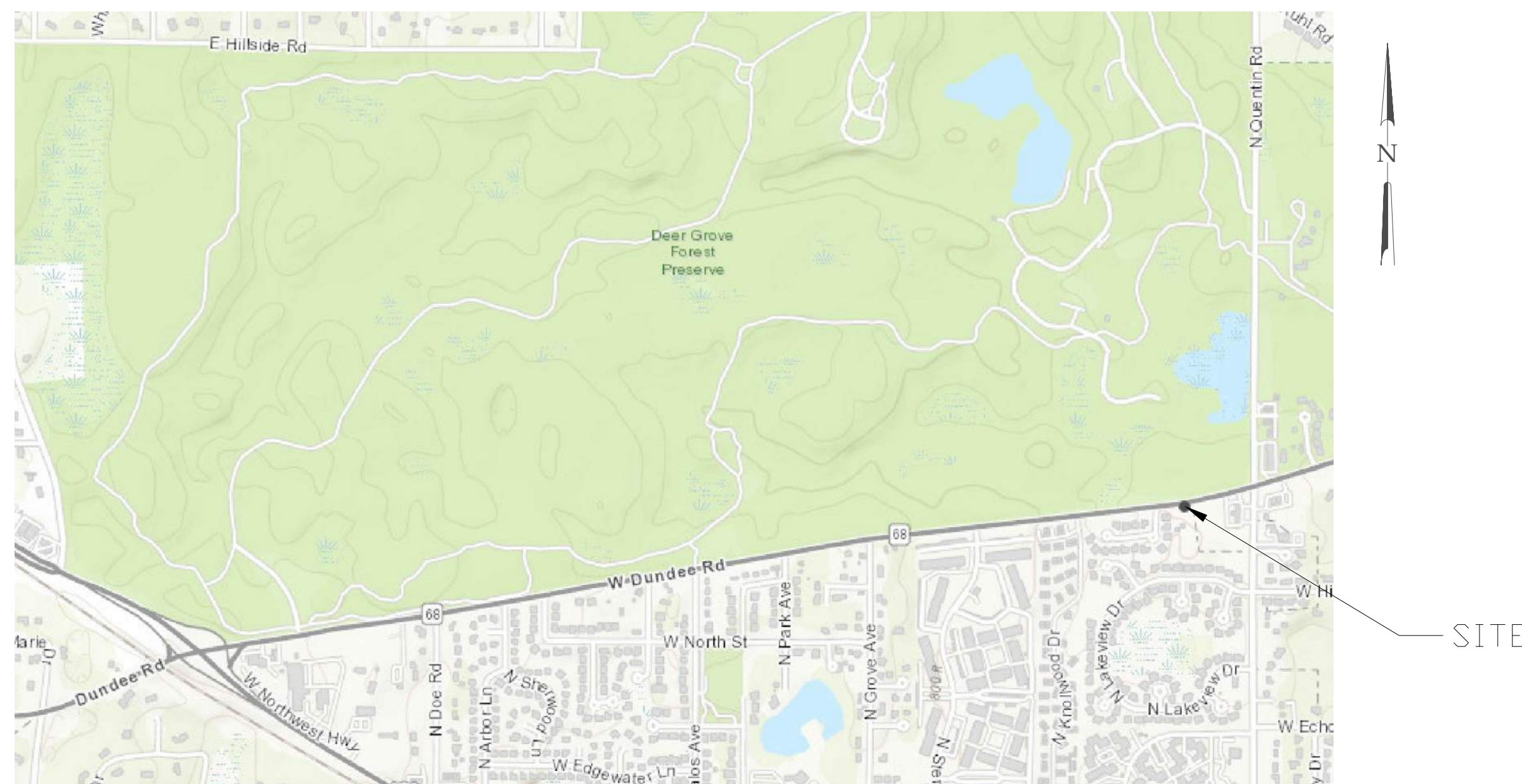
# NEW TOWNHOUSE DEVELOPMENT 855 DUNDEE RD., PALATINE, IL PRELIMINARY PLANS

SECTION: 9  
TOWNSHIP: 42N  
RANGE: 10E

PIN(S):  
02-09-203-(008  
THRU 010)-0000

**BENCHMARK INFO**  
SITE BENCHMARK IS ON THE SOUTH BOLT OF THE FIRE HYDRANT  
NORTH OF THE NORTH PROPERTY LINE ELEV. 794.39 NAVD 88

## SITE LOCATION MAP



## AERIAL MAP



### DRAWING INDEX:

- TITLE SHEET, LEGEND, SITE LOCATION, & AERIAL MAP
- EXISTING TOPOGRAPHY
- DEMOLITION PLAN
- PHASE - I - SOIL EROSION & SEDIMENTATION CONTROL PLAN
- PHASE - II - SOIL EROSION & SEDIMENTATION CONTROL PLAN
- SWPPP (NOT INCLUDED)
- PROPOSED GRADING & DRAINAGE PLAN - OVERALL SITE
- PROPOSED UTILITIES PLAN - OVERALL SITE
- PROPOSED PLAN & PROFILES (NOT INCLUDED)
- TRIBUTARY AREA & INUNDATION EXHIBITS (NOT INCLUDED)
- GEOMETRIC PLAN - OVERALL SITE
- AUTOTURN EXHIBIT
- MAINTENANCE OF TRAFFIC PLAN - WORK ZONE A (NOT INCLUDED)
- MAINTENANCE OF TRAFFIC PLAN - WORK ZONE B (NOT INCLUDED)
- MAINTENANCE OF TRAFFIC PLAN - WORK ZONE C (NOT INCLUDED)
- CONSTRUCTION NOTES (NOT INCLUDED)
- STANDARD DETAILS (NOT INCLUDED)
- IDOT DETAILS (NOT INCLUDED)
- IDOT CROSS-SECTIONS (NOT INCLUDED)
- CCHD DRAINAGE AREA EXHIBIT (NOT INCLUDED)
- CCHD CROSS-SECTIONS (NOT INCLUDED)

### NOTE

The location of existing underground utilities, such as water mains, sewers, gas lines, etc., as shown on the plans, has been determined from the best available information and is given for the convenience of the Contractor. However, the Owner and the Engineer do not assume responsibility in the event that during construction, utilities other than those shown may be encountered, and that the actual location of those which are shown may be different from the location as shown on the plans.

Bono Consulting, Inc. is not responsible for the safety of any party at or on the construction site. Safety is the sole responsibility of the contractor and any other person or entity performing work or services. Neither the owner nor engineer assumes any responsibility for the job site safety of persons engaged in the work or the means or methods of construction.

Current Standard Specifications of the Judicial Authority shall apply to the construction on this project.

Note: The exact location of all utilities shall be verified by the contractor prior to construction activities. For utility locations call:  
J.U.L.I.E. 1 (800) 892-0123

### PROJECT NARRATIVE

**GENERAL:** NEW TOWNHOUSE DEVELOPMENT WITH UTILITY MAINS AND STORMWATER MANAGEMENT

**AREA SUMMARY:**  
SITE AREA: 4.843 ACRES  
DISTURBED AREA OF SITE: 4.843 ACRES

**SPECIAL PROTECTION AREAS:** NO FLOODPLAIN WITHIN 100' OF SITE, THERE ARE NO WETLANDS WITHIN 100' OF SITE.

**UPSTREAM TRIBUTARY:** THERE IS NO UPSTREAM TRIBUTARY AREA OF FOR THE SITE.

**COMBINED/SEPARATE SEWER AREA INFO:** PROPOSED PROJECT IS LOCATED IN A SEPARATE SEWER AREA.

**DETENTION/VOLUME CONTROL FACILITY:** DETENTION (SITE AREA>3AC.) IS A REQUIREMENT PER MWRD, AND VOLUME CONTROL (DISTURBED AREA AREA>0.5AC.) IS REQUIRED PER MWRD REGULATIONS.

**SANITARY SEWERS:** NEW SANITARY MAIN IS PROPOSED FOR TOWNHOUSE SERVICES TO CONNECT TO.

**SOILS/INFILTRATION RATE:** REFER TO GEOTECHNICAL REPORT.

**GROUNDWATER ELEVATION:** ~13 FEET BELOW GRADE PER GEOTECHNICAL REPORT.

### LEGEND:

	EXISTING	PROPOSED
PROPERTY LINE	---	---
SANITARY SEWER LINE	--->	--->
WATER LINE	W	W
STORM SEWER LINE	---	---
STORM MANHOLE	○	●
SANITARY MANHOLE	○	●
COMBINED SEWER	--->	--->
COMBINED MANHOLE	○	●
CATCH BASIN	○	●
INLET	○	○
WATER VALVE VAULT	○	○
WATER VALVE	○	○
GRADE	---	---
DRAINAGE DIVIDE	---	---
CURB & GUTTER	---	---
CLEANOUT	---	---
DOWNSPOUT (ROOF DRAINS)	---	---
WATER B. BOX	---	---
TREE PROTECTION FENCE	---	---
CONSTRUCTION FENCE	---	---
INLET FILTER BASKET	---	---
TRAFFIC DIRECTION PAVEMENT MARKING	---	---
FIRE HYDRANT	---	---
RETAINING WALL WRAILING	---	---
TOP OF CURB	T/C XXXXX	T/C XXXXX
BOTTOM OF CURB	B/C XXXXX	B/C XXXXX
TOP OF CURB	T/C XXXXX	T/C XXXXX
BOTTOM OF GUTTER	B/G XXXXX	B/G XXXXX
WALK	W XXXXX	W XXXXX
BOTTOM OF WALK	B/W XXXXX	B/W XXXXX
DESRESSED CURB	D/C XXXXX	D/C XXXXX
BOTTOM OF GUTTER	B/G XXXXX	B/G XXXXX
MOUNTABLE CURB	M/C XXXXX	M/C XXXXX

DATE	REVISIONS
8-10-24	PRELIMINARY PLANS
9-2-24	PRELIMINARY PLANS-REVISED SITE PLAN
11-10-24	PRELIMINARY PLANS-REVISED PER VALU COMMENTS
1-7-26	PRELIMINARY PLANS-REVISED PER VALU COMMENTS

PROJECT STAFF	ISSUE
PROJECT MANAGER: W. HERRERA, P.E.	A
ENGINEER: BONO CONSULTING	B
ENGINEER: CIVIL ENGINEERS	C
TECHNICIAN: A Sewe & Maher Engineers company	D

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bbono@bonocconsulting.com  
LIC#02070002

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Phone: 207-829-5016 • Fax: 207-829-5952 • sme-engineers.com

TITLE SHEET, LEGEND, SITE  
LOCATION MAP, & AERIAL MAP  
855 DUNDEE RD, PALATINE, IL 60074

PROJECT NO.:	250965
BASE FILE:	
SHEET FILE:	
ISSUE DATE:	AUG 12, 2025
SCALE:	NTS
SHEET NUMBER	1

# UNITED SURVEY SERVICE, LLC

CONSTRUCTION AND LAND SURVEYORS  
7710 CENTRAL AVENUE, RIVER FOREST, IL 60305  
TEL.: (847) 299-1010 FAX: (847) 299-5887  
E-MAIL: USURVEY@USANDCS.COM

## BOUNDARY AND TOPOGRAPHIC SURVEY

OF

THE EAST 516.94 FEET OF THAT PART OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 9, TOWNSHIP 42 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, LYING SOUTH OF THE SOUTH LINE OF DUNDEE ROAD (AS WIDENED) AND WEST OF THE WEST LINE OF QUINTEEN ROAD (AS WIDENED), IN COOK COUNTY, ILLINOIS.

KNOWN AS: 885 W. DUNDEE ROAD, PALATINE, ILLINOIS

PERMANENT INDEX NUMBER:

02-09-203-008-0000  
02-09-203-009-0000  
02-09-203-010-0000

AREA=210,940.87 SQ.FT OR 4.84 ACRES

NOTE:  
ELEVATION DETERMINED BY GPS METHOD

**PUBLIC UTILITY NOTE:**  
LOCATION OF UNDERGROUND UTILITIES WHERE NOT SUBSTANTIATED BY PHYSICAL EVIDENCE ARE TAKEN FROM RECORDS NORMALLY CONSIDERED RELIABLE. NO RESPONSIBILITY FOR THEIR ACCURACY IS ASSUMED BY THE SURVEYOR.

**CONTRACTOR SHALL NOTIFY ALL PUBLIC UTILITY COMPANIES (GAS, ELECTRIC, TELEPHONE, SEWER AND WATER, ETC.) PRIOR TO COMMENCING ANY CONSTRUCTION.**

THESE COMPANIES WILL LOCATE ON THE GROUND THE LOCATION OF ALL CONDUIT, DUCTS, UNDERGROUND PIPING, ETC., ADJOINING AND CROSSING PROPOSED CONSTRUCTION.

### LEGEND ABBREVIATIONS

	SANITARY MANHOLE
	STORM MANHOLE
	CATCH BASIN
	INLET
	WATER VALVE VAULT
	FIRE HYDRANT
	TRAFFIC LIGHT
	LIGHT POLE
	WOOD UTILITY POLE
	TREE
	TRAFFIC SIGNAL MANHOLE
	MANHOLE
	SIGN
	CONC. CURB
	CONC. GUTTER
	TOP OF WALL
	RECORD DATA
	MEASURED DATA



DATE	REVISIONS
9-25-23	PRELIMINARY PLANS
9-25-23	PRELIMINARY PLANS REVISIONS SITE PLAN
11-15-23	PRELIMINARY PLANS REVISIONS SITE PLAN
11-15-23	PRELIMINARY PLANS REVISIONS PERILLAGE COMMENTS
11-28-23	

PROJECT STAFF	ISSUE
PROJECT MANAGER: W. HERRERA, P.E.	A
ENGINEER: B. HERRERA, P.E.	B
ENGINEER: C. HERRERA, P.E.	C
TECHNICIAN: D. HERRERA	D

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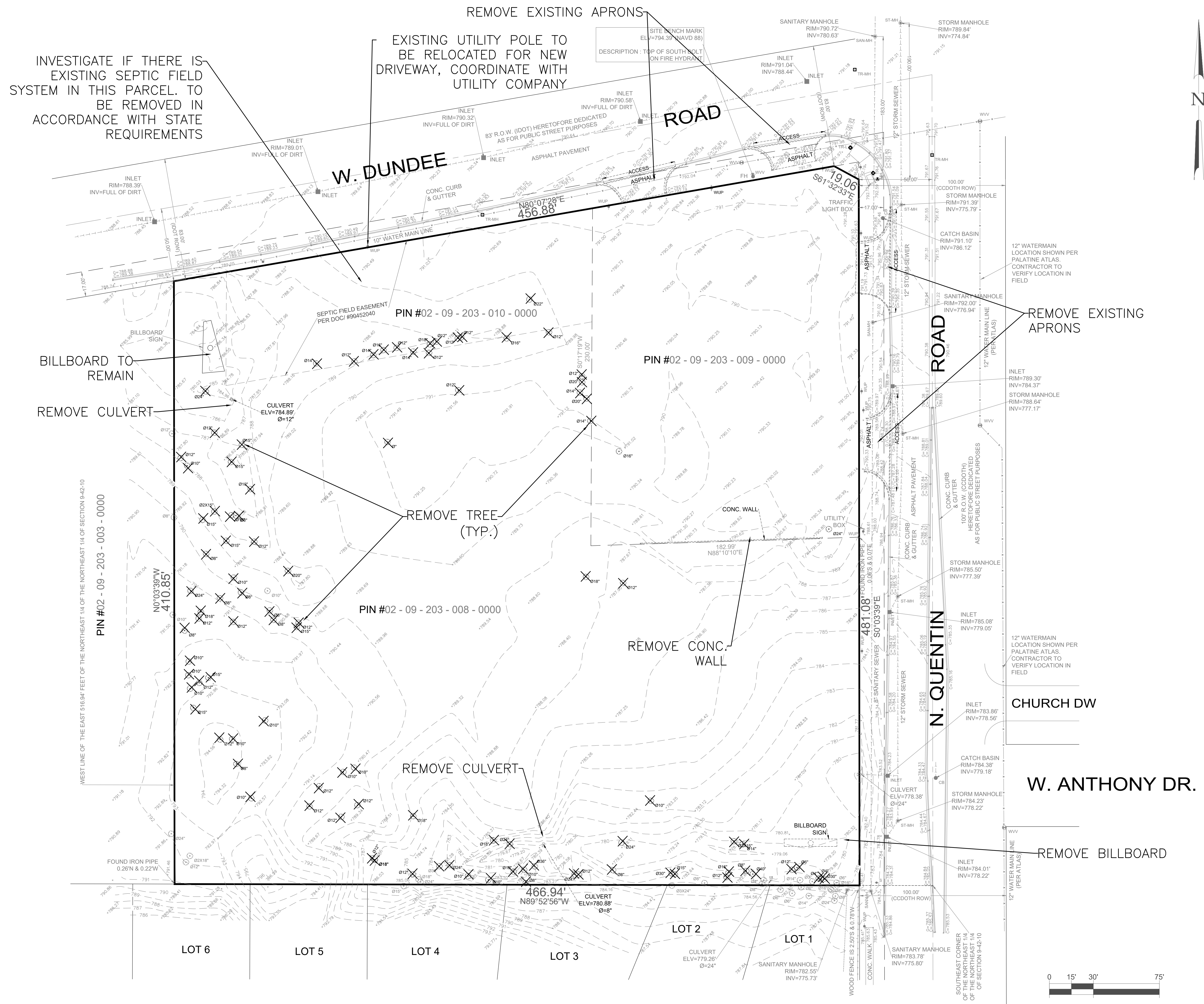
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**EXISTING TOPOGRAPHY**

855 DUNDEE RD, PALATINE, IL 60074

PROJECT NO.:	250965
BASE FILE:	
SHEET FILE:	
ISSUE DATE:	AUG 12, 2025
SCALE:	1"=30'-0"
SHEET NUMBER	2



INVESTIGATE IF THERE IS EXISTING SEPTIC FIELD SYSTEM IN THIS PARCEL. TO BE REMOVED IN ACCORDANCE WITH STATE REQUIREMENTS

REMOVE EXISTING APRONS  
EXISTING UTILITY POLE TO BE RELOCATED FOR NEW DRIVEWAY, COORDINATE WITH UTILITY COMPANY

REMOVE EXISTING APRONS

BILLBOARD TO REMAIN

REMOVE CULVERT

REMOVE TREE (TYP.)

REMOVE CONC. WALL

REMOVE CULVERT

CHURCH DW

W. ANTHONY DR.

REMOVE BILLBOARD

DATE	REVISIONS
8/15/25	PRELIMINARY PLANS
9/5/25	PRELIMINARY PLANS REVISED SITE PLAN
11/15/25	PRELIMINARY PLANS REVISED PER VILLAGE COMMENTS
1/7/26	PRELIMINARY PLANS REVISED PER VILLAGE COMMENTS

PROJECT STAFF	ISSUE
PROJECT MANAGER: W. HERRERA, P.E.	A
ENGINEER: B. HERRERA, P.E.	B
ENGINEER: C. HERRERA, P.E.	C
TECHNICIAN: D. HERRERA	D

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www.bonocollaborating.com  
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**DEMOLITION & TREE PRESERVATION PLAN**

855 DUNDEE RD, PALATINE, IL 60074

PROJECT NO.:	250965
BASE FILE:	
SHEET FILE:	
ISSUE DATE:	AUG 12, 2025
SCALE:	1"=30'-0"
SHEET NUMBER	<b>3</b>

**BEST MANAGEMENT PRACTICES SEQUENCE**

NOTE: UPON IMPLEMENTATION AND INSTALLATION OF THE FOLLOWING AREAS: TRAILER, PARKING, LAY DOWN, PORTA-POTTY, WHEEL WASH, CONCRETE WASHOUT, MASON'S AREA, FUEL AND MATERIAL STORAGE CONTAINERS, SOLID WASTE CONTAINERS, ETC., IMMEDIATELY DENOTE THEM ON THE SITE MAPS AND NOTE ANY CHANGES IN LOCATION AS THEY OCCUR THROUGHOUT THE CONSTRUCTION PROCESS. IN ADDITION, NOTE ANY OFF-SITE AREAS WHERE FILL IS IMPORTED FROM OR SOIL IS EXPORTED TO ON THE SITE MAPS.

- PHASE - I
1. INSTALL TREE PROTECTION FENCING AND EROSION CONTROL, SILT FENCE, INLET FILTER BASKETS, MAINTAIN THROUGHOUT PROJECT.
  2. USE LANDWEHR ROAD FOR CONSTRUCTION ACCESS DRIVEWAY FOR CONSTRUCTION. INSTALL STABILIZED CONSTRUCTION ENTRANCE. OBSERVE ALL APPROPRIATE MUTCD/IDOT TRAFFIC CONTROL MEASURES FOR CONSTRUCTION TRAFFIC ENTERING HIGHWAY. CONTRACTOR IS RESPONSIBLE FOR KEEPING ROADS FREE OF MUD AND DEBRIS.
  3. PROTECT TREES THAT ARE SHOWN TO BE PROTECTED.
  4. CLEAR AND REMOVE BRUSH AND TREES.
  5. CONSTRUCT AND STABILIZE SEDIMENT BASIN(S) AND SEDIMENT TRAP(S) WITH APPROPRIATE OUTFALL STRUCTURES (CLEAR ONLY THOSE AREAS NECESSARY TO INSTALL BASINS AND TRAPS) WITHIN 30 DAYS OF TREE REMOVAL/BRUSH CLEARING.
  6. INSTALL UTILITIES AND PERFORM MASS GRADING.

HALT ALL ACTIVITIES AND CONTACT THE VILLAGE TO PERFORM INSPECTION AND CERTIFICATION OF BMPs. GENERAL CONTRACTOR SHALL SCHEDULE AND CONDUCT THE STORMWATER PRE-CONSTRUCTION MEETING WITH THE CONSTRUCTION MANAGER, AGENCY(ES) AND GROUND-DISTURBING CONTRACTORS BEFORE PROCEEDING WITH CONSTRUCTION.

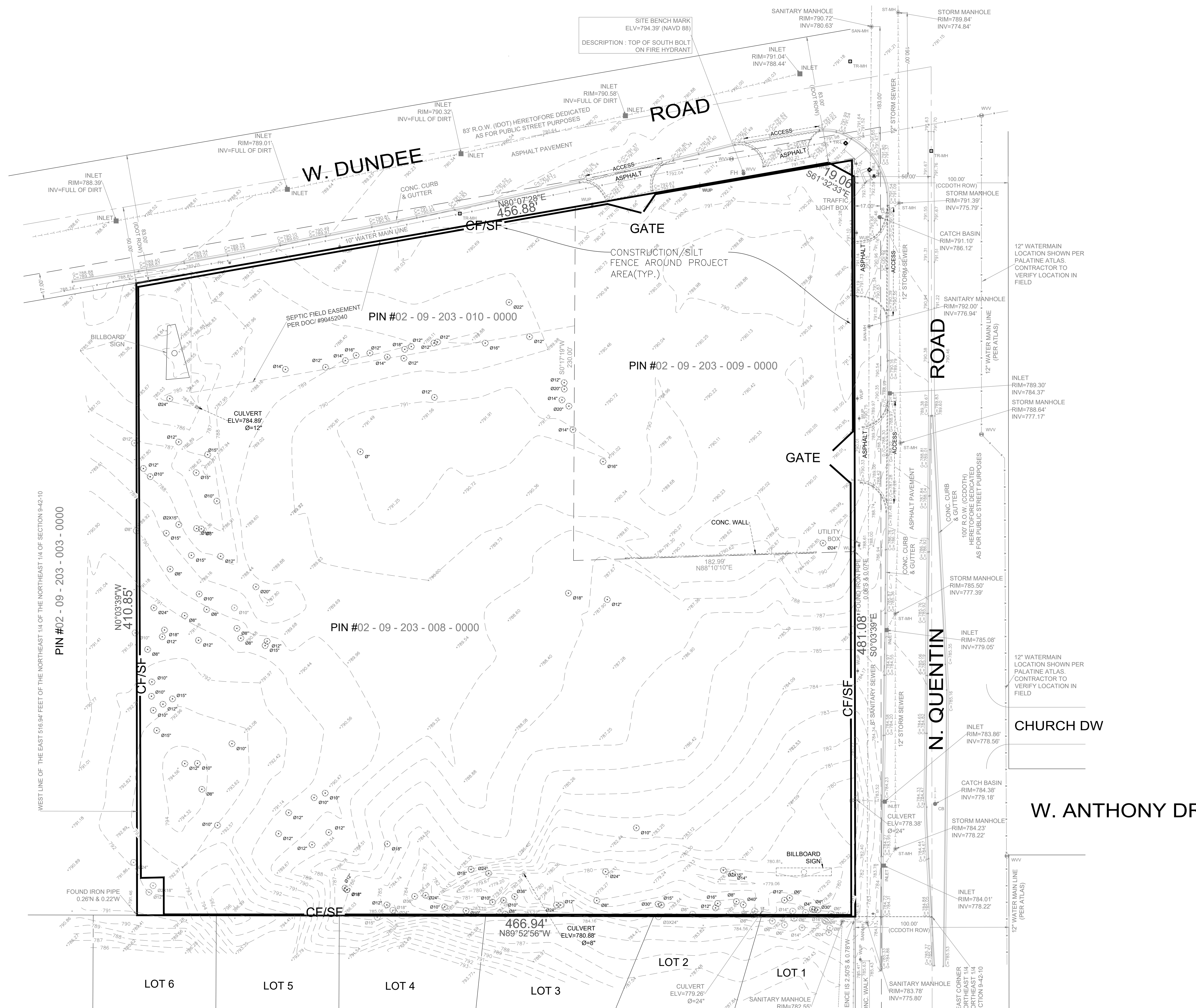
ALL EXCEPTIONS NOTED ON THE BMP CERTIFICATION FORM MUST BE ADDED TO THE FIRST DAILY REPORT AS A DEFICIENCY OR DEFICIENCIES AND RESOLVED WITHIN 24-HOURS. BMPs CAN NOT BE CERTIFIED IF ANY EXCEPTION REQUIRES GREATER THAN 24-HOURS TO RESOLVE.

DAILY INSPECTIONS AND REPORTING USING THE SWPPP MANAGEMENT TOOL MUST START THE DAY OF OR IMMEDIATELY AFTER BMP CERTIFICATION.

7. INSTALL AND STABILIZE HYDRAULIC CONTROL STRUCTURES (DIKES, SWALES, CHECK DAMS, ETC.).
8. BEGIN CLEARING AND GRUBBING THE SITE.
9. BEGIN GRADING THE SITE.

- PHASE - II
1. CONSTRUCT DETENTION FACILITIES.
  2. INSTALL UTILITIES, UNDERDRAINS, STORM SEWERS, CURBS AND GUTTERS.
  3. INSTALL RIP RAP AROUND OUTLET STRUCTURES AS EACH OUTLET STRUCTURE IS INSTALLED.
  4. INSTALL INLET PROTECTION AT ALL STORM SEWER STRUCTURES AS EACH INLET STRUCTURE IS INSTALLED.
  5. 12" MINIMUM OF SOIL/SEDIMENT TO BE REMOVED FROM BOTTOM OF DETENTION FACILITIES (EXCAVATE TO NATIVE SOIL) PRIOR TO BEING BROUGHT TO FINAL GRADE WITH INSTALLATION OF ENGINEERED SOIL MIXTURE.
  6. PERMANENTLY STABILIZE AREAS TO BE VEGETATED AS THEY ARE BROUGHT TO FINAL GRADE.
  7. PREPARE SITE FOR PAVING.
  8. PAVE SITE.
  9. INSTALL APPROPRIATE INLET PROTECTION DEVICES FOR PAVED AREAS AS WORK PROGRESSES.
  10. COMPLETE GRADING AND INSTALLATION OF PERMANENT STABILIZATION OVER ALL AREAS.
  11. CONTINUE DAILY INSPECTION REPORTS UNTIL THE FINAL DAILY INSPECTION REPORT, MARKED "READY TO TERMINATE PERMIT", IS SIGNED BY THE CONSTRUCTION MANAGER AND SUBMITTED VIA THE SWPPP MANAGEMENT TOOL.
  12. STABILIZE SITE AND INSTALL ALL FENCES CONCURRENTLY.

NOTE: THE GENERAL CONTRACTOR MAY COMPLETE CONSTRUCTION-RELATED ACTIVITIES CONCURRENTLY ONLY IF ALL PRECEDING BMPs HAVE BEEN COMPLETELY INSTALLED.



PROJECT STAFF	ISSUE	REVISIONS	DATE
PROJECT MANAGER: W. HERRERA, P.E.	A	PRELIMINARY PLANS	8-15-25
ENGINEER:	B	PRELIMINARY PLANS REVISED SITE PLAN	9-5-25
ENGINEER:	C	PRELIMINARY PLANS REVISED SITE PLAN	11-10-25
TECHNICAL:	D	PRELIMINARY PLANS REVISED PER PACKAGE COMMENTS	1-7-26

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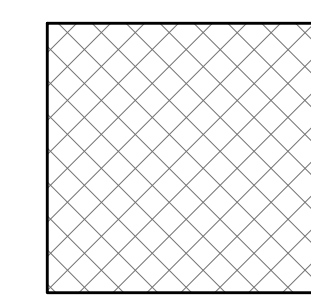
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PHASE - I - SOIL EROSION & SEDIMENTATION  
 CONTROL PLAN

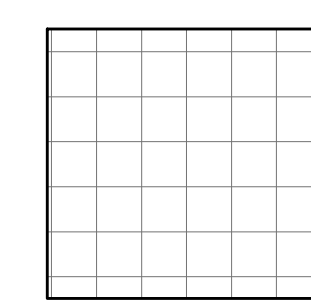
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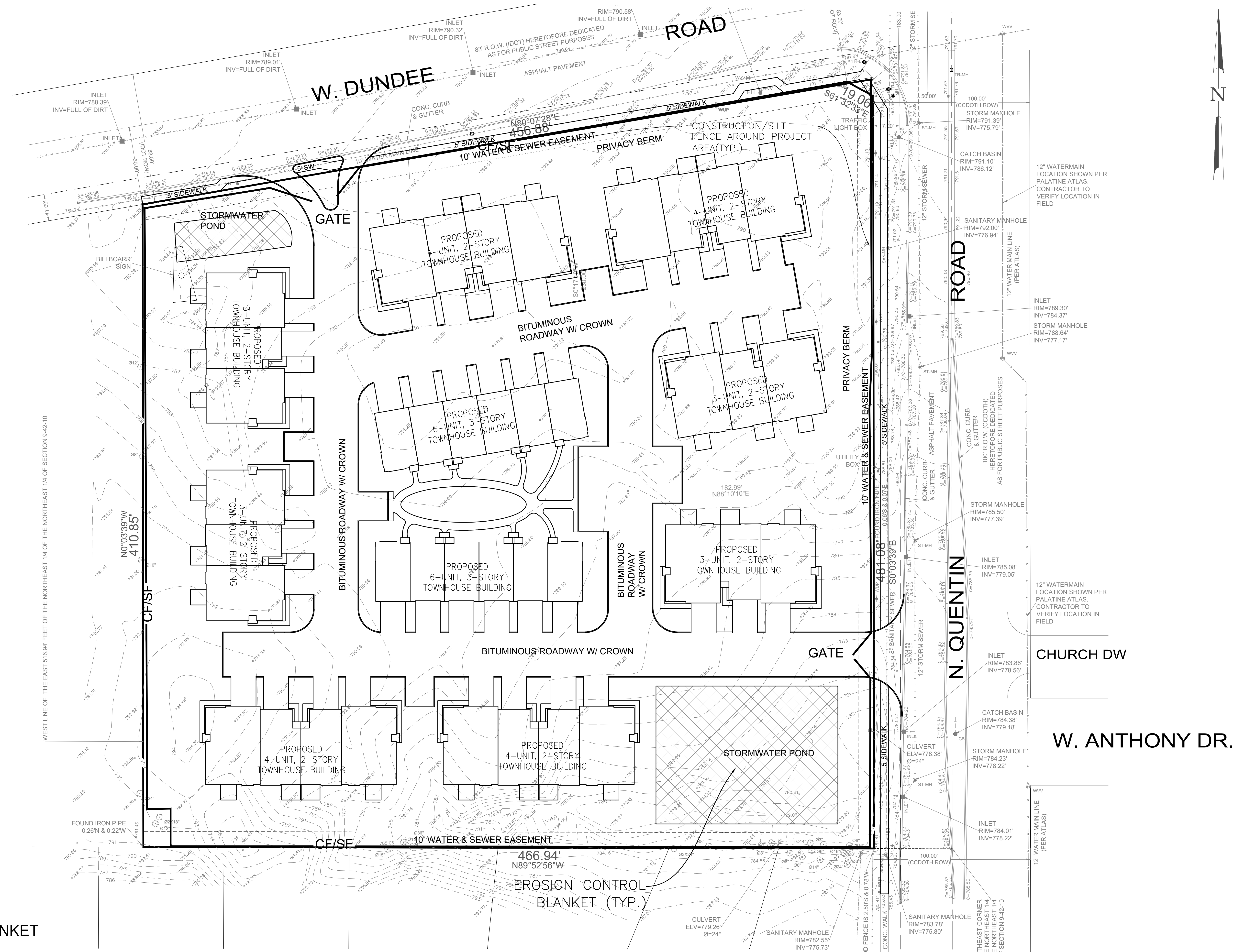
PROJECT NO.: 250065  
 BASE FILE:  
 SHEET FILE:  
 ISSUE DATE: AUG 12, 2025  
 SCALE: 1"=40'-0"  
 SHEET NUMBER  
**4**



EROSION CONTROL BLANKET



FILTER BASKET



DATE	REVISIONS
8-15-25	PRELIMINARY PLANS
9-2-25	PRELIMINARY PLANS REVISED SITE PLAN
11-15-25	PRELIMINARY PLANS REVISED SITE PLAN
1-7-26	PRELIMINARY PLANS REVISED PER VILLAGE COMMENTS

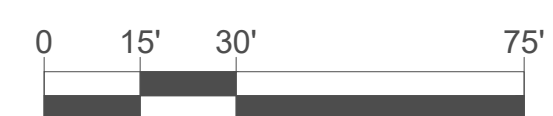
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**CIVIL ENGINEERS**  
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 4254 MERIDIAN PKWY., STE 116  
 1018 BUSSE HIGHWAY  
 847-923-3000  
 bono@bonoconsulting.com  
 10200270202

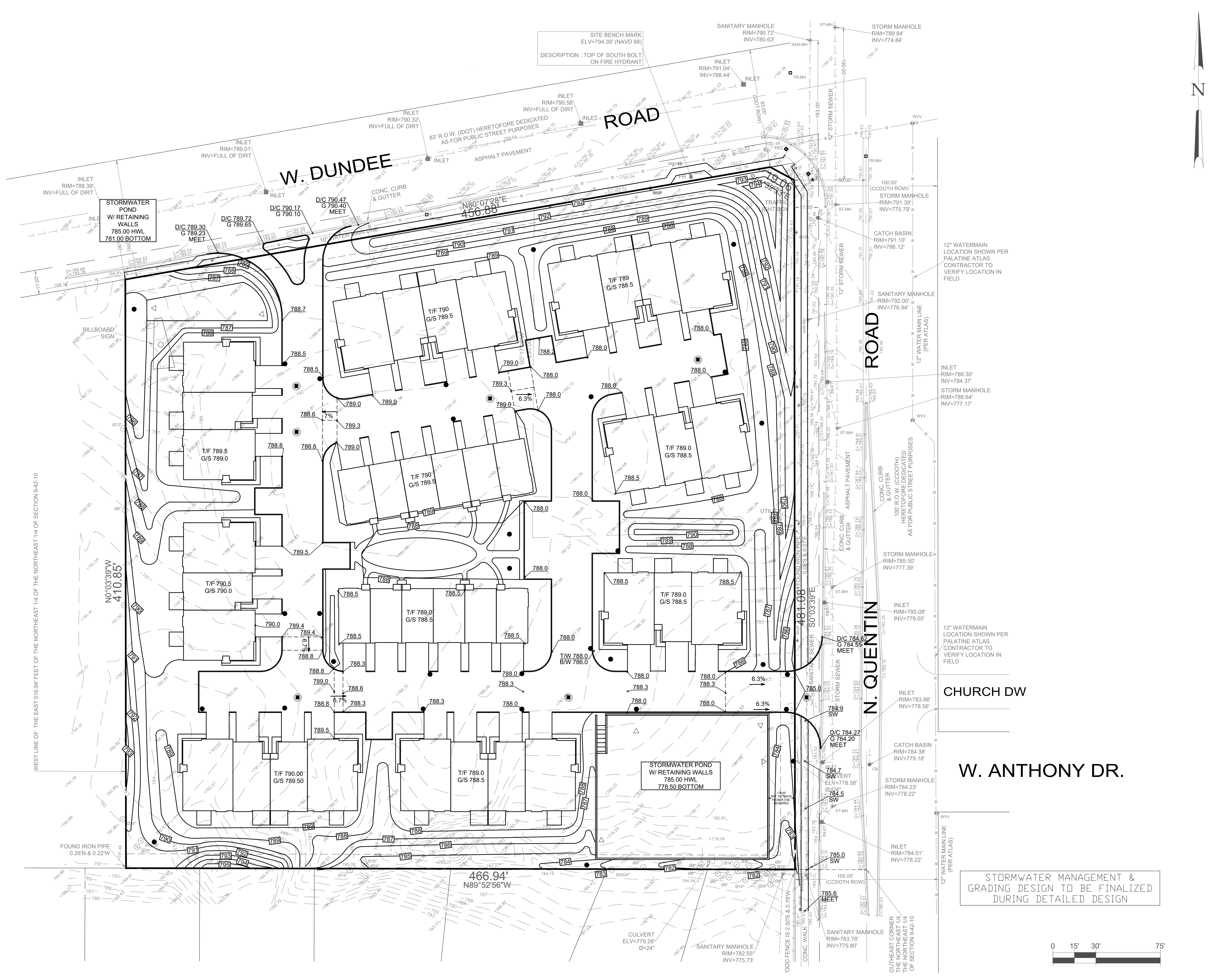
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 www.seveeandmaher.com

**PHASE II - SOIL EROSION & SEDIMENTATION CONTROL PLAN**

PROJECT NO.: 250965  
 BASE FILE:  
 SHEET FILE:  
 ISSUE DATE: AUG 12, 2025  
 SCALE: 1"=30'-0"  
 SHEET NUMBER

**5**





DATE	REVISIONS
11/15/24	PRELIMINARY PLANS
9/25/24	PRELIMINARY PLANS REVISED SITE PLAN
11/15/24	PRELIMINARY PLANS REVISED SITE PLAN
1/7/25	PRELIMINARY PLANS REVISED PER VALU COMMENTS

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**CIVIL ENGINEERS**

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 424 MERIDIAN PKWY, STE 116  
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 PALATINE, ILLINOIS 60068  
 847-523-3000  
 bono@bonoconsulting.com  
 1/2025/2025

**SME**  
**SEVE & MAHER**  
**ENGINEERS**

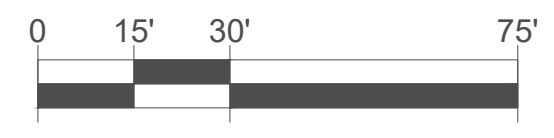
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 Phone 207-829-5016 • Fax 207-829-3692 • sme-engineers.com

**PROPOSED GRADING & DRAINAGE PLAN**  
**OVERALL SITE**

855 DUNDEE RD, PALATINE, IL 60074

PROJECT NO.:	250965
BASE FILE:	
SHEET FILE:	
ISSUE DATE:	AUG 12, 2025
SCALE:	1"=30'-0"
SHEET NUMBER	<b>7</b>

STORMWATER MANAGEMENT & GRADING DESIGN TO BE FINALIZED DURING DETAILED DESIGN



**NOMOGRAPH: BULLETIN 75 RAINFALL DATA**

PROJECT: **Townhouse Development - Dundee & Quentin** PERMIT NUMBER: \_\_\_\_\_

LOCATION: **SW Corner of Dundee & Quentin, Palatine** DATE: **11.10.25**

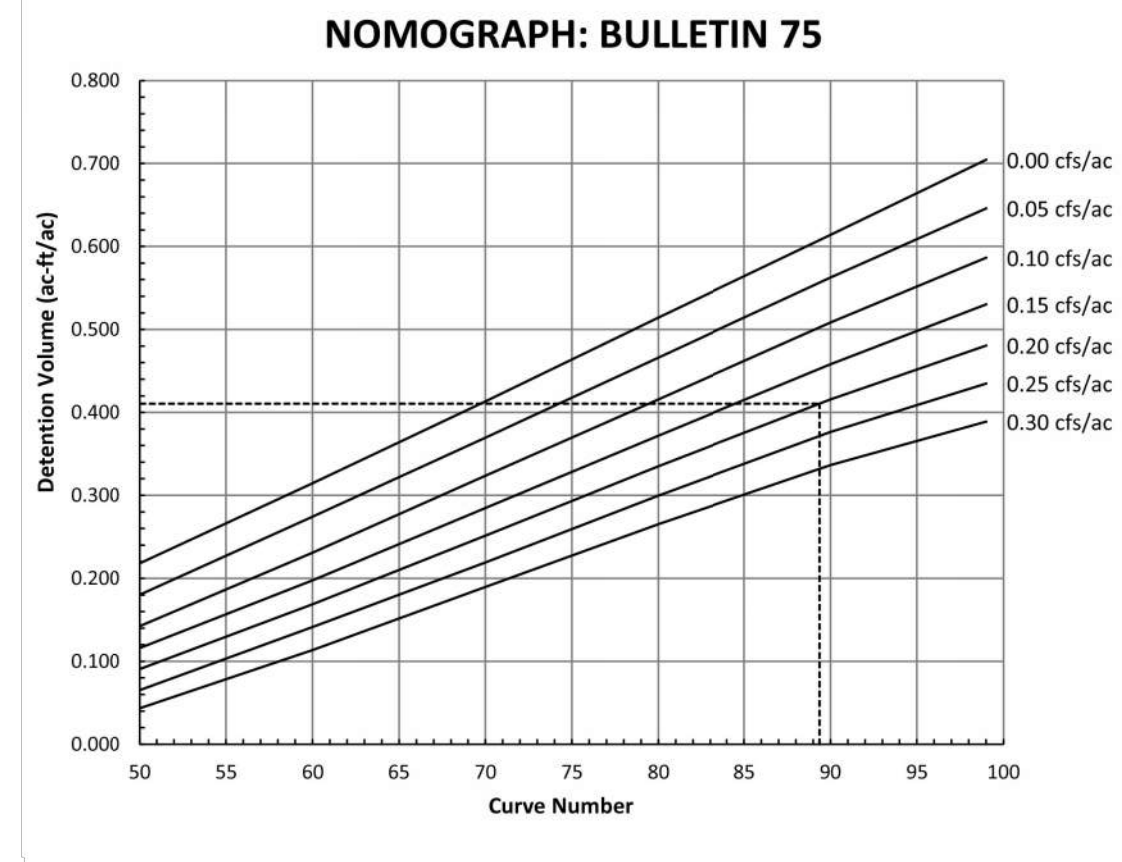
**DEVELOPMENT INFORMATION**

1. Detained Area	4.843	acres
2. Curve Number	89.37	
3. Actual Release Rate	0.969	dfs

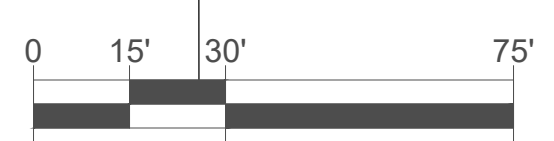
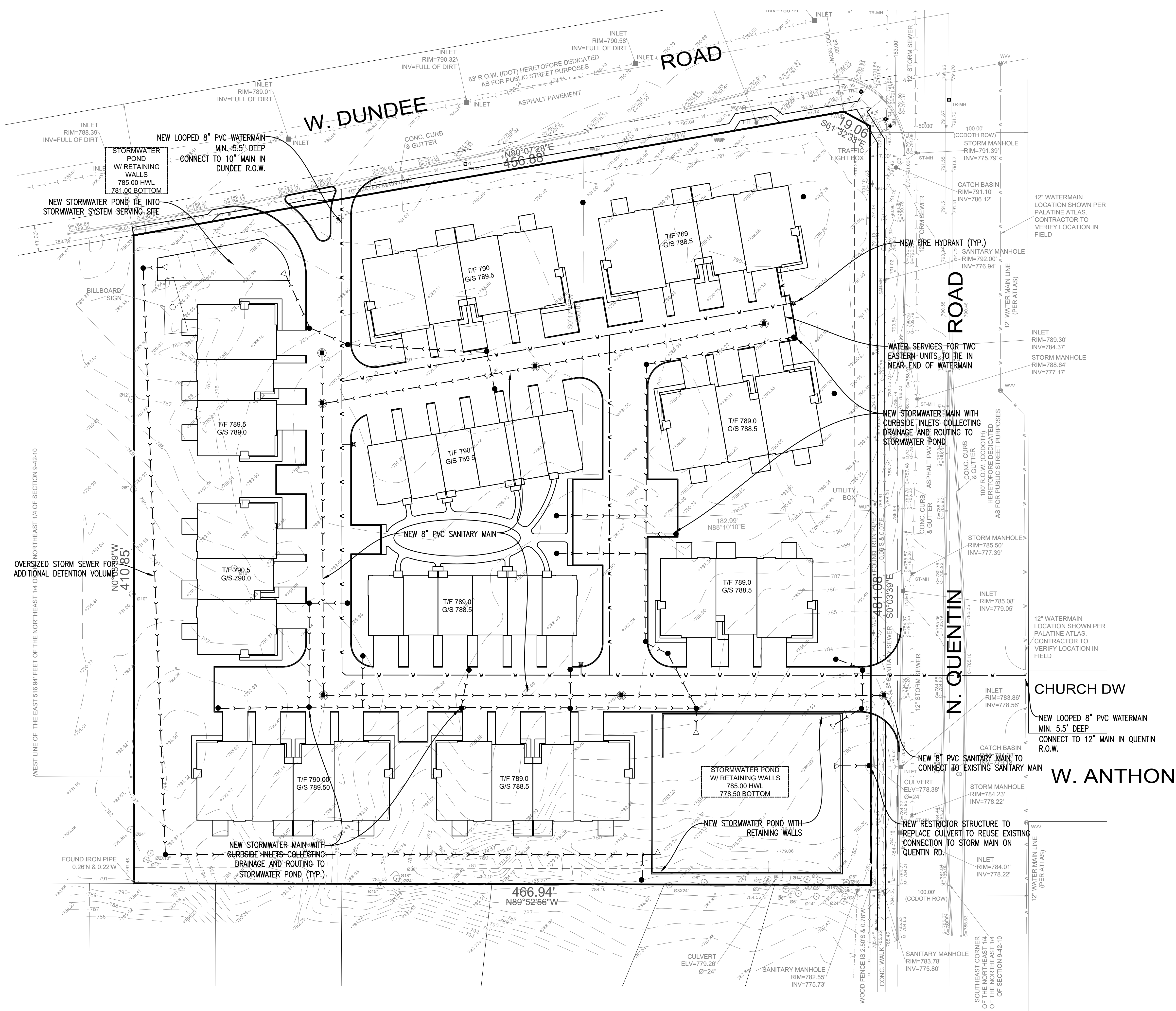
**REQUIRED DETENTION VOLUME**

4. Required Detention Volume	1.988	ac-ft
------------------------------	-------	-------

**NOMOGRAPH**



4/7/2022



PROJECT STAFF	ISSUE	REVISIONS	DATE
PROJECT MANAGER: W. HEBBURN, P.E.	A	PRELIMINARY PLANS	8-15-24
ENGINEER: _____	B	PRELIMINARY PLANS REVISED SITE PLAN	9-5-24
ENGINEER: _____	C	PRELIMINARY PLANS REVISED SITE PLAN	11-15-24
TECHNICIAN: _____	D	PRELIMINARY PLANS REVISED PER ILLINOIS COMMENTS	1-7-25

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**BONO CONSULTING**  
**CIVIL ENGINEERS**

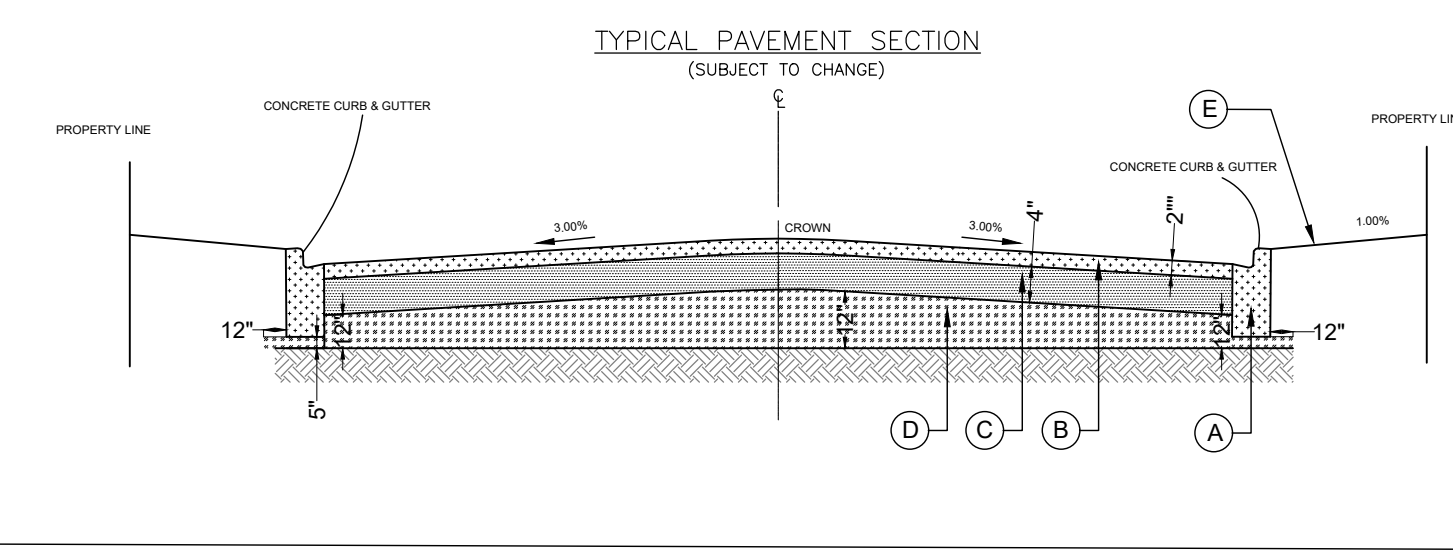
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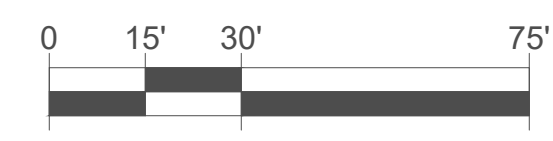
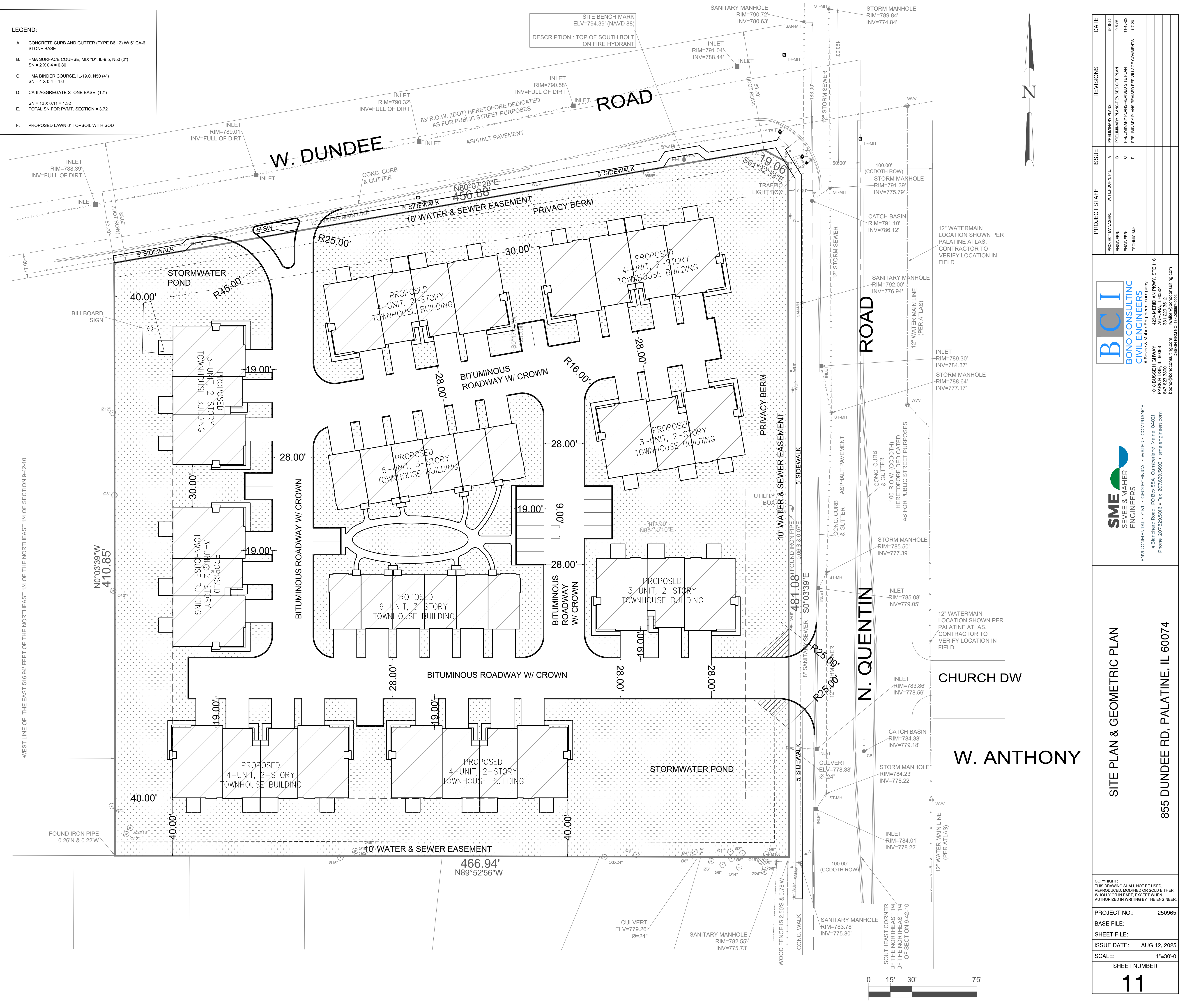
**PROPOSED UTILITY PLAN**  
**OVERALL SITE**

855 DUNDEE RD, PALATINE, IL 60074

PROJECT NO.:	250965
BASE FILE:	
SHEET FILE:	
ISSUE DATE:	AUG 12, 2025
SCALE:	1"=30'-0"
SHEET NUMBER	<b>8</b>



- LEGEND:**
- A. CONCRETE CURB AND GUTTER (TYPE B6.12) W/ 5\"/>
  - B. HMA SURFACE COURSE, MIX \"D\", IL-9.5, N50 (2\") SN = 2 X 0.4 = 0.80
  - C. HMA BINDER COURSE, IL-19.0, N50 (4\") SN = 4 X 0.4 = 1.6
  - D. CA-6 AGGREGATE STONE BASE (12\") SN = 12 X 0.11 = 1.32
  - E. TOTAL SN FOR PAVT. SECTION = 3.72
  - F. PROPOSED LAWN 6\"/>



PROJECT STAFF	ISSUE	REVISIONS	DATE
PROJECT MANAGER: W. HERRERA, P.E.	A	PRELIMINARY PLANS	8/15/25
ENGINEER: A. SEVEE & MAHER	B	PRELIMINARY PLANS REVISED SITE PLAN	9/2/25
ENGINEER: A. SEVEE & MAHER	C	PRELIMINARY PLANS REVISED SITE PLAN	11/15/25
TECHNICIAN: A. SEVEE & MAHER	D	PRELIMINARY PLANS REVISED PER VALU COMMENTS	1/7/26

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 LICENSE # 002-00000000

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 Phone: 207-829-5016 • Fax: 207-829-5952 • ssm@sevee.com

**SITE PLAN & GEOMETRIC PLAN**

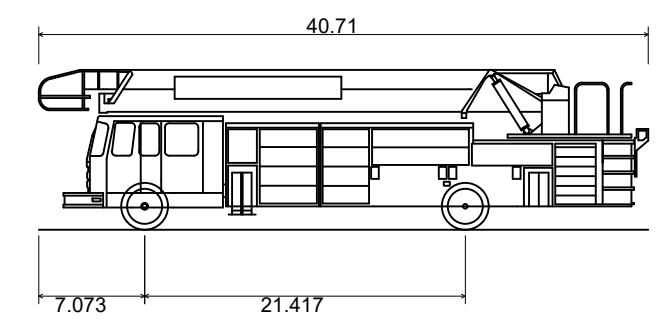
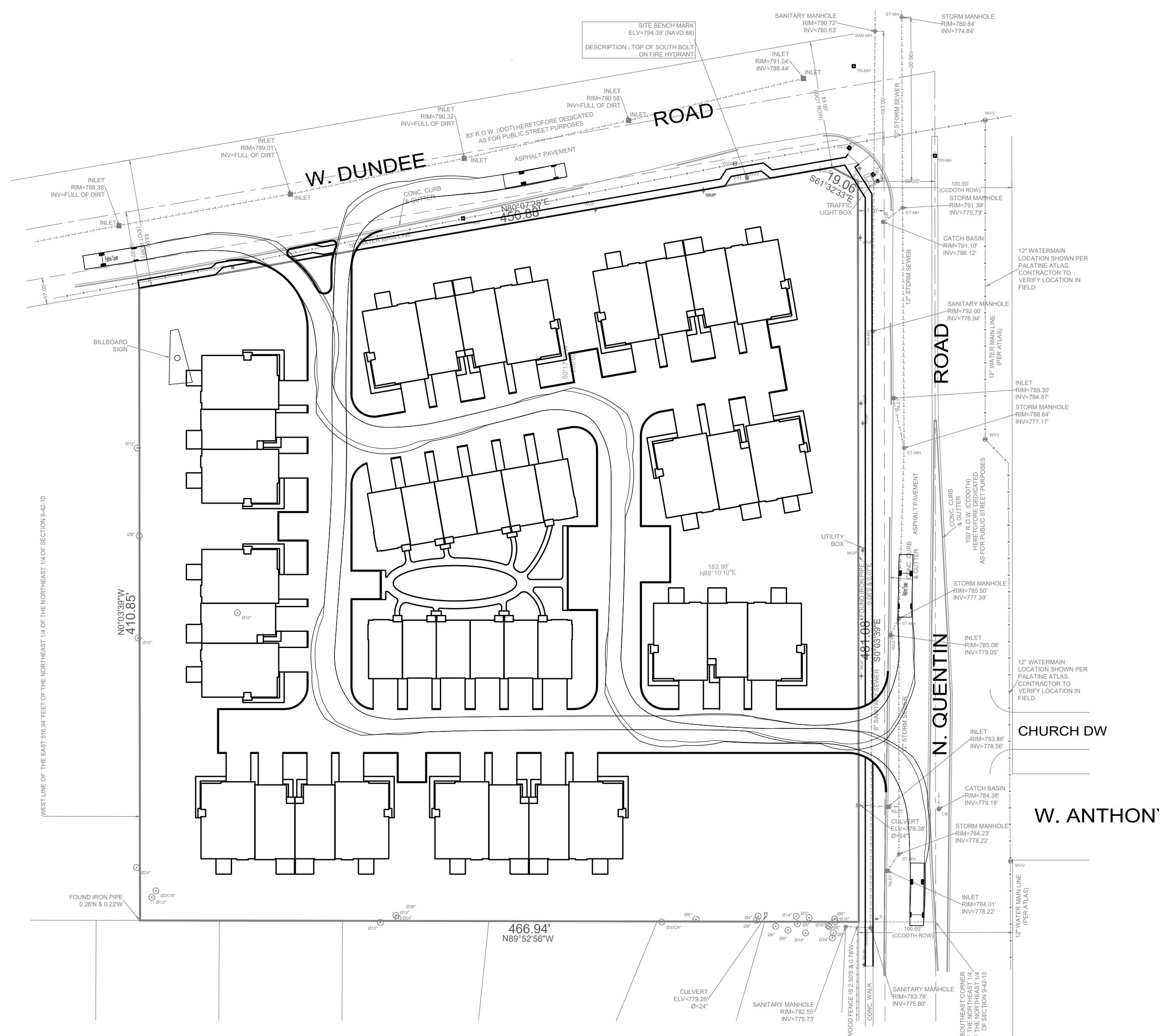
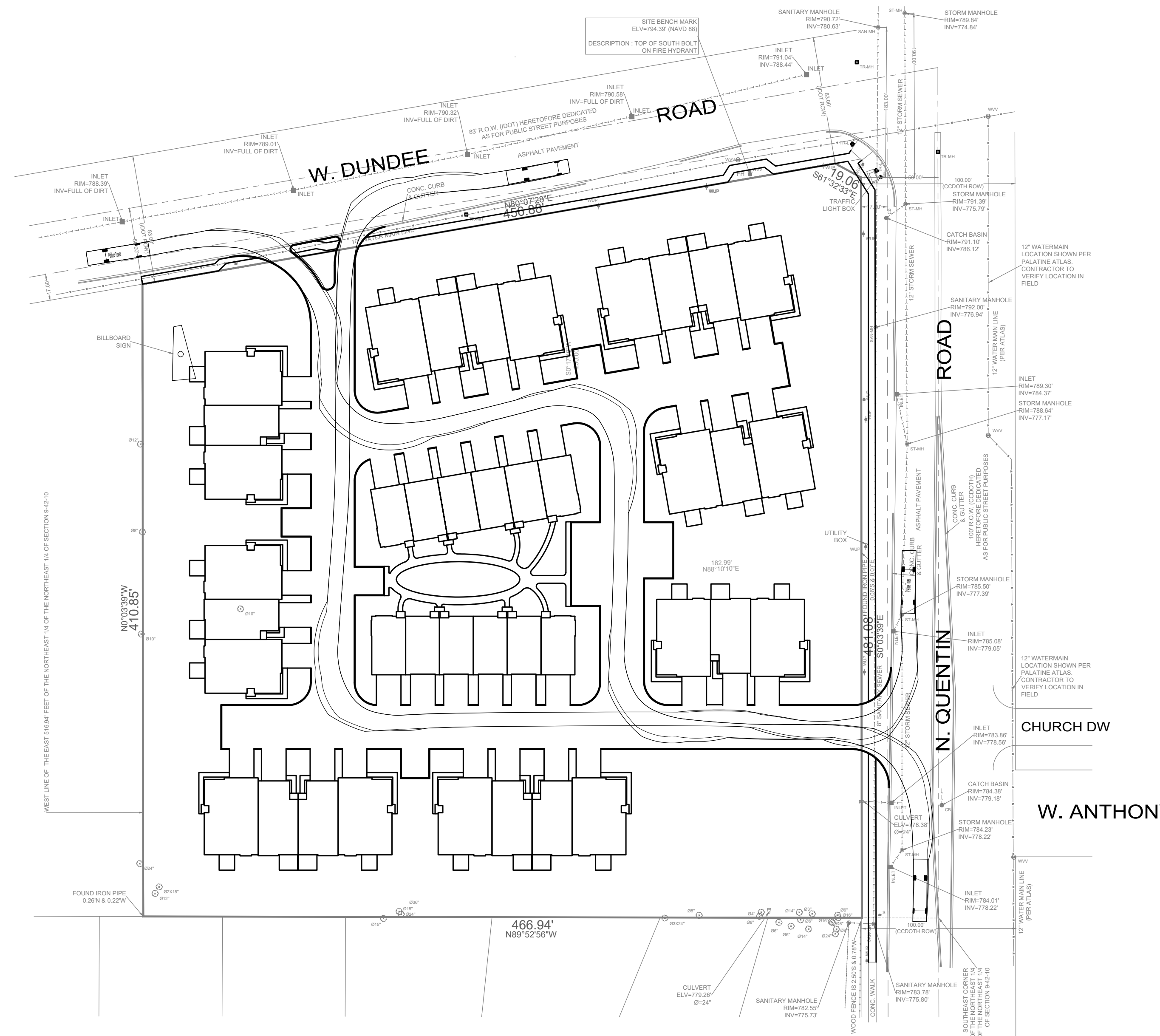
855 DUNDEE RD, PALATINE, IL 60074

PROJECT NO.: 250965  
 BASE FILE:  
 SHEET FILE:  
 ISSUE DATE: AUG 12, 2025  
 SCALE: 1"=30'-0"  
 SHEET NUMBER: **11**

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FIRE TRUCK TURNING EXHIBIT - ENTERING FROM DUNDEE

FIRE TRUCK TURNING EXHIBIT - ENTERING FROM QUENTIN



Paltine Tower  
 Overall Length 40.710ft  
 Overall Width 8.930ft  
 Overall Body Height 10.685ft  
 Min Body Ground Clearance 1.025ft  
 Track Width 8.930ft  
 Lock-to-lock time 6.00s  
 Max Wheel Angle 50.00°

DATE	REVISIONS
8/12/24	PRELIMINARY PLANS
9/5/24	PRELIMINARY PLANS REVISED SITE PLAN
11/12/24	PRELIMINARY PLANS REVISED SITE PLAN
1/7/25	PRELIMINARY PLANS REVISED PER VILLAGE COMMENTS

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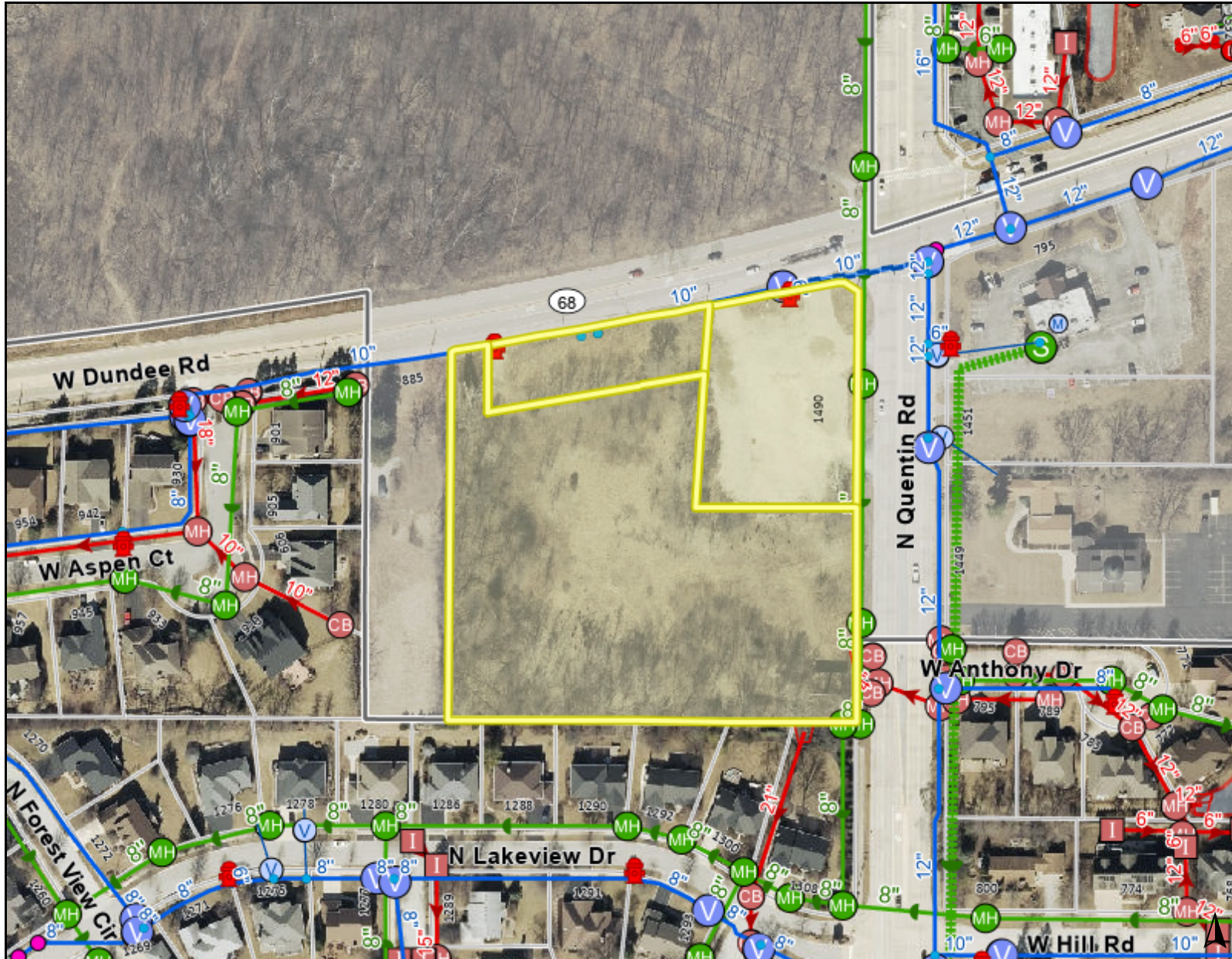
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**AUTOTURN EXHIBITS**

855 DUNDEE RD, PALATINE, IL 60074

PROJECT NO.:	250965
BASE FILE:	
SHEET FILE:	20
ISSUE DATE:	AUG 12, 2025
SCALE:	1"=20'-0"
SHEET NUMBER	12

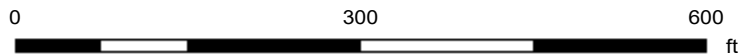
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**Legend**

myGIS Layers

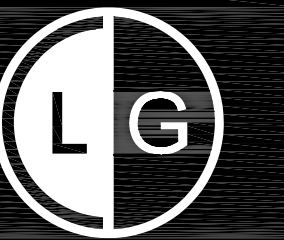
- Hydrant
- Water Fitting
- Water Valve Open
- Water Service Valve Open
- Water Meter
- Water Main Break
- Water Casing
- Water Lateral Active
- Water Main Active
- Sanitary Manhole
- Sanitary Cleanout
- Sanitary Sewer Structure Sewage
- Sanitary Lateral Active
- Sanitary Main Active
- Sanitary Force Main Active



Print Date: 2/5/2026

**Notes**

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PROPOSED  
**PALATINE TOWNHOMES**  
N Quentin Rd and W Dundee Rd, Palatine, Illinois



SITE DATA BASED ON EXISTING R-3 MULTI-FAMILY ZONING DISTRICT

REQUIRED	PROPOSED	CODE REQUIRED
TOTAL LAND AREA	210,941 SF 4.84 AC	5,000 SF PER DU
UNIT COUNT	40	
DENSITY	8.26 DU/AC	
YARDS		
FRONT SIDE	30'-0"	30 FEET
SIDE	40'-0"	25 FEET FOR CORNER LOTS
REAR	40'-0"	6'-0" ONE SIDE 16' TOTAL FOR INT. LOTS
FAR	51 IMPERVIOUS	40 FEET MIN
BUILDING HEIGHT	± 21'-8"	50 FEET MAX OR 4 STORIES
PARKING	176 SPACES 4.40 CARS/UNIT	2.25 PER UNIT W/GARAGE



1  
S-1.0

**PROPOSED SITE PLAN**

0 15' 30' 60'

SCALE: 1" = 30'-0"

\\US-MQ\project\lin\2025-0112\Drawings\Plan\Construction\Drawings\2025-0112\_S-1.0.dwg - 2025/02/27/14:11:12 - 2025/02/27/14:11:12 - 2025/02/27/14:11:12 - 2025/02/27/14:11:12 - 2025/02/27/14:11:12 - 2025/02/27/14:11:12 - 2025/02/27/14:11:12 - 2025/02/27/14:11:12 - 2025/02/27/14:11:12 - 2025/02/27/14:11:12

DATE 10-16-2025  
DRAWN PS  
DESCRIPTION ZONING REVIEW

2025-0112

PROJECT NUMBER

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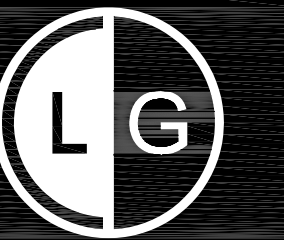
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PROPOSED  
**PALATINE TOWNHOMES**  
N Quentin Rd and W Dundee Rd, Palatine, Illinois



2-STORY  
PROPOSED FRONT ELEVATION - 4-UNIT BUILDING  
SCALE: 3/16" = 1'-0"



2-STORY  
PROPOSED REAR ELEVATION - 4-UNIT BUILDING  
SCALE: 3/16" = 1'-0"

DATE 10-16-2025 PS  
DRAWN PS  
DESCRIPTION ZONING REVIEW  
REVISIONS REVISED SITE

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PROPOSED  
2 STORY  
4 UNIT  
ELEVATIONS

SHEET NAME

**A-1.0**

SHEET



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PROPOSED  
**PALATINE TOWNHOMES**  
N Quentin Rd and W Dundee Rd, Palatine, Illinois



**2-STORY  
PROPOSED FRONT ELEVATION - 3-UNIT BUILDING**

SCALE: 3/16" = 1'-0"



**2-STORY  
PROPOSED REAR ELEVATION - 3-UNIT BUILDING**

SCALE: 3/16" = 1'-0"

\\US-MQ\project\_files\2025\2025-0112\Drawings\Architectural\COMBOS\2025-0112\_2-Story Unit and Building Elevation - 20251111.dwg, 1/20/2025 11:08 AM, R5201, K-1.1

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DESCRIPTION: ZONING REVIEW  
REVISOR: PS  
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PROPOSED  
2 STORY  
3-UNIT  
ELEVATIONS

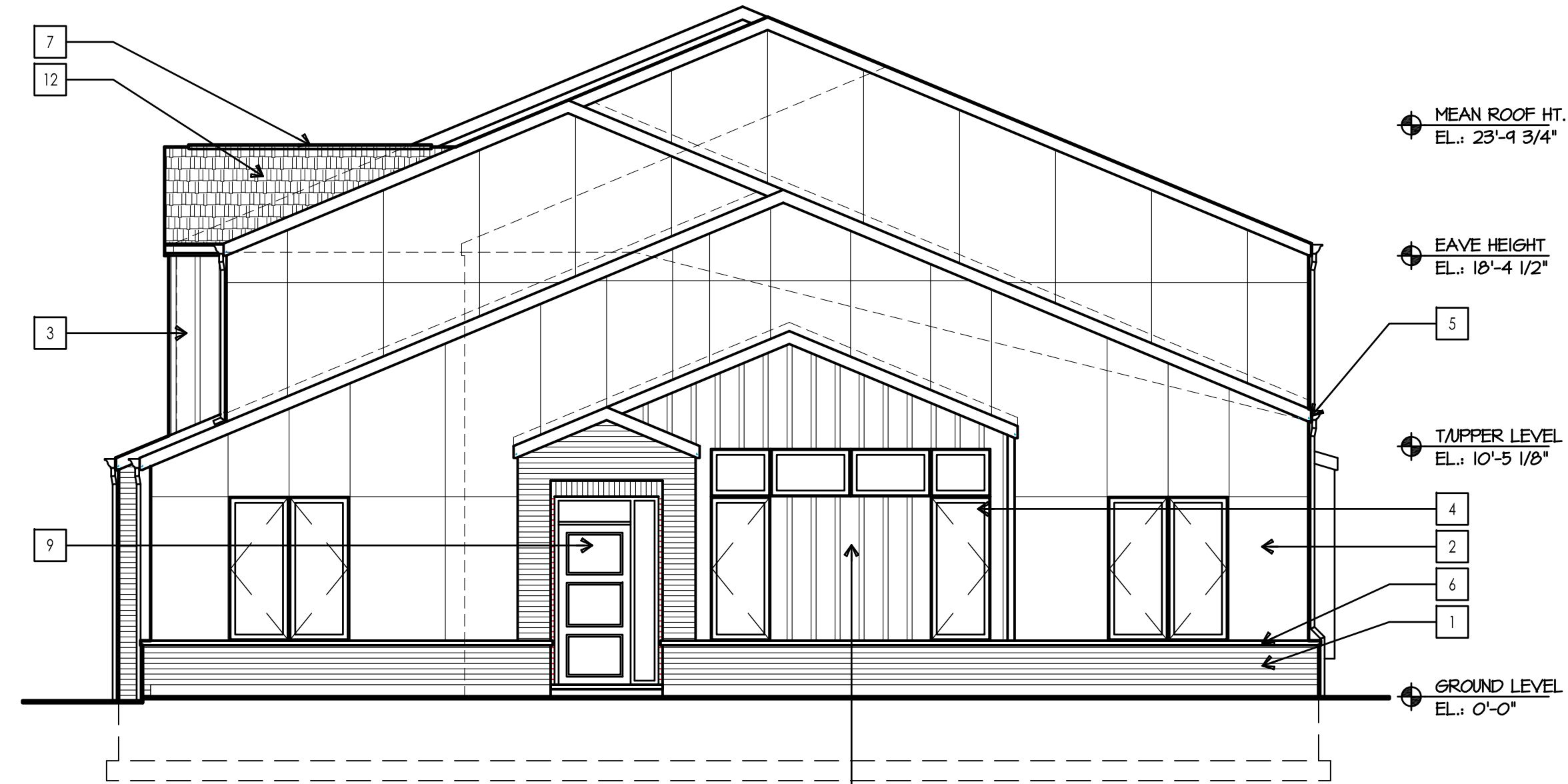
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**A-1.1**

SHEET

**ELEVATION KEY NOTES**

- 1 FACEBRICK
- 2 JAMES HARDIE REVEAL PANEL CLADDING
- 3 JAMES HARDIE BOARD & BATTEN CLADDING
- 4 VINYL WINDOWS
- 5 PRE-FINISHED ALUMINUM GUTTER ON 1x6 ALUMINUM WRAPPED FASCIA
- 6 2-1/4" C.S. SILL
- 7 RIDGE VENT
- 8 PRE-FINISHED METAL CANOPY WITH SUPPORT STRUTS
- 9 INSULATED ENTRY DOOR WITH TRANSOM
- 10 PREFINISHED INSULATED OVERHEAD DOOR
- 11 WALL-MOUNTED LIGHT FIXTURE
- 12 ASPHALT ARCHITECTURAL SHINGLES
- 13 PRE-FINISHED METAL GUARDRAIL SYSTEM



**2-STORY  
PROPOSED SIDE ELEVATION UNIT A**  
SCALE: 3/16" = 1'-0"



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**PROPOSED**  
**PALATINE TOWNHOMES**  
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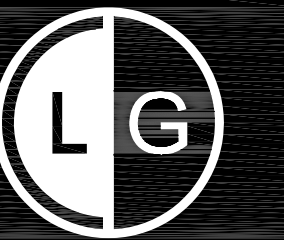
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10-27-2025	PS REVISED SITE

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**10-27-2025**  
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**PROPOSED**  
**2 STORY**  
**SIDE ELEVATION**

SHEET NAME  
**A-1.2**  
SHEET



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PROPOSED  
**PALATINE TOWNHOMES**  
N Quentin Rd and W Dundee Rd, Palatine, Illinois



**3 STORY  
PROPOSED FRONT ELEVATION - 6-UNIT BUILDING**

3/16" = 1'-0"



**3 STORY  
PROPOSED REAR ELEVATION - 6-UNIT BUILDING**

3/16" = 1'-0"

\\US-MQ\project\Rev\2025\2025-0112\Drawings\Architectural\2025-0112\_3-Story Unit and Building Division - 20251111.dwg 11/11/2025 10:08 PM P50701 A-1.3  
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10-27-2025 PS

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SF REVISED SITE

2025-0112  
PROJECT NUMBER  
10-27-2025  
DATE  
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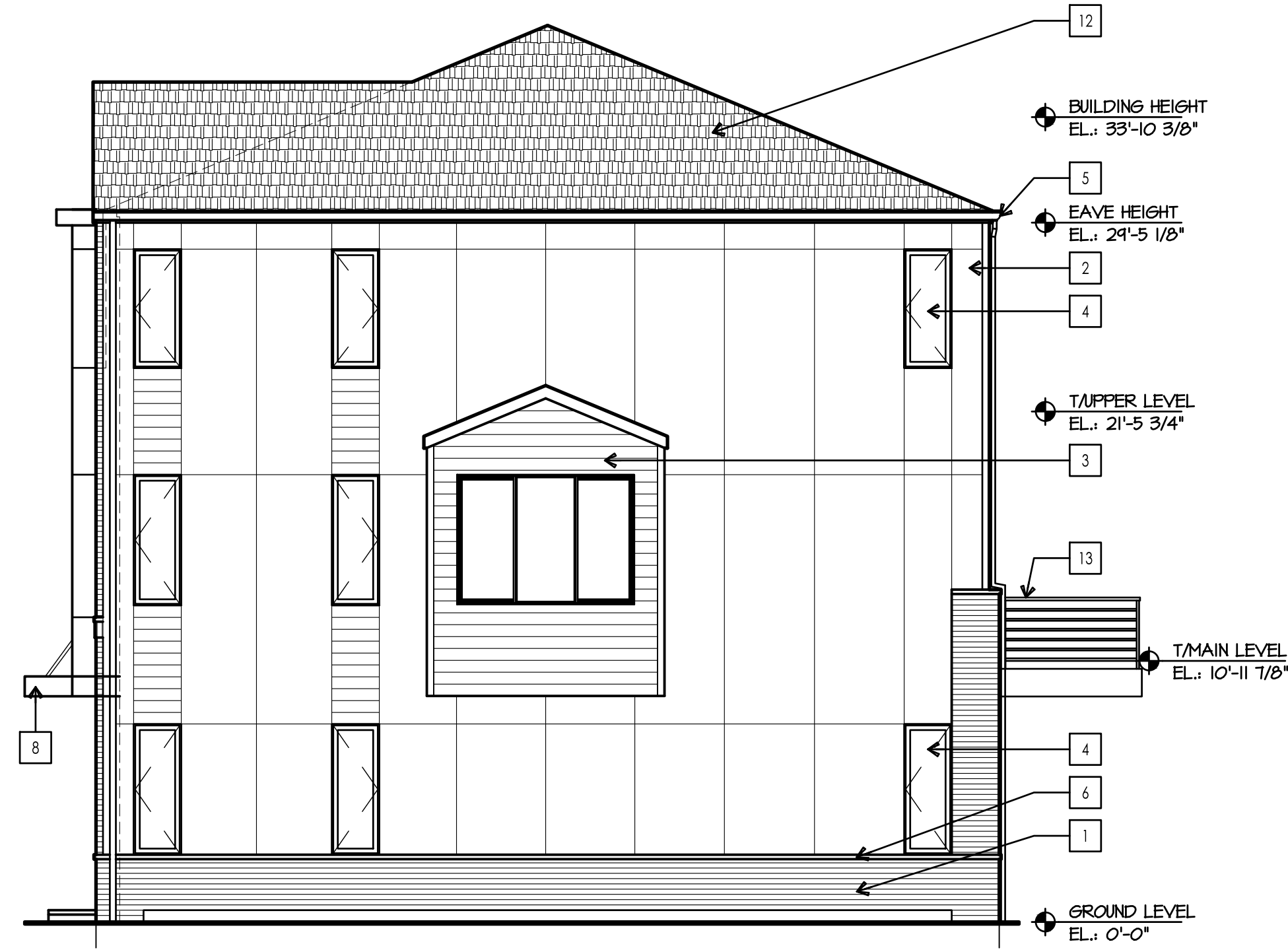
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PROPOSED  
3 STORY  
6 UNIT  
ELEVATIONS

SHEET NAME  
**A-1.3**  
SHEET

**ELEVATION KEY NOTES**

- 1 FACEBRICK
- 2 JAMES HARDIE REVEAL PANEL CLADDING
- 3 JAMES HARDIE BOARD & BATTEN CLADDING
- 4 VINYL WINDOWS
- 5 PRE-FINISHED ALUMINUM GUTTER ON 1x6 ALUMINUM WRAPPED FASCIA
- 6 2-1/4" C.S. SILL
- 7 RIDGE VENT
- 8 PRE-FINISHED METAL CANOPY WITH SUPPORT STRUTS
- 9 INSULATED ENTRY DOOR WITH TRANSOM
- 10 PREFINISHED INSULATED OVERHEAD DOOR
- 11 WALL-MOUNTED LIGHT FIXTURE
- 12 ASPHALT ARCHITECTURAL SHINGLES
- 13 PRE-FINISHED METAL GUARDRAIL SYSTEM



**3-STORY  
PROPOSED SIDE ELEVATION UNIT D**

SCALE: 3/16" = 1'-0"



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**PALATINE TOWNHOMES**  
N Quentin Rd and W Dundee Rd, Palatine, Illinois

DATE 10-16-2025 PS  
DRAWN 10-27-2025 PS  
DESCRIPTION ZONING REVIEW  
REVISED SITE

**2025-0112**

PROJECT NUMBER

**10-27-2025**

DATE

**PS/KK**

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**SF**

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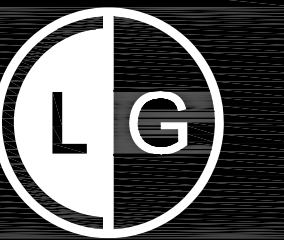
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**PROPOSED  
3 STORY  
SIDE ELEVATION**

SHEET NAME

**A-1.4**

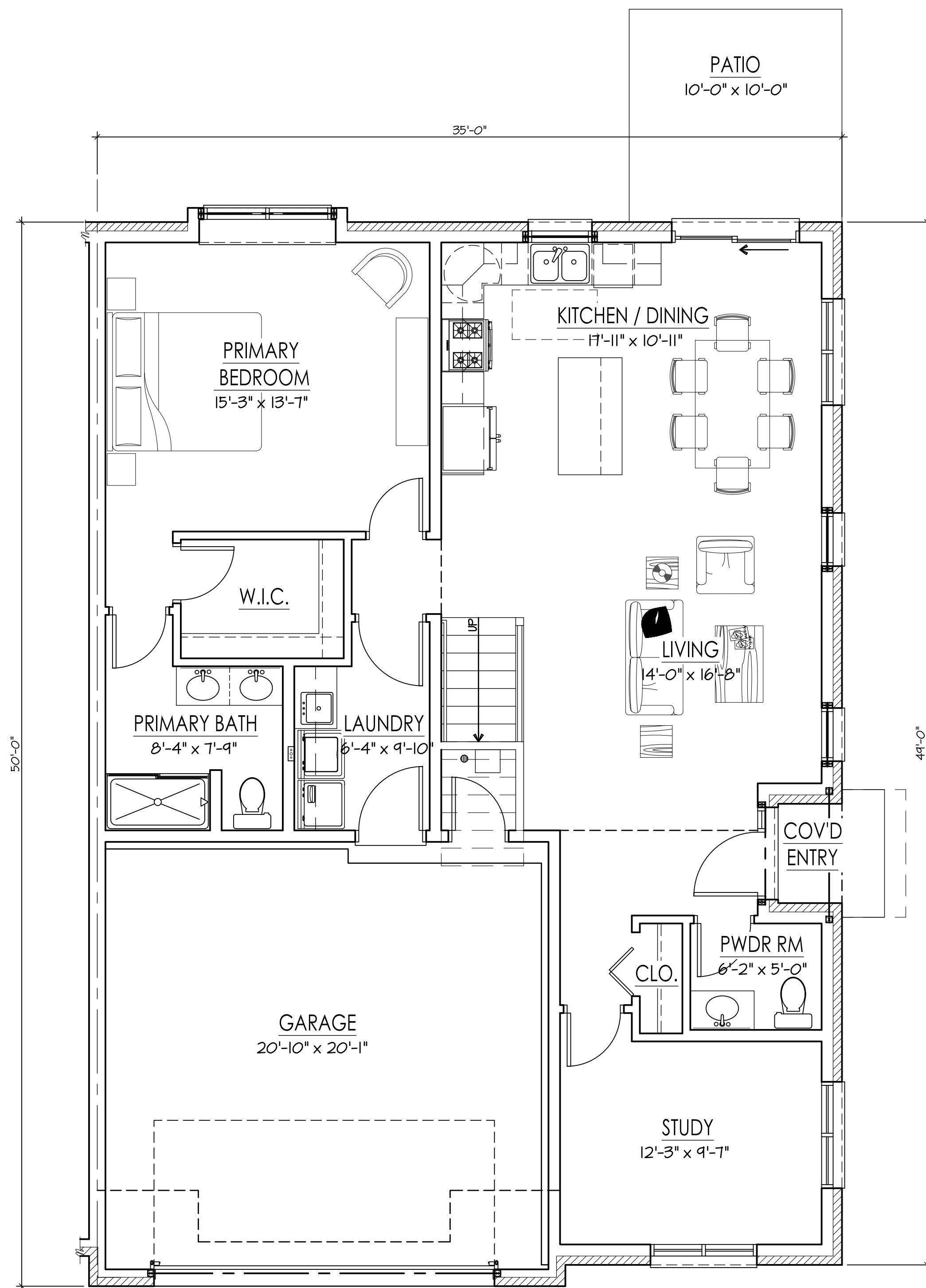
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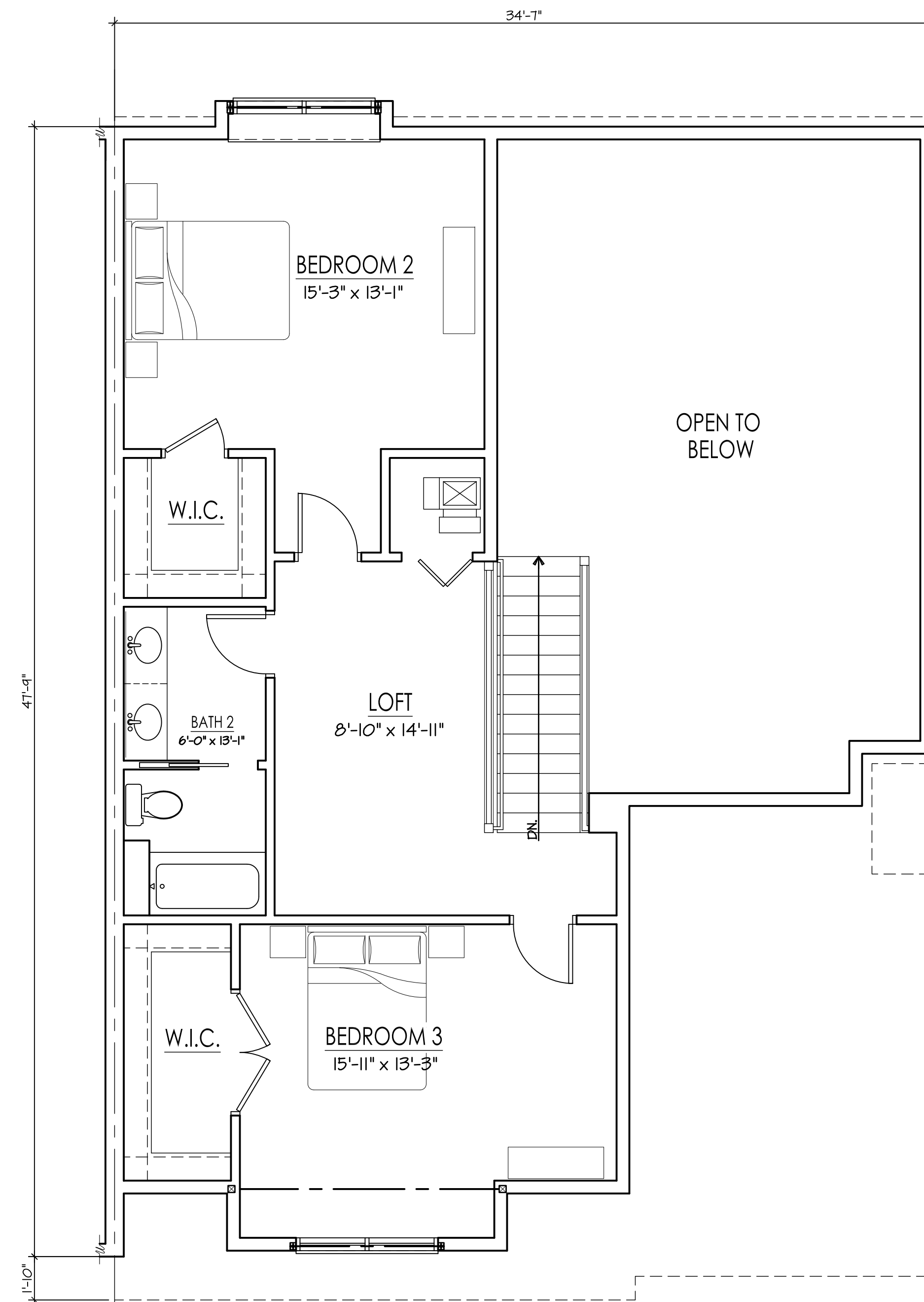
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PROPOSED  
**PALATINE TOWNHOMES**  
N Quentin Rd and W Dundee Rd, Palatine, Illinois



**UNIT - A  
FIRST FLOOR PLAN**

1/4" = 1'-0" 1,584 SF



**UNIT - A  
SECOND FLOOR PLAN**

1/4" = 1'-0" 840 SF

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DATE 10-16-2025 PS  
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110-207-200265

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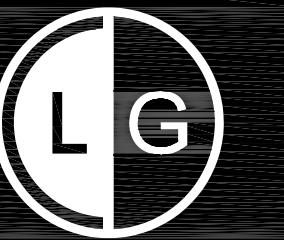
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UNIT A  
FLOOR PLANS

SHEET NAME

**A-3A**

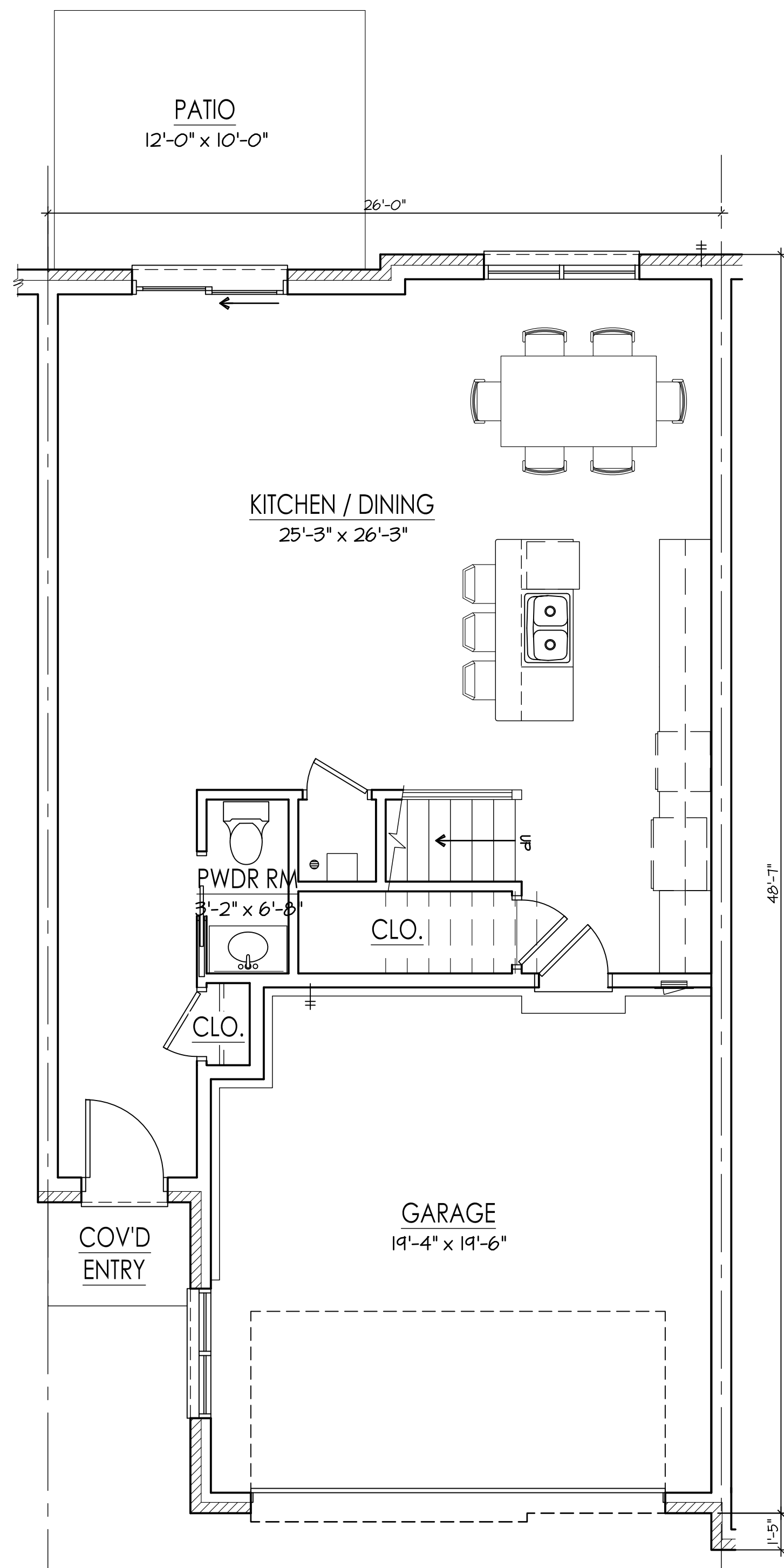
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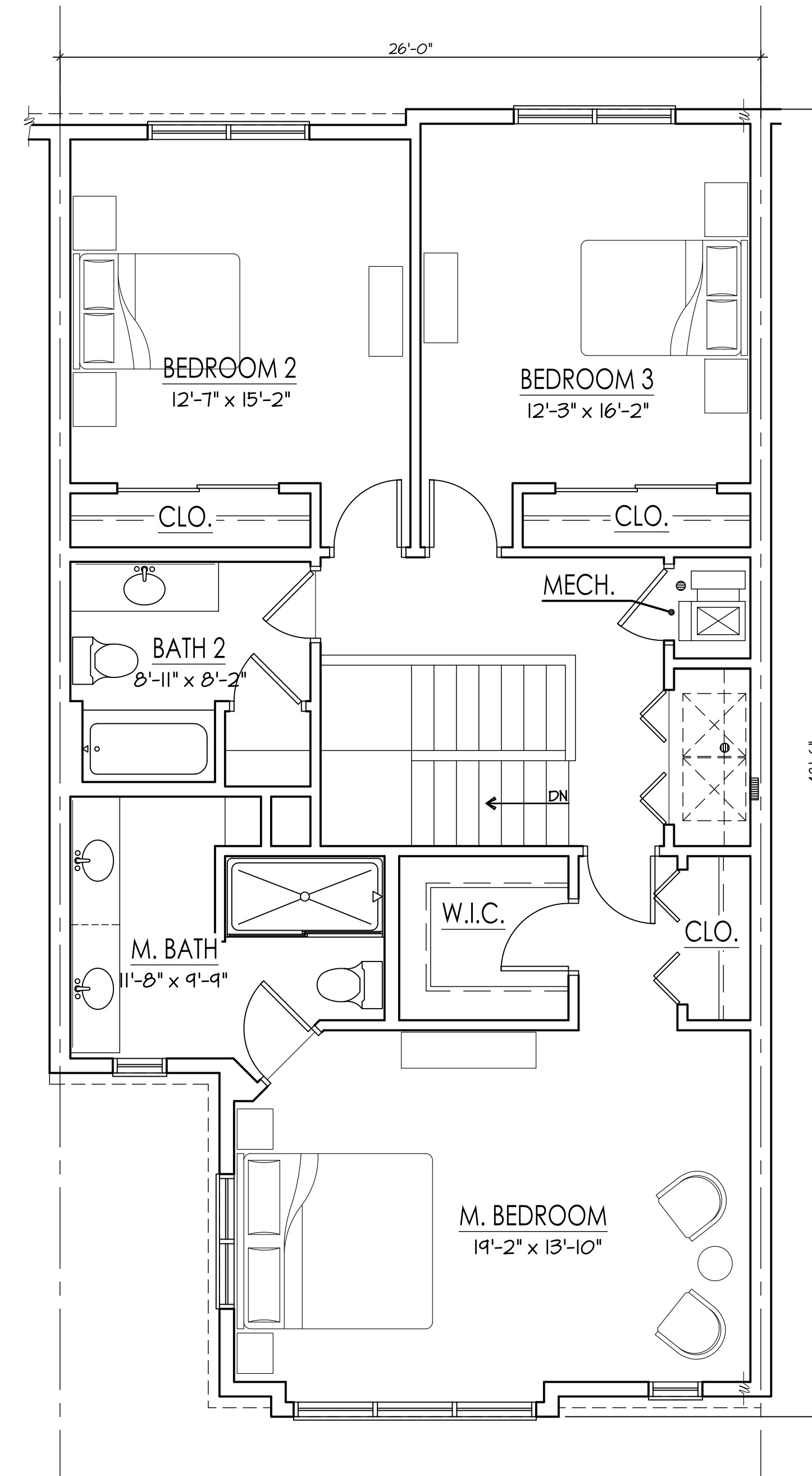
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PROPOSED  
**PALATINE TOWNHOMES**  
N Quentin Rd and W Dundee Rd, Palatine, Illinois



**UNIT B-FIRST FLOOR PLAN**

1/4" = 1'-0" 1/02 SF



**UNIT B-SECOND FLOOR PLAN**

1/4" = 1'-0" 1/04 SF

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DATE DRAWN DESCRIPTION

2025-0112

PROJECT NUMBER

8-22-2025

DATE

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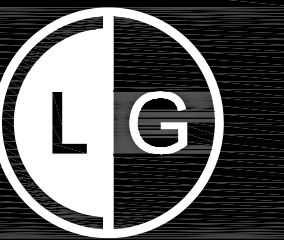
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UNIT B  
FLOOR PLANS

SHEET NAME

**A-3B**

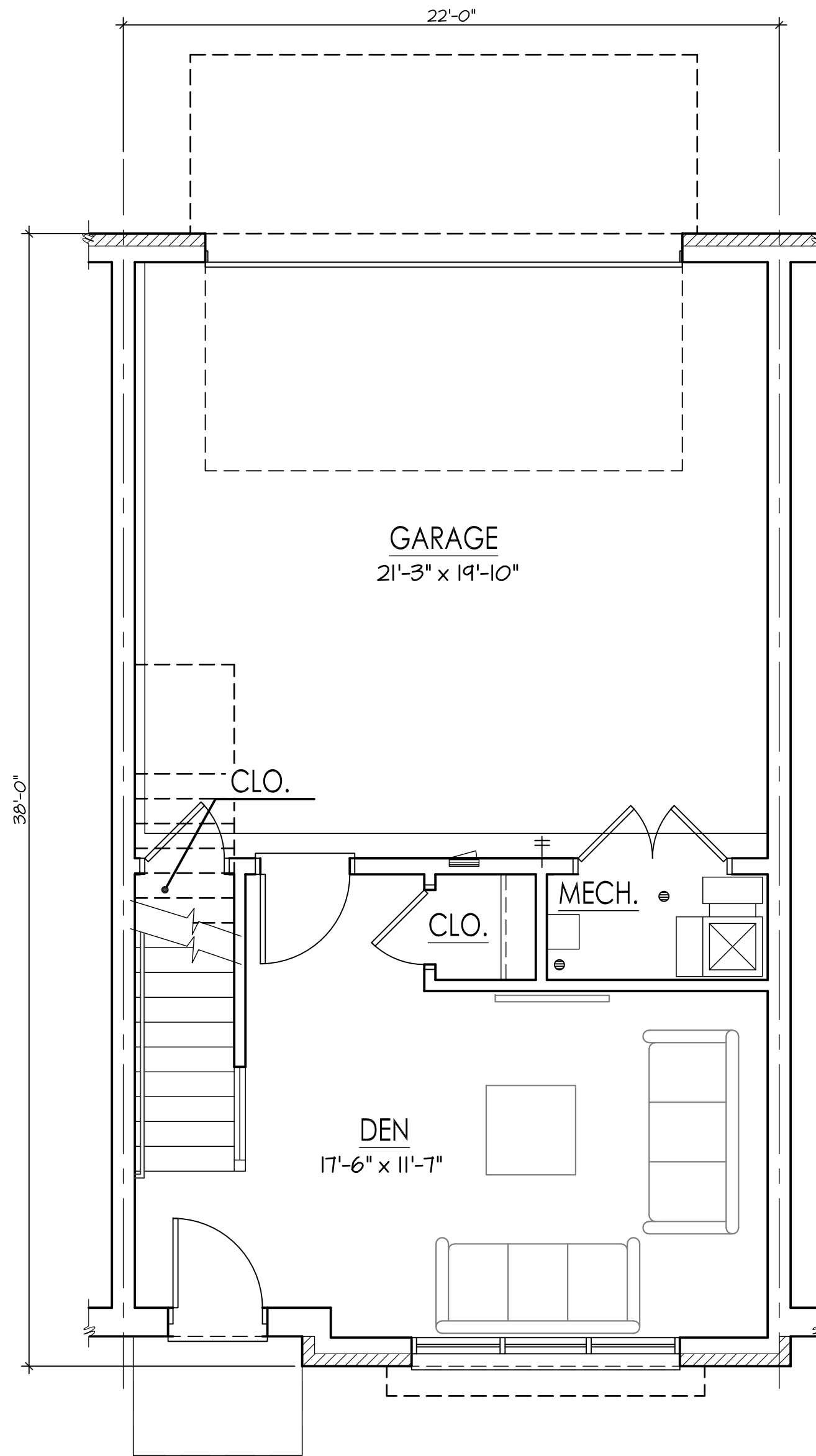
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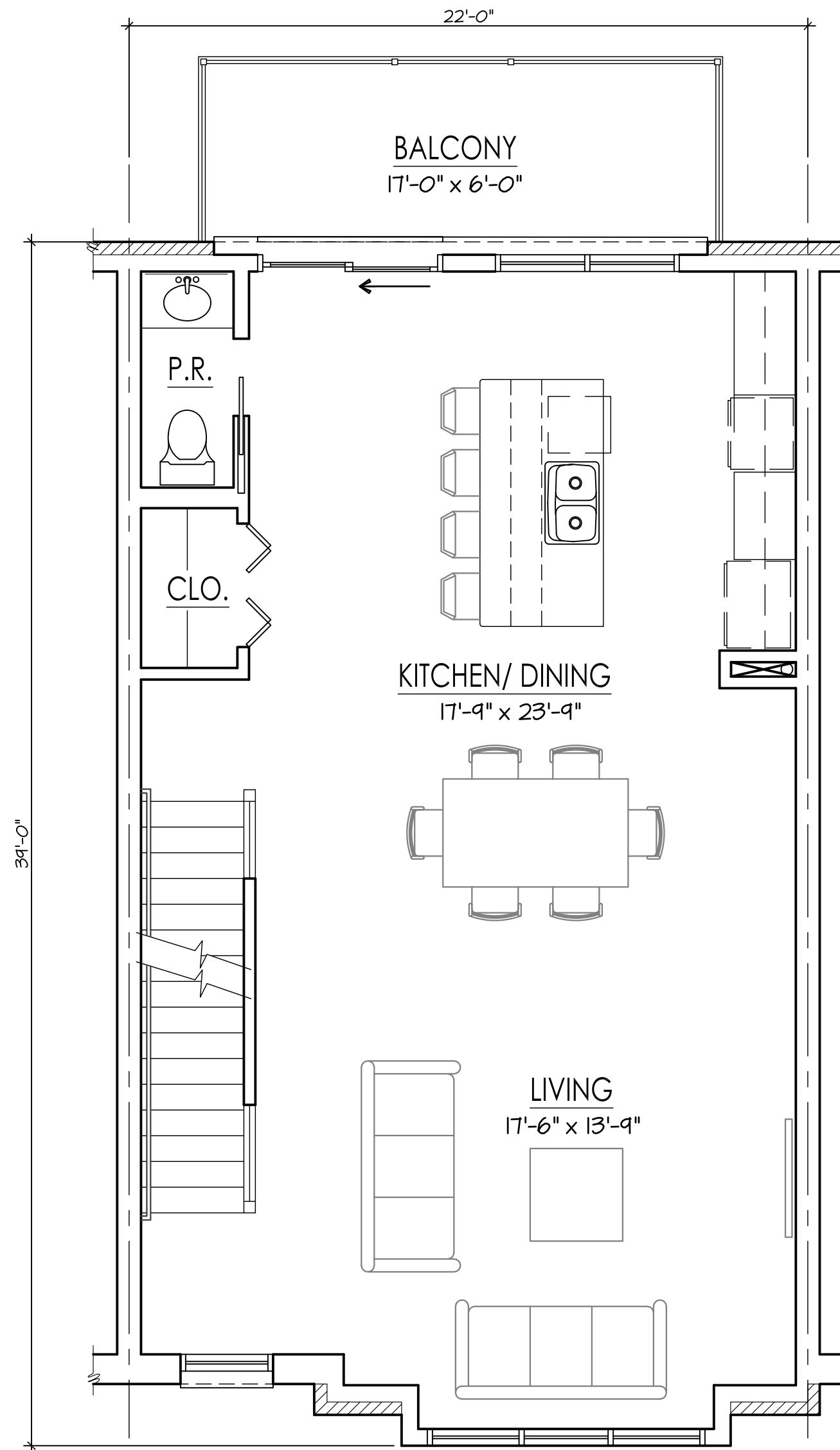
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**PALATINE TOWNHOMES**  
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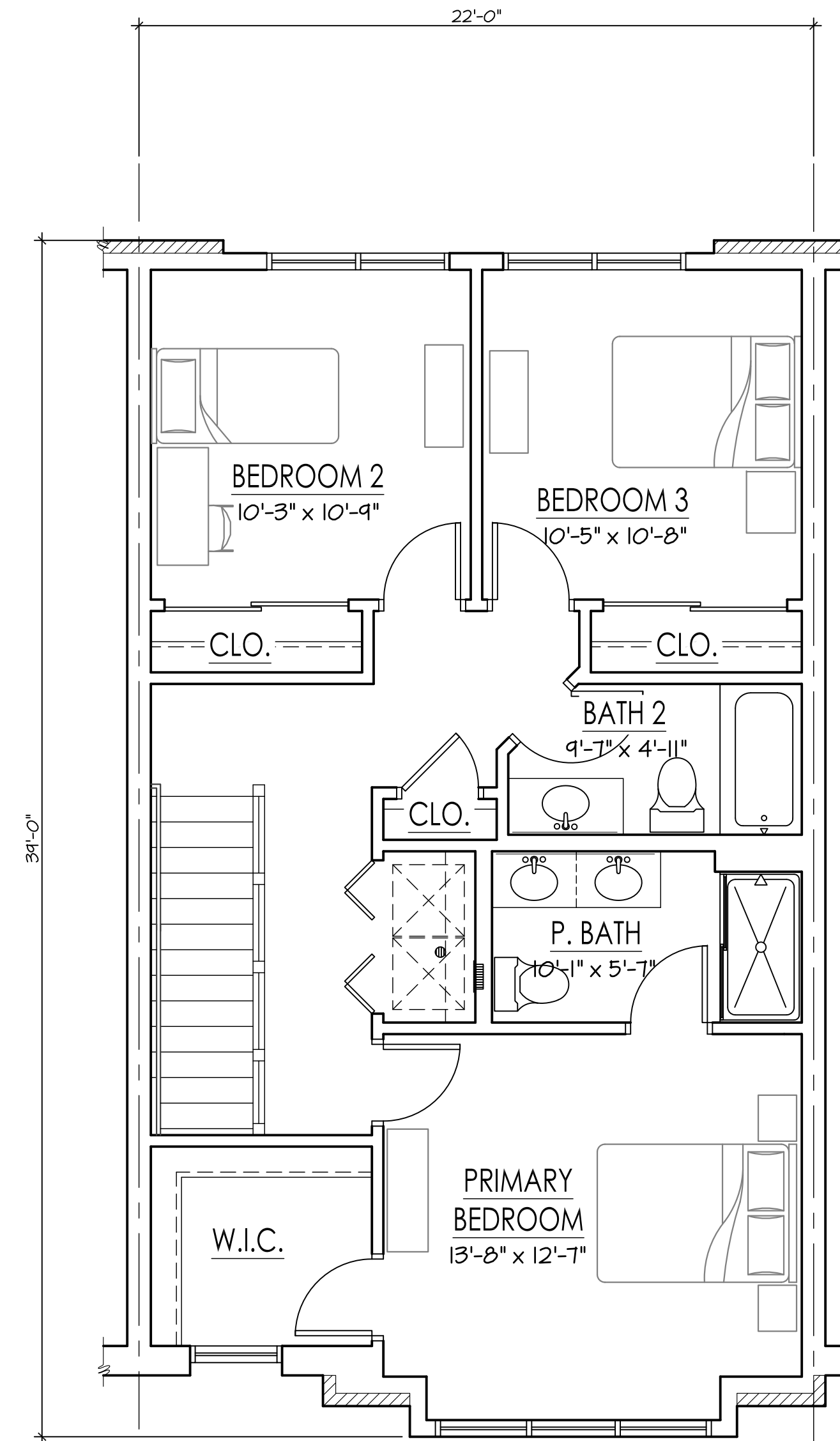
**UNIT C-LOWER LEVEL FLOOR PLAN**

1/4" = 1'-0" 760 SF



**UNIT C-MAIN LEVEL FLOOR PLAN**

1/4" = 1'-0" 773 SF



**UNIT C-UPPER LEVEL FLOOR PLAN**

1/4" = 1'-0" 773 SF

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PROJECT NUMBER

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DATE

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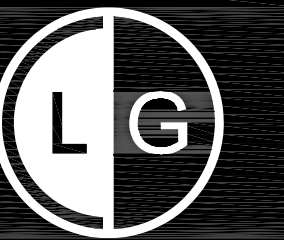
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UNIT - C  
FLOOR PLANS

SHEET NAME

**A-3C**

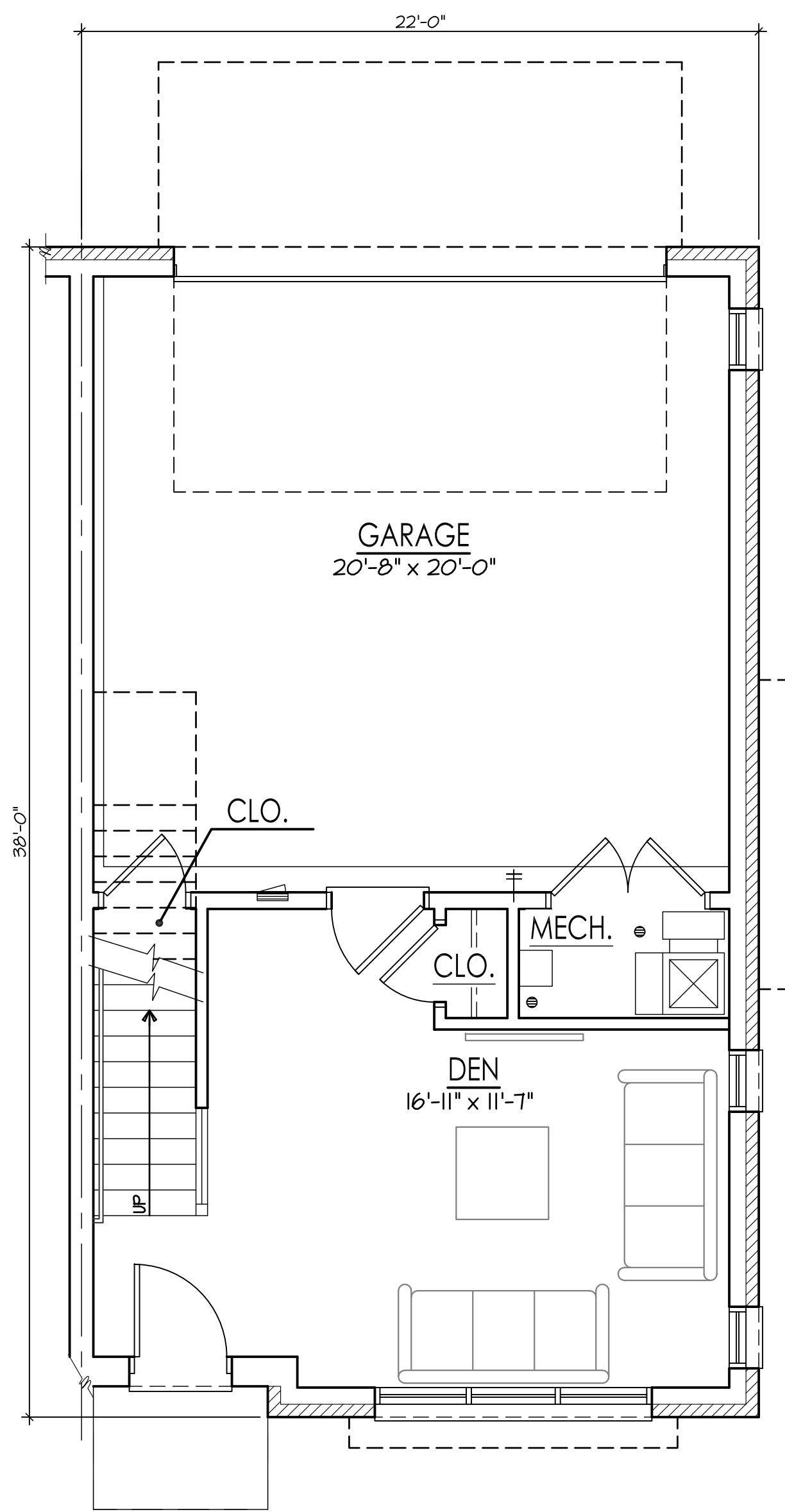
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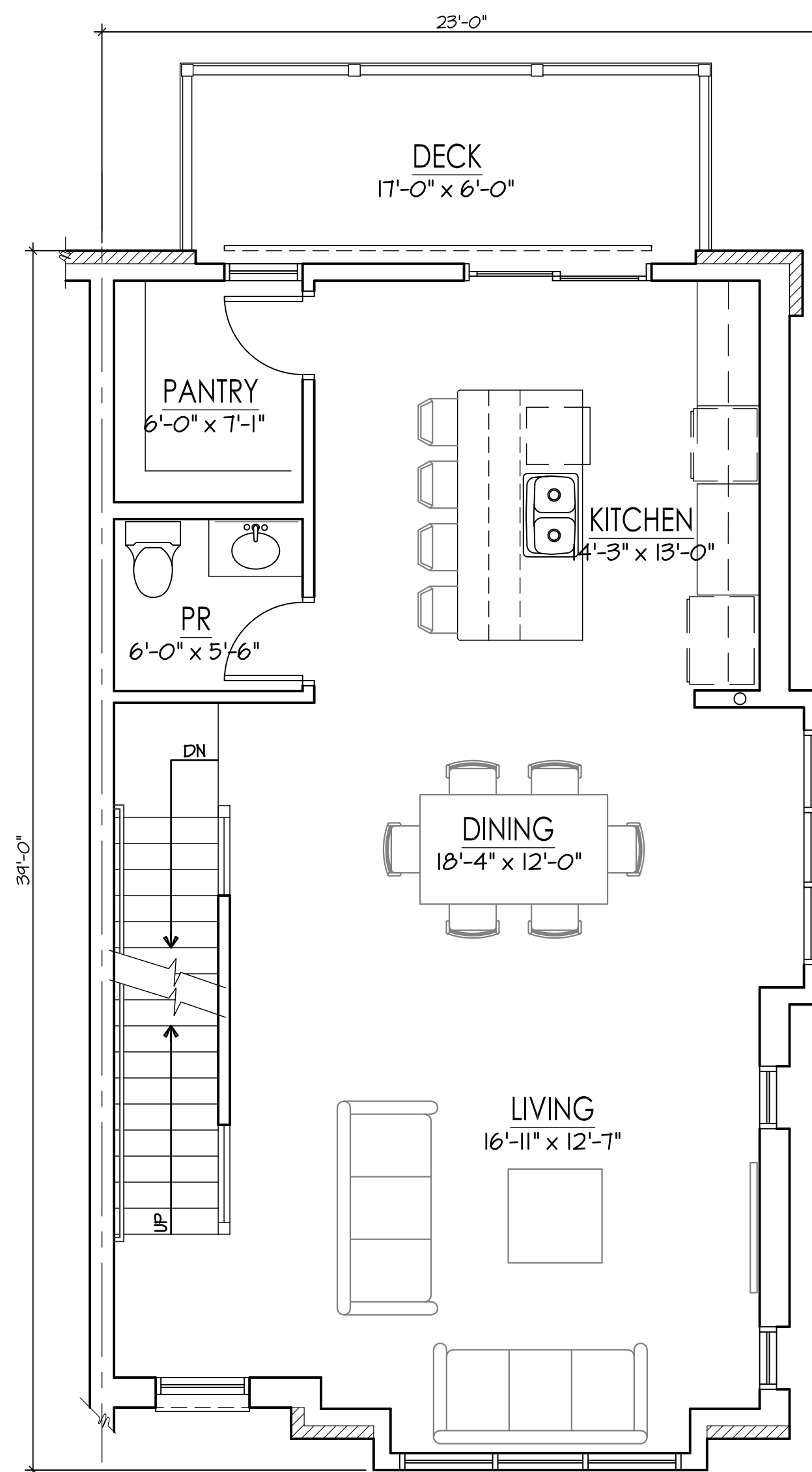
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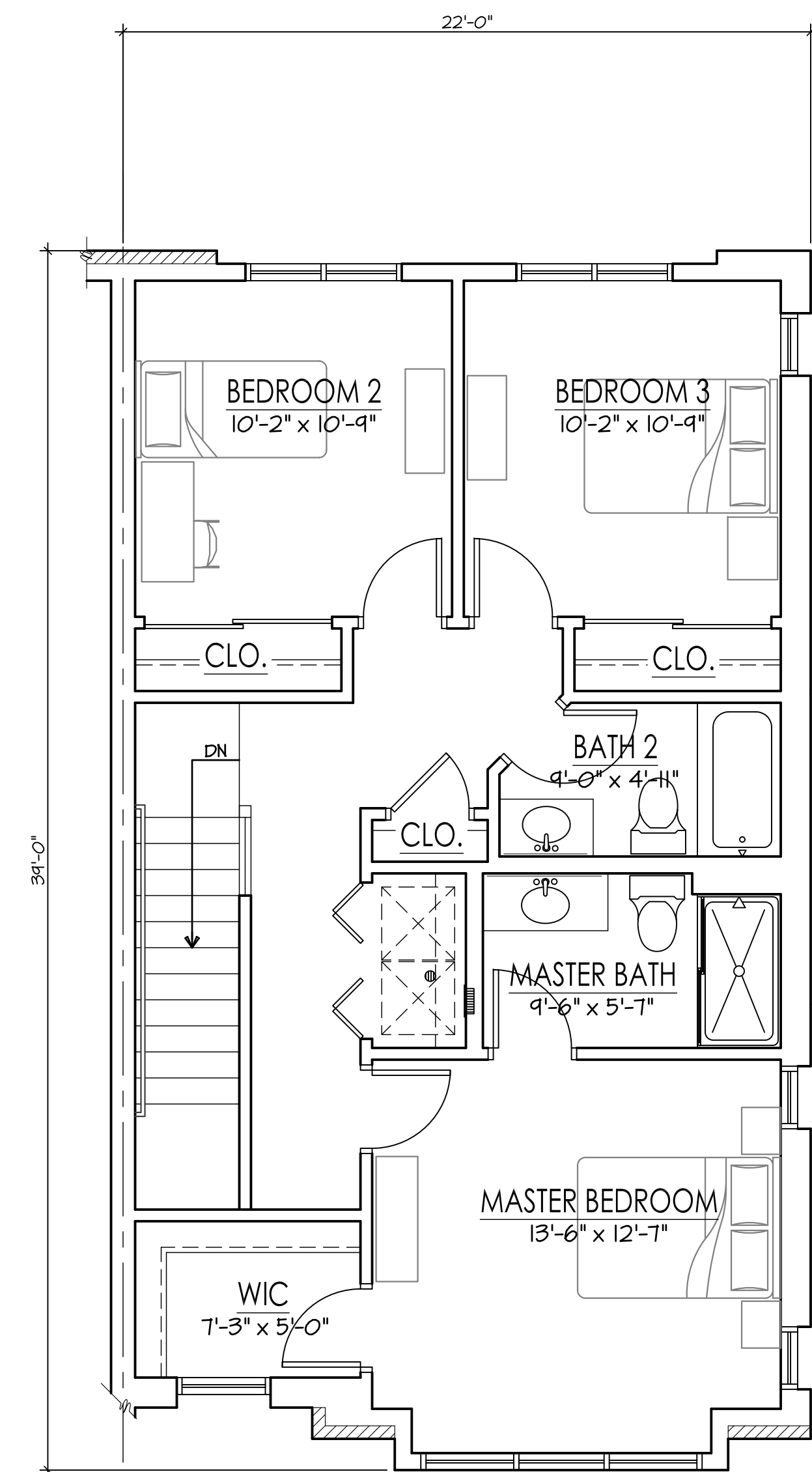
PROPOSED  
**PALATINE TOWNHOMES**  
N Quentin Rd and W Dundee Rd, Palatine, Illinois



**UNIT D-LOWER LEVEL FLOOR PLAN**  
1/4" = 1'-0" 734 SF



**UNIT D-MAIN LEVEL FLOOR PLAN**  
1/4" = 1'-0" 765 SF



**UNIT D-UPPER LEVEL FLOOR PLAN**  
1/4" = 1'-0" 751 SF

\\US-MC\project\Rev\2025\2025-0112\Drawings\Construction\Rooms\Mechanical\2025-0112\_LIN\_D - 3 Story.rvt 9/2/2025 1:16 PM P2071 A-3D

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UNIT - D  
FLOOR PLANS

SHEET NAME

**A-3D**

SHEET

**CERTAINEED  
LANDMARK SHINGLES  
GEORGETOWN GRAY**



**CASEMENT WINDOWS  
BRONZE FRAME**



**JAMES HARDIE  
RICH ESPRESSO  
SMOOTH LAP SIDING**

**JAMES HARDIE  
COBBLESTONE  
HARDIE TRIM BATTEN BOARDS  
& HARDIE PANEL**



**BRICKCRAFT BRICK  
DRIFTWOOD**

**OVERHEAD GARAGE DOOR  
MOCHA BROWN  
CLOPAY OR EQUAL**

**ALUMINUM AWNING  
DARK BROWN  
CHESTERFIELD AWNING CO.  
OR EQUAL**

**ALUMINUM DECK  
RAILING  
BURNISHED BRONZE  
TREX OR EQUAL**

**COMPOSITE DECKING  
TIDE POOL  
TREX OR EQUAL**











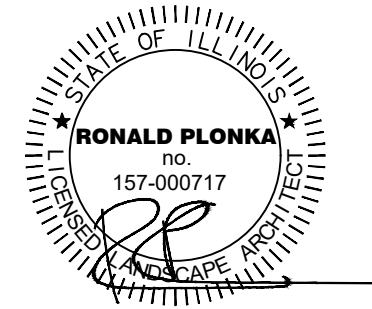
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The drawings, specifications, design ideas, and other information contained within as prepared by the Landscape Architect and/or Land Planner for this project are instruments of the Landscape Architect's and/or Land Planner's service, for use solely with respects to this project and, unless otherwise provided, the Landscape Architect and/or Land Planner shall be deemed the author of these documents and shall retain all common law, statutory, and other rights, including copyright. This drawing is not to be reproduced without the expressed written consent of Heritage Oak Studios, LLC.

REVISIONS

NO.	DATE	DESCRIPTION

QUENTIN ROAD TOWNHOME DEVELOPMENT

1490 Quentin Road  
Palatine, Illinois



Expires: 2025-08-31

HERITAGE OAK STUDIOS, LLC

Landscape Architects

2430 White Oak Drive  
Plainfield, IL 60585  
PHONE: 815-531-4415

PRELIMINARY P.U.D. LANDSCAPE PLAN

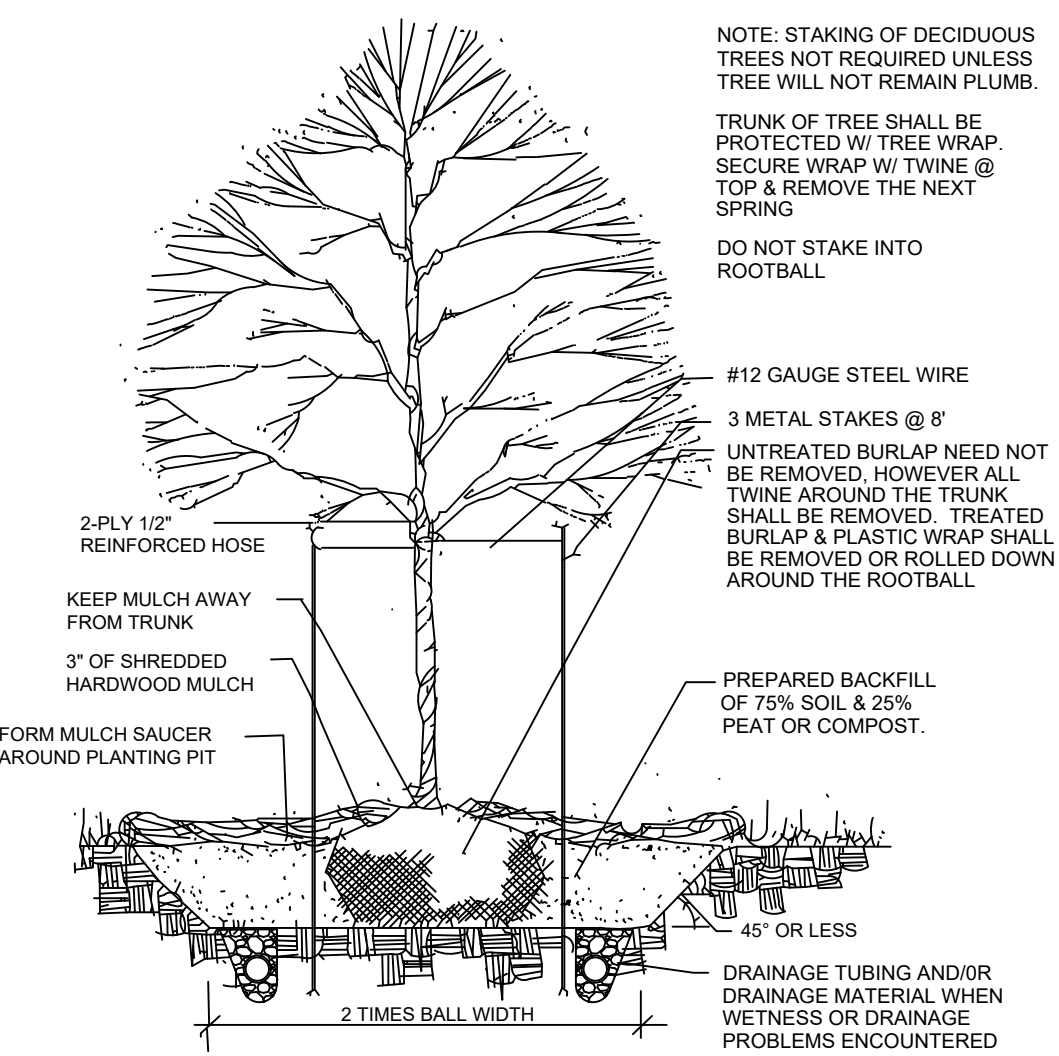
DATE: 2025-07-23  
SCALE: 1"=30'  
PLANNER: RP  
DRAWN BY: RP  
CHECKED: \_\_\_\_\_

SHEET L-1

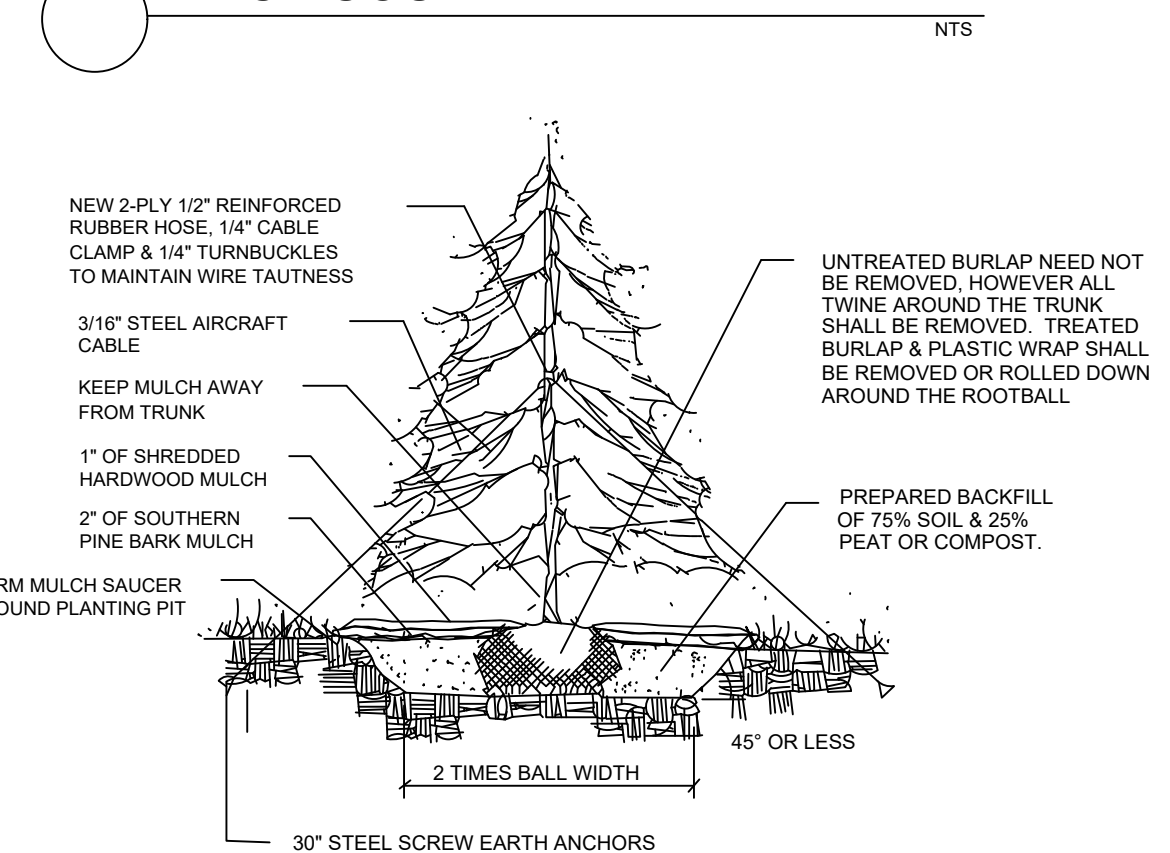
PROJECT NO.: 1725 - 2457

LEGEND

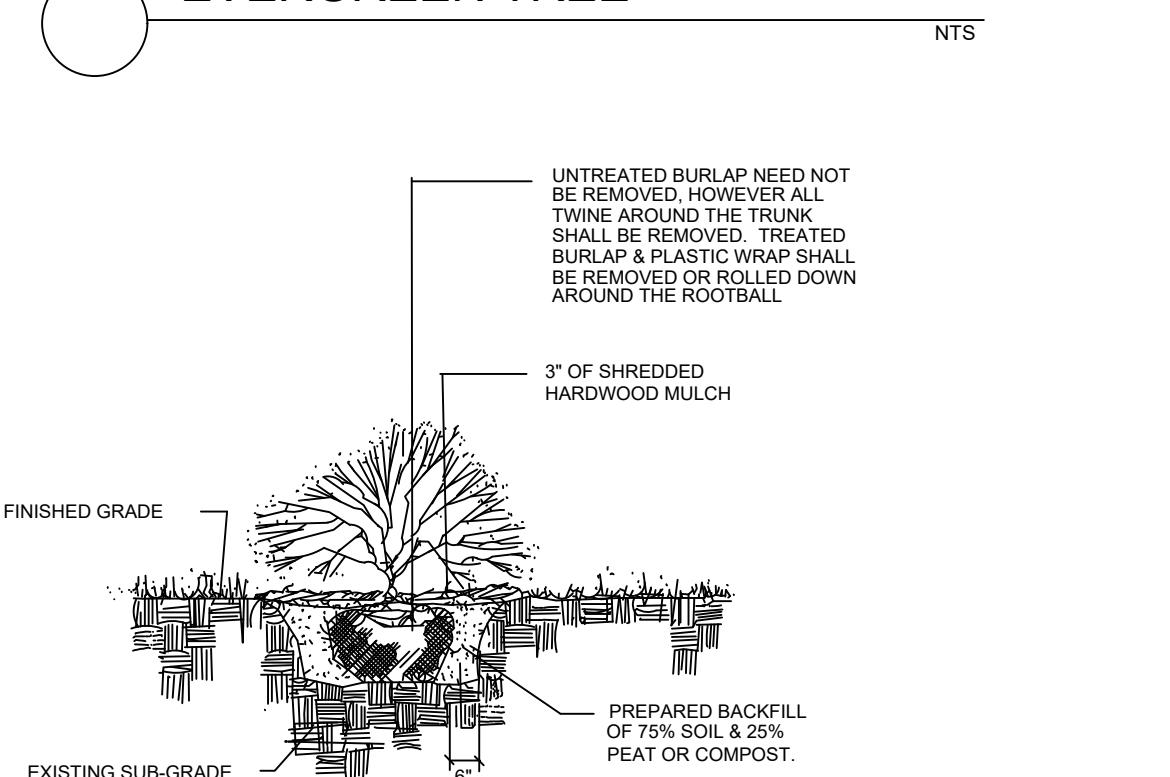
- DECIDUOUS SHADE TREE - 2.5"
- COLUMNAR SHADE TREE - 2.5"
- ORNAMENTAL TREE - 6' cl.
- EVERGREEN TREE - 6'
- DECIDUOUS SHRUBS - 5 Gal./3 Gal.
- EVERGREEN SHRUBS - 5 Gal./3 Gal.
- FOUNDATION PLANTINGS - Deciduous & Evergreen Shrubs, Perennials, Ornamental Grasses & Groundcovers



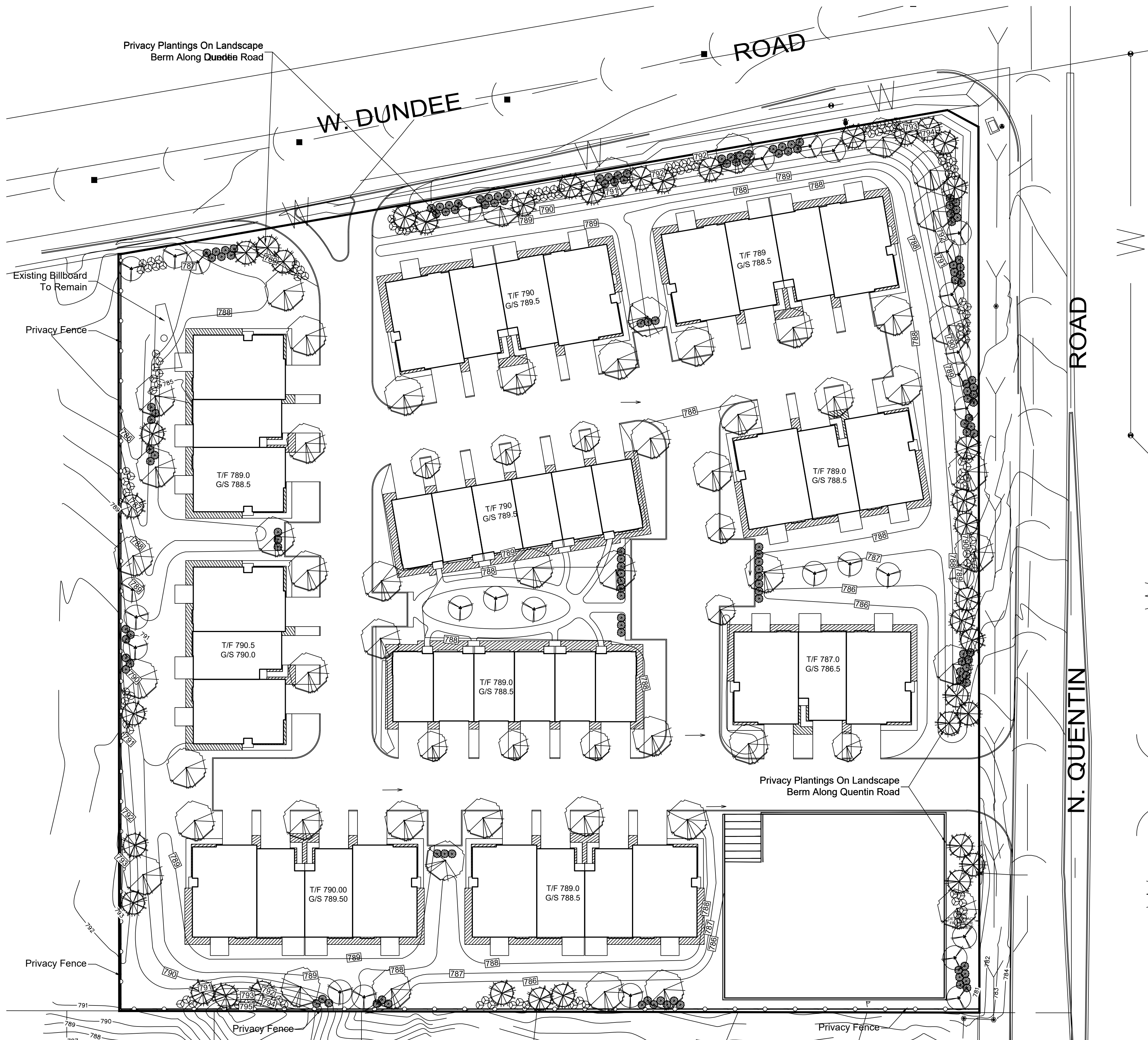
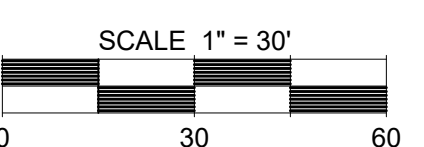
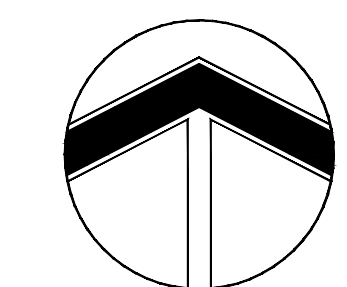
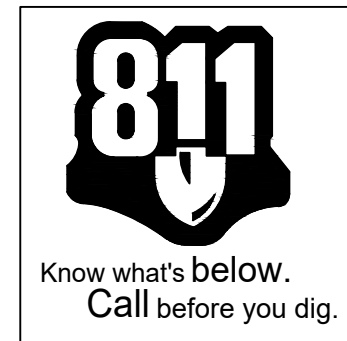
DECIDUOUS TREE



EVERGREEN TREE



SHRUBS



NOTE: This landscape plan is preliminary in nature. Proposed planting types, quantities, locations and sizes may vary pending final site plan & engineering (grading, utilities, easements, etc.).

**Townhomes at Deer Grove**  
PROJECT NARRATIVE  
**885 Dundee Rd/1490 Quentin Rd**

Developer Cornersite, LLC (the “Developer”) is the contract purchaser of the 4.87 acre site located at the southwest corner of Dundee Road and Quentin Road currently located in unincorporated Cook County (the “Property”). The Property, comprised of three separate parcels and commonly known as 885 Dundee Rd, Palatine is currently zoned C3 General Service District in unincorporated Cook County. Through the use of a PUD substantially in accordance with the R3 zoning district, we are proposing to rezone the property and annex it into the Village of Palatine for the purpose of constructing a 42-unit rental townhome community. We believe the proposed use and density fits in well with the existing neighborhood and will help meet the growing demand for attached built-for-rent housing.

Although the property is currently unincorporated and not located within village boundaries, it is designated as Single Family Attached zoning in the Palatine Future Land Use Map accompanying the 2025 Comprehensive Plan. Additionally, the site is designated as an “Opportunity Site” for future annexation and development. With several existing multifamily and townhome developments along both Dundee and Quentin Roads, the project will blend in nicely with the existing built environment.

The most recent use of the +/- 1 acre of the property nearest to the corner was as a gas station with two curb cuts each on both Dundee and Quentin roads within 200 feet of the intersection. We propose to close the existing curb cuts in favor of one access point on each road. After consultation with a traffic engineer at BLA, Inc., we determined that the best approach would be to install a right-in/right-out access on Dundee Rd (controlled by IDOT) approximately 450 feet west of the intersection and a full access drive on Quentin Rd (controlled by CDOT) approximately 450 feet south of the intersection and aligned opposite the full access entrance to Holy Resurrection Orthodox Church.

There are currently two billboards installed on the Property leased to the Lamar Companies. The one in the southeast corner is on a one year lease, so we plan to terminate the lease upon closing of the acquisition of the property. However, there are approximately twelve years remaining the LED sign at the northwest corner of the property along Dundee Rd. Our intent is to terminate the lease for the LED sign with Lamar at the earliest possible opportunity.

As proposed, the project will consist of 42 townhomes spread across six 2-story and three 3-story buildings set amongst landscaped drives and courtyards. The bulk and density, including all setbacks, conform entirely with those prescribed for the R3 zoning district. Maximum height will be 35’ for 3-story buildings and 22’ for the 2-story buildings. Exterior cladding will consist of fiber cement siding with masonry accents. All units will be three-bedroom, two and a half bath townhomes with attached 2-car garages. An additional 84 “Driveway” parking spots behind each units’ garage and 16 additional guest parking

spaces scattered are included throughout the site yielding a total of 178 spaces for a parking ratio of 4.24 spaces per dwelling unit.

As is the case with most attached single-family dwellings outside of the village center, units abutting public roads will have both pedestrian and vehicular access facing the interior of the site rather than the public road. Building height and rear setbacks of the front-loaded 2-story buildings are designed to mimic that of the single-family homes they back up to in order to minimize the impact on neighboring residents. A landscaped berm will serve to provide an appealing streetscape while adding privacy to the residents' rear yards, as is consistent with surrounding community. The three, rear-loaded 3-story buildings will face an interior landscaped courtyard while efficiently sharing the interior drives with the 2-story front-loaded units.

Each 3-bedroom townhome will range in size from 1722—2122 square feet (excluding garage) and feature a 2-car attached garage at grade, modern open living spaces, three bedrooms, two full baths and a powder room. The end units on the 2-story buildings will feature first floor primary suites and a study, while all 3-story units include a first floor bonus room ideal for a home office, gym or play room. The development is expected to appeal to everyone from those just starting families, young empty-nesters looking to downsize and anyone seeking a convenient location in an area with outstanding amenities and public schools. Initial rents are expected to range from \$3900-\$4500 per month.

The architecture will be in the “Transitional” style, consistent with high-end suburban townhome design featuring a combination of fiber cement panel and full bed masonry. It's designed to blend into the neighborhood context which features single family homes to the south and west, commercial and institutional uses to the east and the expansive Deer Grove Forest Preserve to the north.

All interior drives and courtyards will be extensively landscaped and hardscaped. Stormwater management will meet both Village and MWRD detention requirements through surface detention in the southeast and northwest corners. A retaining wall will be incorporated at the larger basin adjacent to Quentin Rd. An Onsite Utility Maintenance Agreement will be executed prior to final engineering approval.

In anticipation of potential future expansion to include the +/- 1 acre property directly to the west of the subject property, the site plan allows the potential for the interior drive isles to be extended to the west to incorporate that site should the opportunity allow.

Cornersite, LLC and SFP Properties, LLC ([www.sfpproperties.com](http://www.sfpproperties.com)) are affiliated real estate investment, property management and development firms with over a 20+ years experience in commercial and residential development, management and operations. We have recently completed rental townhome communities in Highland Park ([www.425bloom.com](http://www.425bloom.com)), Mount Prospect ([www.lionsparkrow.com](http://www.lionsparkrow.com)) and Northbrook ([www.pointedrive.com](http://www.pointedrive.com)).



August 13, 2025

Mr. David Schwartz  
CornerSite, LLC  
3190 Doolittle Drive  
Northbrook, Illinois 60062

RE: **Townhomes at Deer Grove**  
885 W. Dundee Road  
Palatine, Illinois

Dear Mr. Schwartz:

Per your request, BLA, Inc. (BLA) has reviewed the site plan for the proposed Palatine Townhome residential development pertaining to site access. The 4.88-acre site is located at the southwest corner of the signalized intersection of Dundee Road (IL Route 68) and Quentin Road and is currently vacant, formerly containing a Mobil gasoline station and undeveloped land. Access to the existing site is provided via two full-access driveways on Dundee Road (approximately 115 and 225 feet west of Quentin Road, center-to-center) and two full-access driveways on Quentin Road (approximately 150 and 275 feet south of Dundee Road, center-to-center).

As currently proposed, the project includes the construction of 42 townhomes contained within nine (9) buildings. Access to the site is proposed via one new, right-in/right-out (RIRO) only driveway on Dundee Road, approximately 450 feet west of Quentin Road and a new, full-access driveway on Quentin Road, aligned opposite the Holy Resurrection Orthodox Church driveway, approximately 450 feet south of Dundee Road. The existing site’s access driveways will be closed.

**Surrounding Roadway Network**

**Dundee Road** and **Quentin Road** are both five-lane (two through lanes in each direction and a center median/lane for left-turns at intersections) adjacent to the site. Dundee Road is under the jurisdiction of the Illinois Department of Transportation, with a posted speed limit of 45 miles per hour (mph) and an annual average daily traffic volume (AADT) of 14,600 (year 2023). Quentin Road is under the jurisdiction of the Cook County Department of Transportation and Highways (CCDoTH), with a posted speed limit of 40 mph and an AADT of 15,100 (year 2022). Quentin Road is also designated as a Strategic Regional Arterial (SRA) route, which controls roadway and signal installation to facilitate efficient and safe transportation.

**Trip Generation**

**Table 1** provides a summary of the total trips to be generated by the proposed residential development, including residents, visitors, deliveries, etc. based on information published in the Institute of Transportation Engineers (ITE) Manual *Trip Generation*, 11<sup>th</sup> Edition.

**Table 1: Estimated Trip Generation**

Land Use / Size	ITE LUC	Weekday									Saturday					
		AM Peak Hour			PM Peak Hour			Daily			Peak Hour			Daily		
		In	Out	Total	In	Out	Total	In	Out	Total	In	Out	Total	In	Out	Total
Townhomes / 42 Units	220	9	27	36	24	15	39	173	173	346	9	8	17	96	96	192

The total (including both entering and exiting) weekday AM and PM peak hour vehicular trips of 36 and 39, respectively, are expected on the streets leading beyond the study area, or approximately 1 additional vehicle every 1 to 2 minutes. During the Saturday peak hour, a total of 17 vehicular trips is anticipated, or approximately 1 additional vehicle every 3 to 4 minutes. **Accordingly, the amount of site-generated traffic is expected to have minimal effects on the operations of the external street network.**

### **Findings and Conclusion**

Reducing the number of curb cuts, restricting the movements on Dundee Road to RIRO only, along with increasing the driveway spacing (locating the driveways further from the Dundee Road and Quentin Road signalized intersection) is an effective access management strategy to improve safety and traffic progression along corridors.

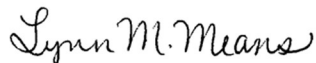
The location of the driveway on Quentin Road, opposite the Holy Resurrection Orthodox Church, a higher traffic generator than the five (5) single-family homes located on Anthony Drive, also serves to minimize left-turning vehicular conflicts on Quentin Road.

Accordingly, BLA has found the proposed site access to be adequate to accommodate the proposed site traffic, while minimizing its impact on the adjacent roadway network.

Should you have any questions or require additional information, please contact us at (630) 438-6400.

Sincerely,

BLA-Inc.



Lynn M. Means, P.E., PTOE, RSP<sub>1</sub>  
Senior Transportation Engineer

PRELIMINARY PLANNED DEVELOPMENT DESCRIPTION:

A nine building, 42 unit townhome project with a mix of six 2-story buildings and three 3-story buildings. With a single curb cut on each of Dundee and Quentin Rd, all pedestrian and vehicular access will be through interior drives.

Preliminary Acreage \*

4.87

A variance to have 52% impervious lot coverage in lieu of the 50% impervious lot coverage required for the R3 zoning district



All existing land use(s) on property \*

C3 General Service District in unincorporated Lake County

# OPPORTUNITY SITE 5: QUENTIN RD AND DUNDEE RD

## Existing Conditions

This corner property is not currently part of the Village of Palatine or served by municipal utilities. However, it represents another opportunity to introduce attached single-family residential units into the Village. The northeast corner at the intersection of two busy roadways lends itself to a prominent residential amenity building, which is shown on the concept drawing with a small community green space behind it. Seventeen townhome units are shown in a series of six buildings surrounding a central pocket park. Established neighborhoods with detached single-family homes surround the site, so the concept introduces trees and green space to provide adequate buffering.

Any future redevelopment plans would be part of an annexation agreement establishing how the site would be served with utilities and public services, as well as designating an appropriate zoning district for the property.

## Development Objectives

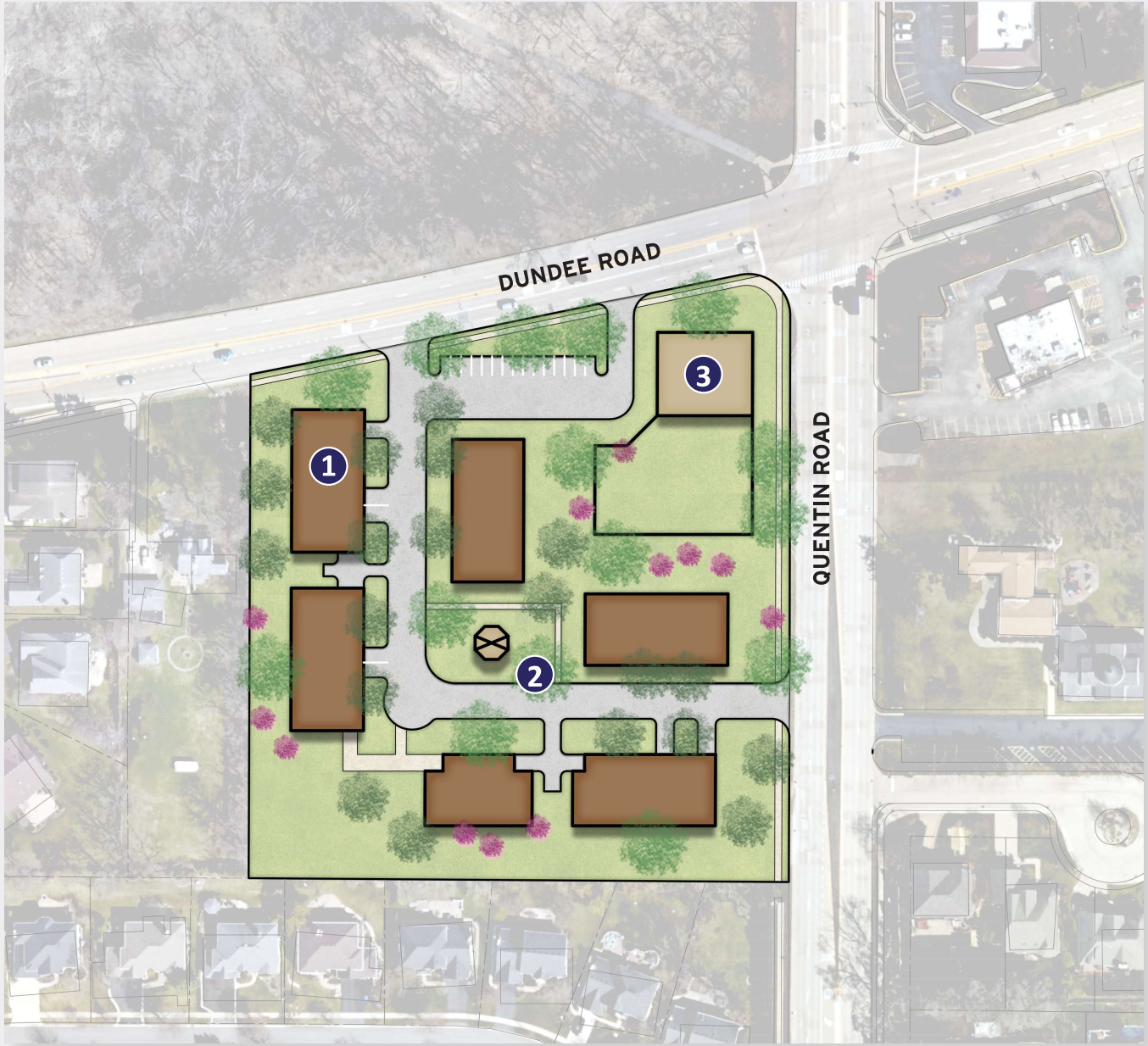
- **Residential Development.** Develop a residential use that compliments the surrounding residential neighborhood, mirroring the size and scale of nearby buildings.
- **Buffering and Landscaping.** Provide ample screening surrounding the site so as not to interfere with surrounding neighborhoods. Provide landscaped green space for future residents.
- **Annexation.** Annex the site into the village with an annexation agreement that establishes how the site would be served by utilities and public services.

## Concept Highlights

- 1 Ranch or Traditional-Style Townhomes
- 2 Central Pocket Park
- 3 Amenity Building
  - » Adjacent community green space

Existing Conditions





Amenity Space and Townhome Examples

**ORDINANCE NO. 0-155-01**

**ORDINANCE AMENDING THE COMPREHENSIVE PLAN  
FOR THE PROPERTY AT THE SOUTHWEST CORNER  
OF QUENTIN AND DUNDEE ROAD**

**Published in pamphlet form by authority of the  
Mayor and Village Council of the Village of Palatine  
On November 12th, 2001**

ORDINANCE NO. 0-155-01

**AN ORDINANCE  
AMENDING THE COMPREHENSIVE PLAN FOR A SUB-AREA PLAN FOR THE  
PROPERTY AT THE SOUTHWEST CORNER OF QUENTIN AND DUNDEE ROAD**

WHEREAS, the Comprehensive Amendment to the Village of Palatine Comprehensive Plan was adopted by Ordinance #O-34-90 on March 26, 1990 and amended by Ordinance #0-117-94 on August 22, 1994, Ordinances #0-155-94 and #0-163-94 on October 24, 1994, Ordinance #0-25-95 on March 27, 1995, Ordinance #0-36-95 on April 24, 1995, 0-41-95 on May 8, 1995, 0-67-95 on July 10, 1995, 0-74-95 on July 24, 1995, 0-4-96 on January 8, 1996 and 0-79-99 on June 28, 1999; and

WHEREAS, a document entitled Village of Palatine Comprehensive Plan, dated January 15, 1990 and prepared by Camiros, Ltd. and Lenet Design Group, was attached to Ordinance #0-34-90 as Exhibit "C"; and

WHEREAS, a public hearing was held by the Plan Commission, pursuant to notice, on October 16, 2001 to review amending the Palatine Comprehensive Plan to establish a sub-area plan addressing Land Use, and Traffic and Engineering Issues at the southwest corner of Quentin and Dundee Roads.

WHEREAS, the Plan Commission has recommended revisions to the Comprehensive Plan in its Findings of Fact; and

WHEREAS, the Community and Economic Development Committee of the Village Council has recommended revisions to the Comprehensive Plan;

NOW, THEREFORE, BE IT ORDAINED by the Mayor and Village Council of the Village of Palatine, Cook County, Illinois, acting in the exercise of their home rule power that:

SECTION 1: The Official Comprehensive Plan, as adopted by Ordinance #O-34-90, is hereby amended to establish a sub-area plan addressing Land Use, and Traffic and Engineering Issues at the southwest corner of Quentin and Dundee Roads, subject to the following conditions:

1. The existing improved Mobil Gas Station should remain. A landscaped buffer including a solid fence should be installed along the west and south property lines.
2. Development on the unimproved 5 acres should consist of single family attached with a density of between 6-7 dwelling units per acre. A minimum 40' landscaped buffer including a berm, should be provided from the existing single family located to the north (Please see the attached example site plan).
3. Townhomes abutting single family houses should have lower roof heights to compliment the size and design of the existing single family houses.
4. Stormwater detention should be provided for all developments.
5. All proposed streets should meet Village standards.
6. Sewer and water should be extended across all lot frontages.

**SECTION 2:** This ordinance shall be in full force and effect from and after its passage and approval as provided by law.

**SECTION 3:** All ordinances or parts of ordinances in conflict with this ordinance be and the same are hereby repealed.

**PASSED:** This 12th day of November, 2001

**AYES:** 5    **NAYS:** 0    **ABSENT:** 1    **PASS:** 0

**APPROVED** by me this 12th day of November, 2001

  
 PRO-TEM **Mayor of the Village of Palatine**

**ATTESTED and FILED** in the office of the Village Clerk this

12th day of November, 2001

  
**Village Clerk**

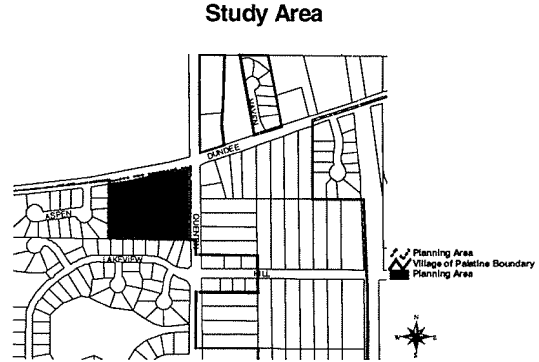
## SOUTHWEST CORNER OF DUNDEE & QUENTIN ROAD

### Comprehensive Plan Amendment

#### **BACKGROUND**

The Village regularly amends the Comprehensive Plan to ensure compliance with the most current development trends. The Village of Palatine is requesting to have the comprehensive plan designation for the southwest corner of Dundee and Quentin amended. The Comprehensive Plan currently designates the property for commercial development.

The subject site is located at the southwest corner of Quentin Road and Dundee Road and is approximately 6 acres in area. The site is currently improved with a Mobil gas station at the northeast corner, and office/residential use to the west. The remaining 3.8 acres are unimproved. To the south of the site is the Lakeside Estates Planned Development which consist of 86 single family detached homes.



The purpose of this report is to analyze the existing property and make recommendations for future development. The following items will be discussed:

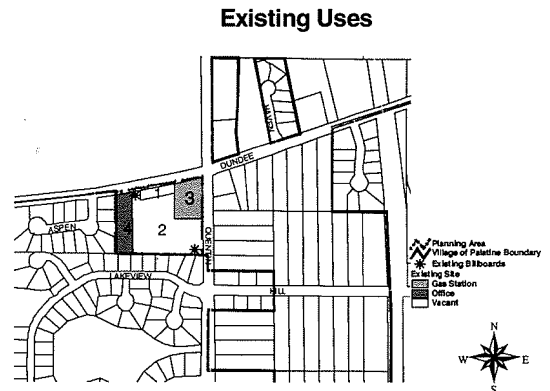
- Existing Uses
- Existing Zoning
- Engineering
- Recommendations for development

#### **Existing Uses**

The subject site is currently improved with a Mobil Gas Station on a 1.1 acre parcel and an office/residential use on the 1 acre parcel to the west. The remaining 3.9 acres are unimproved except for two billboards which are located at the northwest and southeast corners of the site.

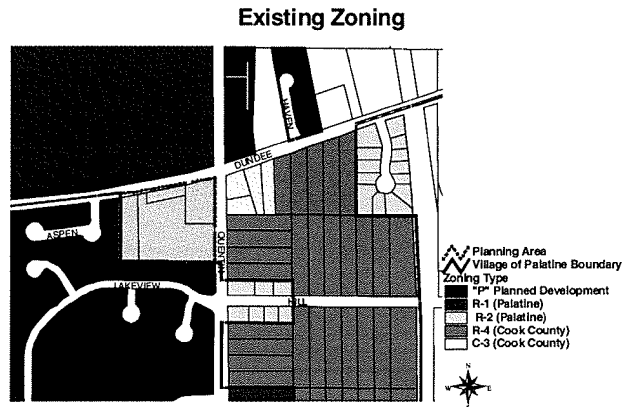
The following is a breakdown of the site:

Parcel #	Area	Land Use
1	.3 acres	Vacant
2	3.6 acres	Vacant
3	1.1 acres	Gas Station
4	1 acre	Office/Res.
<b>TOTALS</b>	<b>6 acres</b>	



**Existing Zoning**

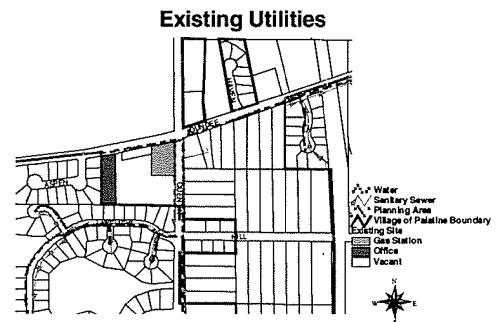
The subject site is currently unincorporated and zoned C-3 General Business District in Cook County Illinois. The Cook County description for the C-3 Zoning is as follows: "The C-3 District provides for the location of most services and many small businesses found in the area. **It is not as compatible with residential areas as C-1 or C-2 classifications.** Some permitted uses include: Automobile service stations, restaurants, theaters and animal hospitals. The current property can build on the parcel under Cook County Jurisdiction, however the site may need Village services such as sewer and water.



The following map shows the zoning of the existing property as compared to adjacent properties.

**Engineering**

Since much of the existing site is unimproved and is outside the jurisdiction of the Village of Palatine, it lacks the necessary sewer and water services. The nearest connection to Village Services is located to the east in the Quentin Road right-of-way. The attached map shows those services.



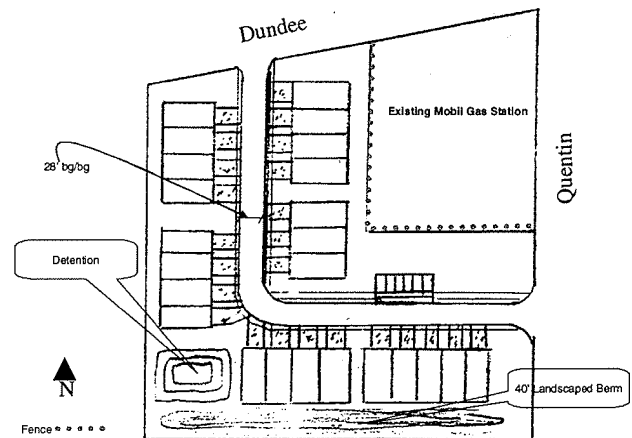
**Recommendation**

The following are recommendations for future land uses and engineering issues including watermain system, stormwater drainage and sanitary sewer systems.

**Land Uses**

The following recommendations were made for future land uses in the study area.

- The existing improved Mobil Gas Station should remain. A landscaped buffer including a solid fence should be installed along the west and south property lines.
- Development on the unimproved 5 acres should consist of single family attached with a density of between 6-7



dwelling units per acre. A minimum 40' landscaped buffer including a berm, should be provided from the existing single family located to the north (Please see the attached example site plan).

- Townhomes abutting single family houses should have lower roof heights to compliment the size and design of the existing single family houses.

***Engineering Issues***

The following recommendations were made to address engineering issues pertaining to existing and proposed development in the study area.

- Stormwater detention should be provided for all developments.
- All proposed streets should meet Village standards.
- Sewer and water should be extended across all lot frontages.

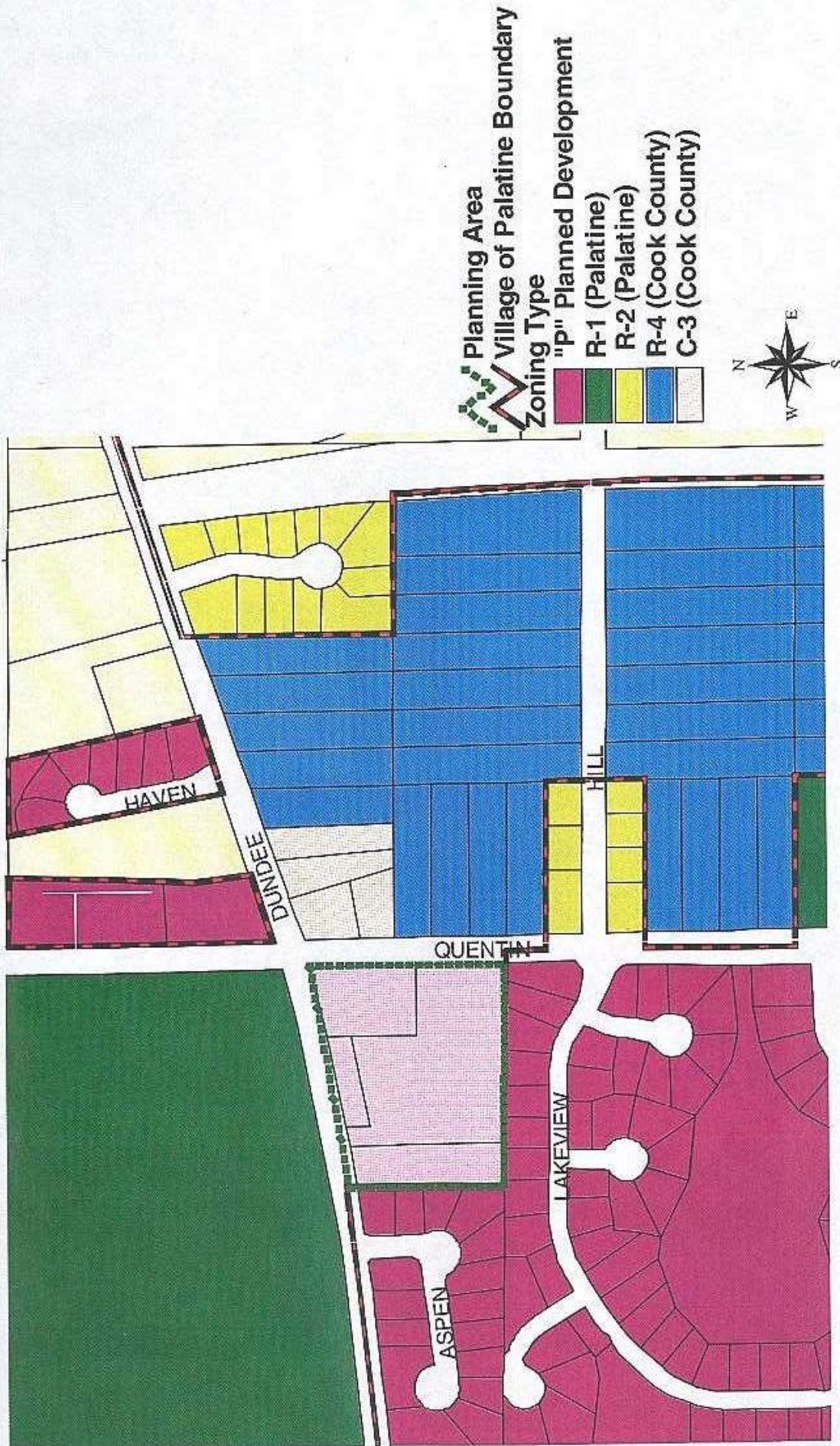
# Study Area



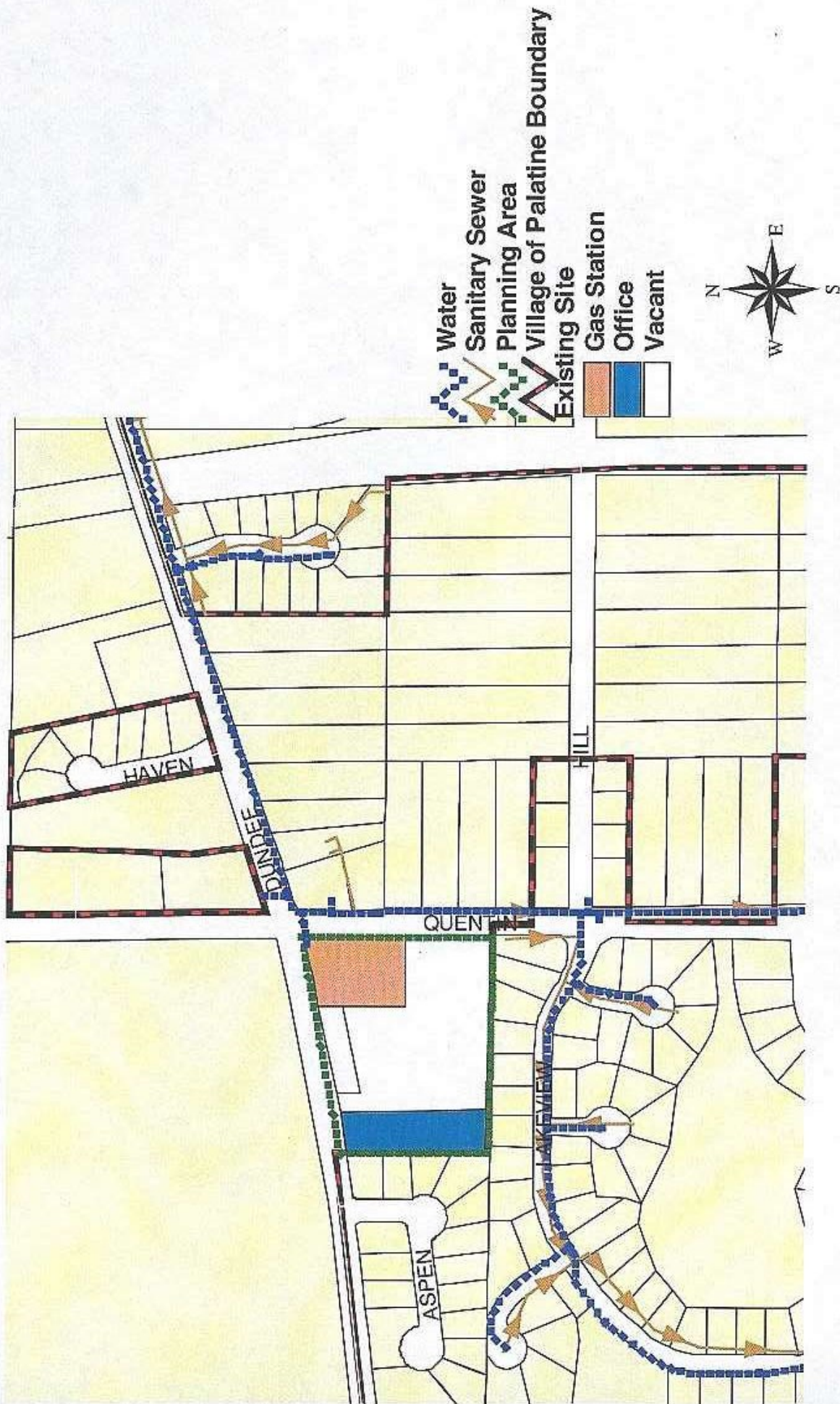
# Existing Uses

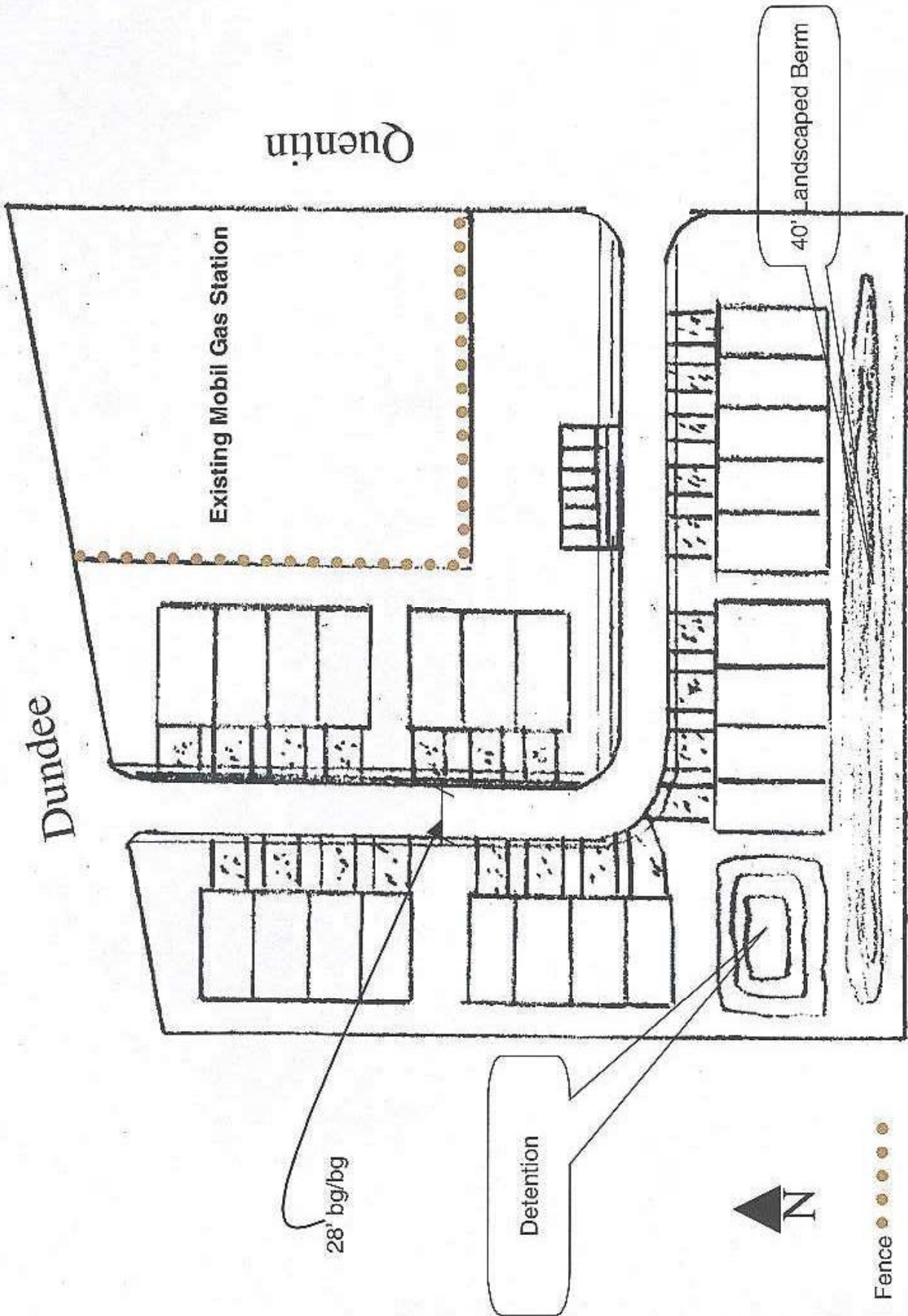


# Existing Zoning



# Existing Utilities





**Report of Public Hearing – Docket P-01-83 – Southwest corner of Dundee and Quentin rds.**

The notice of public hearing was read by the chairman. The petitioner in Docket P-01-83, The Village of Palatine, seeks consideration for an amendment to the Comprehensive Plan for a Sub-area plan for five acres at the southwest corner of Dundee and Quentin rds.

The following petitioner's exhibits were introduced:

1. Planning Area Map
2. Existing Land Uses Map
3. Existing Zoning Map
4. Existing Utilities Map
5. Example Site Plan

Stilling said the current comprehensive plan calls for commercial development of the parcel which is now improved with a gasoline service station at the northeast corner. The remaining 3.8 acres is unimproved. Lakeside Estates, a single family development of 86 detached homes, is located to the south. He noted that the land is not currently in Palatine. It is zoned C3 for services and small businesses in the county which their zoning ordinance classifies as "not compatible with residential."

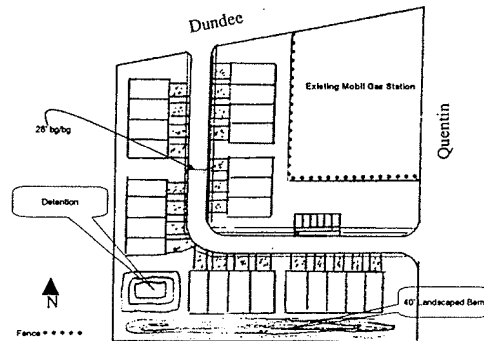
Since much of the site is unimproved and outside the village's jurisdiction, it lacks sewer and water services. Nearest village services are in Quentin rd.

**Staff Recommendation**

**Land Uses**

The following recommendations were made for future land uses in the study area.

- The existing improved Mobil Gas Station should remain. A landscaped buffer including a solid fence should be installed along the west and south property lines.
- Development on the unimproved 3.9 acres should consist of single family attached with a density of between 6-7 dwelling units per acre. A minimum 40' landscaped buffer including a berm, should be provided from the existing single family located to the south (See the attached example site plan).
- Townhomes abutting single family houses should have lower roof heights to compliment the size and design of the existing single family houses.
- The existing billboard signs shall be removed.



**Engineering Issues**

The following recommendations were made to address engineering issues pertaining to existing and proposed development in the study area.

- Stormwater detention should be provided for all developments.
- All proposed streets should meet Village standards and pavement widths.
- Sewer and water should be extended across all lot frontages.

**Discussion**

Miller said he would recommend that the parcel be developed as an office park. Stilling responded that office parks are not very viable. Townhomes would provide a good buffer from the gas station, he added.

Hansen said he is concerned that the single family lot adjacent on the west is not included as part of this planning area. "It's an island," he said.

plan commission  
october 16, 2001

page 8

All residents who wished to address the petition were sworn in.

Jim Rados, 1285 N. Shoreside, President of the Lakeside Homeowners Association, said the neighbors would oppose a commercial development here. They would like it to be some sort of residential.

Laymon noted that it would be impossible to turn left out of this parcel onto Dundee.

Bill Buchanan, 1308 Lakeview dr., said there is an empty store at Caribou. On down Dundee, little pockets of empty stores exist in the small shopping centers, he added. He feels residential development would be better than commercial. Residents oppose restaurant development, because they attract wildlife from the forest preserve. He said he would prefer high end townhomes.

Bob Curran, 1300 N. Lakeview dr., said the history of the area shows that the wetlands have been filled and trees cut down. Keeping it residential would create a great buffer he added. He said that numerous accidents occur at that corner.

Gerald Maddux, 1200 Lakeview, said he would prefer future development to be residential.

Tom Paar, 1292 Lakeview dr., said he prefers residential over commercial. He is concerned about density.

The public hearing closed at 10:25 p.m.

#### **RECOMMENDATION**

Miller moved, Kolar seconded that the plan commission recommend to the village council that it approve an amendment to the Comprehensive Plan for a Sub-area plan for five acres at the southwest corner of Dundee and Quentin rds.

Such approval shall be applied to wording proposed by staff, as amended at this meeting. Wording shall be changed in bullet #2 under "Land Uses" to read: "Development on the unimproved 3.9 acres should consist of residential with density of no more than seven units per acre. A minimum 40 foot landscaped buffer, including a berm, shall be provided from the existing single family located to the south."

Unanimously carried.

#### **Finding of Fact**

The parcel adjacent to the west should be part of this planning area.

After communications. the meeting adjourned at 10:40 p.m.

Natalie Meyer McKenzie  
secretary

CA9  
2

M/V

**TYPE: ORDINANCE SUBMITTED BY: COMMUNITY DEVELOPMENT DATE: 11/5/01**

**DESCRIPTION:** Consider an amendment to the Comprehensive Plan for a Sub-Area Plan for the property at the southwest corner of Quentin and Dundee.

(Village of Palatine)

District 3 (upon annexation)

**VILLAGE GOAL:**

- |  |  |
|--|--|
| <input type="checkbox"/> Financially Stable Government                             | <input type="checkbox"/> Safe Place to Live                  |
| <input checked="" type="checkbox"/> Cost Effective Services Responsive to Citizens | <input type="checkbox"/> Downtown as a Community Focal Point |
| <input checked="" type="checkbox"/> Open Government w/ Involved Citizens           | <input type="checkbox"/> Regional Partnerships               |

**COMMITTEE ACTION:**

**UNANIMOUS APPROVAL**

**DATE: 11-5-01**

**BACKGROUND:** The Village regularly amends the Comprehensive Plan to ensure compliance with the most current development trends. The Staff is requesting to have the comprehensive plan designation for the southwest corner of Dundee and Quentin amended. The Comprehensive Plan currently designates the property for commercial development.

The purpose of the report is to analyze the existing property and make recommendations for future development. The attached report discusses the following:

- Existing Uses
- Existing Zoning
- Engineering
- Recommendations for development

**KEY ISSUES:**

<b>Parcel Size</b>	<b>6 acres</b>
<b>Current Land Uses</b>	<b>Mobil Gas Station, Office/residential &amp; 2 billboards</b>
<b>Current Zoning</b>	<b>C-3 General Business District in Cook County- Some permitted uses include: Automobile service stations, restaurants, theaters and animal hospitals.</b>

- Because the site is in unincorporated Cook County, it is not served by Village Sewer and Water.

Staff Recommendations

- The existing improved Mobil Gas Station should remain. A landscaped buffer including a solid fence should be installed along the west and south property lines.
- Development on the unimproved 5 acres should consist of single family attached with a density of between 6-7 dwelling units per acre. A minimum 40' landscaped buffer including a berm, should be provided from the existing single family located to the north (Please see the attached example site plan).
- Townhomes abutting single family houses should have lower roof heights to compliment the size and design of the existing single family houses.
- Stormwater detention should be provided for all developments.
- All proposed streets should meet Village standards.
- Sewer and water should be extended across all lot frontages.

**ALTERNATIVES:**

1. Recommend approval of the Sub Area Plan
2. Do not recommend approval of the Sub Area Plan

**RECOMMENDATION:**

**Public Hearing:** 10/16/01 Plan Commission Meeting

**Residents Testifying:** 4

**Concerns:** Potential Commercial Development and it should be developed with residential.

**Vote:** Unanimous approval, subject to the conditions in the attached Ordinance. Staff concurs with this recommendation

**ACTION REQUIRED:** Motion to recommend approval of an Ordinance amending the comprehensive plan for the property at the southwest corner of Quentin and Dundee.

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### 5.3. C-3 General Service District.

5.3.1. *Description of district.* The C-3 General Service District is intended to provide locations for services and small businesses. This district is more intensive than either of the preceding commercial districts. This district is normally located at intersections of or along major thoroughfares.

5.3.2. *Use, lot and bulk regulations.* The applicable use, lot and bulk regulations are set forth in Sections 5.3.3 through 5.3.9.

5.3.3. *Permitted uses.* A permitted use of land or buildings shall be allowed in accordance with the provisions of this ordinance. Unless otherwise specifically set forth, wherever a permitted use is named as a major category, it shall be deemed to include only those enumerated uses. Unless otherwise specifically allowed by this ordinance, no building or zoning lot shall be devoted to any use other than a permitted use, and no building or structure shall be erected, altered, enlarged or occupied, except as a permitted use. Uses lawfully established on the effective date of this ordinance, and rendered nonconforming by it, shall be subject to Article 10.

The following uses are permitted in the C-3 District:

- A. Retail businesses.
  - 1. Apparel, clothing, accessory, jewelry, and shoe stores.
  - 2. Bakeries, provided that the manufacture of goods is limited to those retailed on the premises.
  - 3. Bicycle sales and services.
  - 4. Book, stationery, art, and office supply stores.
  - 5. Catering establishments.
  - 6. Computer sales and services. Drapery stores.
  - 7. Drug stores and pharmacies.
  - 8. Electronics sales and services, including but not limited to cellular and land-line phones, computers, televisions, radios, camera and photographic supplies, and household appliances.
  - 9. Florist shops, conservatories, greenhouses, and nurseries.
  - 10. Food, grocery and dairy stores.
  - 11. Garden supply and seed stores.
  - 12. Homewares and hardware stores.
  - 13. Hearing aid sales and services.
  - 14. Gift and hobby shops.
  - 15. Musical instrument sales and repairs.
  - 16. Newsstands.
  - 17. Optical sales.
  - 18. Paint and wallpaper stores.
  - 19. Pet sales and supplies.
  - 20. Picture framing, when conducted for on-premises retail trade.

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21. Restaurants. Alcohol may be served for consumption on premise, only if incidental to serving food. Live entertainment and dancing requiring entry fees are prohibited.
  22. School supply stores.
  23. Sporting goods stores.
  24. Tobacco shops.
- B. Services.
1. Artist studios.
  2. Automobile, gasoline and service stations, including minor accessories, supplies, and services customarily incidental to gasoline and service stations, and electric vehicle charging stations. Facilities for service and washing shall be limited to not more than four vehicles, and enclosed in a building.
  3. Barber and beauty shops.
  4. Clothing rental agencies and formal wear shops.
  5. Currency exchanges.
  6. Electronics service and repair shops.
  7. Financial institutions, including banks and savings and loans.
  8. Fix-it shops, for general, minor repairs.
  9. Funeral homes and undertaking establishments.
  10. Locksmith shops.
  11. News syndicates and newspaper distribution agencies.
  12. Photocopying establishments.
  13. Photographic studios.
  14. Shoe, clothing and hat repair shops.
  15. Signs as regulated by Article 12.
  16. Tailor and dress-making shops.
  17. Ticket agencies, amusement.
  18. Travel agencies or bureaus and transportation ticket offices.
- C. Professional offices.
1. Accountants and bookkeepers.
  2. Animal hospitals and veterinary clinics for care and treatment of domestic pets and animals.
  3. Architects.
  4. Detective agencies.
  5. Doctors, physicians, and dentists offices and clinics.
  6. Employment agencies.
  7. Engineers.

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8. Insurance agencies.
  9. Land surveyors.
  10. Landscape architects.
  11. Newspaper, media, and web design and publishing agencies.
- D. Recreation and social facilities.
1. Clubs.
  2. Community center buildings, clubhouses, recreation buildings, swimming pools and buildings for indoor swimming pools, tennis courts and buildings for indoor tennis courts, noncommercial and not-for-profit.
  3. Lodges and fraternal organizations.
  4. Theaters, indoor.
- E. Public and governmental land and buildings.
1. Forest preserves.
  2. Historical buildings and landmarks preserved for the public.
  3. Public libraries.
  4. Public office buildings.
- F. Public utilities and services.
1. Electric substations, gas regulator stations, telephone exchanges and other essential public utilities and services.
  2. Post offices.
- G. Agricultural land and buildings.
1. Agricultural uses.

5.3.4. *Special uses.* A special use may be allowed subject to issuance of a special use permit in accordance with the provisions of Article 13. Unless otherwise specifically set forth, wherever a special use is named as a major category, it shall be deemed to include only those enumerated uses.

The following special uses may be permitted in the C-3 District:

- A. Retail businesses.
1. Building material supplies, sales and service.
  2. Furniture stores.
  3. Roadside stands.
- B. Services.
1. Automobile repair shops.
  2. Dry cleaners, laundries, launderettes and clothes pressing establishments. Dry cleaning and laundry plants serving more than one retail outlet are prohibited.
  3. Parking lots other than accessory, subject to Article 11.
- C. Residential.

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1. Hotels and motels.
  2. Residence of the proprietor.
- D. Public and governmental land and buildings.
1. Parks and playgrounds.
- E. Health, medical and care institutions.
1. Nursery schools, children's day schools, nurseries, and day care centers.
  2. Medical cannabis dispensing organization, as regulated by 410 ILCS 130/1 et seq.
- F. Public utilities and services.
1. Bus terminals, turnarounds and lots.
  2. Fire stations.
  3. Police stations.
  4. Railroad passenger stations.
  5. Railroad rights-of-way. Railroad yards and shops for other than passenger service are prohibited.
  6. Waterworks, reservoirs, pumping stations, wells and filtration plants.
- G. Planned unit developments.
- H. Recreation and social facilities.
1. Video gaming.
- I. Unique uses as regulated by this ordinance.
- J. Uses similar and compatible to those allowed in this district.

5.3.5. *Temporary uses.* The following temporary uses may be allowed upon issuance of a permit by the Department of Building and Zoning:

- A. *Temporary buildings or yards.* For storage of construction materials and equipment both incidental and necessary to construction in the zoning district. Permits shall specify the location of the building or yard and the area of permitted operation. Permits shall be valid for not more than six months and shall not be renewed for more than four successive periods. The building or yard shall not interfere with the use and enjoyment of neighboring property.
- B. *Temporary sales offices.* Permits shall specify the location of the office and the area of permitted operation. Permits shall be issued in six-month increments for a period of not more than two years, unless otherwise authorized by the Building Commissioner.
- C. *Real estate signs.* Temporary real estate signs as regulated by Article 12.
- D. *Bazaars and dances.* Permits shall be valid for not more than seven days. No permit shall be issued for the same location within 90 days of the expiration of a bazaar or dance permit.
- E. *Christmas tree sales.* Permits shall be valid for not more than 60 days.
- F. *Parking lots for special events.* Permits shall be valid only for the duration of the event.
- G. *Portable signs.* Portable signs as regulated by Article 12.

5.3.6. *Accessory uses.* A use, building or other structure customarily incidental to and commonly associated with a principal, permitted or special use may be allowed as an accessory use, provided that it is operated and

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maintained under the same ownership and on the same lot as the permitted use. Accessory uses shall not include structures or features inconsistent with the permitted use or involve the conduct of any business, profession, trade or industry. Accessory uses may include the following and similar uses:

- A. Agricultural buildings and structures.
- B. Fallout shelters as regulated by this ordinance.
- C. Garages, carports or other parking spaces. Truck parking shall be limited to vehicles not more than 1½-ton capacity when located within 150 feet of a residence district.
- D. Gardens.
- E. Roadside stands. For the display and sale of agricultural products only, where the principal use is agriculture.
- F. Sewage disposal units and water systems, individual, as regulated by this ordinance.
- G. Signs as regulated by Article 12.
- H. Tool houses, sheds and other similar buildings. For the storage of supplies and equipment.
- I. Vending machines.
- J. Water retention and detention areas.

5.3.7. *Prohibited uses.* All uses not expressly authorized in Sections 5.3.3 through 5.3.6 are prohibited.

5.3.8. *Site and structure provisions.* The uses in the C-3 General Service District shall conform to the following requirements:

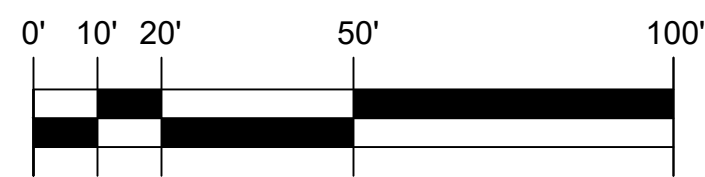
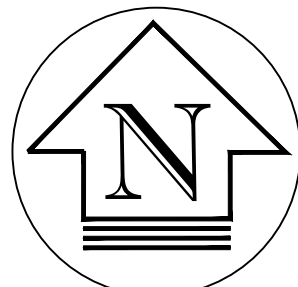
- A. Minimum lot area. Minimum lot area is not required, except for those uses specified below:
  - 1. Hotels and motels shall have not less than 500 square feet of lot area per unit or suite.
  - 2. Agricultural buildings and structures shall have a minimum lot area of five acres.
- B. Minimum lot width. Minimum lot width is not required.
- C. Front yard. Buildings and structures, except agricultural buildings and structures, shall be set back from the front lot line at least 30 feet. Agricultural buildings and structures shall be set back from the front lot line at least 100 feet.
- D. Interior side yard (adjacent to a zoning lot). Interior side yard is not required.
- E. Corner side yard (adjacent to a street). Buildings and structures shall be set back from the side lot adjacent to a street right-of-way at least 30 feet.
- F. Rear yard. Rear yard is not required, except for buildings in which a residential use is located above the first floor. Such yard shall be at least 30 feet in depth and shall be measured from the finished floor of the lowest residential unit.
- G. Transitional yard. Minimum transitional yard requirements for all buildings and structures shall be not less than those specified below:
  - 1. Side lot lines that abut a side or rear lot line in a residence district shall provide a yard along the side lot line. The yard shall be at least the minimum side yard required under this ordinance for a residential use on the adjacent residential lot.
  - 2. Rear lot lines that abut a side lot line in a residence district shall provide a yard along the rear lot line. The yard shall be at least the minimum side yard required under this ordinance for a residential use on the adjacent residential lot.

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3. Rear lot lines that abut a rear lot line in a residence district shall provide a yard along the rear lot line. The yard shall be at least 20 feet in depth.
  4. Front or side lot lines across a street, alley or other right-of-way from the front lot line of a lot in a residence district shall provide a yard at least the minimum front yard required by this ordinance on such adjacent residential lot along the front or side lot line.
  5. Land used for agricultural buildings and structures shall provide a transitional yard of at least 50 feet in depth along all lot lines that abut a lot line in an adjacent residence district.
- H. Floor area ratio. Maximum floor area ratio shall be 1:2.
- I. Minimum size of dwelling. Buildings and structures occupied in whole or in part for residential purposes shall contain at least 500 square feet of livable floor area, exclusive of basement and garage space.

5.3.9. *Special provisions.* The uses in the C-3 Restricted Business District shall conform to the following requirements:

- A. Parking and loading. Uses shall conform to Article 11.
- B. Signs. Uses shall conform to Article 12.
- C. Trucks. Parking of trucks as an accessory use, when used in the conduct of a permitted use located within 150 feet of a residence district boundary line, shall be limited to vehicles less than 1½-ton capacity.
- D. Sewers and water. Uses requiring sanitary facilities shall be served by either a municipal or private community sewer and water system or a private individual sewage disposal system and water supply system. The system used must be approved by the Cook County Health Department. Lodging houses and multiple-family dwellings must be served by either a municipal or private community sewer system, not by a private individual sewage disposal system.
- E. Businesses.
  1. Business uses and residential uses are not allowed on the same floor of the same building.
  2. Business uses are not allowed above the second floor in buildings containing residential dwelling units. A mezzanine may be provided by a business as an intermediate, fractional story between the floor and the ceiling of the first story.
  3. Business uses shall be retail or service establishments dealing directly with consumers. All goods produced on premises shall be sold at retail there.
  4. Business uses offering goods or services to customers waiting in parked motor vehicles are prohibited, except automobile gasoline and service stations.
  5. Business uses involving the production, processing, cleaning, servicing, testing or repair of materials, goods or products shall conform with the I-1 industrial performance standards in this ordinance. Performance standards shall be applied at the boundaries of the zoning lot in which such activities take place.

(Ord. No. 25-0036, 4-10-2025)



**UNITED SURVEY SERVICE, LLC**  
 CONSTRUCTION AND LAND SURVEYORS  
 7710 CENTRAL AVENUE, RIVER FOREST, IL 60395  
 TEL.: (847) 299-1010 FAX: (847) 299-5887  
 E-MAIL: USURVEY@USANDCS.COM

**BOUNDARY AND TOPOGRAPHIC SURVEY**

OF  
 THE EAST 516.94 FEET OF THAT PART OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 9, TOWNSHIP 42 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, LYING SOUTH OF THE SOUTH LINE OF DUNDEE ROAD (AS WIDENED) AND WEST OF THE WEST LINE OF QUINTEN ROAD (AS WIDENED), IN COOK COUNTY, ILLINOIS.

KNOWN AS: **885 W. DUNDEE ROAD, PALATINE, ILLINOIS**

PERMANENT INDEX NUMBER:

- 02 - 09 - 203 - 008 - 0000
- 02 - 09 - 203 - 009 - 0000
- 02 - 09 - 203 - 010 - 0000

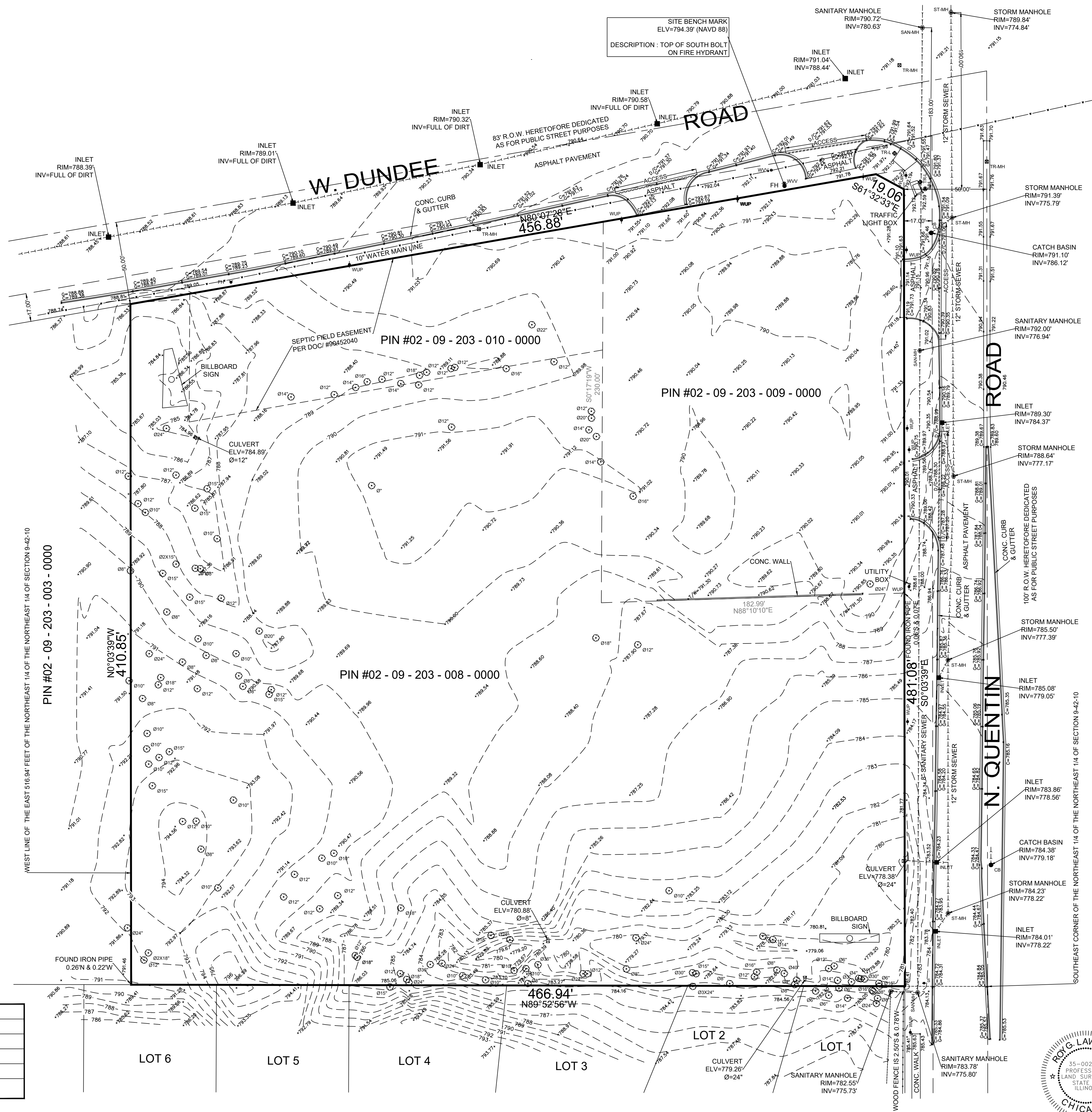
AREA=210,940.87 SQ.FT OR 4.84 ACRES

NOTE:  
 ELEVATION DETERMINED BY GPS METHOD

**PUBLIC UTILITY NOTE:**  
 LOCATION OF UNDERGROUND UTILITIES WHERE NOT SUBSTANTIATED BY PHYSICAL EVIDENCE ARE TAKEN FROM RECORDS NORMALLY CONSIDERED RELIABLE. NO RESPONSIBILITY FOR THEIR ACCURACY IS ASSUMED BY THE SURVEYOR.

**CONTRACTOR SHALL NOTIFY ALL PUBLIC UTILITY COMPANIES (GAS, ELECTRIC, TELEPHONE, SEWER AND WATER, ETC.) PRIOR TO COMMENCING ANY CONSTRUCTION.**

THESE COMPANIES WILL LOCATE ON THE GROUND THE LOCATION OF ALL CONDUIT, DUCTS, UNDERGROUND PIPING, ETC., ADJOINING AND CROSSING PROPOSED CONSTRUCTION.



LEGEND	ABBREVIATIONS
	SAN-MH SANITARY MANHOLE
	ST-MH STORM MANHOLE
	CB CATCH BASIN
	INLET INLET
	WVV WATER VALVE VAULT
	FH FIRE HYDRANT
	TR-L TRAFFIC LIGHT
	LP LIGHT POLE
	WUP WOOD UTILITY POLE
	TREE
	TR-S-MH TRAFFIC SIGNAL MANHOLE
	MH MANHOLE
	SIGN SIGN
C=	CONC. CURB
G=	CONC. GUTTER
TW=	TOP OF WALL
(R)	RECORD DATA
(M)	MEASURED DATA

ORDERED BY:		
CORNERSITE, LLC		
SCALE : 1" = 30'		
DATE : JULY 18, 2025		
FILE No.:		
2025 - 32217	DATE	REVISION

STATE OF ILLINOIS )  
 ) S.S.  
 COUNTY OF COOK )

I, ROY G. LAWNICZAK, DO HEREBY CERTIFY THAT I HAVE SURVEYED THE ABOVE DESCRIBED PROPERTY AND THAT THE PLAT HEREON DRAWN IS A CORRECT REPRESENTATION OF SAID SURVEY.

THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.

DIMENSIONS ARE SHOWN IN FEET AND DECIMALS AND ARE CORRECTED TO A TEMPERATURE OF 68° FAHRENHEIT.

COMPARE THIS PLAT, LEGAL DESCRIPTION AND ALL SURVEY MONUMENTS BEFORE BUILDING, AND IMMEDIATELY REPORT ANY DISCREPANCIES TO THE SURVEYOR.

RIVER FOREST, ILLINOIS, JULY 18, A.D. 2025.

BY: *Roy G. Lawniczak*  
 ROY G. LAWNICZAK, REGISTERED ILLINOIS LAND SURVEYOR NO. 35-2290  
 LICENSE EXPIRES: NOVEMBER 30, 2026  
 PROFESSIONAL DESIGN FIRM LICENSE NO.: 184-0004576  
 LICENSE EXPIRES: APRIL 30, 2027

PUBLIC NOTICE

A Public Hearing will be held before the Village of Palatine Planning and Zoning Commission on Tuesday, February 10, 2026 at 7 PM, in the Village Council Chambers in Palatine Village Hall, 200 E. Wood Street, relative to a request for the following:

**Preliminary Planned Development to allow a 40-unit townhouse development**

The now vacant property is located at the southwest corner of Quentin Road and Dundee Road and consists of 3 separate lots, is commonly known as 1490 N. Quentin Road and 885 W. Dundee Road.

The Petitioner is requesting a Preliminary Planned Development to allow a 40-unit rental townhouse development. The proposed development would include 10 separate buildings, with a combination of 2 and 3-story buildings. The property is located in unincorporated Cook County and the developer submitted an annexation application, as part of the Preliminary Planned Development petition.

The above petition has been filed by David Schwartz, Cornersite, developer and contract purchaser of the property, and is available for examination in the office of the Village Clerk, 200 E. Wood Street.

FILE #:           PPD-000014-2025           VILLAGE OF PALATINE

Jan Wood, Chair  
Palatine Planning and Zoning Commission

DATED: This 22<sup>nd</sup> day of January 2026

# CERTIFICATE OF PUBLICATION

DES PLAINES JOURNAL, INC., a corporation organized and existing under and by virtue of the laws of the State of Illinois, does hereby CERTIFY that it is the publisher of the:

Journal & Topics Newspapers  
AKA Des Plaines Journal, Inc.  
622 Graceland Ave.  
Des Plaines, IL 60016-4556

and that said newspaper(s) is a secular newspaper of general circulation and has been published weekly in the

(Village) (Town) (City) (Township) of PALATINE 1490 N. Quentin, 885 W. Dundee Rd  
     
County of COOK

and State of Illinois, continuously for more than one year prior to date of the first publication of the notice attached hereto, and that said newspaper(s) complies with the requirements of Paragraphs 5 and 10, Chapter 100, of the Illinois Revised Statutes.

Further, that the notice, of which the attached is a true copy, was published ONE times in the said newspaper(s), namely once each week for ONE successive week(s) and that the first publication of said notice was made on the 22ND day of JANUARY, A.D. 2026, and the last publication thereof was made on the 22ND day of JANUARY, A.D. 2026.

- Your Legal appeared in the following Journal & Topics Newspapers (Des Plaines Journal, Inc.)
- Des Plaines Journal
  - Elk Grove Village Journal
  - Mt. Prospect Journal
  - Niles Journal
  - Park Ridge-Golf Mill Journal
  - Prospect Heights Journal
  - Rosemont Journal
  - Arlington Heights Topics
  - Buffalo Grove Topics
  - Palatine Topics
  - Rolling Meadows Topics
  - Wheeling Topics
  - Suburban Journal
  - Northwest Journal
  - Glenview Journal



*Mary A. Wenzl*

IN WITNESS WHEREOF, THE DES PLAINES JOURNAL, INC., has caused this certificate to be signed and its corporate seal affixed hereto at Des Plaines, Illinois this 22ND day of JANUARY A.D., 2026.

By Todd Wessell

President  
Title of Corporate Officer

County of Cook  
State of Illinois

Subscribed and sworn to before me this 22ND day of JANUARY A.D., 2026.

My commission expires the 6TH day of AUGUST A.D., 2029.