



**VILLAGE COUNCIL & COMMITTEE OF THE WHOLE**  
**MARCH 16, 2026 AT 7:00 PM**

VILLAGE HALL - COUNCIL CHAMBERS  
200 E. WOOD STREET  
PALATINE, IL 60067-5339  
(847) 359-9050 [www.palatine.il.us](http://www.palatine.il.us)

**AGENDA**

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**REGULAR MEETING**

**7:00 PM**

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- I. CALL TO ORDER**
- II. ROLL CALL**
- III. PLEDGE TO THE FLAG**
- IV. APPROVAL OF MINUTES**
  - A. Village Council & Committee of the Whole - Regular Meeting - March 9, 2026
- V. MAYOR'S REPORT**
  - A. As Submitted
- VI. RECESS TO THE COMMITTEE OF THE WHOLE**
- VII. COMMITTEE OF THE WHOLE**
  - A. POLICE POLICY & CODE SERVICES COMMITTEE**  
DOUG MYSLINSKI, CHAIR
    - 1. Consider an Ordinance Granting a Variation for the Expansion of a Stoop at 606 E. Kenilworth Avenue  
Council District: Six
    - 2. Consider an Ordinance Approving a Special Use Transfer to Permit the Continued Operation of the Grocery Store at 1266 E. Dundee Road  
Council District: Five
    - 3. Consider a Resolution Granting a Preliminary and Final Plat of Subdivision to Re-Subdivide the Property at 763 N. Franklin Avenue from Three Existing Lots to Two Lots  
Council District: One
    - 4. As Submitted
  - B. COMMUNITY & ECONOMIC DEVELOPMENT COMMITTEE**  
SCOTT LAMERAND, CHAIR

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1. Consider an Ordinance Granting a Minor Amendment to the Slade Street Crossing Planned Development Regarding the Allowable Fencing Type, Maximum Height, and Permitted Locations, Including an Amendment to the Slade Street Crossing Declarations  
Council District: Six
  2. Consider an Ordinance Granting a Minor Amendment to the Olms Corner Planned Development Regarding the Allowable Fencing Type, Maximum Height, and Permitted Locations, Including an Amendment to the Olms Corner Subdivision Declarations  
Council District: Six
  3. Discussion on Slade Street Improvements from Greeley Street to Plum Grove Road  
Council District: Six
  4. As Submitted
- C. BUSINESS FINANCE & BUDGET COMMITTEE**  
JOE FALKENBERG, CHAIR
1. Consider an Ordinance Authorizing the Village Manager to Execute an Amended and Restated Solid Waste Services Agreement Between The Village of Palatine and Groot Industries, Inc.
  2. As Submitted
- D. ADMINISTRATION, TECHNOLOGY & COMMUNITY HEALTH COMMITTEE**  
GREG LANGER, CHAIR
1. Police Department's Online Reporting and Crime Incident Viewer Presentation
  2. As Submitted
- E. FIRE POLICY & COMMUNITY INFORMATION COMMITTEE**  
BRAD HELMS, CHAIR
1. Consider an Ordinance Authorizing the Village Manager to Execute a Renewed Intergovernmental Agreement Between the Village of Palatine and the Inverness Fire Protection District
  2. Fire Station 82 & 85 Renovations & Modifications
    - a. Consider a Motion Authorizing the Village Manager to Execute a Change Order for the Improvement of Fire Station 82 and 85  
Council District: Three, Council District: Six

- b. Consider a Motion Authorizing the Village Manager to Execute an Architectural Services Supplement for Fire Station 82 and Fire Station 85 Improvements  
Council District: Three, Council District: Six

3. As Submitted

**F. INFRASTRUCTURE & ENVIRONMENT COMMITTEE**  
KOLLIN KOZLOWSKI, CHAIR

1. Purchases of Public Works Equipment and Outfittings
  - a. Consider a Motion Authorizing the Village Manager to Purchase a Public Works Cargo Van
  - b. Consider a Motion Authorizing the Village Manager to Purchase a Public Works Locate Truck
  - c. Consider a Motion Authorizing the Village Manager to Purchase a Public Works Five-Ton Dump Truck
  - d. Consider a Motion Authorizing the Village Manager to Purchase a Public Works One-Ton Dump Truck
  - e. Consider a Motion Authorizing the Village Manager to Purchase a Public Works One-Ton Stake Body Truck
  - f. Consider a Motion Authorizing the Village Manager to Purchase Three Public Works Three-Quarter-Ton Pickup Trucks
2. Consider a Motion Authorizing the Village Manager to Purchase a Fire Administration Vehicle
3. Consider a Motion Authorizing the Village Manger to Purchase a Public Works Mobile Column Lift Set
4. Consider a Motion to Approve the Rebuild of the Backup Generator Engine at the Police Headquarters
5. Consider a Motion Authorizing the Village Manager to Enter Into Contracts for the Demolition of 21 W. Railroad Avenue  
Council District: Six
6. As Submitted

**VIII. RECONVENE THE VILLAGE COUNCIL MEETING**

**IX. CONSENT AGENDA**

All items are considered to be routine by the Village Council and will be enacted by one motion, with waiver of first reading. There will be no separate discussion of these items unless a Council Member so requests, in which event the item will be removed from the Consent Agenda and considered in its normal sequence on the agenda.

- A. Consider a Motion to Approve Warrant 2026 #6
- B. Consider an Ordinance Granting a Variation for the Expansion of a Stoop at 606 E. Kenilworth Avenue  
Council District: Six
- C. Consider an Ordinance Approving a Special Use Transfer to Permit the Continued Operation of the Grocery Store at 1266 E. Dundee Road  
Council District: Five
- D. Consider a Resolution Granting a Preliminary and Final Plat of Subdivision to Re-Subdivide the Property at 763 N. Franklin Avenue from Three Existing Lots to Two Lots  
Council District: One
- E. Consider an Ordinance Granting a Minor Amendment to the Slade Street Crossing Planned Development Regarding the Allowable Fencing Type, Maximum Height, and Permitted Locations, Including an Amendment to the Slade Street Crossing Declarations  
Council District: Six
- F. Consider an Ordinance Granting a Minor Amendment to the Olms Corner Planned Development Regarding the Allowable Fencing Type, Maximum Height, and Permitted Locations, Including an Amendment to the Olms Corner Subdivision Declarations  
Council District: Six
- G. Consider an Ordinance Authorizing the Village Manager to Execute an Amended and Restated Solid Waste Services Agreement Between The Village of Palatine and Groot Industries, Inc.
- H. Consider an Ordinance Authorizing the Village Manager to Execute a Renewed Intergovernmental Agreement Between the Village of Palatine and the Inverness Fire Protection District
- I. Consider a Motion Authorizing the Village Manager to Execute a Change Order for the Improvement of Fire Station 82 and 85  
Council District: Three, Council District: Six
- J. Consider a Motion Authorizing the Village Manager to Execute an Architectural Services Supplement for Fire Station 82 and Fire Station 85 Improvements  
Council District: Three, Council District: Six

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- K. Consider a Motion Authorizing the Village Manager to Purchase a Public Works Cargo Van
  - L. Consider a Motion Authorizing the Village Manager to Purchase a Public Works Locate Truck
  - M. Consider a Motion Authorizing the Village Manager to Purchase a Public Works Five-Ton Dump Truck
  - N. Consider a Motion Authorizing the Village Manager to Purchase a Public Works One-Ton Dump Truck
  - O. Consider a Motion Authorizing the Village Manager to Purchase a Public Works One-Ton Stake Body Truck
  - P. Consider a Motion Authorizing the Village Manager to Purchase Three Public Works Three-Quarter-Ton Pickup Trucks
  - Q. Consider a Motion Authorizing the Village Manager to Purchase a Fire Administration Vehicle
  - R. Consider a Motion Authorizing the Village Manger to Purchase a Public Works Mobile Column Lift Set
  - S. Consider a Motion to Approve the Rebuild of the Backup Generator Engine at the Police Headquarters
  - T. Consider a Motion Authorizing the Village Manager to Enter Into Contracts for the Demolition of 21 W. Railroad Avenue  
Council District: Six
  - U. Consider an Ordinance Declaring Surplus Revenue In the Village of Palatine  
Downtown TIF District Special Tax Allocation Fund

## **X. REPORTS OF STANDING COMMITTEES**

- A. **ADMINISTRATION, TECHNOLOGY & COMMUNITY HEALTH COMMITTEE**  
GREG LANGER, CHAIR
  - 1. As Submitted
- B. **BUSINESS FINANCE & BUDGET COMMITTEE**  
JOE FALKENBERG, CHAIR
  - 1. As Submitted
- C. **COMMUNITY & ECONOMIC DEVELOPMENT COMMITTEE**  
SCOTT LAMERAND, CHAIR

- 1. As Submitted

**D. FIRE POLICY & COMMUNITY INFORMATION COMMITTEE**  
BRAD HELMS, CHAIR

- 1. As Submitted

**E. INFRASTRUCTURE & ENVIRONMENT COMMITTEE**  
KOLLIN KOZLOWSKI, CHAIR

- 1. As Submitted

**F. POLICE POLICY & CODE SERVICES COMMITTEE**  
DOUG MYSLINSKI, CHAIR

- 1. As Submitted

**XI. REPORTS OF THE VILLAGE OFFICERS**

**A. VILLAGE MANAGER**

- 1. As Submitted

**B. VILLAGE CLERK**

- 1. As Submitted

**C. VILLAGE ATTORNEY**

- 1. As Submitted

**XII. CLOSED SESSION AS REQUIRED**

**XIII. RECOGNITION OF AUDIENCE**

**XIV. ADJOURNMENT**

# VILLAGE COUNCIL & COMMITTEE OF THE WHOLE

MARCH 9, 2026 AT 7:00 PM



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200 E. WOOD STREET  
PALATINE, IL 60067-5339  
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## MINUTES

REGULAR MEETING

7:00 PM

### I. CALL TO ORDER

Mayor Schwantz called the meeting to order at 7:00 PM.

### II. ROLL CALL

<b>PRESENT :</b>	Mayor Jim Schwantz, Councilman District 2 Scott Lamerand, Councilman District 3 Doug Myslinski, Councilman District 4 Joe Falkenberg, Councilman District 5 Kollin Kozlowski, Councilman District 6 Brad Helms
<b>ABSENT :</b>	Councilman District 1 Greg Langer
<b>ARRIVED :</b>	

Also Present:

Village Clerk Maureen Pasqualucci, Village Manager Reid Ottesen, Deputy Village Manager Hadley Skeffington-Vos, Village Attorney Patrick Brankin, Director of Public Works Matt Barry, Police Chief William Nord, Deputy Police Chief David Brandwein, IT Director Larry Schroth, Director of Finance Andrew Brown

### III. PLEDGE TO THE FLAG

Mayor Schwantz invited everyone to stand and join him in the Pledge to the Flag.

### IV. APPROVAL OF MINUTES

A. Village Council & Committee of the Whole - Regular Meeting - March 2, 2026

<b>RESULT:</b>	<b>MOTION APPROVED BY VOICE VOTE</b>
<b>MOVER:</b>	Doug Myslinski
<b>SECONDER:</b>	Joe Falkenberg
<b>AYES:</b>	Scott Lamerand, Doug Myslinski, Joe Falkenberg, Kollin Kozlowski, Brad Helms
<b>NAYES:</b>	None

**V. MAYOR'S REPORT**

A. As Submitted

Mayor Schwantz announced upcoming events:

**March 2 through March 16: Mon. – Sat. 9 AM to 5 PM; Sun. 10 AM to 4 PM**

Early Voting for the March 17 Gubernatorial Primary  
150 W. Wilson Street – Village Hall is NOT a voting site

**Saturday, March 14: 11 AM**

St. Patrick’s Day Parade  
Downtown Palatine

**Wednesday, March 18: 7 PM – 9 PM**

District 1 & 2 Advisory Meeting – Hosted by Councilman Langer and Councilman Lamerand  
Village Hall Council Chambers

**VI. RECESS TO THE COMMITTEE OF THE WHOLE**

<b>RESULT:</b>	<b>MOTION APPROVED BY VOICE VOTE</b>
<b>MOVER:</b>	Brad Helms
<b>SECONDER:</b>	Kollin Kozlowski
<b>AYES:</b>	Scott Lamerand, Doug Myslinski, Joe Falkenberg, Kollin Kozlowski, Brad Helms
<b>NAYS:</b>	None

**VII. COMMITTEE OF THE WHOLE**

A. **ADMINISTRATION, TECHNOLOGY & COMMUNITY HEALTH COMMITTEE**  
GREG LANGER, CHAIR

1. Consider a Motion to Approve the Farmers' Market to Utilize the Village Train Station Parking Lot (B) for the 2026 Summer Farmers' Market and 2026-2027 Winter Farmers' Market  
Council District: Six

In the absence of Chairman Langer, Vice-Chairman Lamerand opened the Administration, Technology & Community Health Committee.

Village Manager Reid Ottesen discussed the upcoming farmers' market season and the transition of its nonprofit sponsorship from Sister Cities to the Knights of Columbus for the 2026–2027 season.

Marg Duer, after dedicating 36 years to the market committee, spoke about passing her responsibilities on to Barb Rozny, entrusting the work she’s cherished for so long to caring hands.

Barb Rozny, 412 N. Seminary Ave, Park Ridge, 25 years as a market vendor, expressed enthusiasm for managing the market and working together with the Knights of Columbus.

David Heiden, Knights of Columbus, Council 4977, expressed appreciation for this new opportunity within the farmer's market.

Councilman Lamerand conveyed the council’s appreciation for the farmers market’s organization and efforts.

<b>RESULT:</b>	<b>MOTION APPROVED BY VOICE VOTE</b>
<b>MOVER:</b>	Brad Helms
<b>SECONDER:</b>	Joe Falkenberg
<b>AYES:</b>	Jim Schwantz, Scott Lamerand, Doug Myslinski, Joe Falkenberg, Kollin Kozlowski, Brad Helms
<b>NAYS:</b>	None

- 2. As Submitted

Nothing Submitted.

**B. INFRASTRUCTURE & ENVIRONMENT COMMITTEE**  
**KOLLIN KOZLOWSKI, CHAIR**

- 1. Consider a Motion Authorizing the Village Manager to Approve Reimbursements to the Palatine Park District for Contractual Grass Mowing Services

Director of Public Works Matt Barry explained the partnership with the Palatine Park District, which allows for more cost-effective grass-maintenance bidding. Barry highlighted the bid submissions, the savings achieved, and the request to extend the agreement through 2027–2028. He also noted that Yellowstone Landscaping was the low responsive bidder.

<b>RESULT:</b>	<b>MOTION APPROVED BY VOICE VOTE</b>
<b>MOVER:</b>	Doug Myslinski
<b>SECONDER:</b>	Joe Falkenberg
<b>AYES:</b>	Jim Schwantz, Scott Lamerand, Doug Myslinski, Joe Falkenberg, Kollin Kozlowski, Brad Helms
<b>NAYS:</b>	None

- 2. Consider a Motion to Extend the Contract for the Village's Landscape Maintenance Program

Director of Public Works Matt Barry presented the contract extensions for landscaping maintenance, noting that the 2023–2025 agreement had expired and recommending a new extension for 2026–2028 with Brian Edwards. He highlighted recent building removals and additions, along with updates to maintenance and irrigation costs, and mentioned that Year 1 came in under budget.

<b>RESULT:</b>	<b>MOTION BY VOICE VOTE</b>
<b>MOVER:</b>	Joe Falkenberg
<b>SECONDER:</b>	Scott Lamerand
<b>AYES:</b>	Jim Schwantz, Scott Lamerand, Doug Myslinski, Joe Falkenberg, Kollin Kozlowski, Brad Helms
<b>NAYS:</b>	None

- 3. Consider a Motion to Award a Contract for the 2026 Supplemental Street Resurfacing Project

Director of Public Works Matt Barry discussed that the 2026 road-maintenance budget produced a surplus after bids, and staff recommended using these savings to resurface additional streets. The savings are proposed to be used in a two-part plan that includes resurfacing nine streets in-house, adding five competitively bid contractual streets, and using Downtown TIF District funds to advance 2027 work and improve overall road conditions.

Councilman Kozlowski asked for clarification on the project savings, and Barry explained that the savings are recommended to be held in abeyance as a contingency or would be carried over and applied to the following year.

<b>RESULT:</b>	<b>MOTION APPROVED BY VOICE VOTE</b>
<b>MOVER:</b>	Brad Helms
<b>SECONDER:</b>	Doug Myslinski
<b>AYES:</b>	Jim Schwantz, Scott Lamerand, Doug Myslinski, Joe Falkenberg, Kollin Kozlowski, Brad Helms
<b>NAYS:</b>	None

- 4. Consider a Motion to Award a Contract for the 2026 Water Main Improvements Project  
Council District: Two

Director of Public Works Matt Barry discussed the 2026 Water Main Improvement Project on Quentin Road from Medford Drive to Euclid Avenue along with additional work on parts of Kenilworth, Daniels, and Maple. Barry noted that

Performance Construction was the low responsive bidder and recommended approval.

<b>RESULT:</b>	<b>MOTION APPROVED BY VOICE VOTE</b>
<b>MOVER:</b>	Scott Lamerand
<b>SECONDER:</b>	Joe Falkenberg
<b>AYES:</b>	Jim Schwantz, Scott Lamerand, Doug Myslinski, Joe Falkenberg, Kollin Kozlowski, Brad Helms
<b>NAYS:</b>	None

- 5. Consider a Motion Authorizing the Village Manager to Execute a Proposal for Construction Engineering Services for the 2026 Water Main Improvements Project  
Council District: Two

Director of Public Works Matt Barry reported that the proposal for underground construction engineering services from Doland Engineering came in at 10% under budget, and Barry recommended approval.

<b>RESULT:</b>	<b>MOTION APPROVED BY VOICE VOTE</b>
<b>MOVER:</b>	Scott Lamerand
<b>SECONDER:</b>	Joe Falkenberg
<b>AYES:</b>	Jim Schwantz, Scott Lamerand, Doug Myslinski, Joe Falkenberg, Kollin Kozlowski, Brad Helms
<b>NAYS:</b>	None

- 6. As Submitted  
Nothing Submitted.

**C. BUSINESS FINANCE & BUDGET COMMITTEE**  
JOE FALKENBERG, CHAIR

- 1. As Submitted  
Nothing Submitted.

**D. COMMUNITY & ECONOMIC DEVELOPMENT COMMITTEE**  
SCOTT LAMERAND, CHAIR

- 1. As Submitted  
Nothing Submitted.

**E. FIRE POLICY & COMMUNITY INFORMATION COMMITTEE**  
BRAD HELMS, CHAIR

- 1. As Submitted

Nothing Submitted.

**F. POLICE POLICY & CODE SERVICES COMMITTEE**  
DOUG MYSLINSKI, CHAIR

- 1. As Submitted

Nothing Submitted.

**VIII. RECONVENE THE VILLAGE COUNCIL MEETING**

<b>RESULT:</b>	<b>MOTION APPROVED BY VOICE VOTE</b>
<b>MOVER:</b>	Brad Helms
<b>SECONDER:</b>	Joe Falkenberg
<b>AYES:</b>	Scott Lamerand, Doug Myslinski, Joe Falkenberg, Kollin Kozlowski, Brad Helms
<b>NAYS:</b>	None

**IX. CONSENT AGENDA**

All items are considered to be routine by the Village Council and will be enacted by one motion, with waiver of first reading. There will be no separate discussion of these items unless a Council Member so requests, in which event the item will be removed from the Consent Agenda and considered in its normal sequence on the agenda.

The motion was to approve items A. to F.

<b>RESULT:</b>	<b>MOTION APPROVED BY ROLL CALL</b>
<b>MOVER:</b>	Scott Lamerand
<b>SECONDER:</b>	Doug Myslinski
<b>AYES:</b>	Scott Lamerand, Doug Myslinski, Joe Falkenberg, Kollin Kozlowski, Brad Helms
<b>NAYS:</b>	None

- A. Consider a Motion to Approve the Farmers' Market to Utilize the Village Train Station Parking Lot (B) for the 2026 Summer Farmers' Market and 2026-2027 Winter Farmers' Market  
Council District: Six
- B. Consider a Motion Authorizing the Village Manager to Approve Reimbursements to the Palatine Park District for Contractual Grass Mowing Services
- C. Consider a Motion to Extend the Contract for the Village's Landscape Maintenance Program
- D. Consider a Motion to Award a Contract for the 2026 Supplemental Street Resurfacing Project

- E. Consider a Motion to Award a Contract for the 2026 Water Main Improvements Project  
Council District: Two
- F. Consider a Motion Authorizing the Village Manager to Execute a Proposal for Construction Engineering Services for the 2026 Water Main Improvements Project  
Council District: Two

## **X. REPORTS OF STANDING COMMITTEES**

### **A. ADMINISTRATION, TECHNOLOGY & COMMUNITY HEALTH COMMITTEE** GREG LANGER, CHAIR

- 1. As Submitted

In the absence of Chairman Langer, Vice-Chairman Lamerand reported on the Administration, Technology & Community Health Committee.

No Report.

### **B. BUSINESS FINANCE & BUDGET COMMITTEE** JOE FALKENBERG, CHAIR

- 1. As Submitted

No Report.

### **C. COMMUNITY & ECONOMIC DEVELOPMENT COMMITTEE** SCOTT LAMERAND, CHAIR

- 1. As Submitted

No Report.

### **D. FIRE POLICY & COMMUNITY INFORMATION COMMITTEE** BRAD HELMS, CHAIR

- 1. As Submitted

No Report.

### **E. INFRASTRUCTURE & ENVIRONMENT COMMITTEE** KOLLIN KOZLOWSKI, CHAIR

- 1. As Submitted

No Report.

### **F. POLICE POLICY & CODE SERVICES COMMITTEE** DOUG MYSLINSKI, CHAIR

1. As Submitted  
No Report.

## **XI. REPORTS OF THE VILLAGE OFFICERS**

### **A. VILLAGE MANAGER**

1. As Submitted  
No Report.

### **B. VILLAGE CLERK**

1. As Submitted  
No Report.

### **C. VILLAGE ATTORNEY**

1. As Submitted  
No Report.

## **XII. CLOSED SESSION AS REQUIRED**

No Closed Session requested.

## **XIII. RECOGNITION OF AUDIENCE**

Jack Conneely, 263 W Boardwalk Drive, discussed the waste pickup contract and noted that, if Groot is not finalized, Lake Shore Recycling Services could serve as an alternative for composting. He highlighted Lake Shore's greater experience, asked whether other vendors had been considered, and referenced comparable cities already using this provider.

Rita, 348 N Waynes Ct, stated that she is recommending additional bids and more detailed information, and she suggested LRS as a potential vendor. Rita then read a letter from another resident, Barb Figlewicz, a member of the Palatine Garden Club, expressing support for comprehensive composting.

Laura H. Bayside Drive, expressed concern about ICE, mentioned recent emails with the Mayor, and requested face-to-face communication and future meetings. She suggested tips for active listening to the Council.

Roman Golasch, 122 W. Palatine commented that communication is a two-way street.

John Guifoil, 736 N. Walden Drive, reiterated Jack's comments, mentioning composting services and the potential cost savings on tipping fees.

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**XIV. ADJOURNMENT**

<b>RESULT:</b>	<b>MOTION APPROVED BY VOICE VOTE</b>
<b>MOVER:</b>	Brad Helms
<b>SECONDER:</b>	Joe Falkenberg
<b>AYES:</b>	Scott Lamerand, Doug Myslinski, Joe Falkenberg, Kollin Kozlowski, Brad Helms
<b>NAYS:</b>	None

MEETING ADJOURNED AT 7:22 PM.

SUBMITTED BY:

Maureen Pasqualucci  
Village Clerk

## **Consider an Ordinance Granting a Variation for the Expansion of a Stoop at 606 E. Kenilworth Avenue**

### **BACKGROUND:**

The Petitioner is requesting to expand an existing stoop, in a required side yard abutting a street, to a dimension of 12 feet wide. Therefore, the Petitioner is requesting approval of the following:

**Variation to permit a 12-foot-wide stoop in the required side yard abutting a street, instead of the maximum 9-foot width for stoops as a permitted obstruction.**

### **KEY ISSUES:**

- The Subject Property, zoned R-2 Single-Family and approximately 11,175 square feet in size, contains a single-family home and related improvements.
- The Petitioner is requesting to expand the existing 9-foot-wide stoop to a width of 12 feet. The applicant's motive for the request is to use the expanded patio for outdoor seating and to accommodate mobility needs. The request does not increase the depth of the stoop into the side yard abutting Kenilworth Avenue. The stoop will maintain its existing depth of 5 feet.
- As indicated in Section 10.01(d)(1)(l) of the Zoning Ordinance, stoops are permitted in required side yards abutting a street as a permitted obstruction — with maximum dimensions of 9 feet wide and 5 feet deep.
- Per the review of the petition, Staff analyzed other stoops in the nearby area and observed other examples of properties having stoops wider than 9 feet, which were also located in required yards.

### **BUDGET IMPACT:**

N/A

### **RECOMMENDATION:**

Public Hearing: Planning & Zoning Commission (PZC) meeting on March 10, 2026.

Residents testifying: None.

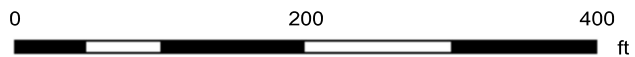
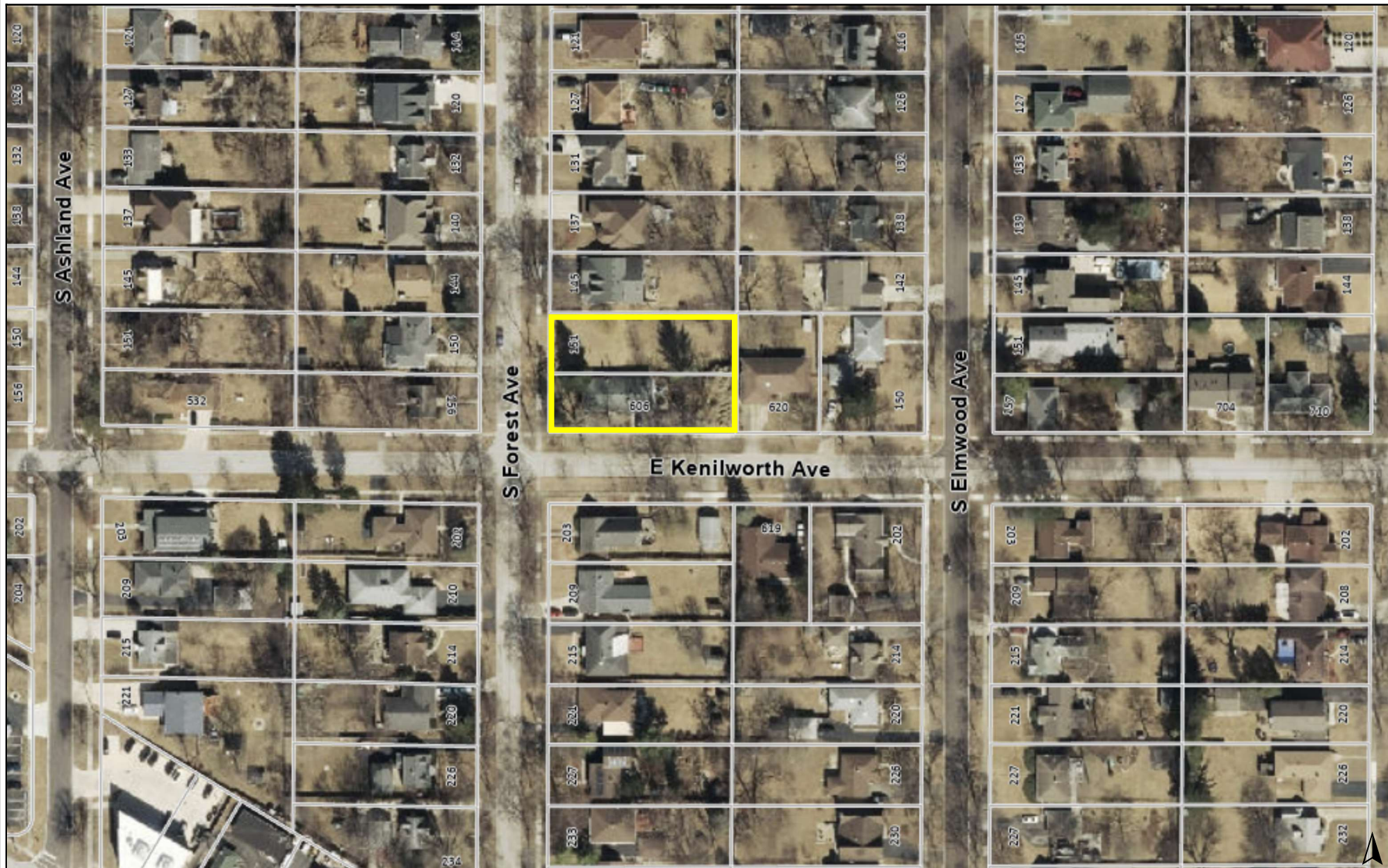
Vote: The PZC voted unanimously to approve the Variation and Staff concurs.

### **ACTION REQUIRED:**

Motion to approve an ordinance granting the expansion of a stoop at the Subject Property.

**ATTACHMENTS:**

1. Aerial Map
2. ORD - VAR - 606 E. Kenilworth Avenue
3. EXHIBIT - Site Plan
4. Exhibit - Petitioner Narrative
5. DRAFT PZC minutes - 03-10-26
6. Public Notice



Print Date: 2/17/2026

Notes

Disclaimer: The GIS Consortium and MGP Inc. are not liable for any use, misuse, modification or disclosure of any map provided under applicable law. This map is for general information purposes only. Although the information is believed to be generally accurate, errors may exist and the user should independently confirm for accuracy. The map does not constitute a regulatory determination and is not a base for engineering design. A Registered Land Surveyor should be consulted to determine precise location boundaries on the ground.

ORDINANCE NO. \_\_\_\_\_

**AN ORDINANCE GRANTING A VARIATION AT  
606 E. KENILWORTH AVENUE**

**WHEREAS, pursuant to a petition and public hearing on March 10, 2026, of which public notice was given as required by law, the Planning and Zoning Commission of the Village of Palatine, in accordance with the Zoning Ordinance of the Village of Palatine, in such case made and provided, has held such public hearing and reported their findings relative to a request for a variation to permit a 12-foot-wide stoop in the required side yard abutting a street, instead of the maximum 9-foot width for stoops, as a permitted obstruction, pursuant to Section 10.01(d)(1)(l) of the Palatine Zoning Ordinance on the following legally described property:**

**LOT 11 IN BLOCK 10 IN MERRIL HOME ADDITION TO PALATINE, A SUBDIVISION IN E. 1/2 OF SECTION 23, TOWNSHIP 42 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.**

**Commonly known as 606 E. Kenilworth Avenue, Palatine, Illinois 60074 (PIN 02-23-209-010).**

**NOW, THEREFORE, BE IT ORDAINED, by the Mayor and Village Council of the Village of Palatine, Cook County, Illinois, acting in the exercise of their home rule power that:**

**SECTION 1: A Variation to permit a permit a 12-foot-wide stoop in the required side**

yard abutting a street, instead of the maximum 9-foot width for stoops, as a permitted obstruction, pursuant to Section 10.01(d)(1)(l) of the Palatine Zoning Ordinance, is hereby granted, subject to the following condition(s):

1. The variation shall substantially conform to the plans submitted by Petitioner updated 02/03/2026 except as such plans may be changed to conform to Village Codes and Ordinances.

**SECTION 2:** That a copy of the public notice is attached hereto and form a part of this ordinance.

**SECTION 3:** That this ordinance shall be in full force and effect from and after its passage and approval as provided by law.

**PASSED:** This \_\_\_\_ day of \_\_\_\_\_, 2026

**AYES:**\_\_\_\_ **NAYS:**\_\_\_\_ **ABSENT:**\_\_\_\_ **PASS:**\_\_\_\_

**APPROVED** by me this \_\_\_\_ day of \_\_\_\_\_, 2026

\_\_\_\_\_  
Mayor of the Village of Palatine

**ATTESTED and FILED** in the office of the Village Clerk this

\_\_\_\_ day of \_\_\_\_\_, 2026

\_\_\_\_\_  
Village Clerk

# ANTON J. ADAMS

700 N. WILLE ST. MT. PROSPECT, ILL.

Registered Land Surveyor

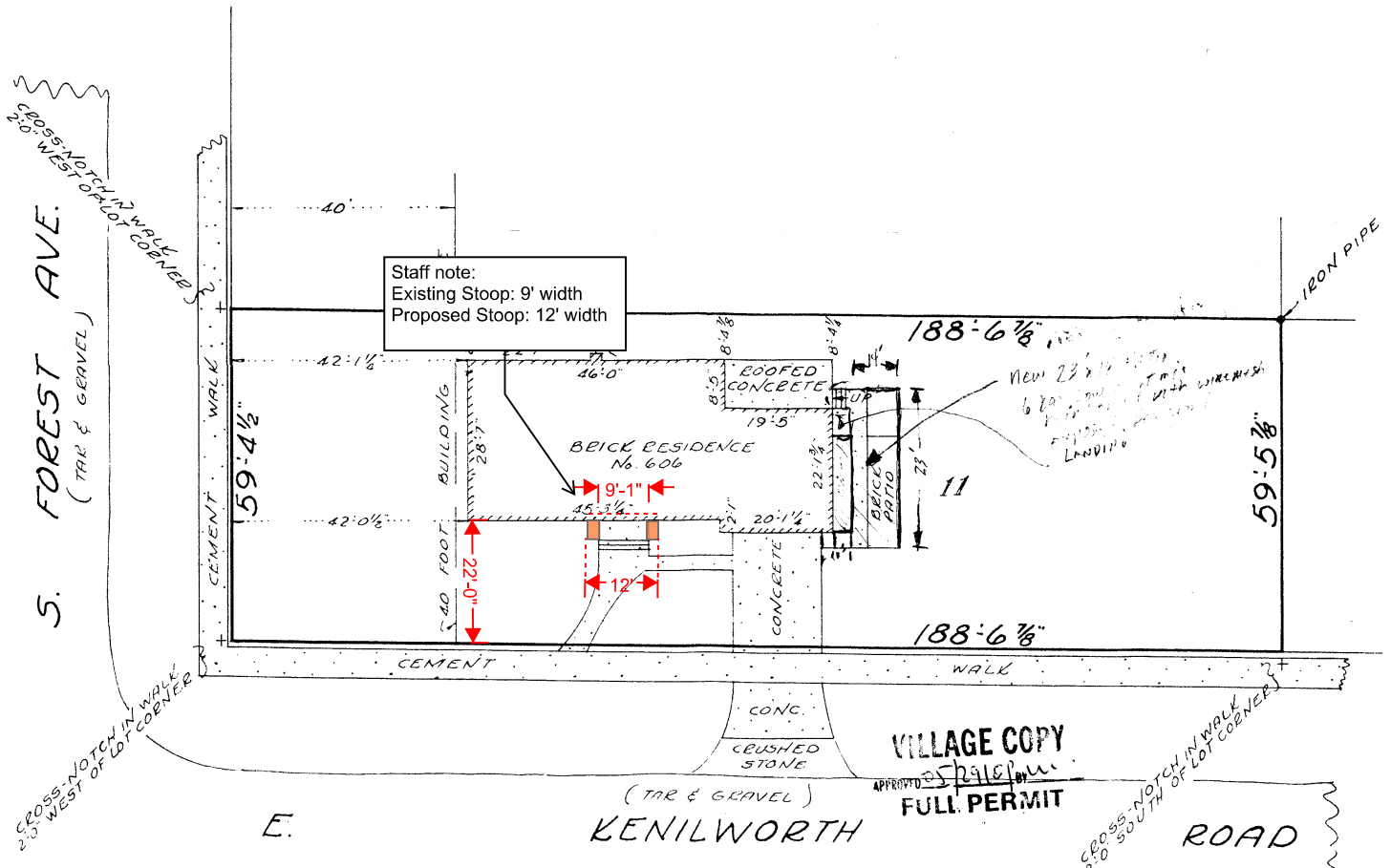
Phone: CLEARBROOK 5-3512



## PLAT OF SURVEY

*of*

LOT 11 IN BLOCK 10 IN MERRILL'S HOME ADDITION TO PALATINE, BEING A SUBDIVISION IN THE EAST 1/2 OF SECTION 23, TOWNSHIP 42 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN IN COOK COUNTY, ILLINOIS.



Staff note:  
Existing Stoop: 9' width  
Proposed Stoop: 12' width

VILLAGE COPY  
APPROVED [Signature]  
FULL PERMIT

Scale: 1 inch = 20 FEET  
Order No: 7086

Field book 42-10-C page 45  
Ordered by: ANNEN & BUSSE

CAUTION: Compare description in this plat with your deed, abstract or certificate of title; also compare all points before building by same and at once report any difference. Building lines shown only where they are so recorded in the maps; otherwise refer to your deed, abstract, or Zoning Board.

STATE OF ILLINOIS }  
COUNTY OF COOK } ss:  
I, ANTON J. ADAMS, Illinois Land Surveyor, hereby certify that I have surveyed the property described above and that the plat hereon drawn is a correct representation of said survey. All measurements corrected to the standard at 62 degrees Fahrenheit.  
MOUNT PROSPECT, ILLINOIS, Aug. 27<sup>TH</sup>, A.D. 1965.

*Anton J. Adams*  
Registered Illinois Land Surveyor No. 1423

January 13, 2026

To Whom It May Concern:

In a few months we will celebrate the 54<sup>th</sup> anniversary of buying our wonderful home at 606 E. Kenilworth Avenue in Palatine. Time and life pass quickly – so many memories. But I must tell you that sitting on our front stoop through all these years as newlyweds, as parents of young children, as parents of older children and now finally just the two of us and our dog warm our hearts. Our whole family has spent countless hours sitting on the stairs of our front porch sharing happy events, sharing sad events and just enjoying being with each other.

In the last 15 months I have had three major surgeries on my right hip. Rehab has been long and painful and I could hardly wait to sit on my stoop. The rehab is over and I am left with what I have. I can no longer sit on a cement stoop. I can no longer sit on my porch talking with the dog walkers, the people who just enjoy walking, the children and sometimes just enjoying the weather and peacefulness of "sitting on the stoop".

If the landing (stoop) of our porch is widened by 18 inches on each side we will be able to fit a lawn chair on each side and continue to enjoy one of the nicest features of our home – the porch. Also, part of the banister would provide a small holding feature.

I am sure my qualified and experienced contractor will build a very nice looking porch but we are not proposing this change for cosmetics. We are doing it for safety issues and for just being able to sit on our porch for the rest of our years and watch the word go by.

Barbara Kornacki  
606 E. Kenilworth Avenue  
Palatine, IL 60074

A handwritten signature in black ink that reads "Barbara Kornacki". The signature is written in a cursive, flowing style.



**PLANNING AND ZONING COMMISSION**

**MARCH 10, 2026 AT 7:00 PM**

VILLAGE HALL - COUNCIL CHAMBERS  
200 E. WOOD STREET  
PALATINE, IL 60067-5339  
(847) 359-9050 [www.palatine.il.us](http://www.palatine.il.us)

**MINUTES**

**REGULAR MEETING**

**7:00 PM**

**I. CALL TO ORDER**

Meeting was called to order by Chairman Wood @ 7:02 PM

Meeting Called to Order by Chairman Wood at 7:02PM

**II. ROLL CALL**

**III. APPROVAL OF MINUTES**

<b>RESULT:</b>	<b>APPROVED AS AMENDED</b>
<b>MOVER:</b>	SCHUBERT
<b>SECONDER:</b>	FEDOTA
<b>AYES:</b>	Jan Wood, Cindy Roth Wurster, Tim Schubert, Kevin Cavanaugh, Stephen Fedota, Eric Friedman, Patrick Noonan, Rodney Bettenhausen
<b>NAYES:</b>	None

A. February 10, 2026, Draft Planning and Zoning Commission Minutes

**IV. PUBLIC HEARING**

A. 606 E. Kenilworth Avenue

1. Variation to construct a 12-foot wide stoop in the required side yard abutting a street, instead of the maximum width of 9 feet, for stoops as a permitted obstruction.

**VAR-000242-2026 - 606 E Kenilworth Avenue**

Notice was published in the Palatine Journal & Topics on February 19, 2026 and mailed to the owners of the surrounding properties.

**Petitioner's Exhibits:**

1. **Application**
2. **Proof of Ownership**

3. **Plat of Survey**
4. **Site Plan**
5. **Petitioner Narrative**
6. **Public Notice**

**Background:**

Mr. Vyverberg provided background and stated that the petitioner is requesting a variation to construct a 12-foot-wide stoop instead of the permitted 9-foot width within the side yard abutting a street. The property is zoned R-2 Single Family Residential. The request would expand the existing stoop width, while maintaining the current depth of 5 feet. The Village Code permits stoops as an obstruction within the required setback area but limits their size to 9 feet by 5 feet. The petitioners are requesting a variation to increase the width to 12 feet while maintaining the existing 5-foot depth. Mr. Vyverberg stated that staff reviewed other homes in the surrounding neighborhood. As the area is well established, several properties were identified with stoops and patios that exceed the permitted obstruction dimensions. Based on this review, staff did not identify concerns regarding impacts on surrounding properties.

**Sworn in petitioner:**

Barbara Kornacki – 606 E. Kenilworth Avenue

Victor Kornacki – 606 E. Kenilworth Avenue

Ms. Kornacki stated that she and her husband have lived in the home for approximately 54 years and enjoy sitting on their front stoop in their friendly neighborhood. She explained that she has undergone three major surgeries and can no longer comfortably sit directly on the steps or concrete surface. She stated the requested extension would provide approximately 18 inches on each side, allowing space for two chairs so they can continue to sit outside and enjoy their front porch.

Chairman Wood asked whether the current stoop design is not wide enough to accommodate seating.

Mr. Kornacki stated that the existing stoop is not wide enough. Ms. Kornacki confirmed there is currently no room to place chairs.

Commissioner Schubert asked whether railings or handrails would be installed if the stoop were widened.

Ms. Kornacki stated there are currently railings and that the extension would also include railings. A photo of the home was shown, and she explained the railings would begin at the brick wall and continue around the extension.

Commissioner Friedman asked whether the 5-foot dimension referenced by staff includes the stairs, noting that the area near the door appears narrow.

Mr. Vyverberg stated the 9-foot by 5-foot dimension applies only to the stoop itself and does not include the steps leading to the sidewalk.

Mr. Kornacki confirmed that the full 5-foot depth will remain and stated there will be adequate room to exit the doorway. He also explained that when they purchased the

home, the final step leading to the door was not built to the proper height, which required the addition of a limestone piece to correct the transition. He noted that this has created a tripping hazard over the years. The proposed project would correct the issue by extending the stoop directly from the door threshold, eliminating the uneven step condition.

Commissioner Friedman asked whether the existing structure would be removed and rebuilt.

Mr. Kornacki stated that nothing will be torn out, as the existing stairs are part of the foundation of the home.

Commissioner Friedman asked whether the new stoop would be poured over the existing structure.

Mr. Kornacki stated it would not be poured over, and the extension would be constructed using engineered wood.

**Staff Recommendation:**

Staff does not anticipate the request to bring forth any adverse impact upon the subject property or surrounding area. The proposed stoop shares design qualities of the nearby area. Staff confirmed stoops in the nearby area exceed the permitted 9-foot maximum width. The proposal does not conflict with any additional zoning standards set forth by the Palatine, IL zoning ordinance.

Therefore, Staff recommends approval of the proposed Variation subject to the following conditions:

1. The Variation shall substantially conform to the plans prepared by the Petitioner, dated 02/04/2025, except as such plans may be changed to conform to Village Codes and Ordinances.

**There were no further questions. The public hearing was closed.**

**Commissioner Cavanaugh Made a motion to approve subject staff's conditions; seconded by Commissioner Fedota**

**DISCUSSION:**

Commissioner Noonan stated the improvement would look nice once completed.

Commissioner Roth-Wurster stated the request meets the applicable standards.

Commissioner Fedota stated he regularly uses his own front porch and believes the proposal is a good solution that addresses two issues: correcting the tripping hazard and allowing the homeowners to comfortably sit on their front porch.

Commissioner Friedman expressed concern regarding the proposed construction solution, noting that the plans submitted did not include construction documents. He stated that the project would need to meet all applicable building code requirements and emphasized the importance of ensuring adequate plans are submitted.

Mr. Vyverberg responded that licensed architectural drawings would be required and reviewed as part of the building permit process to ensure compliance with the applicable building codes.

**Chairman Wood summarized that this request has met the standards and was unanimously approved by a vote of 8-0. This item will tentatively go to Village Council on Monday March 16, 2026.**

<b>RESULT:</b>	<b>APPROVED</b>
<b>MOVER:</b>	CAVANAUGH
<b>SECONDER:</b>	FEDOTA
<b>AYES:</b>	Jan Wood, Cindy Roth Wurster, Tim Schubert, Kevin Cavanaugh, Stephen Fedota, Eric Friedman, Patrick Noonan, Rodney Bettenhausen
<b>NAYES:</b>	None

**B. 763 N. Franklin Avenue**

1. Preliminary/Final Plat of Subdivision to permit a 2-lot single-family residential development.

**PFSUB-000014-2025 - 763 N Franklin Avenue**

Notice was published in the Journal & Topics on February 19<sup>th</sup>, 2026 and mailed to the owners of the surrounding properties.

**Petitioner's Exhibits:**

1. **Application**
2. **Proof of Ownership**
3. **Plat of Survey**
4. **Plat of Subdivision**
5. **Public Notice**

**Background:**

Mr. Vyverberg provided background on the request for a Preliminary and Final Plat of Subdivision for the property located at 763 N. Franklin Avenue. The proposal would re-subdivide the property from three existing lots of record into two lots. The existing home at 763 N. Franklin Avenue would remain, and one additional vacant lot would be created.

**Sworn in petitioner:**

Eduard Khutornyy – 4 Northville Court, Lincolnshire, Illinois  
 Owner of the LLC managing the property – 963 Wildness Lane, Long Grove, Illinois  
 Mr. Khutornyy stated he purchased the property last year. He explained that the property is currently configured as three lots, and he is requesting to subdivide it into two lots. The existing home would remain on one lot, and he intends to construct a new single-family home on the newly created lot.

# CERTIFICATE OF PUBLICATION

DES PLAINES JOURNAL, INC., a corporation organized and existing under and by virtue of the laws of the State of Illinois, does hereby CERTIFY that it is the publisher of the:

Journal & Topics Newspapers  
 AKA Des Plaines Journal, Inc.  
 622 Graceland Ave.  
 Des Plaines, IL 60016-4556

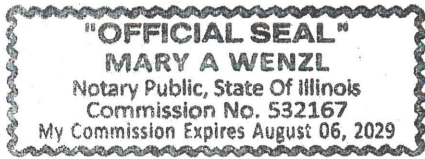
and that said newspaper(s) is a secular newspaper of general circulation and has been published weekly in the

(Village) (Town) (City) (Township) of PALATINE 606 E. Kenilworth Ave  
     
 County of COOK

and State of Illinois, continuously for more than one year prior to date of the first publication of the notice attached hereto, and that said newspaper(s) complies with the requirements of Paragraphs 5 and 10, Chapter 100, of the Illinois Revised Statutes.

Further, that the notice, of which the attached is a true copy, was published ONE times in the said newspaper(s), namely once each week for ONE successive week(s) and that the first publication of said notice was made on the 19TH day of FEBRUARY, A.D. 2026, and the last publication thereof was made on the 19TH day of FEBRUARY, A.D. 2026.

- Your Legal appeared in the following Journal & Topics Newspapers (Des Plaines Journal, Inc.)
- Des Plaines Journal
  - Elk Grove Village Journal
  - Mt. Prospect Journal
  - Niles Journal
  - Park Ridge-Golf Mill Journal
  - Prospect Heights Journal
  - Rosemont Journal
  - Arlington Heights Topics
  - Buffalo Grove Topics
  - Palatine Topics
  - Rolling Meadows Topics
  - Wheeling Topics
  - Suburban Journal
  - Northwest Journal
  - Glenview Journal



*Mary A. Wenzl*

IN WITNESS WHEREOF, THE DES PLAINES JOURNAL, INC., has caused this certificate to be signed and its corporate seal affixed hereto at Des Plaines, Illinois this 19TH day of FEBRUARY A.D., 2026.

By \_\_\_\_\_

President  
 Title of Corporate Officer

County of Cook  
 State of Illinois

Subscribed and sworn to before me this 19TH day of FEBRUARY A.D., 2026.

My commission expires the 6TH day of AUGUST A.D., 2029.

## **Consider an Ordinance Approving a Special Use Transfer to Permit the Continued Operation of the Grocery Store at 1266 E. Dundee Road**

### **BACKGROUND:**

The current Special Use for the Asian Market was originally approved in 2004. Shengmalong Market Company is now seeking to acquire the business and requesting approval of the following:

**Transfer of Special Use #O-06-04 to permit the continued operation of the Asian Market grocery store at 1266 E. Dundee Road.**

### **KEY ISSUES:**

- The Subject Property, zoned B-2 General Business, is in an existing tenant space within the shopping center. The Special Use for a grocery store was initially approved in 2004 and most recently transferred in 2012.
- The proposed business hours are Sunday – Thursday 10 AM – 8 PM and Friday – Saturday 10 AM – 9 PM. The proposed hours would decrease from the original hours approved (Monday – Saturday 9 AM - 9 PM and Sunday 9 AM - 10 PM).
- Any additional changes to the floor plan or business operations would require additional Village review.

### **BUDGET IMPACT:**

N/A

### **RECOMMENDATION:**

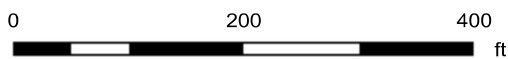
Staff recommends approval of the Special Use Transfer at 1266 E. Dundee Road.

### **ACTION REQUIRED:**

A motion to approve the Special Use Transfer of Ordinance #O-06-054 to Shengmalong Market Company to permit the continued operation of the Asian Market grocery store at 1266 E. Dundee Road.

### **ATTACHMENTS:**

1. Aerial Map
2. ORD SUT
3. EXHIBIT - Special Use Transfer Application
4. EXHIBIT - Business Plan
5. 2004 Special Use Ordinance - #O-006-04



Print Date: 3/10/2026

Notes

Disclaimer: The GIS Consortium and MGP Inc. are not liable for any use, misuse, modification or disclosure of any map provided under applicable law. This map is for general information purposes only. Although the information is believed to be generally accurate, errors may exist and the user should independently confirm for accuracy. The map does not constitute a regulatory determination and is not a base for engineering design. A Registered Land Surveyor should be consulted to determine precise location boundaries on the ground.

ORDINANCE NO. \_\_\_\_\_

**AN ORDINANCE TRANSFERRING  
SPECIAL USE ORDINANCE #O-06-04  
1266 E. DUNDEE ROAD**

**WHEREAS, Ordinance #O-06-04 granted a Special Use for a grocery store (Asian Market) on the property commonly known as 1266 E. Dundee Road; and**

**WHEREAS, pursuant to Section 14.05(h) in Appendix A of the Village of Palatine Code of Ordinances, in the event of the sale or lease of this business, the Special Use may be transferred after review and consent of the Village Council; and**

**WHEREAS, since the Village Council did meet on March 16, 2026 to review a request by Shengmalong Market Company that the Special Use be transferred to permit the continued operation of a grocery store with no substantial changes and it was the recommendation of the Village Council that the transfer of the Special Use to Shengmalong Market Company be approved, without amendment.**

**NOW, THEREFORE, BE IT ORDAINED, by the Mayor and Village Council of the Village of Palatine:**

**SECTION 1: That the Special Use granted by Ordinance #O-06-04 is hereby transferred to Shengmalong Market Company, to permit the continued operation of a grocery store, subject to the following condition:**

- 1. The special use transfer is subject to the submitted business plan for the Tian Lai Asian Mart (Shengmalong Market Company); and,**

**SECTION 2: All conditions of Special Use Ordinance #O-06-04, as amended, shall remain in full force and effect.**

**DATED:** This \_\_\_\_ day of \_\_\_\_\_, 2026

**AYES:**\_\_\_\_ **NAYS:**\_\_\_\_ **ABSENT:**\_\_\_\_ **PASS:**\_\_\_\_

**APPROVED** by me this \_\_\_\_ day of \_\_\_\_\_, 2026

\_\_\_\_\_  
**Mayor of the Village of Palatine**

**ATTEST and FILE** in the office of the Village Clerk  
this \_\_\_\_ day of \_\_\_\_\_, 2026

\_\_\_\_\_  
**Village Clerk**



**SPECIAL USE TRANSFER**

**Department of Planning & Zoning**  
200 E. Wood Street · Palatine, IL · 60067-5339  
Telephone: (847) 359-9047 · Fax (847) 963-6247

**Required Materials**

- Application Form
- Business Plan (including but not limited to nature of business, hours or operation, number of employees, floor plan, menu, and any proposed changes to the business)

Business Owner(s):

Hao Lu

Shengmalong Market Company

Subject Property Address:

1266 E. Dundee Rd, Palatine, IL 60074

The owner(s) listed above are requesting that Special Use Ordinance # 0-6-04 be transferred from Susanna Comacchio to individuals(s) and/or company listed above. I have read the ordinance(s) and agree to comply with all applicable ordinance(s) and any conditions contained therein. As the new business owner(s), the following changes (if any) are proposed to the business operation and/or floor plan:

Please see attached Business Plan

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I understand that if the Village determines the nature or characteristics of the business will substantially change, a new Special Use may be required.

**Petitioner's Signature**

I affirm that the information contained on page 1 herein and in any accompanying documents is accurate to the best of my knowledge.

*Hao Lu*

*03/06/2026*

\_\_\_\_\_  
Name

\_\_\_\_\_  
Date

*Hao Lu*

\_\_\_\_\_  
Signature

**Signature of Consent from Landlord, Property Owner(s), or Former Operator**

I consent to the Special Use Transfer of the above mentioned property and that the information contained on page 1 herein and in any accompanying documents is accurate to the best of my knowledge.

\_\_\_\_\_  
Name

\_\_\_\_\_  
Date

\_\_\_\_\_  
Signature

# **Tian Lai Asian Mart Business Plan** New management

## **Neighborhood Asian Grocery Store**

### **Business Address:**

1266 E Dundee Rd

Palatine, IL 60074

## **1. Business Overview / Nature of Business**

We are a neighborhood Asian grocery store serving the local community by providing fresh produce, authentic ingredients, and everyday grocery essentials from across Asia. Our store offers a diverse range of products including Chinese, Korean, Japanese, Vietnamese, and Southeast Asian foods such as rice, noodles, sauces, spices, frozen foods, snacks, and specialty grocery items.

As a small, family-owned business, we are committed to maintaining high product quality, fair pricing, and attentive customer service. Building on more than 20 years of tradition in excellent service and quality product offerings, we strive to preserve cultural heritage while evolving our neighborhood store to attract a younger generation of customers.

Our goal is to promote community access to culturally diverse foods and celebrate the rich culinary traditions of Asia, making authentic ingredients accessible to a broad customer base while serving local families, home cooks, and restaurants in a welcoming and community-oriented marketplace.

## **2. Business Location**

The business will operate at:

**1266 E Dundee Rd**

**Palatine, IL 60074**

The location is in a neighborhood commercial area that allows convenient access for local residents and nearby restaurants. The store will operate as a retail grocery market specializing in Asian food products and ingredients.

## **3. Hours of Operation**

- **Sunday – Thursday: 10:00 AM – 8:00 PM**

- **Friday – Saturday:** 10:00 AM – 9:00 PM

## **4. Staffing Plan**

The store will operate with a small team of **approximately 3–5 employees**.

Staff responsibilities include:

- Customer service and cashier operations
- Stocking shelves and product merchandising
- Inventory management and receiving deliveries
- Maintaining store cleanliness and organization
- Assisting customers with product selection and recommendations

Family members may also assist in daily operations to ensure efficient management and consistent customer service.

## **5. Products and Services**

The store will provide a wide selection of authentic Asian grocery products including:

### **Fresh Produce**

- Asian vegetables such as bok choy, napa cabbage, Chinese broccoli, daikon, and fresh herbs

### **Staple Foods**

- Rice varieties (jasmine rice, short grain rice, sweet rice)
- Dry goods and grains

### **Noodles**

- Ramen
- Udon
- Rice noodles
- Vermicelli
- Egg noodles

## **Sauces and Condiments**

- Soy sauce
- Oyster sauce
- Fish sauce
- Chili sauces and pastes
- Hoisin sauce
- Sesame oil

## **Spices and Seasonings**

- Asian spice blends
- Soup bases
- Seasoning powders

## **Frozen Foods**

- Dumplings
- Bao buns
- Frozen seafood
- Frozen noodles and prepared foods

## **Refrigerated Products**

- Tofu and bean curd products
- Kimchi and fermented foods
- Fresh noodles

## **Snacks and Beverages**

- Asian chips and crackers
- Cookies and sweets
- Tea products
- Imported beverages

## **Specialty Items**

- Regional foods from Chinese, Korean, Japanese, Vietnamese, and Southeast Asian cuisines.
- Popular Asian mystery toy boxes

# **6. Target Customers**

The store serves a diverse range of customers including:

- Local residents and families
- Home cooks interested in Asian cuisine
- Younger customers exploring cultural foods
- Restaurants seeking authentic Asian ingredients
- Community members looking for culturally diverse grocery options

## 7. Community Contribution

The business supports the community by providing **convenient access to culturally diverse foods** that may not be widely available in traditional grocery stores. By offering authentic ingredients and maintaining a welcoming shopping environment, the store contributes to a vibrant and inclusive neighborhood marketplace.

With more than **20 years of tradition in quality products and customer service**, the business continues to serve long-time customers while also adapting to meet the interests of newer and younger generations.

**ORDINANCE NO. 0-6-04**

**AN ORDINANCE GRANTING A SPECIAL USE FOR A GROCERY STORE  
1266 E. DUNDEE ROAD – ASIAN MARKET**

**Published in pamphlet form by authority of the  
Mayor and Village Council of the Village of Palatine  
On January 19, 2004**

ORDINANCE NO. 0-6-04

AN ORDINANCE  
GRANTING A SPECIAL USE FOR A GROCERY STORE  
1266 E. DUNDEE ROAD – ASIAN MARKET

WHEREAS, pursuant to a petition and public hearing held on January 13, 2004 of which public notice was given as required by law, the Zoning Board of Appeals of the Village of Palatine, in accordance with the Zoning Ordinance of the Village of Palatine, in such case made and provided, has held such public hearings and reported its findings regarding granting a Special Use for a grocery store (Asian Market), pursuant to Section 11.02 (d) (36) of the Palatine Zoning Ordinance, on the following legally described property:

That part of the Southeast 1/4 of Section 1, Township 42 North, Range 10, East of the Third Principal Meridian described as follows: Commencing at the South 1/4 corner of said section; thence North 00 degrees 00 minutes 00 seconds East along the North-South centerline of said section a distance of 98.85 feet to the intersection of said line and the North right-of-way line of Dundee Road; thence South 89 degrees 59 minutes 28 seconds East along the North right-of-way line of Dundee Road a distance of 200.00 feet; thence North 00 degrees 00 minutes 00 seconds East a distance of 250.00 feet to the point of beginning; thence North 89 degrees 59 minutes 28 seconds West a distance of 134.00 feet; thence North 00 degrees 00 minutes 00 seconds East a distance of 149.74 feet; thence North 89 degrees 54 minutes 00 seconds East a distance of 134.00 feet; thence South 00 degrees 00 minutes 00 seconds West a distance of 150.00 feet to the point of beginning and containing 0.4610 acres, all in Cook County, Illinois

commonly known as 1266 E. Dundee Road

NOW, THEREFORE, BE IT ORDAINED, by the Mayor and Village Council of the Village of Palatine, Cook County, Illinois, acting in the exercise of their home rule power, that:

SECTION 1: A Special Use for a grocery store (Asian Market), pursuant to Section 11.02 (d) (36) of the Palatine Zoning Ordinance is hereby granted, subject to the following conditions:

1. The Special Use to permit the operation of Asian Market is granted solely to Yanling Chen, and may be transferred only after review by the Zoning Board of

Appeals and consent of the Village Council. In the event of sale or lease of this property, the existing and prospective proprietors shall appear before the Zoning Board of Appeals. The Zoning Board of Appeals shall review the request and in its sole discretion, shall either: (Staff)

1.1 Recommend that the Village Council approve of the transfer of the lease and/or ownership to the new proprietor without amendment to the Special Use Ordinance, or

1.2 If the Zoning Board of Appeals deems that the new proprietor contemplates a change in use, which is inconsistent with this Special Use Ordinance, the new proprietor shall be required to petition for a public hearing before the Zoning Board of Appeals to amend the Special Use Ordinance.

2 The Special Use shall substantially conform to the floor plan attached hereto as Exhibit "A", except as such plans may be changed to conform to Village codes and Ordinance and the following conditions below: (Staff)

3 Any change in the floor plan shall receive Village Council approval. (Staff)

SECTION 2: That the petition for special use, the minutes of the Zoning Board of Appeals and the public notice be attached hereto and form a part of this ordinance.

SECTION 3: That this ordinance shall be in full force and effect from and after its passage and approval as provided by law.

PASSED: This 19 day of January, 2004

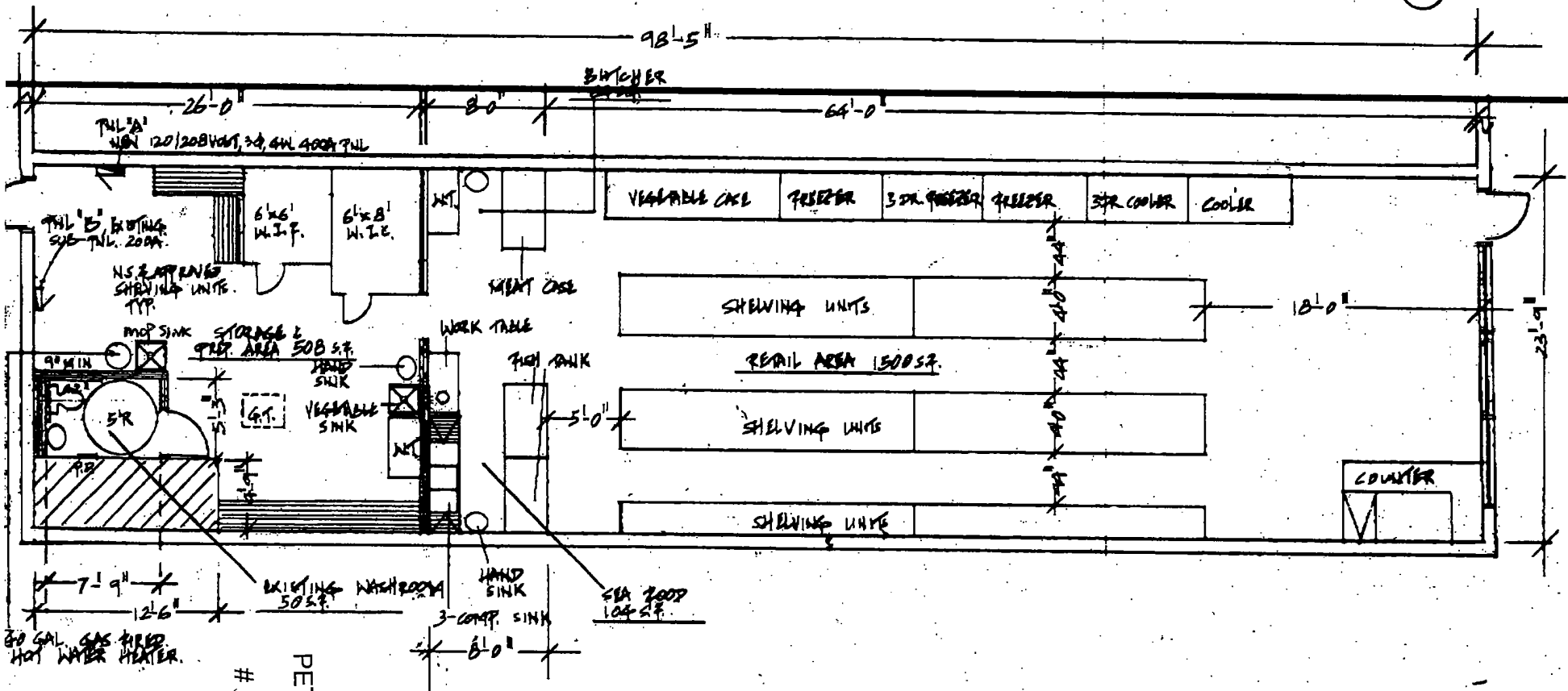
AYES: 5 NAYS: 1 ABSENT: 0 PASS: 0

APPROVED by me this 19 day of January, 2004

  
\_\_\_\_\_  
Mayor of the Village of Palatine

ATTESTED and FILED in the office of the Village Clerk this 19  
day of January, 2004

  
\_\_\_\_\_  
Village Clerk



#5  
 PETITIONER'S EXHIBIT  
 EXHIBIT "A"

FLOOR PLAN scale 1/8" = 1'-0"

Exhibit "A"

# PLAT OF SURVEY

TELEPHONE  
358-9529

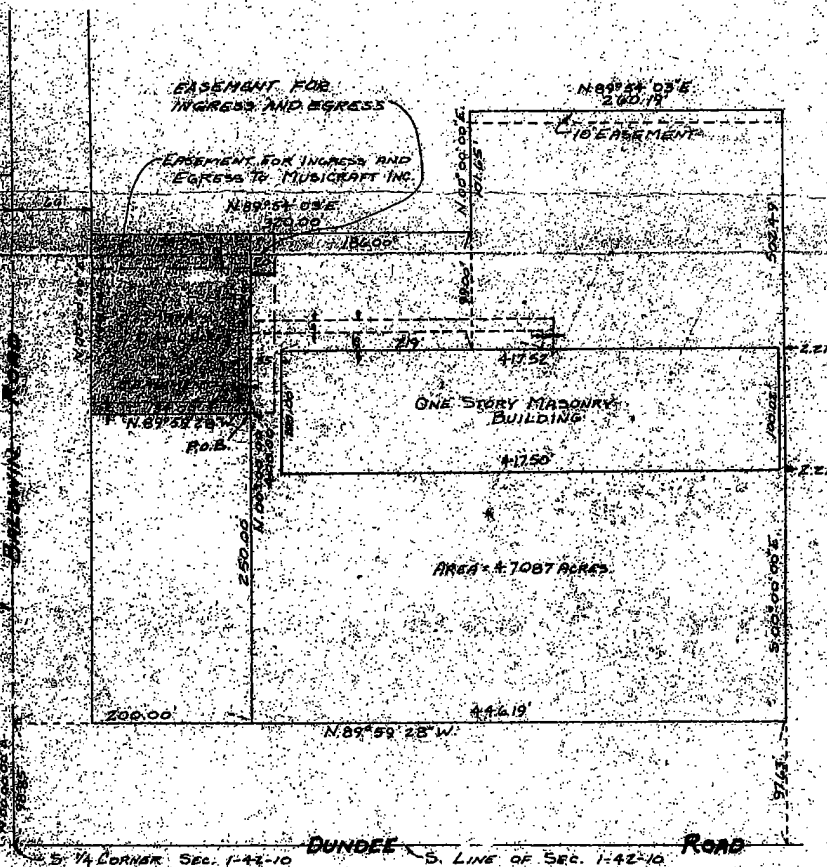
BY  
**KUROWSKI & BOURSEAU**  
ENGINEERING COMPANY

757 EAST CARPENTER DRIVE

PALATINE, ILLINOIS 60067

THAT PART OF THE SOUTHEAST  $\frac{1}{4}$  OF SECTION 1, TOWNSHIP 42 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTH  $\frac{1}{4}$  CORNER OF SAID SECTION; THENCE NORTH  $00^{\circ}-00'-00''$  EAST ALONG THE NORTH-SOUTH CENTERLINE OF SAID SECTION A DISTANCE OF 98.85 FEET TO THE INTERSECTION OF SAID LINE AND THE NORTH RIGHT-OF-WAY LINE OF DUNDEE ROAD; THENCE SOUTH  $89^{\circ}-59'-28''$  EAST ALONG THE NORTH RIGHT-OF-WAY LINE OF DUNDEE ROAD A DISTANCE OF 200.00 FEET; THENCE NORTH  $00^{\circ}-00'-00''$  EAST A DISTANCE OF 250.00 FEET TO THE POINT OF BEGINNING; THENCE NORTH  $89^{\circ}-59'-28''$  WEST A DISTANCE OF 134.00 FEET; THENCE NORTH  $00^{\circ}-00'-00''$  EAST A DISTANCE OF 149.74 FEET; THENCE NORTH  $89^{\circ}-59'-28''$  EAST A DISTANCE OF 134.00 FEET; THENCE SOUTH  $00^{\circ}-00'-00''$  WEST A DISTANCE OF 150.00 FEET TO THE POINT OF BEGINNING AND CONTAINING 0.4610 ACRES, ALL IN COOK COUNTY, ILLINOIS.



SURVEY ORDERED BY:  
MUSICRAFT INC.  
PALATINE, ILL.

SCALE: 1" = 100'

COMPARE ALL POINTS BEFORE  
BUILDING BY SAME AND AT  
ONCE REPORT ANY DIFFERENCE.

STRUCTURE LOCATED

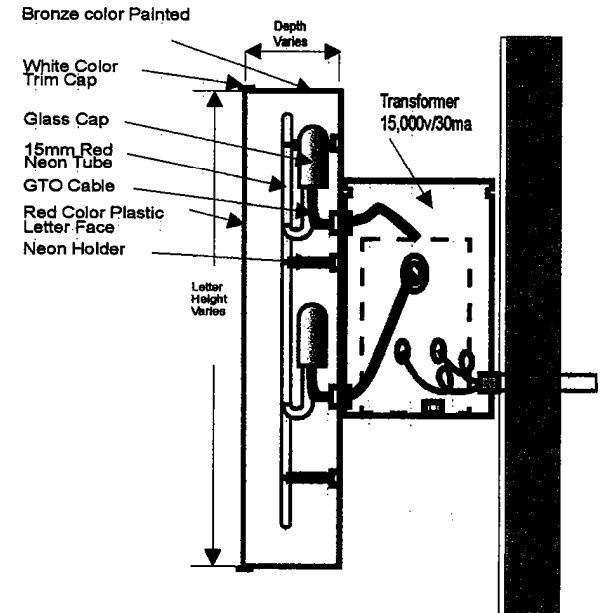
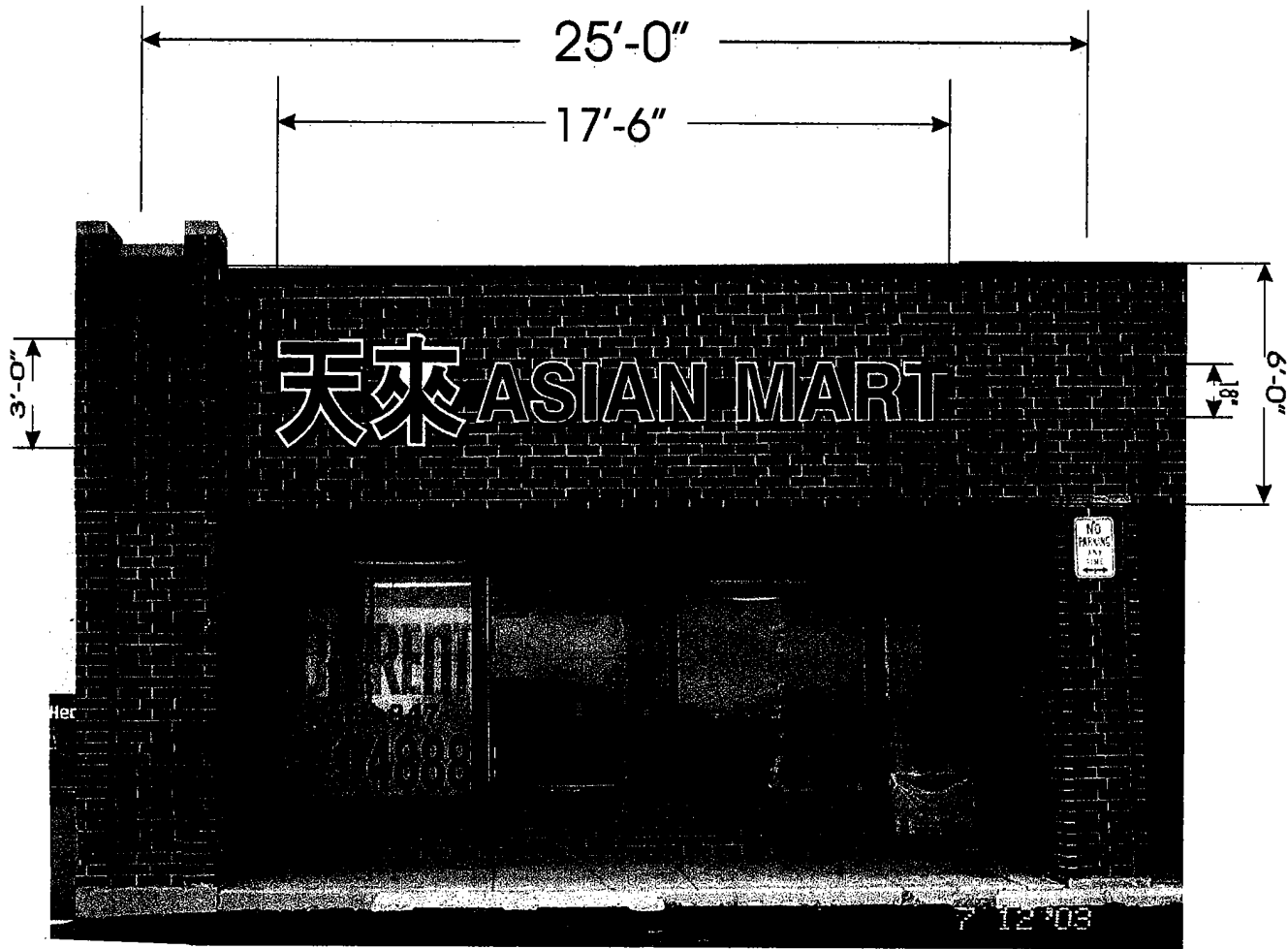
STATE OF ILLINOIS } SS:  
COUNTY OF COOK }

I, DANIEL A. KUROWSKI, AN ILLINOIS REGISTERED SURVEYOR, DO HEREBY CERTIFY THAT THE ABOVE DESCRIBED PROPERTY HAS BEEN SURVEYED, UNDER MY SUPERVISION, IN THE MANNER PRESENTED ON THE PLAT HEREON DRAWN. DIMENSIONS ARE SHOWN IN FEET AND DECIMAL PARTS THEREOF.

PALATINE, ILLINOIS 60067 JUNE 8, 1983



ADD EASEMENTS NOVEMBER 23 1983



**CHANNEL LETTER DETAIL**

NOT SCALE

# *U*  
 PETITIONER'S EXHIBIT

CLIENT:		
<b>ASIAN MART</b>		
1266 Dundee Rd.		
Palatine, IL		
SCALE:	DATE:	APPROVED BY LANDLORD
Shown	12/11/2K3	
DRAWN BY:		DATE: / /
DRAWN NO:		APPROVED BY CLIENT
		DATE: / /

# Product List

**Noodles**  
**Rice**  
**Rice Noodles**  
**Buns**  
**Breads**  
**Crackers**  
**Candies**  
**Beans**  
**Cooking Oils**  
**Nuts**  
**Fresh Vegetables**  
**Fresh Fruits**  
**Frozen Vegetables**  
**Dried Fruits**  
**Pork**  
**Bellies**  
**Fishes**  
**Shrimp**  
**Bean Curd**  
**Bean Thread**  
**Soy Bean Milk**  
**Soft Drinks**  
**Fruit Juices**  
**Canned Vegetables**  
**Canned Fruits**  
**Canned Fishes**  
**Dumplings**  
**Dumpling Wrap**  
**Wonton Wrap**  
**Meat Ball**  
**Fish Ball**  
**Shrimp Ball**

PETITIONER'S EXHIBIT

# 7

**Dried Mushroom**  
**Dried Sea Weed**  
**Soy Sauce**  
**Cooking Wine**  
**Vinegar**  
**Spicy Sauce**  
**Rice Cooker**  
**Rice Bows**  
**Plates**  
**Spoon**



# VILLAGE OF PALATINE

200 E. Wood Street · Palatine, IL 60067-5339  
Telephone (847) 358-7500 · Fax (847) 359-9040  
[www.palatine.il.us](http://www.palatine.il.us)

MEMBER:  
Northwest Municipal Conference  
Illinois Municipal League  
National League of Cities  
U.S. Conference of Mayors

DATE: January 13, 2004  
TO: Mayor and Village Council  
FROM: Susan Tibbitts, Chair, Zoning Board of Appeals  
RE: Findings of Fact  
ZONING DOCKET: Z-04-5  
PETITIONER: Yanling Chen  
LOCATION: 1266 E. Dundee Road  
PROPOSAL: Consider a Special Use for a grocery store (Asian Market) pursuant to Section 11.03 (d) (36) of the Palatine Zoning Ordinance.

## PUBLIC HEARING:

After due notice as required by law, the Zoning Board of Appeals conducted a hearing relative to the above mentioned petition on January 13, 2004.

The petitioner, Yanling Chen and Xiang Ming and Mr. Clark (landlord) were present and provided testimony as to the reasons for the request and why they believed that the petition met the necessary standards. No objectors were present.

Christopher Stilling, Planning and Zoning Administrator, was present and testified it was Staff's recommendation to approve the proposal subject to conditions.

## FINDINGS:

The Standards have been met.



Incorporated in 1866  
Council - Manager Government Since 1956



RE: Findings of Fact Z-04-5  
1266 E. Dundee Road  
January 13, 2004

RECOMMENDATION:

Therefore, by a vote of ( 9 ) Ayes to ( 0 ) Nays, the Zoning Board of Appeals voted to recommend approval of the Special Use to permit the above proposal subject to the following conditions:

1. The Special Use to permit the operation of Asian Market is granted solely to Yanling Chen, and may be transferred only after review by the Zoning Board of Appeals and consent of the Village Council. In the event of sale or lease of this property, the existing and prospective proprietors shall appear before the Zoning Board of Appeals. The Zoning Board of Appeals shall review the request and in its sole discretion, shall either:
  - 1.1 Recommend that the Village Council approve of the transfer of the lease and/or ownership to the new proprietor without amendment to the Special Use Ordinance, or
  - 1.2 If the Zoning Board of Appeals deems that the new proprietor contemplates a change in use, which is inconsistent with this Special Use Ordinance, the new proprietor shall be required to petition for a public hearing before the Zoning Board of Appeals to amend the Special Use Ordinance.
- 2 The Special Use shall substantially conform to the floor plan attached hereto as Exhibit "A", except as such plans may be changed to conform to Village codes and Ordinance and the following conditions below:
- 3 Any change in the floor plan shall receive Village Council approval.

**VI. Z-04-5 1266 E. Dundee Road** Consider a special use for a grocery store (Asian Market) pursuant to section 11.03 (d) (36) of the Palatine Zoning Ordinance.

Notice was sent to approximately 15 property owners and published in the Daily Herald on November 24, 2003.

Petitioner's Exhibits:

- 1 Petition for a Special Use
- 2 Real estate interest disclosure form
- 3 Title insurance policy
- 4 Store lease
- 5 Floor plan
- 6 Sign plan
- 7 Product List
- 8 Photo

Mr. Stilling gave the background to this request. The subject site is a vacant unit in the Woodcraft Plaza Shopping Center. The petitioner, lessee of the space, is seeking to operate an Asian Grocery Store. Pursuant to the Zoning Ordinance, a Special Use is required.

ANALYSIS

- The existing site is located in the Woodcraft Plaza Shopping Center and is 2350 square feet in area.
- The petitioner is seeking to open an Asian Grocery Store to be known as Asian Market
- The floor plan consists of the following:
  - Shelving
  - Coolers
  - 1 checkout counter
  - Washroom
  - Storage area
  - Some of the items to be sold include:
    - Noodles
    - Bread
    - Candy
    - Fruits and vegetables
    - Meats
    - Rice
- The hours of operation would be Monday thru Saturday 9:00am to 9:00pm and Sunday would be 9:00am to 8:00pm.

There were no questions of Staff.

The Petitioners, Yanling Chen and Xiang Ming (772 Sigmund Road, Naperville) and Mr. Clark, landlord, were sworn in. Ms. Chen stated she owned a Chinese restaurant years ago and Palatine needs an Asian grocery store. She and her brother-in-law will operate this. He has fourteen year's experience in running a Chinese restaurant and one year experience in a grocery store. There are many Asian people in the area.

Mr. Goldstein asked if food would be served; there would be no cooking, maybe a deli counter but no food preparation. You will not be able to eat there.

Ms. Chen will own the business and work there part time. They will be open 9 am until 8 or 9 pm, seven days a week. Her brother-in-law has the health certificate and she is

taking the training.

They are not open for business yet.

They've had no comments from other businesses in the area, no objections.

There were no questions from the Staff and Audience of the Petitioner.

Mr. Stilling said that Staff recommends approval of a transfer of Special Use Ordinance 0-92-97, R-65-99 and R-58-02 to Kurram Hussain. All other conditions of the Special Use should apply.

Ms. Tibbitts said they could include the hours of operation for this business, but the Petitioners were not sure of the hours they would operate..

Ms. Roth-Wurster asked if parking was an issue; Mr. Clark said they had 170 space in front and over 100 in the back.

Mr. Franklin asked the closing hours of other tenants; some 6PM, some 9 or 10 PM, whichever best suits the particular business.

There were no questions or comments of Staff's recommendation.

There were no audience comments.

There was nothing further.

The Public Hearing was closed.

**DELIBERATIONS:**

Mr. Warnstedt said the petitioner meets the standard for a special use. There is a need for this business.

Mr. Warnstedt made a motion to accept staff's recommendation; 2<sup>nd</sup> by Mr. Goldstein.

Vote: All Ayes (9-0)

**VII. FINDINGS OF FACT**

Z-04-3

Voice Vote: All Ayes

Z-04-5

Voice Vote: All Ayes

Z-04-6

Voice Vote: All Ayes

**VIII. COMMUNICATIONS**

Mr. Stilling said there are 4 items on the upcoming agenda.

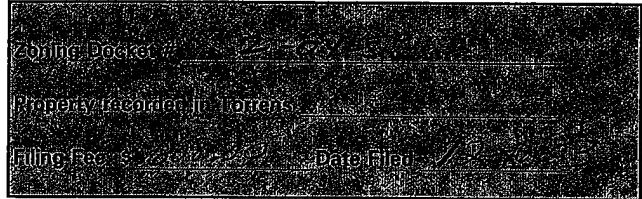
Mr. Warnstedt said Mr. Witt says hello and is recuperating well.

Meeting adjourned at 8:30 PM

DEPT. OF COMMUNITY DEVELOPMENT

VILLAGE OF PALATINE

PETITION FOR HEARING



SPECIAL USE

PLEASE TYPE OR PRINT IN INK:

1. Name of Petitioner(s): Yanling Chen

Address: 772 Sigmund Rd. Naperville, IL 60563  
City, State, Zip

Telephone No. 630-416-7358 Business No. \_\_\_\_\_ Fax No. 630-416-7358

2. Authorized Agent of Petitioner (if different):

Name: \_\_\_\_\_

Address: \_\_\_\_\_  
City, State, Zip

Telephone No. \_\_\_\_\_ Fax No. \_\_\_\_\_

Relationship to Petitioner: \_\_\_\_\_

3. Property interest of Petitioner(s): Lessee  
Owner, Lessee, Contract Purchaser, etc.

4. Address of the property for which this application is being filed: 1266 E. Dundee  
\_\_\_\_\_  
Palatine, Illinois

5. All existing land use(s) on the property are:

retail store

6. The proposed use(s) on the property, if this petition is approved is (are):

Asian supermarket

7. Current zoning of property: B-2

8. State the specific action requested. City ordinance numbers and distances where applicable.

**PETITIONER JUSTIFICATION:**

9 The petitioner is required to present specific evidence, (not opinions) that the general standards for the granting of a special use will be met. Please justify the need for the special use making sure to address the attached standards (Section 14.05 of the Zoning Ordinance).

The store space is current empty, and I like to do a build out as to for an asian supermarket with special use intention. I will submit drawing with my architect.

10. The petitioner's signature below indicates that the information contained in this application and on any accompanying documents is true and correct to the best of his/her knowledge.

Date: 12/12/03

Yotb down

Public Notice

A public hearing will be held before the Palatine Zoning Board of Appeals on Tuesday, January 13, 2004, at 7:00 PM, in the Village Council Chambers in the Palatine Community Center, 200 E. Wood Street, relative to a request for a Special Use for a grocery store (Asian Market), pursuant to Section 11.02 (d) (36) of the Palatine Zoning Ordinance.

The property is legally described as follows:

That part of the Southeast 1/4 of Section 1, Township 42 North, Range 10, East of the Third Principal Meridian described as follows: Commencing at the South 1/4 corner of said section; thence North 00 degrees 00 minutes 00 seconds East along the North-South centerline of said section a distance of 98.85 feet to the intersection of said line and the North right-of-way line of Dundee Road; thence South 89 degrees 59 minutes 28 seconds East along the North right-of-way line of Dundee Road a distance of 200.00 feet; thence North 00 degrees 00 minutes 00 seconds East a distance of 250.00 feet to the point of beginning; thence North 89 degrees 59 minutes 28 seconds West a distance of 154.00 feet; thence North 00 degrees 00 minutes 00 seconds East a distance of 149.74 feet; thence North 89 degrees 54 minutes 00 seconds East a distance of 134.00 feet; thence South 00 degrees 00 minutes 00 seconds West a distance of 150.00 feet to the point of beginning and containing 0.4610 acres, all in Cook County, Illinois commonly known as 1266 E. Dundee Road

The above petition has been filed by Janling Chen and is available for examination in the office of the Village Clerk, 200 E. Wood Street.

ZONING DOCKET: Z-045  
VILLAGE OF PALATINE  
Susan Tibbitts, Chair  
Zoning Board of Appeals  
DATED: This 29th day of  
December, 2003.  
Published in Daily Herald  
Dec. 29, 2003 (3192901)N

# CERTIFICATE OF PUBLICATION

Paddock Publications, Inc.

## Daily Herald

Corporation organized and existing under and by virtue of the laws of the State of Illinois, DOES HEREBY CERTIFY that it is the publisher of the **DAILY HERALD**.

That said **DAILY HERALD** is a secular newspaper and has been circulated daily in the Village(s) of Algonquin, Arlington Heights, Barrington, Barrington Hills, Bartlett, Batavia, Buffalo Grove, Burlington, Carpentersville, Cary, Deer Park, Des Plaines, South Elgin, East Dundee, Elburn, Elgin, Elk Grove Village, Fox River Grove, Geneva, Gilberts, Grayslake, Gurnee, Hampshire, Hainesville, Hanover Park, Hawthorn Woods, Hoffman Estates Huntley, Inverness, Island Lake, Kildeer, Lake Barrington, Lake in the Hills, Lake Zurich, Libertyville, Long Grove, Mt. Prospect, Mundelein, Palatine, Prospect Heights, Rolling Meadows, Schaumburg, Sleepy Hollow, South Barrington, St. Charles, Streamwood, Tower Lakes, Vernon Hills, Wauconda, Wheeling, North Barrington, West Dundee, Wildwood

County(ies) of Cook, Kane, Lake, McHenry and State of Illinois, continuously for more than one year prior to the date of the first publication of the notice hereinafter referred to and is of general circulation throughout said Village(s), County(ies) and State.

I further certify that the **DAILY HERALD** is a newspaper as defined in "an Act to revise the law in relation to notices" as amended in 1992 Illinois Compiled Statutes, Chapter 715, Act 5, Section 1 and 5. That a notice of which the annexed printed slip is a true copy, was published December 29, 2003 in said **DAILY HERALD**.

IN WITNESS WHEREOF, the undersigned, the said **PADDOCK PUBLICATIONS, Inc.**, has caused this certificate to be signed by, this authorized agent, at Arlington Heights, Illinois.

**PADDOCK PUBLICATIONS, INC.**  
**DAILY HERALD NEWSPAPERS**

BY Mary M. Barrett  
Authorized Agent

Control # T3192901

C#12

TYPE: ORDINANCE SUBMITTED BY: PLANNING & EC. DEV. DATE: 1/19/04

DESCRIPTION: Consider Special Use for a Grocery Store for the property located at 1266 E Dundee  
(Yanling Chen) District 5

**BACKGROUND:** The subject site is a vacant unit in the Woodcraft Plaza Shopping Center. The petitioner, lessee of the space, is seeking to operate an Asian Grocery Store. Pursuant to the Zoning Ordinance, a Special Use is required. Therefore they are seeking:

**A special use for a grocery store (Asian Market) pursuant to section 11.03 (d) (36) of the Palatine Zoning Ordinance.**

**KEY ISSUES:**

- The existing site is located in the Woodcraft Plaza Shopping Center and is 2350 square feet in area.
- The petitioner is seeking to open an Asian Grocery Store to be known as Asian Market
- The floor plan consists of the following:
  - Shelving
  - Coolers
  - 1 checkout counter
  - Washroom
  - Storage area
- Some of the items to be sold include:
  - Noodles
  - Bread
  - Candy
  - Fruits and vegetables
  - Meats
  - Rice
- The hours of operation would be Monday thru Saturday 9:00am to 9:00pm and Sunday would be 9:00am to 8:00pm.

- ALTERNATIVES:**
1. Recommend approval of the Special Use
  2. Do not recommend approval of the Special Use

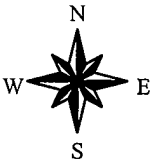
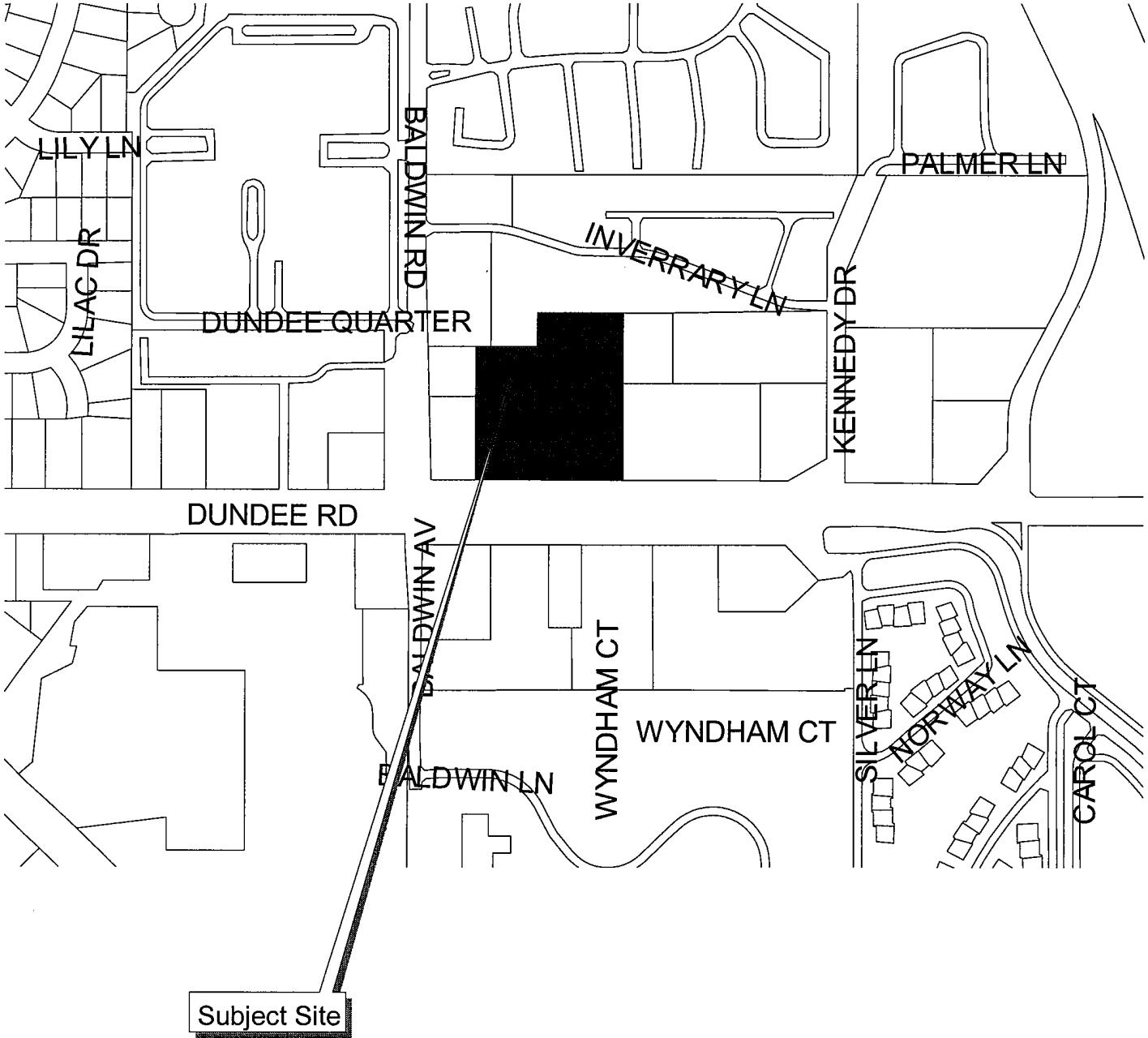
**RECOMMENDATION:**

**Public Hearing:** 1/13/04 Zoning Board Meeting  
**Residents Testifying:** None  
**Concerns:** None  
**Vote:** Unanimous approval, subject to the conditions in the attached draft Ordinance. Staff concurs with this recommendation.

**ACTION REQUIRED:** Motion to approve the Special Use for a Grocery Store for the property located at 1266 E Dundee.

# Area Map

## 1266 E Dundee



## Consider a Resolution Granting a Preliminary and Final Plat of Subdivision to Re-Subdivide the Property at 763 N. Franklin Avenue from Three Existing Lots to Two Lots

**BACKGROUND:**

The Subject Property, zoned R-2 Single-Family Residential and containing approximately 34,104 square feet (0.78 acres), consists of three existing platted lots. The Petitioner is requesting approval to re-subdivide the property from the three existing lots into two lots:

1. Preliminary and Final Plat of Subdivision (Re-Subdivision) for 2 single-family residential lots.

**KEY ISSUES:**

***Zoning and Site Design***

- The Petitioner is requesting subdivision approval to reconfigure the 3 existing single-family residential lots into 2 lots. The proposed site plan would maintain the existing home on the northern lot, with the southern lot to remain vacant at this time. Both lots exceed the minimum requirements for the R-2 standards:

	<b>Lot Size (R-2 = 9,000 sq. ft.)</b>	<b>Lot Width (R-2 = 75 feet)</b>	<b>Lot Depth (R-2=110' required)</b>
<b>Lot 1</b>	19,334 sq. ft.	102.04'	189.47'
<b>Lot 2</b>	14,753 sq. ft.	77.86'	189.47'

- The existing home would meet all the corresponding setback and bulk requirements, excepting for the legally non-conforming required side yard setback (north), which is 5.66 feet (the current R-2 requirement is 10 feet) and the northwest corner of the home, which maintains a 29-foot front yard setback (the current R-2 requirement is 30 feet). These setbacks are unaffected by the proposed subdivision.

***Engineering***

- The existing home is serviced by municipal sewer and water. There is also a sanitary sewer and water line along the Franklin Avenue right-of-way, which would accommodate any future residential construction on the proposed southern lot.

**BUDGET IMPACT:**

N/A

**RECOMMENDATION:**

Public Hearing: Planning & Zoning Commission (PZC) meeting on March 10, 2026.

Residents testifying: Three: Questions about what uses could be constructed on the vacant lot and confirmation regarding the underlying zoning and engineering requirements to build upon the vacant lot.

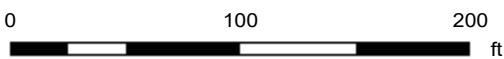
Vote: The PZC voted unanimously to approve the Plat of Subdivision and Staff concurs.

**ACTION REQUIRED:**

A motion to approve a resolution granting a Preliminary and Final Plat of Subdivision to permit 2 lots at 763 N. Franklin Avenue.

**ATTACHMENTS:**

1. Aerial Map
2. RES FSUB 763 N Franklin Ave
3. EXHIBIT Plat of Subdivision
4. DRAFT PZC minutes - 3-10-26
5. Public Notice



Print Date: 2/24/2026

Notes

Disclaimer: The GIS Consortium and MGP Inc. are not liable for any use, misuse, modification or disclosure of any map provided under applicable law. This map is for general information purposes only. Although the information is believed to be generally accurate, errors may exist and the user should independently confirm for accuracy. The map does not constitute a regulatory determination and is not a base for engineering design. A Registered Land Surveyor should be consulted to determine precise location boundaries on the ground.

**RESOLUTION NO. \_\_\_\_\_**

**A RESOLUTION GRANTING FINAL SUBDIVISION APPROVAL  
763 N. FRANKLIN AVENUE.**

**WHEREAS, the Palatine Subdivision Ordinance provides qualifications governing final approval of a Subdivision Plat in Article IV FINAL PLAT; and**

**WHEREAS, 763 N. Franklin Avenue has complied with all the provisions of the Subdivision Ordinance, including a public review before the Planning and Zoning Commission of the Village of Palatine at the March 10, 2026 meeting.**

**NOW THEREFORE, BE IT RESOLVED by the Mayor and the Village Council of the Village of Palatine, that the Mayor and the Village Clerk be and are hereby directed and authorized to execute the Final Plat of Subdivision “Turnkey Subdivision” at 763 N. Franklin Avenue pursuant to the Palatine Subdivision Ordinance Article IV, Sec. 4.01 (c) (2) (a) and subject to the following condition(s):**

- 1. The Final Plat of Subdivision shall be submitted on Mylar, in a manner acceptable to the Village Engineer, and shall substantially conform to the Plat of Subdivision prepared by Horizon Survey LLC, except as such plans may be revised to conform with Village Codes and Ordinances.**
- 2. The Final Engineering Plans and Final Engineer’s Estimate of Probable Cost (EEOPC) shall be submitted in a manner acceptable to the Village Engineer and Director of Planning and Zoning, including the addition and extension of public sidewalks along N. Franklin Avenue.**
- 3. Review fees, in the amount of 1.5% of the total project improvement costs (as defined in the Village Code), based upon the finally accepted EEOPC shall be submitted in a manner acceptable to the Village Engineer.**
- 4. A Public Improvement letter of credit in an amount of 115% of the EEOPC, for said public improvements, shall be submitted in a manner acceptable to the Village Engineer.**
- 5. A Subdivision Improvement Agreement shall be required.**
- 6. The existing landscaping along the Franklin Avenue ROW (shrubs and**

**plantings) shall be removed from the Subject Lots, in a manner acceptable to the Village Engineer.**

**7. Recording fees in the amount of \$300 shall be submitted.**

**DATED: This \_\_\_\_\_ day of \_\_\_\_\_, 2026**

**AYES:\_\_\_\_\_ NAYS:\_\_\_\_\_ ABSENT:\_\_\_\_\_ PASS:\_\_\_\_\_**

**APPROVED by me this \_\_\_\_\_ day of \_\_\_\_\_, 2026**

\_\_\_\_\_  
**Mayor of the Village of Palatine**

**ATTESTED and FILED in the office of the Village Clerk**

**this \_\_\_\_\_ day of \_\_\_\_\_, 2026**

\_\_\_\_\_  
**Village Clerk**

# Final Plat of Subdivision of Turnkey



SCALE: 1" = 20'

**OWNER'S CERTIFICATE**

STATE OF ILLINOIS )  
COUNTY OF COOK ) SS

I, EDUARD KHUTORNY, IS THE OWNER OF THE LAND DESCRIBED AND SHOWN HEREON AND HEREBY CONSENT TO THE SUBDIVISION THEREOF AND THE DEDICATION OF STREETS AND EASEMENTS AS SHOWN HEREON FOR THE USES AND PURPOSES THEREIN SET FORTH.

DATED THIS \_\_\_\_ DAY OF \_\_\_\_\_ A.D. 20\_\_

**OWNER**

**NOTARY CERTIFICATE**

STATE OF ILLINOIS )  
COUNTY OF COOK ) SS

I, A NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE AFORESAID, DO HEREBY CERTIFY THAT PERSONALLY KNOWN TO ME TO BE THE SAME PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGED THAT THEY SIGNED AND DELIVERED THE SAME AS THEIR FREE AND VOLUNTARY ACT.

GIVEN UNDER MY HAND AND NOTARIAL SEAL THIS \_\_\_\_ DAY OF \_\_\_\_\_ A.D. 20\_\_

**NOTARY PUBLIC**

MY COMMISSION EXPIRES: \_\_\_\_\_

**VILLAGE COUNCIL CERTIFICATE**

APPROVED BY THE VILLAGE COUNCIL OF THE VILLAGE OF PALATINE, COOK COUNTY, ILLINOIS, THIS \_\_\_\_ DAY OF \_\_\_\_\_ A.D. 20\_\_

**VILLAGE MAYOR**

**VILLAGE CLERK**

**VILLAGE ENGINEER CERTIFICATE**

STATE OF ILLINOIS )  
COUNTY OF COOK ) SS

THIS PLAT HAS BEEN CHECKED FOR CONFORMANCE TO THE VILLAGE OF PALATINE STANDARDS AND REQUIREMENTS, AND WORKING DRAWINGS AND SPECIFICATIONS FOR IMPROVEMENTS HAVE BEEN PREPARED IN CONFORMANCE WITH THE VILLAGE STANDARDS AND REQUIREMENTS AND ENGINEERING FEES DUE TO THE VILLAGE OF PALATINE HAVE BEEN PAID.

DATED THIS \_\_\_\_ DAY OF \_\_\_\_\_ A.D. 20\_\_

**VILLAGE ENGINEER**

**SURFACE WATER DRAINAGE CERTIFICATE**

STATE OF ILLINOIS )  
COUNTY OF COOK ) SS

WE HEREBY CERTIFY TO THE BEST OF OUR KNOWLEDGE AND BELIEF THAT ADEQUATE PROVISIONS HAVE BEEN MADE FOR THE DIVERSION AND DETENTION OF SURFACE WATERS INTO PUBLIC AREA OR DRAIN WITHIN THE RIGHTS OF THE SUBDIVIDER AND THAT SUCH SURFACE WATERS WILL NOT BE DEPOSITED ON ADJACENT LAND OWNERS PROPERTY IN SUCH CONCENTRATION AS MAY CAUSE DAMAGE BY EROSION OR SEDIMENTATION TO SUCH PROPERTY BECAUSE OF CONSTRUCTION OF THE SUBDIVISION.

DATED THIS \_\_\_\_ DAY OF \_\_\_\_\_ A.D. 20\_\_

**VILLAGE ENGINEER OR DESIGNEE**

**PLANNING AND ZONING COMMISSION CERTIFICATE**

APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE VILLAGE OF PALATINE, COOK COUNTY, ILLINOIS, THIS \_\_\_\_ DAY OF \_\_\_\_\_ A.D. 20\_\_

**CHAIRPERSON**

**SECRETARY**

**J.U.L.I.E. (JOINT UTILITY LOCATING INFORMATION FOR EXCAVATORS)** WAS NOT CONTACTED AS PART OF THIS SURVEY. UNDERGROUND UTILITIES, IF ANY, WERE NOT LOCATED UNLESS OTHERWISE SHOWN HEREON. PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CONTACT J.U.L.I.E. AT 8-1-1. COMPARE ALL POINTS BEFORE BUILDING, NO IMPROVEMENTS SHOULD BE MADE ON THE BASIS OF THIS PLAT ALONE. CRITICAL FIELD MONUMENTATION SHOULD BE ESTABLISHED PRIOR TO THE COMMENCEMENT OF ANY AND ALL CONSTRUCTION. PLEASE REFER TO DEED, TITLE POLICY AND/OR LOCAL ORDINANCES FOR BUILDING LINE RESTRICTIONS AND/OR EASEMENTS NOT SHOWN HEREON. PLEASE CHECK LEGAL DESCRIPTION WITH DEED AND IMMEDIATELY REPORT ANY DISCREPANCY TO THE SURVEYOR FOR EXPLANATION AND/OR CORRECTION. ALL DIMENSIONS AND MEASUREMENTS ARE SHOWN IN FEET AND DECIMAL PARTS THEREOF, AND ARE CORRECTED TO A TEMPERATURE OF 62 DEGREES FAHRENHEIT.

HORIZON SURVEY, LLC  
PROFESSIONAL LAND SURVEYING COMPANY

Eduard Khutorny

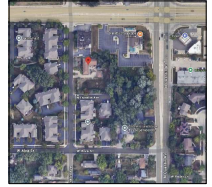
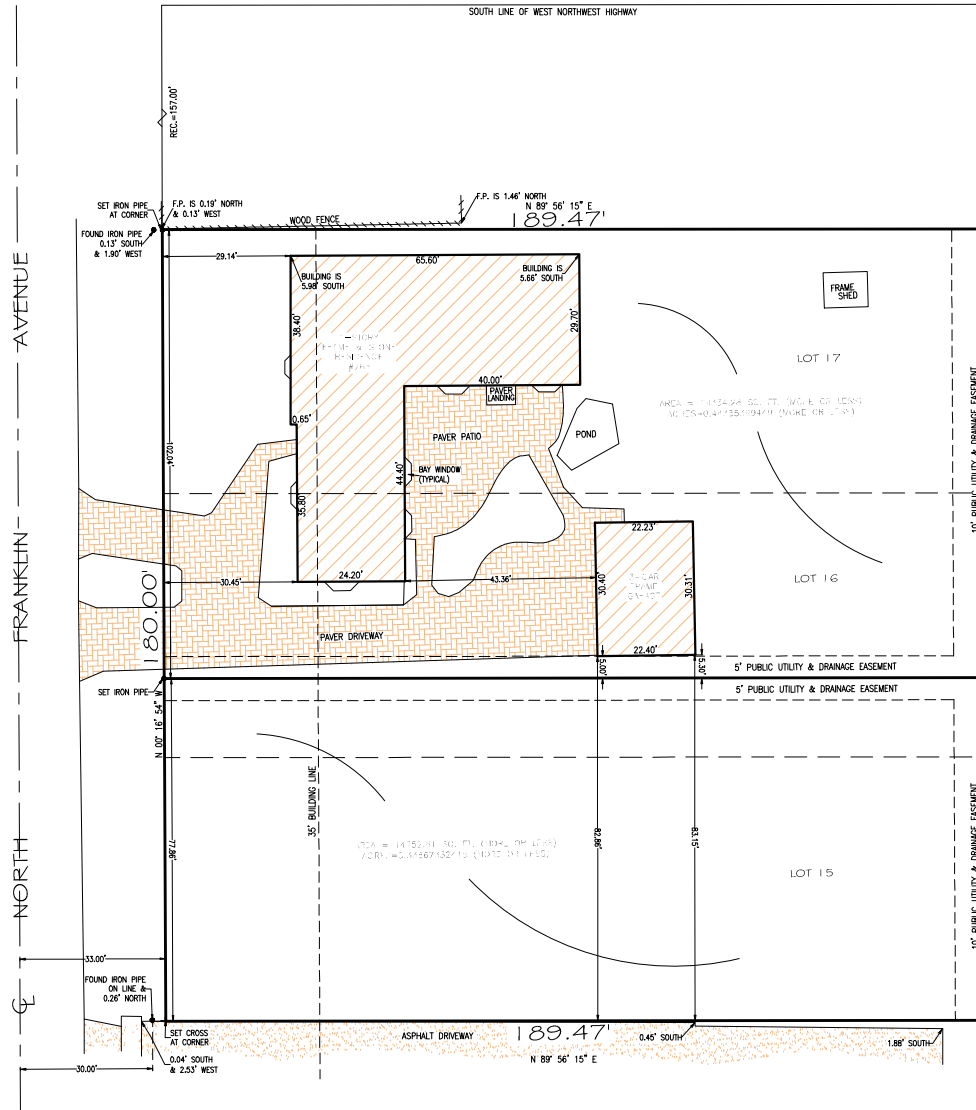
DRAWN BY: D.A.  
JOB #: 763NFRANKLINAVE  
DATE OF COMPLETION IN THE FIELD: DECEMBER 23, 2025  
PREPARED FOR: EDUARD KHUTORNY  
P.L.M. #: 02-16-205-004\_005\_006-0000 COOK COUNTY, ILLINOIS  
COMMONLY KNOWN AS: 763 N. FRANKLIN AVE., PALATINE, ILLINOIS

**SURVEYOR'S NOTE:**  
-NORTHWEST CORNER OF BUILDING IS 5.75 FEET INTO THE 35 FOOT BUILDING LINE  
-GROUND WAS FROZEN AND HEAVY SNOW WAS PRESENT AT THE TIME OF THIS SURVEY

REV	DESCRIPTION	DATE
2	REVISION	02/25/26
1	ADDED LOT SQUARE FOOTAGE AND WIDTH	01/16/26
0	ISSUED	01/14/26
	DESCRIPTION	DATE

LOTS 15, 16 AND 17 IN BLOCK 1 IN FRANK E. MERRILL AND COMPANY'S GREATER PALATINE, A SUBDIVISION IN THE NORTHEAST 1/4 OF SECTION 16, TOWNSHIP 42 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF REGISTERED IN THE OFFICE OF THE REGISTRAR OF TITLES OF COOK COUNTY, ILLINOIS ON SEPTEMBER 10, 1926 AS DOCUMENT 318962 IN COOK COUNTY, ILLINOIS.

PIN(S): 02-16-205-004-0000  
02-16-205-005-0000  
02-16-205-006-0000



VICINITY MAP  
NOT TO SCALE

**PUBLIC UTILITY EASEMENT**  
PUBLIC UTILITY EASEMENTS ARE HEREBY RESERVED FOR THE USE OF PUBLIC UTILITY COMPANIES AND MUNICIPALITIES FOR THE INSTALLATION, OPERATION, MAINTENANCE, REPAIR, AND REPLACEMENT OF UTILITIES, INCLUDING ELECTRIC, GAS, WATER, SANITARY SEWER, STORM SEWER, TELEPHONE, CABLE, AND OTHER COMMUNICATION LINES, AS SHOWN HEREON.

**UTILITY EASEMENT RESTRICTION**  
NO STRUCTURES, FENCES, OR OTHER OBSTRUCTIONS SHALL BE PLACED WITHIN UTILITY EASEMENTS SHOWN HEREON WHICH MAY INTERFERE WITH THE INSTALLATION, OPERATION, OR MAINTENANCE OF SAID UTILITIES.

**UTILITY EASEMENT RESTRICTION**  
NO STRUCTURES, FENCES, OR OTHER OBSTRUCTIONS SHALL BE PLACED WITHIN UTILITY EASEMENTS SHOWN HEREON WHICH MAY INTERFERE WITH THE INSTALLATION, OPERATION, OR MAINTENANCE OF SAID UTILITIES.

**DRAINAGE EASEMENT**  
DRAINAGE EASEMENTS, WHERE SHOWN, ARE RESERVED FOR THE PURPOSE OF SURFACE WATER DRAINAGE AND SHALL REMAIN FREE AND CLEAR OF OBSTRUCTIONS THAT MAY IMPEDE THE FLOW OF WATER.

**ACCESS DISCLAIMER (NO SHARED ACCESS)**  
ALL LOTS SHOWN HEREON HAVE DIRECT ACCESS TO A PUBLIC RIGHT-OF-WAY; NO SHARED ACCESS OR COMMON ACCESS EASEMENTS ARE CREATED BY THIS PLAT.

**NO COMMON AREAS/ NO COMMON EASEMENTS**  
THIS PLAT DOES NOT CREATE OR ESTABLISH ANY COMMON AREAS, HOMEOWNERS ASSOCIATION PROPERTY, OR COMMON EASEMENTS. ALL EASEMENTS SHOWN HEREON ARE FOR THE BENEFIT OF INDIVIDUAL LOTS OR PUBLIC UTILITIES ONLY.

**RECORDED EASEMENT DISCLAIMER**  
EASEMENTS SHOWN HEREON ARE SUBJECT TO THE TERMS AND CONDITIONS OF RECORDED DOCUMENTS, IF ANY, AND ARE APPROXIMATE AS TO LOCATION UNLESS DIMENSIONED.

**SURVEYOR'S CERTIFICATE**  
STATE OF ILLINOIS )  
COUNTY OF COOK ) SS

I, GEORGE E. STOURTON, AN ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 035-002058 HEREBY CERTIFY THAT I HAVE SURVEYED AND SUBDIVIDED THE FOLLOWING DESCRIBED PROPERTY:

LOTS 15, 16 AND 17 IN BLOCK 1 IN FRANK E. MERRILL AND COMPANY'S GREATER PALATINE, A SUBDIVISION IN THE NORTHEAST 1/4 OF SECTION 16, TOWNSHIP 42 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF REGISTERED IN THE OFFICE OF THE REGISTRAR OF TITLES OF COOK COUNTY, ILLINOIS ON SEPTEMBER 10, 1926 AS DOCUMENT 318962 IN COOK COUNTY, ILLINOIS.

THE PLAT CORRECTLY REPRESENTS SAID SURVEY AND SUBDIVISION IN EVERY DETAIL, ALL LOT CORNERS ARE MARKED BY AN IRON RODS AND PIPES UNLESS OTHERWISE NOTED. ALL DISTANCES ARE SHOWN IN FEET AND DECIMAL PARTS THEREOF.

I FURTHER CERTIFY THAT THE LAND IS WITHIN THE CORPORATE LIMITS OF THE VILLAGE OF PALATINE WHICH HAS ADOPTED A VILLAGE PLAN AND MAP AND IS EXERCISING THE SPECIAL POWER AUTHORIZED BY DIVISION 12 OF ARTICLE 11 OF THE ILLINOIS MUNICIPAL CODE AS AMENDED.

I FURTHER CERTIFY THAT UPON INSPECTION OF THE FLOOD INSURANCE RATE MAP FOR THE SUBJECT AREA, PANEL NUMBER 1709701771 WITH EFFECTIVE DATE OF AUGUST 19, 2008, IT APPEARS THAT THE PROPERTY SHOWN HEREON WOULD LINE IN "ZONE X", AREA OF MINIMAL FLOOD HAZARD.

DATED THIS 5TH DAY OF FEBRUARY, A.D. 2026.

*George E. Stourton*  
ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 035-002058



SEND NEXT TAX BILL TO:  
"Turnkey Transformation Inc, 4841 Wilderness Court, Long Grove, IL 60047"

**Chairman Wood summarized that this request has met the standards and was unanimously approved by a vote of 8-0. This item will tentatively go to Village Council on Monday March 16, 2026.**

<b>RESULT:</b>	<b>APPROVED</b>
<b>MOVER:</b>	CAVANAUGH
<b>SECONDER:</b>	FEDOTA
<b>AYES:</b>	Jan Wood, Cindy Roth Wurster, Tim Schubert, Kevin Cavanaugh, Stephen Fedota, Eric Friedman, Patrick Noonan, Rodney Bettenhausen
<b>NAYES:</b>	None

**B. 763 N. Franklin Avenue**

1. Preliminary/Final Plat of Subdivision to permit a 2-lot single-family residential development.

**PFSUB-000014-2025 - 763 N. Franklin Avenue**

Notice was published in the Journal & Topics on February 19, 2026 and mailed to the owners of the surrounding properties.

**Petitioner's Exhibits:**

1. **Application**
2. **Proof of Ownership**
3. **Plat of Survey**
4. **Plat of Subdivision**
5. **Public Notice**

**Background:**

Mr. Vyverberg provided background on the request for a Preliminary and Final Plat of Subdivision for the property located at 763 N. Franklin Avenue. The proposal would re-subdivide the property from three existing lots of record into two lots. The existing home at 763 N. Franklin Avenue would remain, and one additional vacant lot would be created.

**Sworn in petitioner:**

Eduard Khutornyy – 4 Northville Court, Lincolnshire, Illinois  
 Owner of the Turnkey LLC managing the property – 963 Wildness Lane, Long Grove, Illinois  
 Mr. Khutornyy stated he purchased the property last year. He explained that the property is currently configured as three lots, and he is requesting to subdivide it into two lots. The existing home would remain on one lot, and he intends to construct a

new single-family home on the newly created lot.  
Chairman Wood asked whether the existing home is currently occupied.  
Mr. Khutorny confirmed the home is occupied.

Commissioner Bettenhausen asked whether there were any drainage issues on the property.

Mr. Khutorny stated there are no known drainage issues and confirmed the existing home is connected to Village water and sewer services.

Mr. Vyverberg explained that the property is currently platted as three lots of record. The existing house, driveway, and garage partially extend across what would be the southern lot. Technically, if the existing home and garage were removed, three homes could potentially be constructed if all zoning requirements were met. The petitioner is proposing instead to combine and reconfigure the property into two lots. All utilities are available in the area, and the newly created lot would have access to existing utilities.

Mr. Vyverberg stated that as part of the subdivision process, sidewalks would be required to be extended along both lots. The existing sidewalk system currently stops south of the property, and the extension would be required to complete the sidewalk network.

He further stated that the proposed lots generally meet the R-2 zoning standards; however, the northerly lot would contain an existing nonconforming side yard setback. The garage structure does not meet the required 10-foot side yard setback and instead has approximately a 5.5-foot setback. This condition is pre-existing and would remain as a legal nonconformity.

Commissioner Friedman asked whether there was also a nonconforming front yard setback.

Mr. Vyverberg clarified that the R-2 zoning district requires a 30-foot front yard setback and confirmed the existing home does not encroach onto the required front yard setback of the northerly lot.

Further discussion occurred regarding the side yard setback.

Commissioner Friedman stated he wanted to confirm that the subdivision would not create additional nonconforming conditions for the new lot.

Mr. Vyverberg explained that the nonconforming condition applies only to the northerly lot due to the existing structure. The newly created southerly lot would meet all zoning requirements, including the required 5-foot side yard setback.

Commissioner Friedman clarified that the dimensions for the newly created side yard setback provide the required 5-foot clearance between the lot line and the existing garage or accessory structure.

Commissioner Schubert asked whether the south edge of Lot 15 is a private drive or a public road and whether the Village maintains it.

Mr. Vyverberg stated that the roadway is a private drive and is not maintained by the Village.

Commissioner Fedota asked about the proposed condition regarding landscaping

removal and referenced the shrubs shown in the photograph. He asked why this condition is included.

Mr. Vyverberg explained that the shrubs are located within the public right-of-way and are not permitted in that location. As part of the subdivision process, landscaping located within the right-of-way must be removed.

Commissioner Fedota asked whether this requirement would apply only to the newly created lot or also to the existing lot.

Mr. Vyverberg stated that any landscaping located within the right-of-way on the property would need to be removed as part of the subdivision process.

**Public Testimony:**

John Hammond – 898 W. Chesterfield Court

Mr. Hammond asked for clarification regarding the open space area shown on the plans and whether the proposal is to create one new lot with one new home.

Mr. Vyverberg stated that there are currently three platted lots on the property. In theory, if the existing structures were removed, additional homes could be constructed if all code requirements were met. The petitioner is requesting to re-subdivide the property into two lots, with the southerly lot remaining vacant at this time.

Commissioner Friedman clarified that the current request is only for the subdivision of the property. No request or approval for a specific building plan is being considered as part of this process. The zoning designation allows single-family residential use, but any future construction would require separate review and compliance with all Village codes.

Mr. Vyverberg added that while the lot would be zoned for single-family residential use, no building plans or dimensions are being reviewed at this time. Any future home construction would be required to meet all applicable zoning and building code requirements.

Chairman Wood asked whether, under the current configuration, the property could theoretically accommodate three homes.

Mr. Vyverberg stated that if all zoning requirements were met, that scenario could be possible.

Tom Meagher – 743 N. Franklin Avenue

Mr. Meagher asked whether the R-2 zoning district allows single-family homes or duplexes.

Mr. Vyverberg explained that the R-2 district allows single-family residential uses. Duplexes or multi-family uses would require a separate zoning process and Public Hearing review, with notice.

Mr. Meagher asked whether approval of the two-lot subdivision would remain in place unless another zoning process was initiated.

Mr. Vyverberg confirmed that any change to the zoning or lot configuration would require a separate Public Hearing review process.

Patricia Troccoli – 762 N. Franklin Avenue

Ms. Troccoli expressed concern about drainage and noted there is a culvert behind

her property. She asked how drainage would be addressed with the future development.

Mr. Vyverberg explained that the current request is only for the re-subdivision of the property. If approved, any future construction on the new lot would require a full engineering review and approval. Final engineering plans would need to demonstrate that drainage would not negatively impact surrounding properties.

Mr. Khutorny stated that his intention is to construct a single-family home and that the development would include improved drainage conditions compared to what currently exists.

**Staff Recommendation:**

The Petitioner is requesting to re-subdivide from 3 lots into 2 lots while retaining the R-2 zoning designation. The proposed lot and addition plans are consistent with the Comprehensive Plan recommendations and comply with the underlying R-2 zoning requirements. Additionally, the re-subdivision will create 2 lots that meet the current R-2 standards. Therefore, staff recommends approval of the Plat of Subdivision, subject to the following conditions:

1. The Final Plat of Subdivision shall be submitted on Mylar, in a manner acceptable to the Village Engineer, and shall substantially conform to the Plat of Subdivision prepared by Horizon Survey LLC, except as such plans may be revised to conform with Village Codes and Ordinances.
2. The Final Engineering Plans and Final Engineer's Estimate of Probable Cost (EEOPC) shall be submitted in a manner acceptable to the Village Engineer and Director of Planning and Zoning, including the addition and extension of public sidewalks along N. Franklin Avenue.
3. Review fees, in the amount of 1.5% of the total project improvement costs (as defined in the Village Code), based upon the finally accepted EEOPC shall be submitted in a manner acceptable to the Village Engineer.
4. A Public Improvement letter of credit in an amount of 115% of the EEOPC, for said public improvements, shall be submitted in a manner acceptable to the Village Engineer.
5. A Subdivision Improvement Agreement shall be required.
6. The existing landscaping along the Franklin Avenue ROW (shrubs and plantings) shall be removed from the Subject Lots, in a manner acceptable to the Village Engineer.
7. Recording fees in the amount of \$300 shall be submitted.

**There were no further questions. The public hearing was closed.**

Commissioner Fedota asked whether cash-in-lieu of installing sidewalks would be permitted.

Mr. Vyverberg stated that the determination would ultimately be made by the Village Engineer during the permit review process. He explained that sidewalks are typically required to be installed as part of a subdivision. However, if there are no sidewalks in the surrounding area, cash-in-lieu may be considered, with the final decision made

during the engineering and permit review stage.

Commissioner Friedman asked whether sidewalks exist to the north of the property. Mr. Vyverberg stated there are currently no sidewalks to the north, but the sidewalk legs to the south and east were installed with Sutton Park Place,

**Commissioner Cavanaugh Made a motion to approve subject staff's conditions; seconded by Commissioner Roth-Wurster**

**DISCUSSION:**

Commissioner Noonan commented that it appears the property will likely accommodate families living there.

Commissioner Friedman stated that the proposal seems like a logical step to reconfigure the property from three lots into two and noted that he looks forward to seeing what may eventually be constructed on the new lot.

**Chairman Wood summarized that this request has met the standards and was unanimously approved by a vote of 8-0. This item will tentatively go to Village Council on Monday March 16, 2026.**

<b>RESULT:</b>	<b>APPROVED</b>
<b>MOVER:</b>	CAVANAUGH
<b>SECONDER:</b>	ROTH-WURSTER
<b>AYES:</b>	Jan Wood, Cindy Roth Wurster, Tim Schubert, Kevin Cavanaugh, Stephen Fedota, Eric Friedman, Patrick Noonan, Rodney Bettenhausen
<b>NAYES:</b>	None

- C. Preliminary Planned Development to allow a 40-unit townhouse development for the property at 885 W, Dundee Road and 1490 N. Quentin Road - **THE PETITIONER REVISED THE PRELIMINARY PLANNED DEVELOPMENT PLANS TO ALLOW A 38-UNIT TOWNHOUSE DEVELOPMENT**

**PPD-000014-2025 – 1490 N Quentin Rd & 885 W Dundee Rd**

Notice was published in the Journal & Topics on January 22<sup>nd</sup>, 2026 and mailed to the owners of the surrounding properties.

**Petitioner's Exhibits:**

1. **Engineering Plans**
2. **Architectural Plans**
3. **Elevations**
4. **Landscaping Plans**
5. **Developer narrative**

PUBLIC NOTICE

A Public Hearing will be held before the Village of Palatine Planning and Zoning Commission on Tuesday March 10, 2026 at 7 PM, in the Village Council Chambers in Palatine Village Hall, 200 E. Wood Street, relative to a request for the following:

**Preliminary/Final Plat of Subdivision to permit a 2-lot single-family residential subdivision.**

The properties are zoned R-2 single-family residential and are commonly known as 763 N. Franklin Avenue and the two vacant abutting lots directly south of 763 N. Franklin Avenue.

The Petitioner is requesting a Preliminary and Final Plat of Subdivision to consolidate (re-subdivide) the three single-family lots, into two single-family residential lots. The existing home at 763 N. Franklin Avenue would remain, in addition to one vacant lot.

The above petition has been filed by Eduard Khutornyy, owner and is available for examination in the office of the Village Clerk, 200 E. Wood Street.

FILE #: PFSUB-000014-2025 VILLAGE OF PALATINE

Jan Wood, Chair  
Palatine Planning and Zoning Commission

DATED: This 19<sup>th</sup> day of February 2026

# CERTIFICATE OF PUBLICATION

DES PLAINES JOURNAL, INC., a corporation organized and existing under and by virtue of the laws of the State of Illinois, does hereby CERTIFY that it is the publisher of the:

Journal & Topics Newspapers  
AKA Des Plaines Journal, Inc.  
622 Graceland Ave.  
Des Plaines, IL 60016-4556

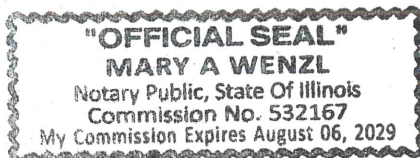
and that said newspaper(s) is a secular newspaper of general circulation and has been published weekly in the

(Village) (Town) (City) (Township) of PALATINE 763 N. Franklin Ave  
     
County of COOK

and State of Illinois, continuously for more than one year prior to date of the first publication of the notice attached hereto, and that said newspaper(s) complies with the requirements of Paragraphs 5 and 10, Chapter 100, of the Illinois Revised Statutes.

Further, that the notice, of which the attached is a true copy, was published ONE times in the said newspaper(s), namely once each week for ONE successive week(s) and that the first publication of said notice was made on the 19TH day of FEBRUARY, A.D. 2026, and the last publication thereof was made on the 19TH day of FEBRUARY, A.D. 2026.

- Your Legal appeared in the following Journal & Topics Newspapers (Des Plaines Journal, Inc.)
- Des Plaines Journal
  - Elk Grove Village Journal
  - Mt. Prospect Journal
  - Niles Journal
  - Park Ridge-Golf Mill Journal
  - Prospect Heights Journal
  - Rosemont Journal
  - Arlington Heights Topics
  - Buffalo Grove Topics
  - Palatine Topics
  - Rolling Meadows Topics
  - Wheeling Topics
  - Suburban Journal
  - Northwest Journal
  - Glenview Journal



*Mary A. Wenzl*  
IN WITNESS WHEREOF, THE DES PLAINES JOURNAL, INC., has caused this certificate to be signed and its corporate seal affixed hereto at Des Plaines, Illinois this 19TH day of FEBRUARY A.D., 2026.

By Todd Wassell  
President  
Title of Corporate Officer

County of Cook  
State of Illinois

Subscribed and sworn to before me this 19TH day of FEBRUARY A.D., 2026.

My commission expires 6TH day of AUGUST A.D., 2029.

## **Consider an Ordinance Granting a Minor Amendment to the Slade Street Crossing Planned Development Regarding the Allowable Fencing Type, Maximum Height, and Permitted Locations, Including an Amendment to the Slade Street Crossing Declarations**

### **BACKGROUND:**

The Subject Property was approved as a 5-lot single-family residential development in 2024. Since its approval, four home sites are complete and have all received Certificates of Occupancy. Through the development's review process, fencing for any of the individual home sites was not specifically contemplated or addressed within the Planned Development. Therefore, the Petitioner is requesting approval of the following:

**A Minor Planned Development Amendment to specify the permitted fence type, the maximum permitted height, and permitted locations.**

### **KEY ISSUES:**

- When the Slade Street Crossing Planned Development was initially reviewed and approved, the development did not establish fencing criteria for the 5-lot subdivision. The developer is requesting a Minor Planned Development Amendment, in order to create the fencing criteria allowed within the Subdivision. The criteria will include the permitted fencing type, maximum allowable height, and permitted locations within the development.
- Staff notes that the requested amendment only establishes allowable fencing parameters for what would be permitted fencing by Code. This amendment will ensure that there is uniform material, maximum permitted height (which aligns to the maximum height for residential properties in the zoning district), and permitted locations are established, all of which conform to the permitted parameters within the zoning ordinance.
- The requested fencing locations include interior side yard fencing for Lot 5, which would not extend into the front yards along Slade Street, nor impact the driveway aprons to the garages or shared access driveway. The fencing would be a cedar shadowbox style fence, with a maximum height of 6 feet.
- Additionally, cedar shadowbox fencing, not exceeding 6 feet in height and 10 linear feet would also be permitted between the patios of Lots 4-5.

### **BUDGET IMPACT:**

N/A

### **RECOMMENDATION:**

Staff recommends approval of the ordinance granting the Slade Street Crossing Minor Planned Development Amendment.

**ACTION REQUIRED:**

Motion to approve an ordinance granting a Minor Amendment to the Planned Development to establish the allowable fencing type, maximum height, and permitted locations within the Slade Street Station Planned Development.

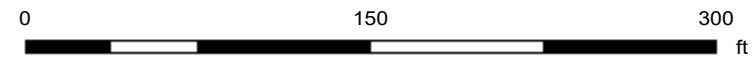
**ATTACHMENTS:**

1. Aerial Map
2. ORD Minor Amendment Slade Street Crossing
3. EXHIBIT - Slade Street Station fencing site plan
4. #O-023-24 - Slade Street Crossing Final Planned Development Ordinance



### Legend

### Notes



Print Date: 3/3/2026

Disclaimer: The GIS Consortium and MGP Inc. are not liable for any use, misuse, modification or disclosure of any map provided under applicable law. This map is for general information purposes only. Although the information is believed to be generally accurate, errors may exist and the user should independently confirm for accuracy. The map does not constitute a regulatory determination and is not a base for engineering design. A Registered Land Surveyor should be consulted to determine precise location boundaries on the ground.

**ORDINANCE NO. \_\_\_\_\_**

**AN ORDINANCE GRANTING A MINOR AMENDMENT AMENDING THE SLADE STREET CROSSING PLANNED DEVELOPMENT ORDINANCE #O-023-24 TO IDENTIFY THE PERMITTED FENCING TYPE, MAXIMUM HEIGHT, AND PERMITTED LOCATIONS FOR THE PROPERTY AT 4-20 E. SLADE STREET**

**WHEREAS, Slade Street Crossing Planned Development did not contemplate the allowable fencing type, maximum height, and permitted locations; and**

**WHEREAS, the Petitioner would like to establish the allowable fencing parameters for the Planned Development to create a uniform design and permitted locations;**

**NOW, THEREFORE, BE IT ORDAINED, by the Mayor and Village Council of the Village of Palatine, Cook County, Illinois, acting in the exercise of their home rule power:**

**SECTION 1: That a Minor Amendment to Planned Development Ordinance #O-023-24, is hereby approved to permit a maximum 6-foot tall cedar shadowbox fencing the following locations: within the interior side yard of 20 E. Slade Street (east side – Lot 5) and in between 16-20 E. Slade Street (Lots 4-5), not to exceed 10 linear feet, is approved, subject to the following conditions:**

- 1. The Slade Street Crossing Declarations shall be revised and amended in a manner acceptable to the Village Attorney and Director of Planning and Zoning to reflect this Minor Amendment.**
- 2. The permitted locations and elevation shall substantially conform to the attached fencing site plan, except as such may be changed to conform with Village Codes and Ordinances.**

**All other conditions and requirements of Ordinance #O-023-24, as amended, shall remain in effect.**

**SECTION 2: This ordinance shall be in full force and effect upon passage and approval as provided by law.**

**PASSED: This \_\_\_\_\_ day of \_\_\_\_\_, 2026**

**AYES: \_\_\_\_\_ NAYS: \_\_\_\_\_ ABSENT: \_\_\_\_\_ PASS: \_\_\_\_\_**

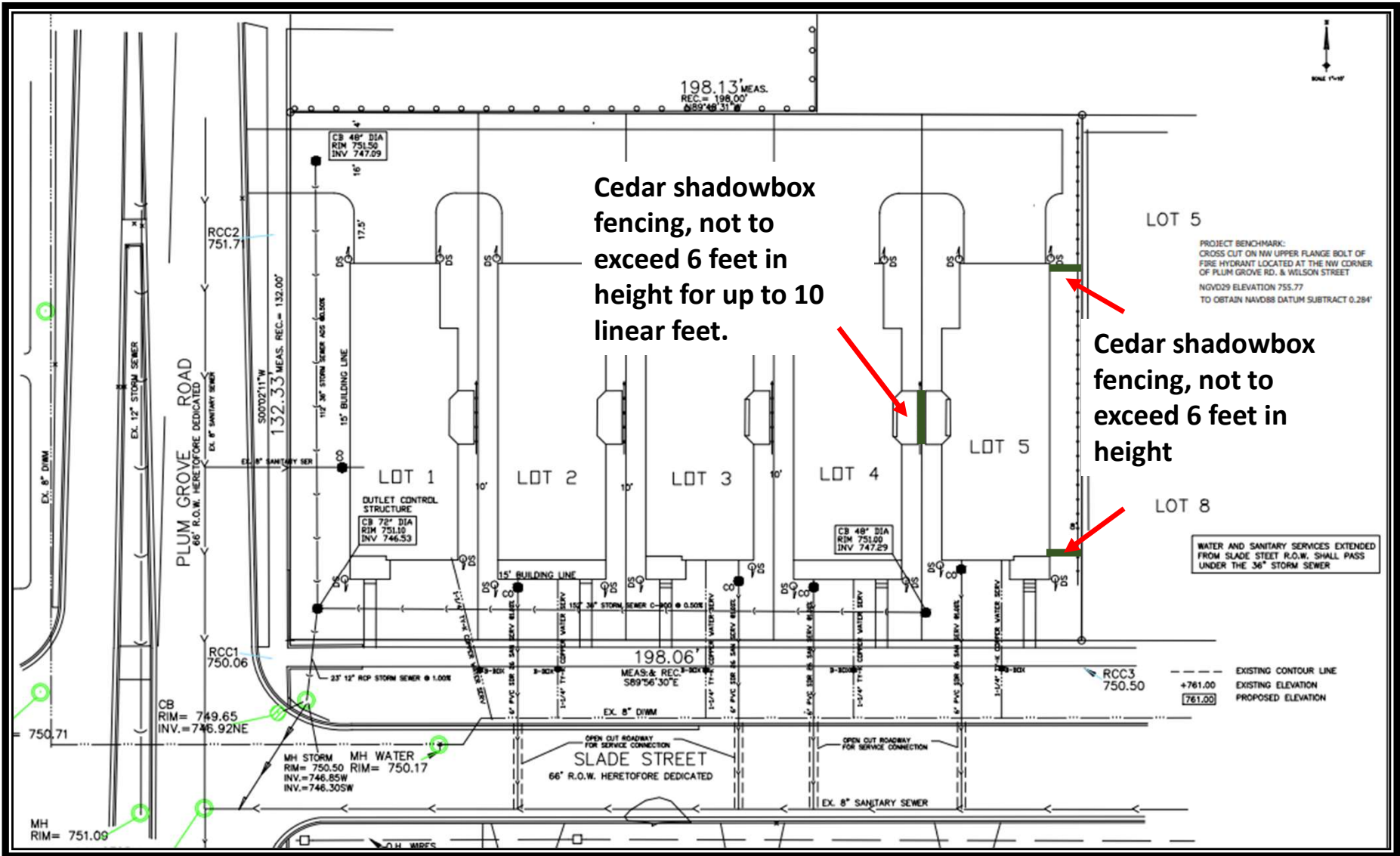
**APPROVED by me this \_\_\_\_\_ day of \_\_\_\_\_, 2026**

\_\_\_\_\_  
**Mayor of the Village of Palatine**

**ATTESTED and FILED in the office of the Village Clerk**

**this \_\_\_\_\_ day of \_\_\_\_\_, 2026**

\_\_\_\_\_  
**Village Clerk**



**ORDINANCE NO. O-23-24**

**AN ORDINANCE GRANTING FINAL PLANNED  
DEVELOPMENT APPROVAL FOR  
37 N. PLUM GROVE ROAD**

**Published in pamphlet form by authority of the  
Mayor and Village Council of the Village of Palatine  
on March 11, 2024**

ORDINANCE NO. 0-23-24

**AN ORDINANCE GRANTING FINAL PLANNED DEVELOPMENT APPROVAL FOR  
37 N. PLUM GROVE ROAD**

WHEREAS, upon petition of owners of said property, a Public Hearing was held by the Planning & Zoning Commission of the Village of Palatine on February 27, 2024, and in accordance with the Zoning Ordinance of the Village of Palatine, in such case made and provided, and said Planning & Zoning Commission, having made its findings in a report to the Mayor and Village Council of the Village of Palatine regarding a request for a Final Planned Development to permit a 5-lot single-family residential development, on the following legally described property:

**LOTS 6 AND 7 IN BLOCK "G" IN THE VILLAGE OF PALATINE, ILLINOIS ACCORDING TO THE MAP OF JOEL WOOD'S SUBDIVISION IN SECTIONS 14, 15, 22 AND 23 IN TOWNSHIP 42 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN IN COOK COUNTY, ILLINOIS, RECORDED ON DECEMBER 7, 1855 IN BOOK 98 OF MAPS ON PAGE 28.**

NOW, THEREFORE, BE IT ORDAINED, by the Mayor and Village Council of the Village of Palatine, Cook County, Illinois, acting in the exercise of their home rule power:

**SECTION 1: That the Preliminary and Final Planned Development is hereby approved to permit a 5-lot single-family residential development, subject to the following conditions:**

- 1. The development shall substantially conform to the engineering plans by Spies and Associates, last revised on 9/27/23, the architectural plans by Gilmore and submitted elevations, and the landscaping plans by Dickson Design Studio, except as such plans may be changed to conform to Village Codes and Ordinances.**
- 2. The Final Engineering Plans shall be submitted in a manner acceptable to the Village Engineer.**
- 3. The Final Landscaping and Screening Plan shall be revised in a manner acceptable to the Director of Planning and Zoning and shall include additional landscaping on the north side of the property.**

- 4. The HOA declarations shall be submitted in a manner acceptable to the Village Attorney and Director of Planning and Zoning.
- 5. In conjunction with the building permit application, a construction management plan shall be submitted in a manner acceptable to Village and shall outline the proposed development schedule, identify the material delivery routes, and proposed parking areas for the contractors.
- 6. A \$50,000 Planned Development letter of credit shall be submitted in a manner acceptable to the Director of Planning and Zoning and Village Engineer.

**SECTION 2:** That a copy of the public notice, be attached hereto and form a part of this ordinance.

**SECTION 3:** This ordinance shall be in full force and effect upon passage and approval as provided by law.

PASSED: This 11 day of March, 2024


AYES: 6 NAYS: 0 ABSENT: 0 PASS: 0

APPROVED by me this 11 day of March, 2024

  
\_\_\_\_\_  
Mayor of the Village of Palatine

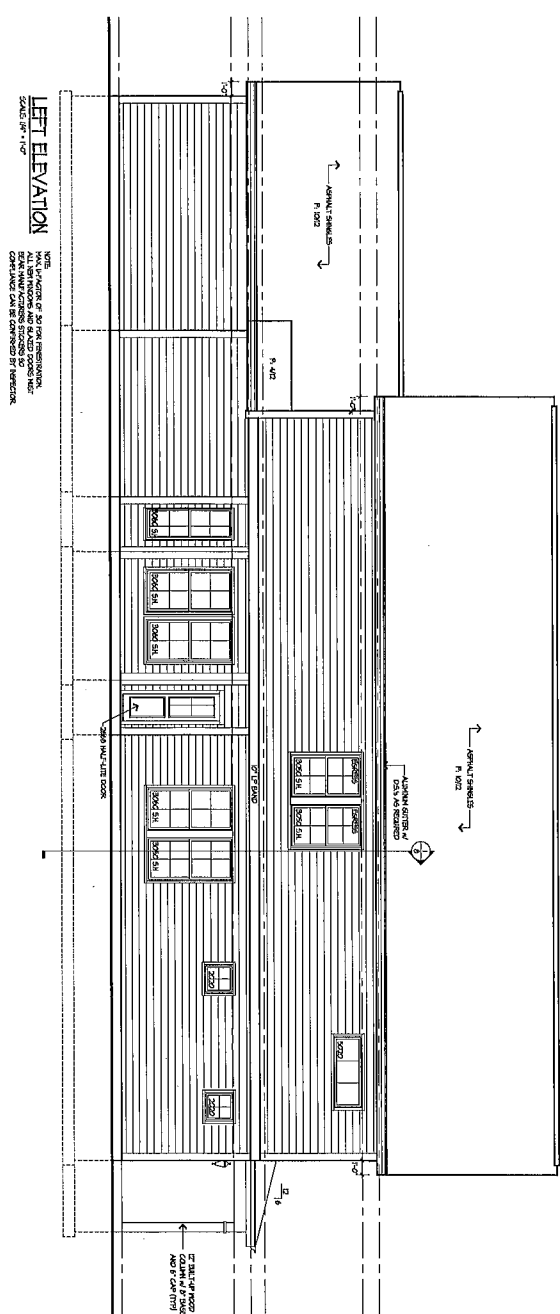
ATTESTED and FILED in the office of the Village Clerk

this 11 day of March, 2024

  
\_\_\_\_\_  
Village Clerk

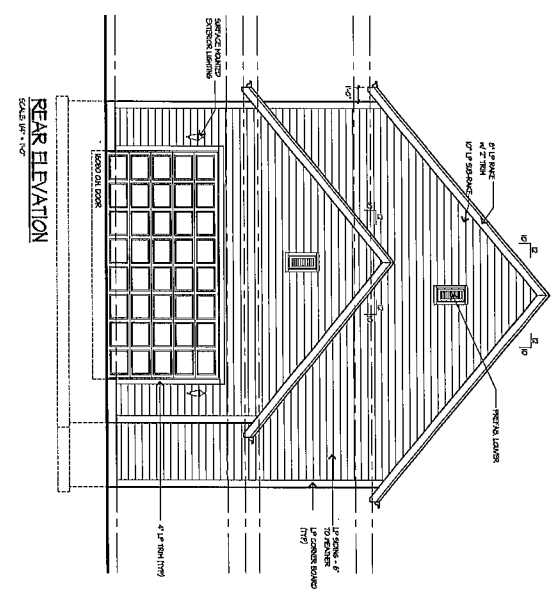






**LEFT ELEVATION**  
SCALE: 1/4" = 1'-0"

THIS DRAWING IS TO BE CONSIDERED AS A GUIDE ONLY. ALL MATERIALS, FINISHES AND CONSTRUCTION SHALL BE AS SHOWN UNLESS OTHERWISE NOTED. COMPLIANCE CAN BE CONFIRMED BY VISITOR.



**REAR ELEVATION**  
SCALE: 1/4" = 1'-0"

THIS DRAWING IS TO BE CONSIDERED AS A GUIDE ONLY. ALL MATERIALS, FINISHES AND CONSTRUCTION SHALL BE AS SHOWN UNLESS OTHERWISE NOTED. COMPLIANCE CAN BE CONFIRMED BY VISITOR.

- ELEVATION NOTES:**
1. DO NOT SCALE DIMENSIONS
  2. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED
  3. FINISHES AND MATERIALS TO BE USED SHALL BE AS SHOWN UNLESS OTHERWISE NOTED
  4. VERIFY ALL DIMENSIONS WITH THE ARCHITECT
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These drawings were prepared and signed by the architect in accordance with the provisions of the State of Illinois Professional Code of Ethics, Chapter 120, and the Illinois State Board of Registration in Professional Architecture, Chapter 120, ILCS 220.1/120.1.

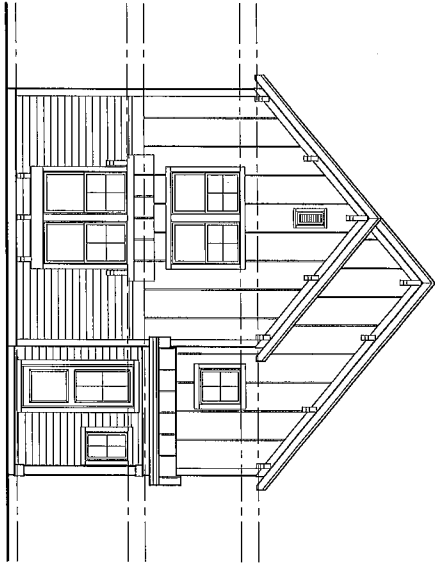
STATE OF ILLINOIS  
REGISTERED ARCHITECT  
FREDERICK GILMORE, ARCHITECT  
550 S. WASHINGTON STREET  
SPRINGFIELD, ILLINOIS 62760  
TEL: 217.544.1234  
WWW.GILMOREARCHITECTS.COM

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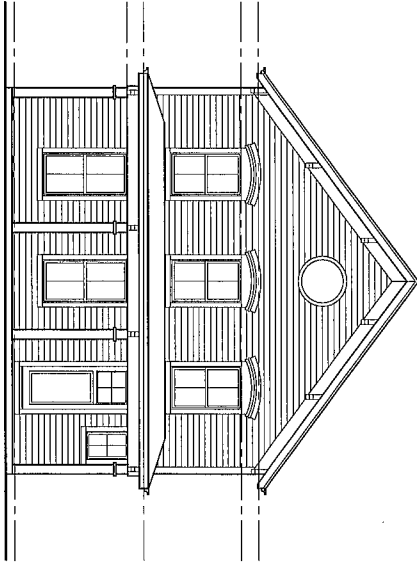
Fredrick Gilmore, Architect  
550 S. WASHINGTON STREET  
SPRINGFIELD, ILLINOIS 62760  
TEL: 217.544.1234  
WWW.GILMOREARCHITECTS.COM

STATE OF ILLINOIS  
REGISTERED ARCHITECT  
FREDERICK GILMORE, ARCHITECT  
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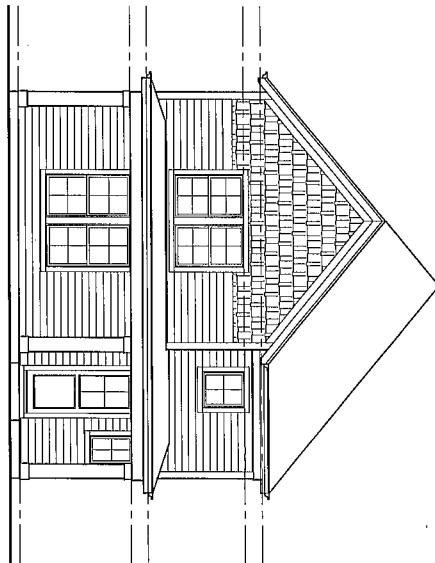
FRONT ELEVATION OPTION "A"  
SCALE: 1/4" = 1'-0"



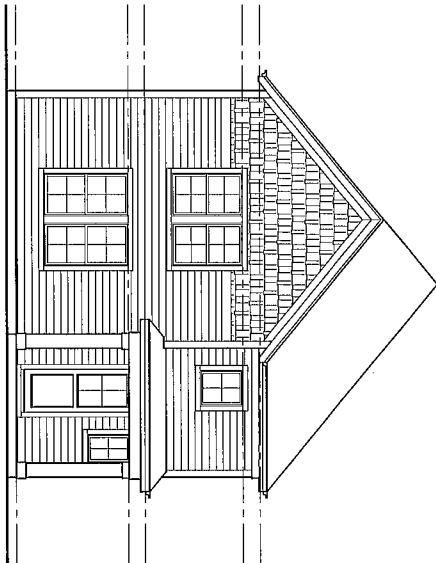
FRONT ELEVATION OPTION "C"  
SCALE: 1/4" = 1'-0"



FRONT ELEVATION OPTION "B"  
SCALE: 1/4" = 1'-0"

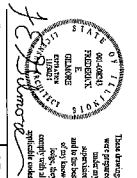


FRONT ELEVATION "D"  
SCALE: 1/4" = 1'-0"



**ELEVATION NOTES:**

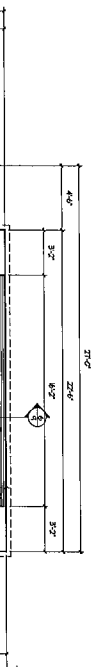
- 1. DO NOT SCALE DRAWINGS.
- 2. SHOWING IS FOR INFORMATION ONLY. VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE.
- 3. ALL FOOTINGS TO BE SCHEDULE 40.
- 4. REFER TO FOUNDATION PLAN FOR ALL FOOTING AND DOOR.
- 5. REFER TO FLOOR PLAN FOR ALL ROOMS AND DOORS.
- 6. REFER TO SECTION 101 FOR ALL FINISHES.
- 7. REFER TO SECTION 102 FOR ALL FINISHES.
- 8. REFER TO SECTION 103 FOR ALL FINISHES.
- 9. REFER TO SECTION 104 FOR ALL FINISHES.
- 10. REFER TO SECTION 105 FOR ALL FINISHES.
- 11. REFER TO SECTION 106 FOR ALL FINISHES.
- 12. REFER TO SECTION 107 FOR ALL FINISHES.
- 13. REFER TO SECTION 108 FOR ALL FINISHES.
- 14. REFER TO SECTION 109 FOR ALL FINISHES.
- 15. REFER TO SECTION 110 FOR ALL FINISHES.
- 16. REFER TO SECTION 111 FOR ALL FINISHES.
- 17. REFER TO SECTION 112 FOR ALL FINISHES.
- 18. REFER TO SECTION 113 FOR ALL FINISHES.
- 19. REFER TO SECTION 114 FOR ALL FINISHES.
- 20. REFER TO SECTION 115 FOR ALL FINISHES.
- 21. REFER TO SECTION 116 FOR ALL FINISHES.
- 22. REFER TO SECTION 117 FOR ALL FINISHES.
- 23. REFER TO SECTION 118 FOR ALL FINISHES.
- 24. REFER TO SECTION 119 FOR ALL FINISHES.
- 25. REFER TO SECTION 120 FOR ALL FINISHES.



NO.	REVISION	DATE
1	ISSUED FOR PERMIT	05/20/2024

That this design was prepared by me or under my direct supervision and I am a duly licensed and registered architect in the State of Illinois.

Frederick Gilmore, Architect  
 14500 Grandview Drive  
 Suite 200  
 Palatine, IL 60067  
 www.gilmorearchitect.com  
 847.471.8676



**FOUNDATION PLAN**  
 SCALE 1/4" = 1'-0"

NOTE: THE CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE DETAILING AND SPECIFICATIONS OF THE STRUCTURAL ENGINEER. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.

**CONCRETE STRENGTH OF CONCRETE**

TYPE OR LOCATION OF CONCRETE	CONCRETE STRENGTH
FOUNDATION WALLS	3000
FOUNDATION SLABS	3000
FOUNDATION BEAMS	3000
FOUNDATION FLOORS	3000

**MECHANICAL VENTILATION NOTES:**

1. PROVIDE THE MECHANICAL VENTILATION SYSTEM TO EXTRACT THE EXCESS HEAT FROM THE BASEMENT. THE MECHANICAL VENTILATION SYSTEM SHALL BE DESIGNED TO MAINTAIN THE TEMPERATURE IN THE BASEMENT AT LEAST 5 DEGREES ABOVE THE OUTDOOR TEMPERATURE.

**BASMENT FND NOTES:**

1. ALL CONCRETE SHALL BE CAST IN PLACE AND SHALL BE FINISHED TO THE FINISH GRADE. THE CONCRETE SHALL BE CAST IN PLACE AND SHALL BE FINISHED TO THE FINISH GRADE.

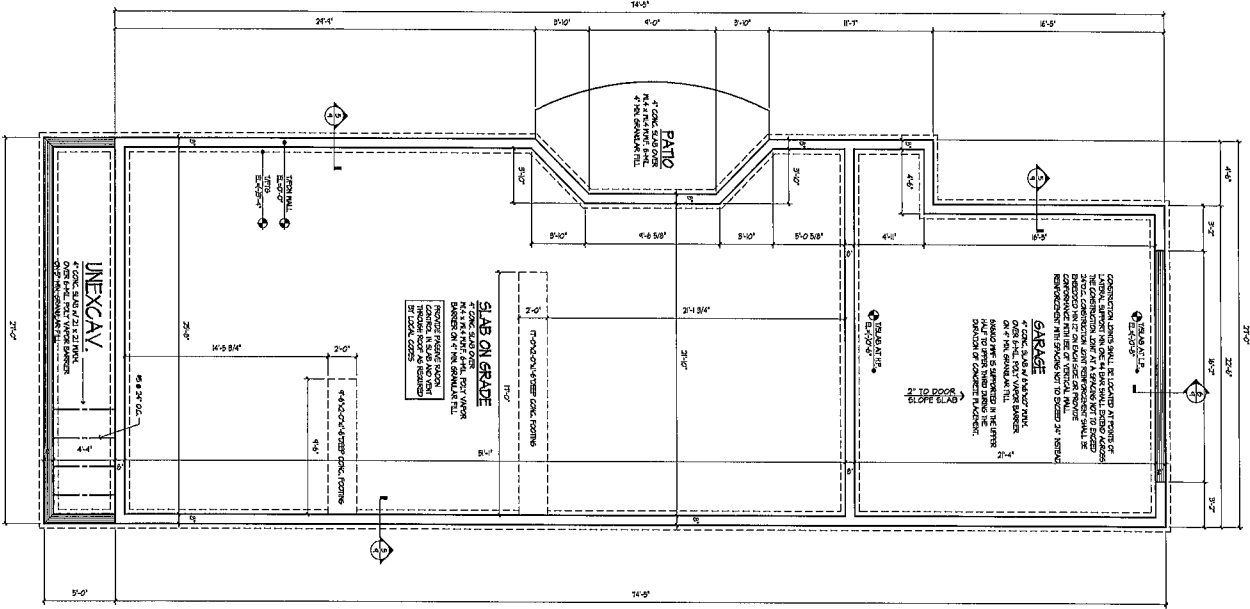
2. THE CONCRETE SHALL BE CAST IN PLACE AND SHALL BE FINISHED TO THE FINISH GRADE. THE CONCRETE SHALL BE CAST IN PLACE AND SHALL BE FINISHED TO THE FINISH GRADE.

State of Illinois  
 Daniel J. Gilmore, S.E.  
 123456789  
 PLANNING ENGINEER  
 State of Illinois  
 License No. 123456789

**Gilmore**  
 FrankRak Gilmore, Architects  
 3489 Cahoon Park Drive  
 Chicago, IL 60640  
 Tel: 312.467.1234  
 Fax: 312.467.1235  
 www.gilmorearchitects.com

**FOUNDATION PLAN**

SCALE 1/4" = 1'-0"



**PATIO**  
CONCRETE SLAB ON GRADE  
4" MIN. OVER 4" MIN. GRANULAR FILL

**SLAB ON GRADE**  
CONCRETE SLAB ON GRADE  
4" MIN. OVER 4" MIN. GRANULAR FILL

**CONSTRUCTION NOTES:**  
1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE INTERNATIONAL RESIDENTIAL CODE BOOK (IRC).  
2. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CONCRETE REINFORCING STEEL INSTITUTE (ACI) AND THE STEEL DECK MANUFACTURER'S (SDS) RECOMMENDATIONS.  
3. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE AMERICAN SOCIETY OF CIVIL ENGINEERS (ASCE) AND THE AMERICAN INSTITUTE OF ARCHITECTS (AIA).  
4. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) AND THE NATIONAL ELECTRICAL CODE (NEC).  
5. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL SANITATION FOUNDATION (NSF) AND THE NATIONAL SANITATION FOUNDATION (NSF).

**COMPRESSION STRENGTH OF CONCRETE**

TYPE OF LOCATION OF CONCRETE CONSTRUCTION	MIN. TESTED COMPRESSION STRENGTH
CONCRETE CAST IN PLACE	3000
CONCRETE CAST IN FORMS	3000
CONCRETE CAST IN FORMS WITH INSULATION	3000
CONCRETE CAST IN FORMS WITH INSULATION AND PROTECTIVE COATING	3000
CONCRETE CAST IN FORMS WITH INSULATION AND PROTECTIVE COATING AND WIND BARRIER	3000
CONCRETE CAST IN FORMS WITH INSULATION AND PROTECTIVE COATING AND WIND BARRIER AND VAPOR BARRIER	3000

**GENERAL NOTES:**

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE INTERNATIONAL RESIDENTIAL CODE BOOK (IRC).
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**GENERAL NOTES:**

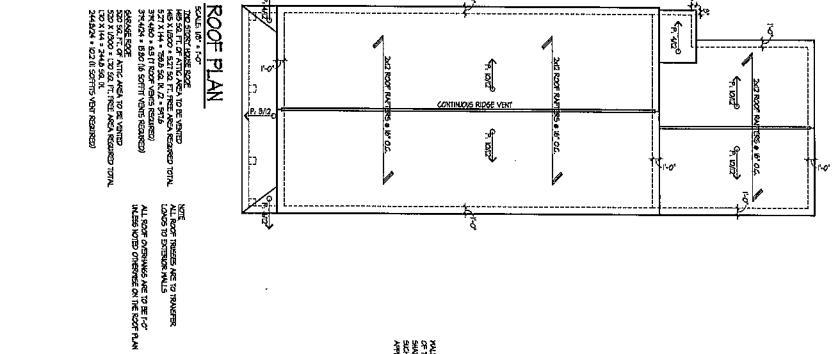
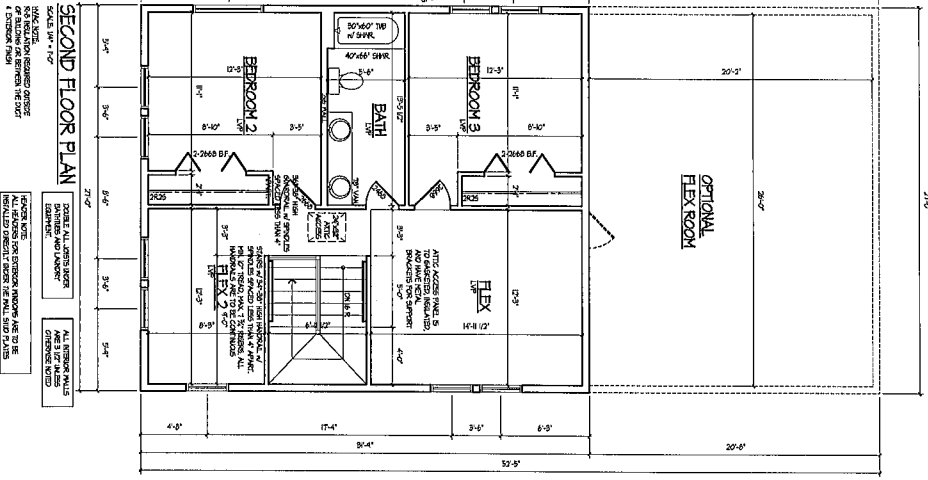
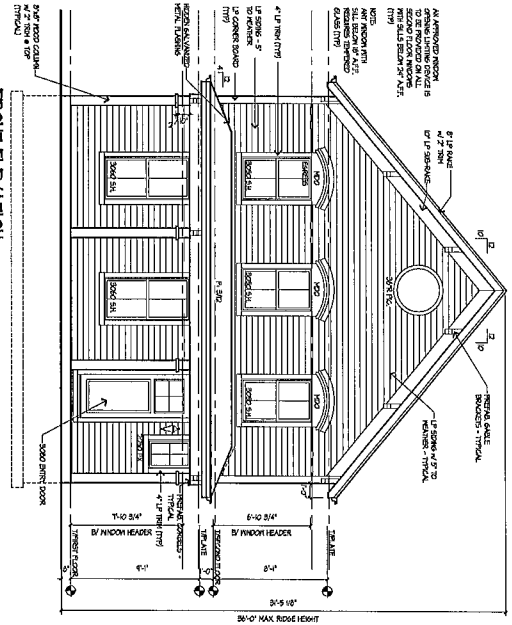
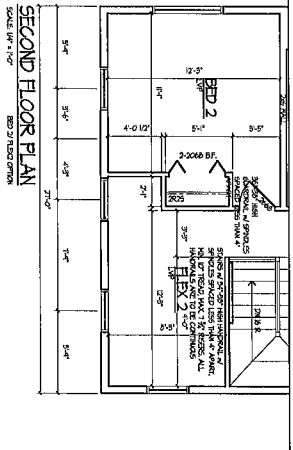
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**Professional Engineer Seal:**  
 STATE OF MARYLAND  
 PROFESSIONAL ENGINEER  
 FREDERICK GILMORE  
 License No. 12345  
 Exp. 12/31/2024

**Project Information:**  
 Project Name: [Redacted]  
 Client: [Redacted]  
 Date: 10/15/2024

**Approval:**  
 Prepared by: [Redacted]  
 Checked by: [Redacted]  
 Date: 10/15/2024





**PROJECT INFORMATION**

PROJECT: [Name]  
 LOCATION: [Address]  
 DATE: [Date]

**DESIGNER**

NAME: [Name]  
 TITLE: [Title]

**CLIENT**

NAME: [Name]  
 ADDRESS: [Address]

**Architect**

**Chimere**

REGISTERED ARCHITECT

1234 Main Street  
 City, State, Zip

Phone: (555) 123-4567  
 Email: info@chimere.com





**ROOF CONSTRUCTION**

ROOF SHALL BE CONSTRUCTED OVER 2" POLYSTYRENE INSULATION. INSULATION SHALL BE CONTIGUOUS TO THE EXTERIOR WALL AND SHALL BE CONTIGUOUS TO THE EXTERIOR WALL AND SHALL BE CONTIGUOUS TO THE EXTERIOR WALL. INSULATION SHALL BE CONTIGUOUS TO THE EXTERIOR WALL AND SHALL BE CONTIGUOUS TO THE EXTERIOR WALL. INSULATION SHALL BE CONTIGUOUS TO THE EXTERIOR WALL AND SHALL BE CONTIGUOUS TO THE EXTERIOR WALL.

**FASCIA AND SOFFIT**  
FASCIA AND SOFFIT SHALL BE CONSTRUCTED OVER THE ROOF INSULATION. FASCIA AND SOFFIT SHALL BE CONSTRUCTED OVER THE ROOF INSULATION. FASCIA AND SOFFIT SHALL BE CONSTRUCTED OVER THE ROOF INSULATION.

**SECOND FLOOR CONSTRUCTION**

SECOND FLOOR SHALL BE CONSTRUCTED OVER THE FIRST FLOOR. SECOND FLOOR SHALL BE CONSTRUCTED OVER THE FIRST FLOOR. SECOND FLOOR SHALL BE CONSTRUCTED OVER THE FIRST FLOOR.

**FRAME WALL CONSTRUCTION**

FRAME WALL SHALL BE CONSTRUCTED OVER THE FOUNDATION. FRAME WALL SHALL BE CONSTRUCTED OVER THE FOUNDATION. FRAME WALL SHALL BE CONSTRUCTED OVER THE FOUNDATION.

**FIRST FLOOR CONSTRUCTION**

FIRST FLOOR SHALL BE CONSTRUCTED OVER THE FOUNDATION. FIRST FLOOR SHALL BE CONSTRUCTED OVER THE FOUNDATION. FIRST FLOOR SHALL BE CONSTRUCTED OVER THE FOUNDATION.

**SLAB PLATE**

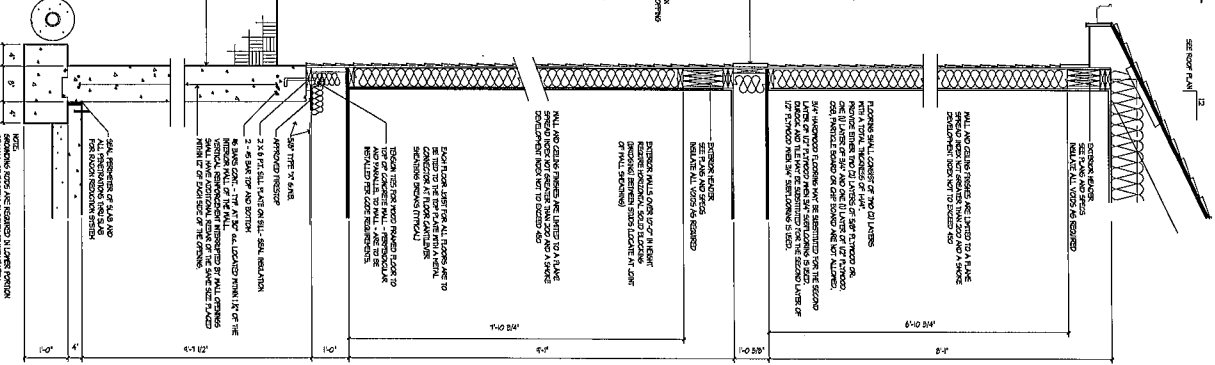
SLAB PLATE SHALL BE CONSTRUCTED OVER THE FOUNDATION. SLAB PLATE SHALL BE CONSTRUCTED OVER THE FOUNDATION. SLAB PLATE SHALL BE CONSTRUCTED OVER THE FOUNDATION.

**CONCRETE SLAB CONSTRUCTION**

CONCRETE SLAB SHALL BE CONSTRUCTED OVER THE FOUNDATION. CONCRETE SLAB SHALL BE CONSTRUCTED OVER THE FOUNDATION. CONCRETE SLAB SHALL BE CONSTRUCTED OVER THE FOUNDATION.

**1 FRAME WALL SECTION**

SCALE: 3/4" = 1'-0"



**ROOF CONSTRUCTION**

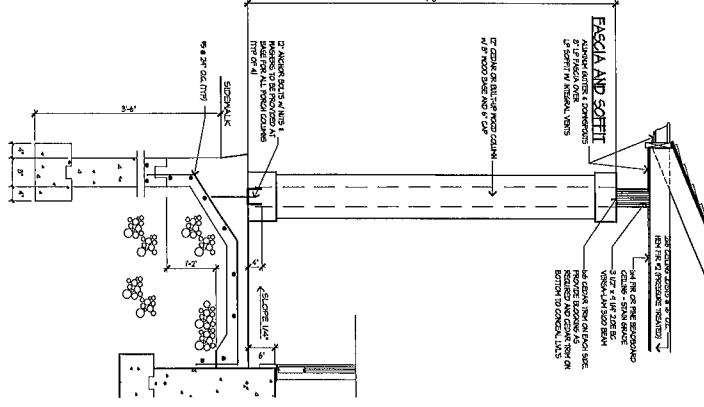
ROOF SHALL BE CONSTRUCTED OVER THE INSULATION. ROOF SHALL BE CONSTRUCTED OVER THE INSULATION. ROOF SHALL BE CONSTRUCTED OVER THE INSULATION.

**FASCIA AND SOFFIT**

FASCIA AND SOFFIT SHALL BE CONSTRUCTED OVER THE ROOF. FASCIA AND SOFFIT SHALL BE CONSTRUCTED OVER THE ROOF. FASCIA AND SOFFIT SHALL BE CONSTRUCTED OVER THE ROOF.

**2 PORCH SECTION**

SCALE: 3/4" = 1'-0"



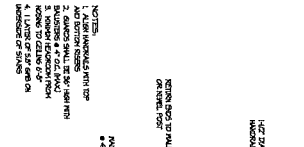
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**FREDERICK GILMORE ARCHITECTS**  
 1000 W. BROAD ST. SUITE 200  
 BALTIMORE, MD 21201  
 TEL: 410.524.1234  
 FAX: 410.524.1235  
 WWW.GILMOREARCHITECTS.COM

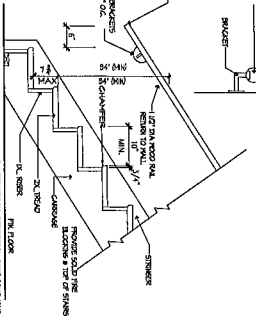
**Gilmore**  
 Frederick Gilmore, Architect

**SEALS STREET CROSSING**  
 PLANS 19  
 PARTIAL 11.0102

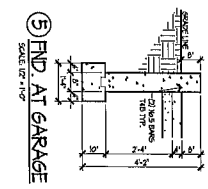
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 CHECKED BY: [Signature]  
 IN CHARGE: [Signature]



① STAIR DETAIL  
SCALE: 1/8" = 1'-0"



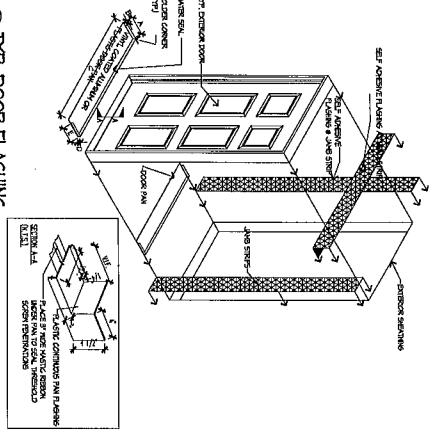
④ HEADER DETAIL  
SCALE: 1/8" = 1'-0"



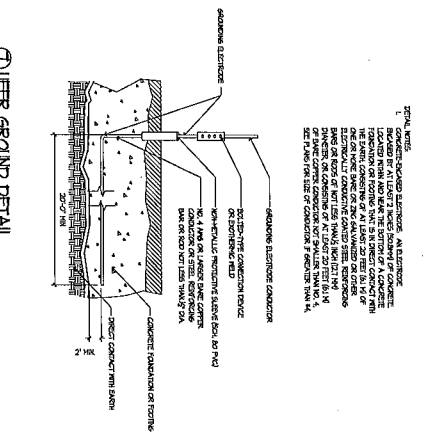
⑤ END AT GARAGE  
SCALE: 1/8" = 1'-0"



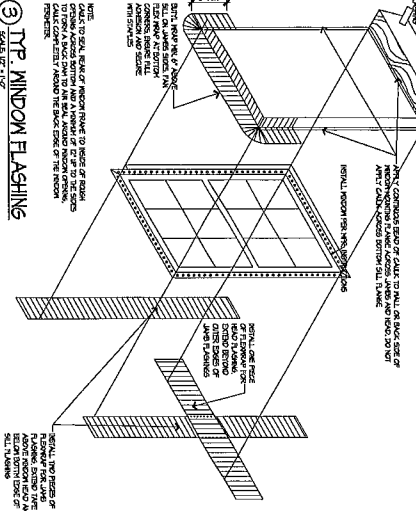
⑥ GARAGE OPENING  
SCALE: 1/8" = 1'-0"



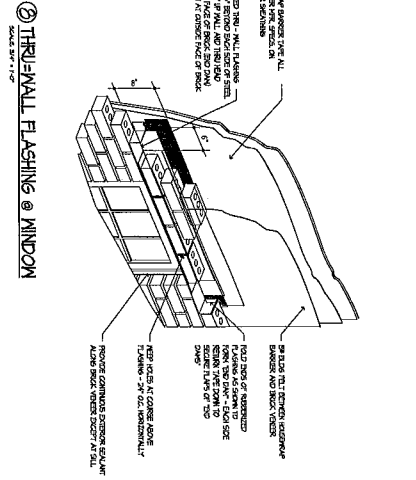
② TOP DOOR FLASHING  
SCALE: 1/8" = 1'-0"



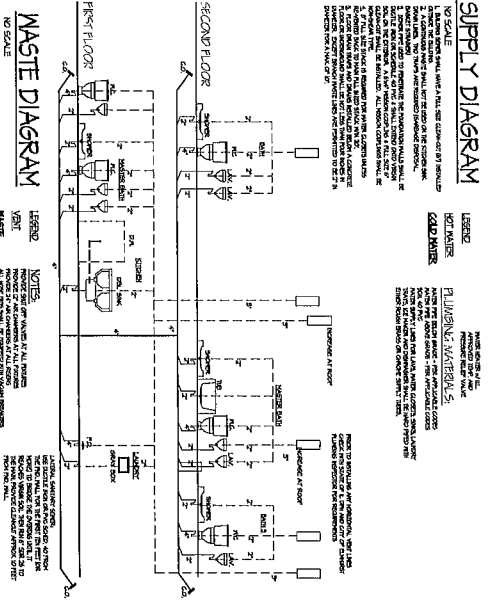
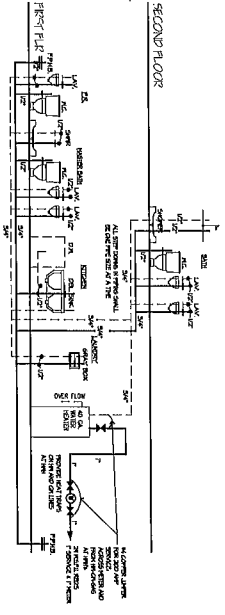
① UPPER GROUND DETAIL  
SCALE: 1/8" = 1'-0"



③ TOP WINDOW FLASHING  
SCALE: 1/8" = 1'-0"



④ THRU-WALL FLASHING @ WINDOW  
SCALE: 1/8" = 1'-0"



STATE OF ILLINOIS  
 PROFESSIONAL ARCHITECT  
 FREDERICK CHIMMORÉ ARCHITECT  
 PLAN 519  
 S. LOC STREET CROSSING  
 PEASHEW, IL 60070

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FREDERICK CHIMMORÉ ARCHITECT  
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 CHICAGO, IL 60610  
 TEL: 312.467.1111  
 FAX: 312.467.1112  
 WWW.FCHIMMORÉ.COM



# SLADE STREET CROSSING PLAN 544 PALATINE, ILLINOIS 60067

**ARCHITECT CONTACT**  
**BLAKE CZAR**  
847/871-3507

**BUILDER**  
**GWR BUILDERS**  
847/204-1214

**SHEET INDEX**

DATE	PAGES REVISED
08/23	BASED FOR PERMIT

**CODES**

- APPLICABLE BUILDING CODES**
- 2015 INTERNATIONAL RESIDENTIAL CODE w/ AMENDMENTS
  - EXISTING BUILDINGS AND STRUCTURES, APPENDIX J
  - 2015 INTERNATIONAL MECHANICAL CODE w/ AMENDMENTS
  - 2015 INTERNATIONAL FUEL GAS CODE
  - 2015 INTERNATIONAL ENERGY CONSERVATION CODE
  - 2017 NATIONAL ELECTRICAL CODE w/ AMENDMENTS
  - 2014 ILLINOIS PLUMBING CODE w/ AMENDMENTS
  - VILLAGE OF PALATINE CODE OF ORDINANCES

**OCCUPANCY**

**R3 - RESIDENTIAL**  
CLIMATE AND GEOGRAPHICAL DESIGN CRITERIA  
Ground Snow Load: 30 psf  
Wind Speed: 40 mph - 3 second gust  
Seismic Category: A  
Moistening Severe  
Frost Line Depth: 48"  
Tempera - Moderate  
Winter Design Temp: -4 F  
Heat Barrier Underlayment Required: Yes  
Ice Freezing Index: 1750  
Mean Annual Temp: 50 F

BUILDING/FINISH CONTR.	
ITEM	CONTRACTOR
FOUNDATION	3
FLOOR FINISHES	3
ROOF FINISHES	3
MECHANICAL	3
ELECTRICAL	3
PLUMBING	3
PAINTS	3
GLAZING	3
IRONWORK	3
CONCRETE	3
STEEL	3
WOOD	3
OTHER	3
GENERAL CONTRACTOR	3

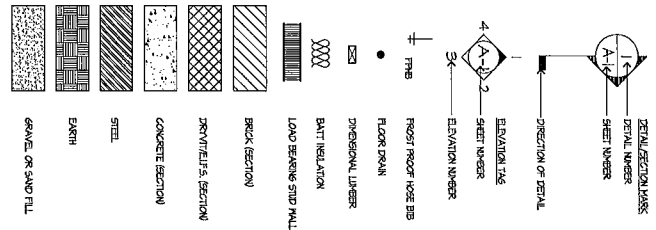
**ABBREVIATIONS**

SYMBOL	DESCRIPTION
1	COVER SHEET
2	FRONT & RIGHT SIDE ELEVATION SCHEDULE
2A	REAR & LEFT SIDE ELEVATION
2B	ELEVATION OPTIONS
3	FOUNDATION PLAN
3A	OPTIONAL SLAB ON GRADE PLAN
4	FIRST FLOOR PLAN
5	SECOND FLOOR PLAN / ROOF PLAN
6	FIRST FLOOR ELECTRICAL PLAN
7	SECOND FLOOR ELECTRICAL PLAN
8	WALL SECTIONS
9	DETAILS / RISER DIAGRAMS
9	SPECIFICATIONS

**FLOOR JOIST SPANS - TABLE R502.3(1) RESIDENTIAL LIGHT AGED LUMBER (LVL L40 = 40 PSF)**

JOIST SPACING	SPAN	SPACING	SPAN
12"	13'-0"	16"	10'-0"
16"	10'-0"	20"	8'-0"
20"	8'-0"	24"	6'-0"

**SYMBOLS**



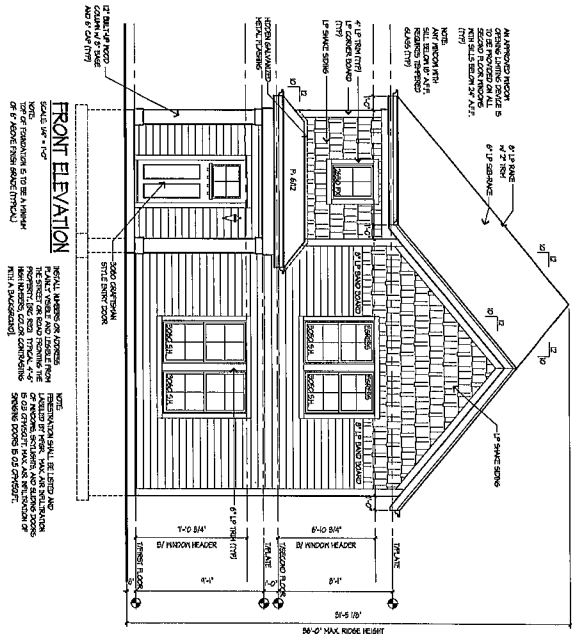
STATE OF ILLINOIS  
RESIDENTIAL  
GILMORE  
PALATINE, ILLINOIS

This is to certify that the above described project has been reviewed and approved by the State of Illinois. The approval is based on the information provided and does not constitute a warranty of any kind.

**Frederick Gilmore, Architect**  
847/871-3507  
www.gilmorearchitect.com

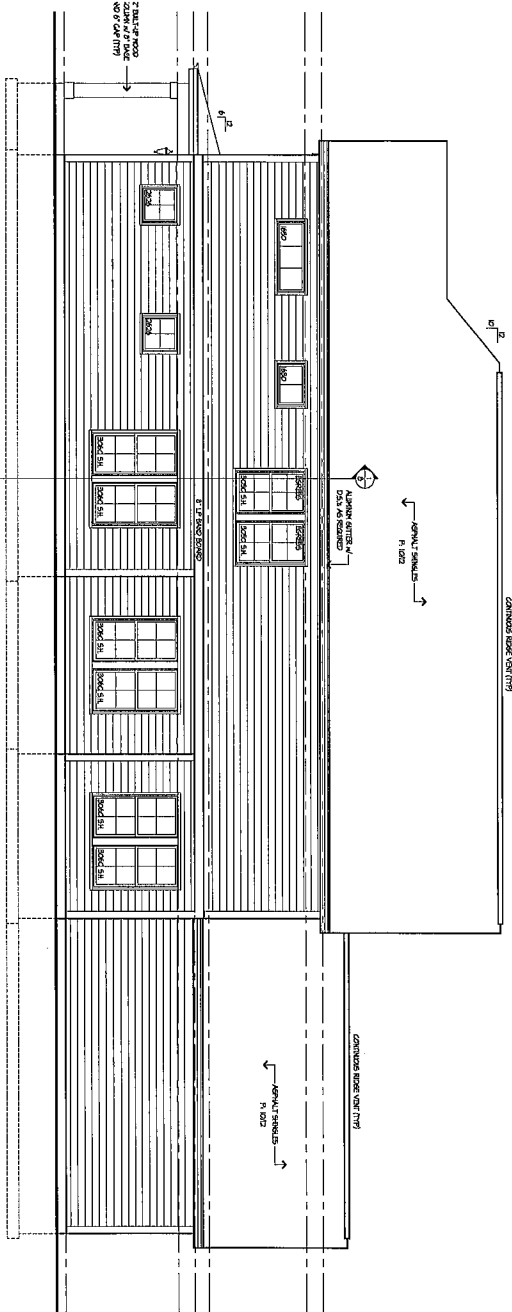
Blade Street Crossing  
Plan 544  
Palatine, IL 60067

**Gilmore**



**FRONT ELEVATION**  
SCALE: 1/4" = 1'-0"

NOTE: MATERIALS AND FINISHES SHALL BE LISTED AND IDENTIFIED FROM THE SPECIFICATIONS AND SCHEDULES. ALL MATERIALS SHALL BE APPROVED BY THE ARCHITECT. ALL MATERIALS SHALL BE LISTED AND IDENTIFIED FROM THE SPECIFICATIONS AND SCHEDULES. ALL MATERIALS SHALL BE APPROVED BY THE ARCHITECT.



**RIGHT ELEVATION**  
SCALE: 1/4" = 1'-0"

NOTE: MATERIALS AND FINISHES SHALL BE LISTED AND IDENTIFIED FROM THE SPECIFICATIONS AND SCHEDULES. ALL MATERIALS SHALL BE APPROVED BY THE ARCHITECT.

ROOM NAME	LIGHT				VENTILATION			
	AREA	REQ.	ACT.	%	REQ.	ACT.	%	
ENTRANCE	360	120	144	144	144	144	100	
LIVING ROOM	288	200	420	146	146	146	100	
DINING	144	144	144	100	144	144	100	
KITCHEN	144	144	144	100	144	144	100	
BATH	144	144	144	100	144	144	100	
HALL	144	144	144	100	144	144	100	
CLOSET	144	144	144	100	144	144	100	
STAIRS	144	144	144	100	144	144	100	
PORCH	144	144	144	100	144	144	100	

- STANDARD ELEVATION NOTES**
- 1. ALL MATERIALS AND FINISHES SHALL BE LISTED AND IDENTIFIED FROM THE SPECIFICATIONS AND SCHEDULES.
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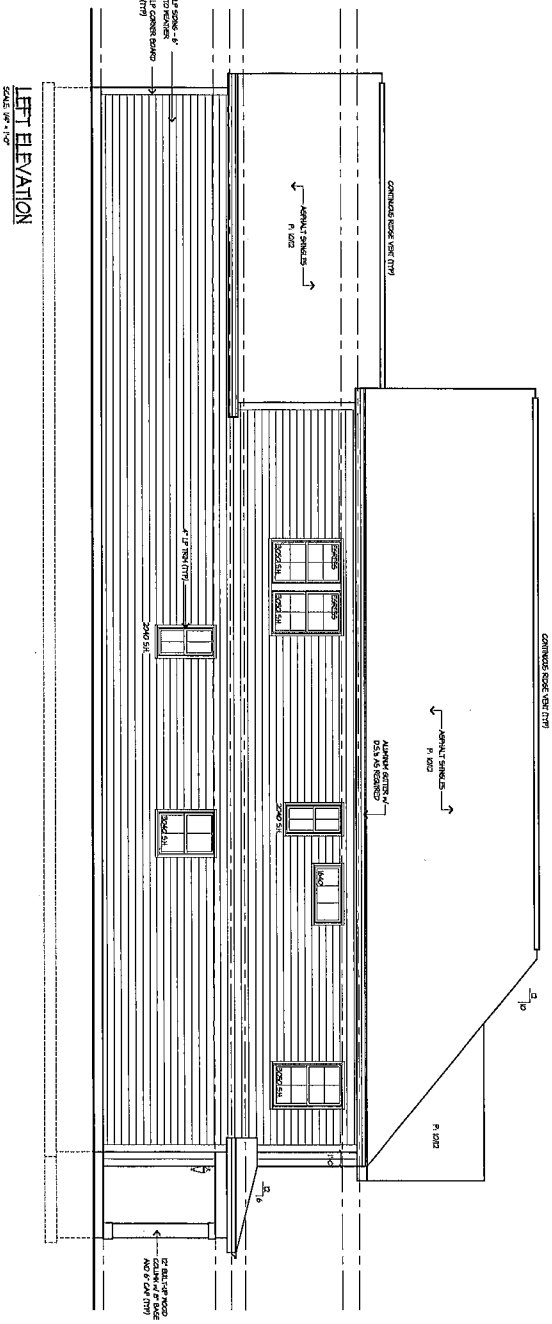
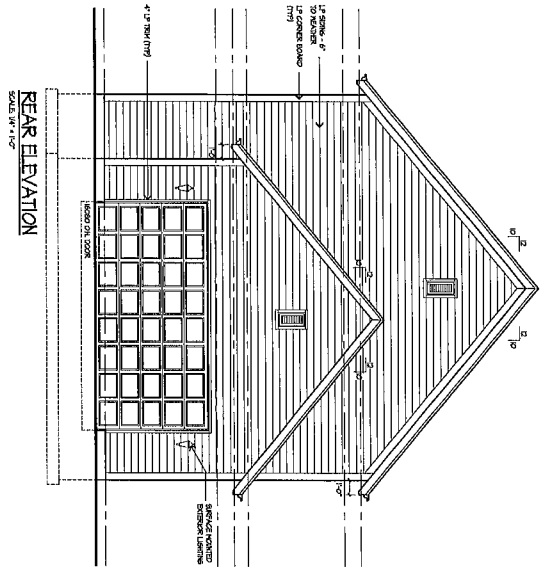
**ELEVATION NOTES:**

- DO NOT SCALE DRAWINGS.
- REMOVE THE WALL SECTIONS AT ALL CORNERS AND AT ALL INTERSECTIONS TO SHOW THE CORNER DETAILS.
- REMOVE THE WALL SECTIONS AT ALL CORNERS AND AT ALL INTERSECTIONS TO SHOW THE CORNER DETAILS.
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This drawing was prepared by the architect and is not to be used for construction without the approval of the architect.

**Gilmore**  
 Frederick Gilmore, Architect  
 1400 Gilman Drive  
 Suite 200  
 Palmdale, CA 91356  
 www.gilmorearchitect.com  
 Tel: 818.341.1111


State of Illinois  
 Robert J. Gilmore  
 Mechanical Engineering  
 License No. 001234567

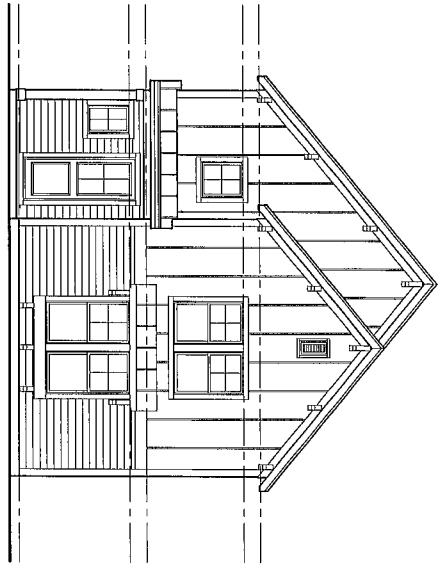


**ELEVATION NOTES:**

- DO NOT SCALE DRAWINGS
- INDICATE THE NUMBER OF STUDIES AT ALL POINTS
- ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND ALL LOCAL ORDINANCES
- ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND ALL LOCAL ORDINANCES
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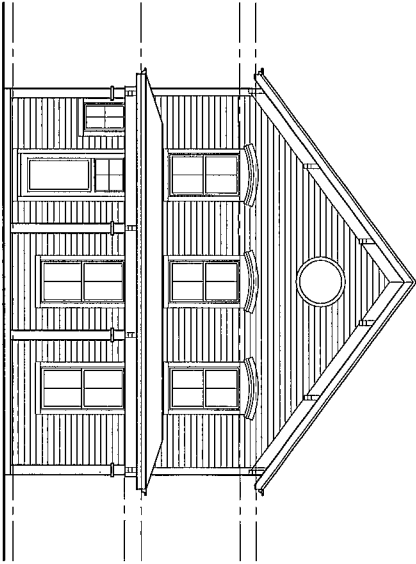
ITEM	DESCRIPTION	DATE
1	FOUNDATION	10/15/12
2	FOUNDATION	10/15/12
3	FOUNDATION	10/15/12
4	FOUNDATION	10/15/12
5	FOUNDATION	10/15/12
6	FOUNDATION	10/15/12
7	FOUNDATION	10/15/12
8	FOUNDATION	10/15/12
9	FOUNDATION	10/15/12
10	FOUNDATION	10/15/12
11	FOUNDATION	10/15/12
12	FOUNDATION	10/15/12
13	FOUNDATION	10/15/12
14	FOUNDATION	10/15/12
15	FOUNDATION	10/15/12
16	FOUNDATION	10/15/12
17	FOUNDATION	10/15/12
18	FOUNDATION	10/15/12
19	FOUNDATION	10/15/12
20	FOUNDATION	10/15/12

State of Illinois, E.I.L.A.  
 S. J. GILMORE, ARCHITECT  
 PLAN 544  
 PALMVIEW, IL 60477  
  
**Gilmore**  
 Frederick Gilmore, Architect  
 1409 Gilman Park Drive  
 2A  
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 Chicago, Illinois 60611  
 www.gilmorearchitect.com  
 Tel: 312.462.1234 Fax: 312.462.5678



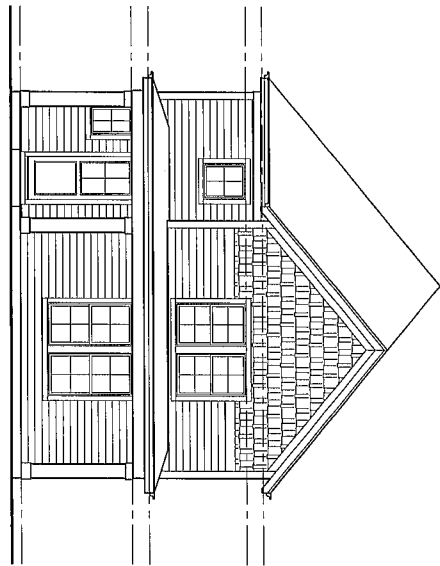
FRONT ELEVATION OPTION 'A'

SCALE 1/4" = 1'-0"

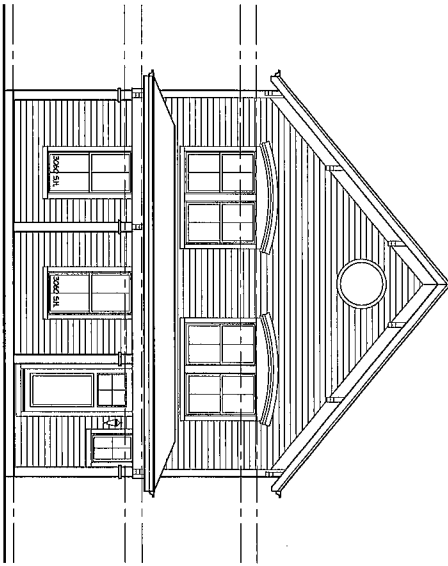


FRONT ELEVATION OPTION 'C'

SCALE 1/4" = 1'-0"



FRONT ELEVATION OPTION 'B'



FRONT ELEVATION 'D'

SCALE 1/4" = 1'-0"

- ELEVATION NOTES:**
1. PROJECT SHOWN BEGINS AT THE CURB LINE.
  2. ALL DIMENSIONS ARE TO FINISH UNLESS NOTED TO OTHERWISE.
  3. ALL WORK TO BE DONE IN ACCORDANCE WITH THE CITY OF PALM BEACH AND COUNTY OF PALM BEACH.
  4. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY OF PALM BEACH AND COUNTY OF PALM BEACH.
  5. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY OF PALM BEACH AND COUNTY OF PALM BEACH.
  6. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY OF PALM BEACH AND COUNTY OF PALM BEACH.
  7. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY OF PALM BEACH AND COUNTY OF PALM BEACH.
  8. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY OF PALM BEACH AND COUNTY OF PALM BEACH.
  9. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY OF PALM BEACH AND COUNTY OF PALM BEACH.
  10. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY OF PALM BEACH AND COUNTY OF PALM BEACH.

NO.	DESCRIPTION	DATE
1	REVISION	10/10/13
2	REVISION	10/10/13
3	REVISION	10/10/13
4	REVISION	10/10/13
5	REVISION	10/10/13
6	REVISION	10/10/13
7	REVISION	10/10/13
8	REVISION	10/10/13
9	REVISION	10/10/13
10	REVISION	10/10/13

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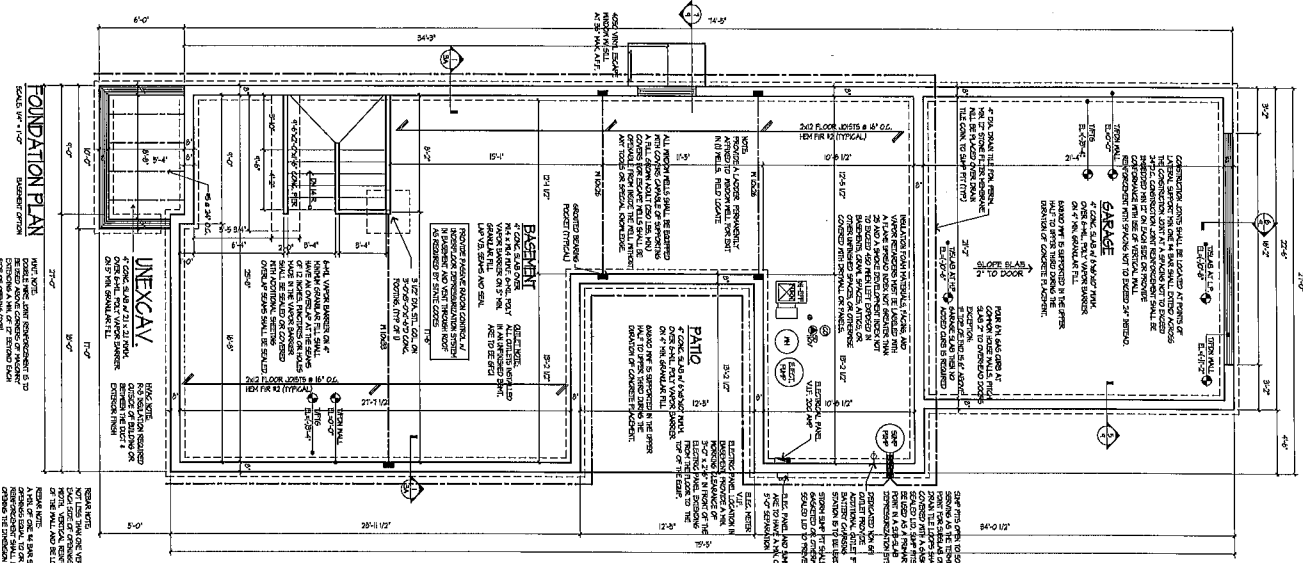
**STATE OF FLORIDA**  
**CITY OF PALM BEACH**  
**COUNTY OF PALM BEACH**  
**PLANNING DEPARTMENT**

*[Signature]*

8000 S. WILSON PARK  
 8105 STREET CROSSING  
 PLAN 544  
 PALM BEACH, FL 33487

**Gilmore**  
 Frederick Gilmore, Architect  
 3450 Gilman Park Drive  
 Suite 201  
 Palm Beach, FL 33480  
 www.gilmorearchitect.com

**2B**



**FOUNDATION PLAN**  
SCALE: 1/4" = 1'-0"  
DESIGNED BY: [Signature]

FOUNDATION WALLS SHALL BE REINFORCED WITH #4 BARS AT 16" ON CENTER. ALL WALLS SHALL BE REINFORCED WITH #4 BARS AT 16" ON CENTER. ALL WALLS SHALL BE REINFORCED WITH #4 BARS AT 16" ON CENTER. ALL WALLS SHALL BE REINFORCED WITH #4 BARS AT 16" ON CENTER.

**UNECAV**  
4" CONC. SLAB AT 21" THICKNESS  
OVER 1/2" MIN. INSULATION  
OVER 1/2" MIN. INSULATION

**BAYNET**  
4" CONC. SLAB AT 21" THICKNESS  
OVER 1/2" MIN. INSULATION  
OVER 1/2" MIN. INSULATION

**PATIO**  
4" CONC. SLAB AT 21" THICKNESS  
OVER 1/2" MIN. INSULATION  
OVER 1/2" MIN. INSULATION

**GARAGE**  
4" CONC. SLAB AT 21" THICKNESS  
OVER 1/2" MIN. INSULATION  
OVER 1/2" MIN. INSULATION

**CONCRETE STRENGTH OF CONCRETE** ALL CONCRETE SHALL BE 3000 PSI

TYPE OF LOCATION OF CONCRETE	MIN. STRENGTH	MAX. STRENGTH
FOUNDATION WALLS	3000	3000
FOUNDATION SLABS	3000	3000
FOUNDATION COLUMNS	3000	3000
FOUNDATION BEAMS	3000	3000
FOUNDATION WALLS	3000	3000
FOUNDATION SLABS	3000	3000
FOUNDATION COLUMNS	3000	3000
FOUNDATION BEAMS	3000	3000

**MECHANICAL VENTILATION NOTES:**  
1. ALL MECHANICAL VENTILATION SHALL BE PROVIDED BY THE CONTRACTOR.  
2. ALL MECHANICAL VENTILATION SHALL BE PROVIDED BY THE CONTRACTOR.  
3. ALL MECHANICAL VENTILATION SHALL BE PROVIDED BY THE CONTRACTOR.  
4. ALL MECHANICAL VENTILATION SHALL BE PROVIDED BY THE CONTRACTOR.  
5. ALL MECHANICAL VENTILATION SHALL BE PROVIDED BY THE CONTRACTOR.

**BASEMENT FND NOTES:**  
1. ALL FOUNDATION WALLS SHALL BE REINFORCED WITH #4 BARS AT 16" ON CENTER.  
2. ALL FOUNDATION WALLS SHALL BE REINFORCED WITH #4 BARS AT 16" ON CENTER.  
3. ALL FOUNDATION WALLS SHALL BE REINFORCED WITH #4 BARS AT 16" ON CENTER.  
4. ALL FOUNDATION WALLS SHALL BE REINFORCED WITH #4 BARS AT 16" ON CENTER.  
5. ALL FOUNDATION WALLS SHALL BE REINFORCED WITH #4 BARS AT 16" ON CENTER.

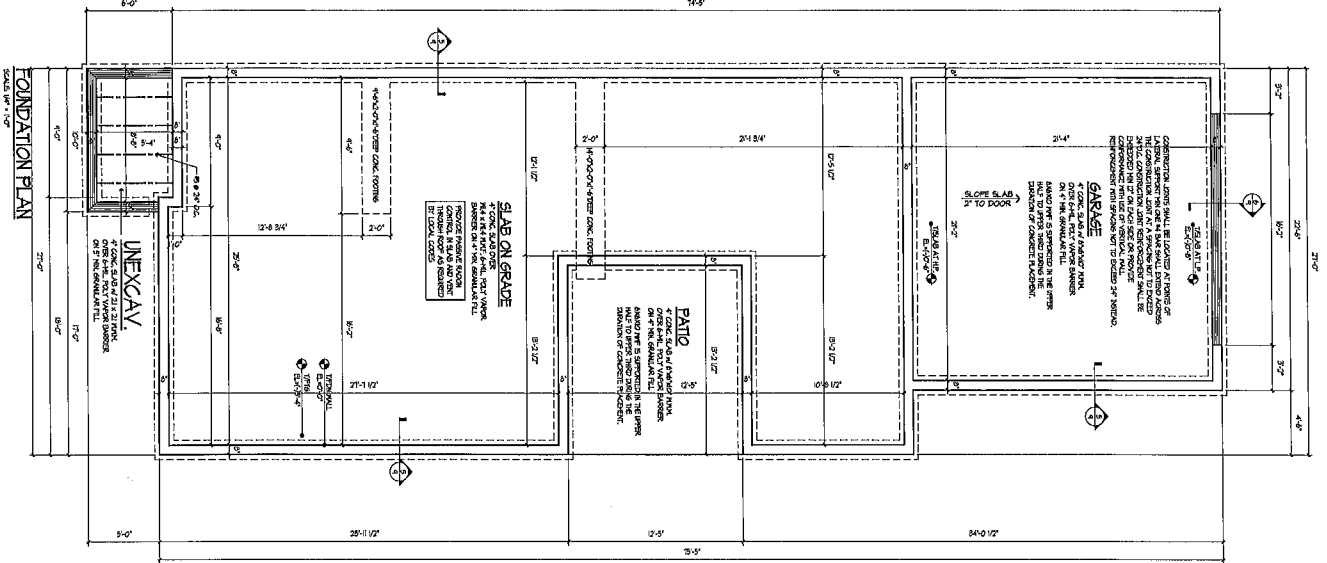
**Professional Engineer Seal:** [Seal of a Professional Engineer]

**Project Information:**  
 PROJECT: [Project Name]  
 CLIENT: [Client Name]  
 DATE: [Date]

**Approval:**  
 [Signature]  
 [Title]

**Contractor:**  
 [Contractor Name]  
 [Address]  
 [Phone Number]

**Architect:**  
 [Architect Name]  
 [Address]  
 [Phone Number]



**FOUNDATION PLAN**  
SCALE: 1/8" = 1'-0"

**GARAGE**  
CONCRETE JOISTS SHALL BE LOCATED AT SPACES OF 24" ON CENTER. JOIST DEPTH SHALL BE 12" MINIMUM. JOIST SHALL BE SUPPORTED BY 4" DIA. CONCRETE COLUMNS. JOIST SHALL BE SUPPORTED BY 4" DIA. CONCRETE COLUMNS. JOIST SHALL BE SUPPORTED BY 4" DIA. CONCRETE COLUMNS.

**PATIO**  
CONCRETE SHALL BE 4" THICK. CONCRETE SHALL BE SUPPORTED BY 4" DIA. CONCRETE COLUMNS. CONCRETE SHALL BE SUPPORTED BY 4" DIA. CONCRETE COLUMNS.

**INEXCAV**  
CONCRETE SHALL BE 4" THICK. CONCRETE SHALL BE SUPPORTED BY 4" DIA. CONCRETE COLUMNS. CONCRETE SHALL BE SUPPORTED BY 4" DIA. CONCRETE COLUMNS.

**SLAB ON GRADE**  
CONCRETE SHALL BE 4" THICK. CONCRETE SHALL BE SUPPORTED BY 4" DIA. CONCRETE COLUMNS. CONCRETE SHALL BE SUPPORTED BY 4" DIA. CONCRETE COLUMNS.

**CONCRETE STRENGTH OF CONCRETE**

TYPE OF CONSTRUCTION	MINIMUM CONCRETE STRENGTH
FOUNDATION	3000
WALLS	3000
FLOORS	3000
ROOF	3000

**MECHANICAL VENTILATION NOTES**

1. MECHANICAL VENTILATION SHALL BE PROVIDED FOR ALL ROOMS WHERE MECHANICAL VENTILATION IS REQUIRED. MECHANICAL VENTILATION SHALL BE PROVIDED FOR ALL ROOMS WHERE MECHANICAL VENTILATION IS REQUIRED.

2. MECHANICAL VENTILATION SHALL BE PROVIDED FOR ALL ROOMS WHERE MECHANICAL VENTILATION IS REQUIRED. MECHANICAL VENTILATION SHALL BE PROVIDED FOR ALL ROOMS WHERE MECHANICAL VENTILATION IS REQUIRED.

**ROOF CONSTRUCTION**

ROOF SHALL BE 4" THICK CONCRETE. ROOF SHALL BE SUPPORTED BY 4" DIA. CONCRETE COLUMNS. ROOF SHALL BE SUPPORTED BY 4" DIA. CONCRETE COLUMNS.

**VAPOR BARRIER NOTE**

VAPOR BARRIER SHALL BE PROVIDED ON ALL EXTERIOR WALLS AND FLOORS. VAPOR BARRIER SHALL BE PROVIDED ON ALL EXTERIOR WALLS AND FLOORS.

**SECOND FLOOR CONSTRUCTION**

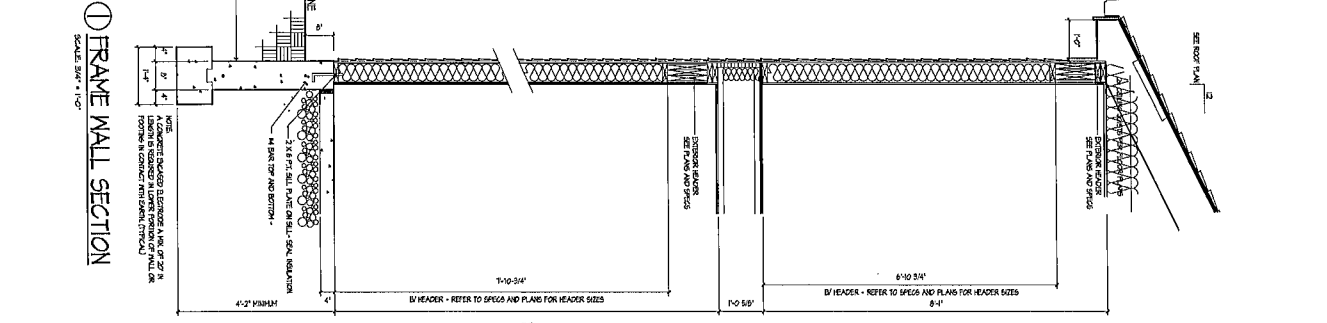
SECOND FLOOR SHALL BE 4" THICK CONCRETE. SECOND FLOOR SHALL BE SUPPORTED BY 4" DIA. CONCRETE COLUMNS. SECOND FLOOR SHALL BE SUPPORTED BY 4" DIA. CONCRETE COLUMNS.

**WALL CONSTRUCTION**

WALLS SHALL BE 8" THICK CONCRETE. WALLS SHALL BE SUPPORTED BY 4" DIA. CONCRETE COLUMNS. WALLS SHALL BE SUPPORTED BY 4" DIA. CONCRETE COLUMNS.

**CONCRETE SLAB CONSTRUCTION**

CONCRETE SLABS SHALL BE 4" THICK. CONCRETE SLABS SHALL BE SUPPORTED BY 4" DIA. CONCRETE COLUMNS. CONCRETE SLABS SHALL BE SUPPORTED BY 4" DIA. CONCRETE COLUMNS.



**FRAME WALL SECTION**  
SCALE: 3/8" = 1'-0"

**FOUNDATION**  
FOUNDATION SHALL BE 12" THICK CONCRETE. FOUNDATION SHALL BE SUPPORTED BY 4" DIA. CONCRETE COLUMNS. FOUNDATION SHALL BE SUPPORTED BY 4" DIA. CONCRETE COLUMNS.

**WALL**  
WALL SHALL BE 8" THICK CONCRETE. WALL SHALL BE SUPPORTED BY 4" DIA. CONCRETE COLUMNS. WALL SHALL BE SUPPORTED BY 4" DIA. CONCRETE COLUMNS.

**ROOF**  
ROOF SHALL BE 4" THICK CONCRETE. ROOF SHALL BE SUPPORTED BY 4" DIA. CONCRETE COLUMNS. ROOF SHALL BE SUPPORTED BY 4" DIA. CONCRETE COLUMNS.

**MECHANICAL VENTILATION**

MECHANICAL VENTILATION SHALL BE PROVIDED FOR ALL ROOMS WHERE MECHANICAL VENTILATION IS REQUIRED. MECHANICAL VENTILATION SHALL BE PROVIDED FOR ALL ROOMS WHERE MECHANICAL VENTILATION IS REQUIRED.

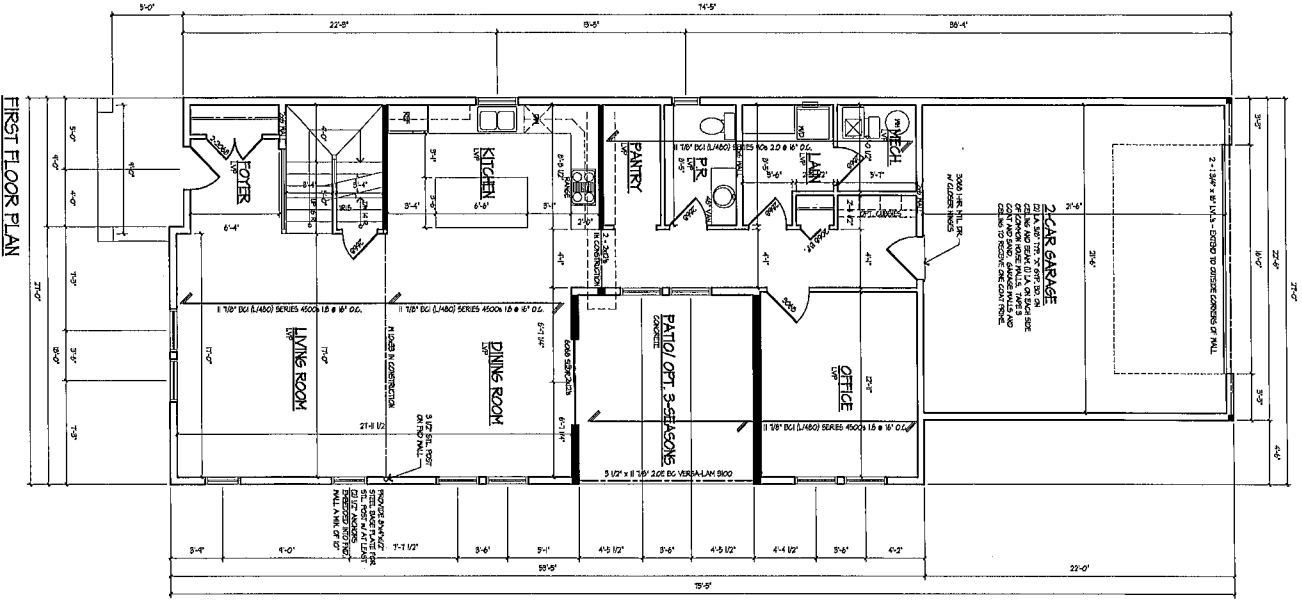
**BASEMENT FIND NOTES:**

1. ALL FOUNDATION SHALL BE 12" THICK CONCRETE.
2. ALL FOUNDATION SHALL BE SUPPORTED BY 4" DIA. CONCRETE COLUMNS.
3. ALL FOUNDATION SHALL BE SUPPORTED BY 4" DIA. CONCRETE COLUMNS.
4. ALL FOUNDATION SHALL BE SUPPORTED BY 4" DIA. CONCRETE COLUMNS.
5. ALL FOUNDATION SHALL BE SUPPORTED BY 4" DIA. CONCRETE COLUMNS.
6. ALL FOUNDATION SHALL BE SUPPORTED BY 4" DIA. CONCRETE COLUMNS.
7. ALL FOUNDATION SHALL BE SUPPORTED BY 4" DIA. CONCRETE COLUMNS.
8. ALL FOUNDATION SHALL BE SUPPORTED BY 4" DIA. CONCRETE COLUMNS.
9. ALL FOUNDATION SHALL BE SUPPORTED BY 4" DIA. CONCRETE COLUMNS.
10. ALL FOUNDATION SHALL BE SUPPORTED BY 4" DIA. CONCRETE COLUMNS.

**Basement Crossing**  
PLAN 314  
PAULINE L. 0007

**Gimmore**  
Frederick Gimmore, Architect  
3800 Gland Rock Drive  
Baltimore, MD 21287  
Tel: 410.587.1000  
www.gimmorearchitect.com

**3A**



FIRST FLOOR PLAN

**CONCRETE:**  
 1. ALL CONCRETE SHALL BE CAST IN PLACE WITH THE REINFORCING BARS AS SHOWN ON SHEET 1. ALL CONCRETE SHALL BE CAST IN PLACE WITH THE REINFORCING BARS AS SHOWN ON SHEET 1. ALL CONCRETE SHALL BE CAST IN PLACE WITH THE REINFORCING BARS AS SHOWN ON SHEET 1.

**2010 ILLINOIS ENERGY CONSERVATION NOTES:**  
 1. THE OWNER AGREES TO PAY FOR THE ENERGY CONSERVATION MEASURES LISTED IN THIS SCHEDULE. THE MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE ILLINOIS ENERGY CONSERVATION ACT (215 ILCS 110/1-110/5). THE MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE ILLINOIS ENERGY CONSERVATION ACT (215 ILCS 110/1-110/5). THE MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE ILLINOIS ENERGY CONSERVATION ACT (215 ILCS 110/1-110/5).

**2010 ILLINOIS ENERGY CONSERVATION SCHEDULE:**

MEASURE	NO. OF MEASURES	NO. OF MEASURES
1. AIR SEALS	1	1
2. BATTERY OPERATED EXHAUST FANS	2	2
3. ENERGY EFFICIENT LIGHTING	3	3
4. ENERGY EFFICIENT WATER HEATING	4	4
5. ENERGY EFFICIENT REFRIGERATION	5	5
6. ENERGY EFFICIENT SPACE HEATING	6	6
7. ENERGY EFFICIENT WINDOWS	7	7
8. ENERGY EFFICIENT DOORS	8	8
9. ENERGY EFFICIENT ROOFING	9	9
10. ENERGY EFFICIENT INSULATION	10	10

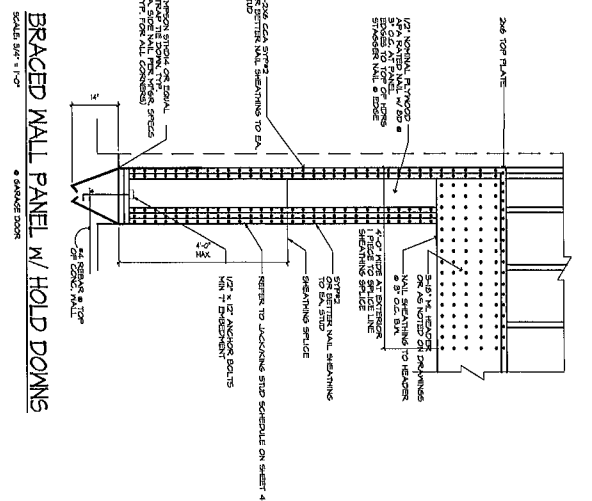
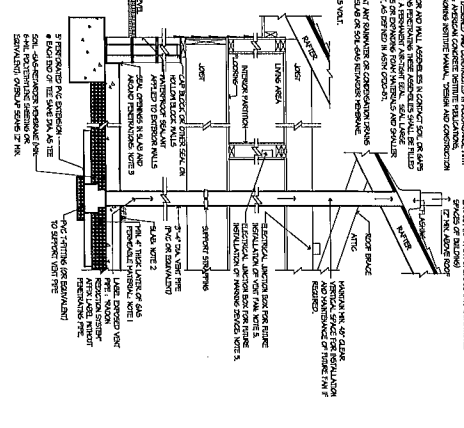
**NOTES:**  
 1. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2010 ILLINOIS ENERGY CONSERVATION ACT (215 ILCS 110/1-110/5). THE MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE ILLINOIS ENERGY CONSERVATION ACT (215 ILCS 110/1-110/5). THE MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE ILLINOIS ENERGY CONSERVATION ACT (215 ILCS 110/1-110/5).

**NOTES:**

1. ALL CONCRETE SHALL BE CAST IN PLACE WITH THE REINFORCING BARS AS SHOWN ON SHEET 1. ALL CONCRETE SHALL BE CAST IN PLACE WITH THE REINFORCING BARS AS SHOWN ON SHEET 1. ALL CONCRETE SHALL BE CAST IN PLACE WITH THE REINFORCING BARS AS SHOWN ON SHEET 1.
2. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2010 ILLINOIS ENERGY CONSERVATION ACT (215 ILCS 110/1-110/5). THE MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE ILLINOIS ENERGY CONSERVATION ACT (215 ILCS 110/1-110/5). THE MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE ILLINOIS ENERGY CONSERVATION ACT (215 ILCS 110/1-110/5).
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**PASSIVE SUB-SLAB DEPRESSURIZATION RADON CONTROL SYSTEM FOR NEW CONSTRUCTION**

SCALE: 3/4" = 1'-0"



BRACED WALL PANEL W/ HOLD DOWNS  
 SCALE: 3/4" = 1'-0" • GARAGE DOOR

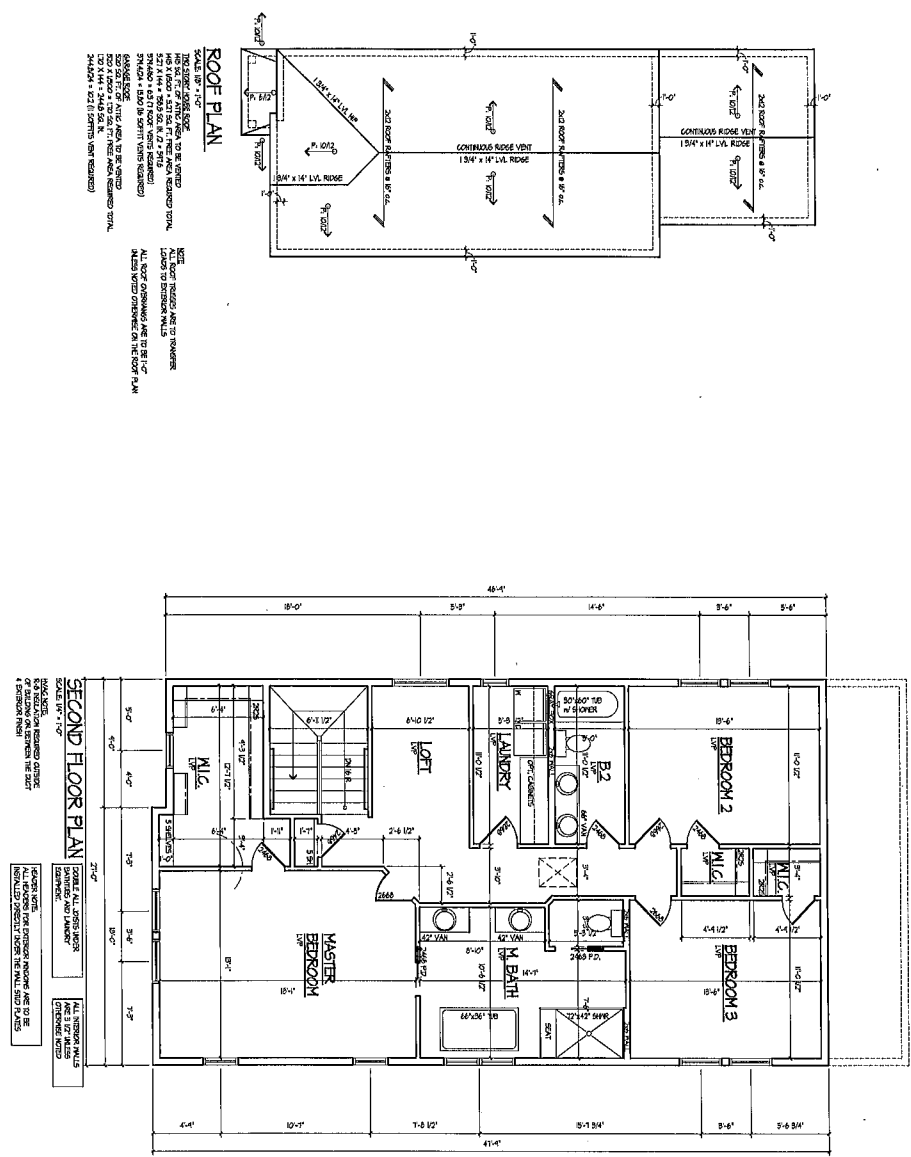
**FLOOR PLAN NOTES:**

1. ALL CONCRETE SHALL BE CAST IN PLACE WITH THE REINFORCING BARS AS SHOWN ON SHEET 1. ALL CONCRETE SHALL BE CAST IN PLACE WITH THE REINFORCING BARS AS SHOWN ON SHEET 1. ALL CONCRETE SHALL BE CAST IN PLACE WITH THE REINFORCING BARS AS SHOWN ON SHEET 1.
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**Chimney**  
 Frederick Chimney, Architect  
 1111 N. 1st St., Suite 100  
 Tallahassee, FL 32301  
 Phone: 904.224.1111  
 Fax: 904.224.1112  
 Email: info@frederickchimney.com  
 www.frederickchimney.com

**Professional Seal:**  
 FREDERICK CHIMNEY, ARCHITECT  
 No. 1111 N. 1st St., Suite 100  
 Tallahassee, FL 32301  
 License No. 11111

**Project Information:**  
 1. ALL CONCRETE SHALL BE CAST IN PLACE WITH THE REINFORCING BARS AS SHOWN ON SHEET 1. ALL CONCRETE SHALL BE CAST IN PLACE WITH THE REINFORCING BARS AS SHOWN ON SHEET 1. ALL CONCRETE SHALL BE CAST IN PLACE WITH THE REINFORCING BARS AS SHOWN ON SHEET 1.



**SECOND FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

**ROOF PLAN**  
SCALE: 1/4" = 1'-0"

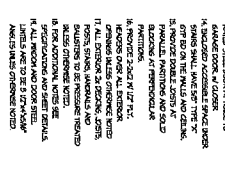
**FLOOR PLAN NOTES:**

1. ALL ROOMS SHALL BE FINISHED TO THE FINISH LINE UNLESS OTHERWISE NOTED.
2. ALL WALLS SHALL BE 5/8" CMU WITH INTERIOR FINISHES UNLESS OTHERWISE NOTED.
3. ALL FLOORING SHALL BE AS SHOWN UNLESS OTHERWISE NOTED.
4. ALL CEILING SHALL BE 8'0" UNLESS OTHERWISE NOTED.
5. ALL DOORS SHALL BE 2'0" X 8'0" UNLESS OTHERWISE NOTED.
6. ALL WINDOWS SHALL BE AS SHOWN UNLESS OTHERWISE NOTED.
7. ALL ROOF SHALL BE AS SHOWN UNLESS OTHERWISE NOTED.
8. ALL ROOF SHALL BE 12" X 12" TRUSS WITH 2" X 4" RAFTERS UNLESS OTHERWISE NOTED.
9. ALL ROOF SHALL BE 12" X 12" TRUSS WITH 2" X 4" RAFTERS UNLESS OTHERWISE NOTED.
10. ALL ROOF SHALL BE 12" X 12" TRUSS WITH 2" X 4" RAFTERS UNLESS OTHERWISE NOTED.

**SEAN RYAN GILMORE ARCHITECT**  
3480 GARDEN FIVE DRIVE  
DALLAS, TEXAS 75246  
PHONE: 972.491.8811  
WWW.GILMOREARCHITECT.COM

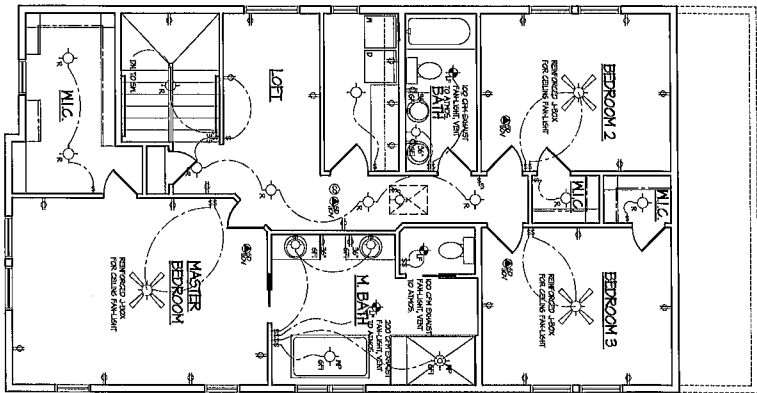
**Gilmore**

SEAN RYAN GILMORE ARCHITECT  
3480 GARDEN FIVE DRIVE  
DALLAS, TEXAS 75246  
PHONE: 972.491.8811  
WWW.GILMOREARCHITECT.COM



These drawings were prepared by the architect or under the direct supervision and seal of the architect. The architect is responsible for the accuracy of the information shown on these drawings. The architect is not responsible for the accuracy of the information shown on these drawings.





**SECOND FLOOR ELECTRICAL PLAN**  
SCALE: 1/8" = 1'-0"

ALL DIMENSIONS AND LOCATIONS OF THE LIGHT FIXTURES SHALL BE INDICATED. DIMENSIONS SHALL BE SHOWN IN FEET AND INCHES. ALL DIMENSIONS SHALL BE SHOWN TO THE CENTERLINE UNLESS OTHERWISE NOTED. ALL DIMENSIONS SHALL BE SHOWN TO THE CENTERLINE UNLESS OTHERWISE NOTED. ALL DIMENSIONS SHALL BE SHOWN TO THE CENTERLINE UNLESS OTHERWISE NOTED. ALL DIMENSIONS SHALL BE SHOWN TO THE CENTERLINE UNLESS OTHERWISE NOTED.

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**ELECTRICAL PLAN NOTES:**  
1. ELECTRICAL CONNECTIONS TO BE SHOWN BY SYMBOLS AND NOT BY DIMENSIONS.  
2. ALL DIMENSIONS SHALL BE SHOWN TO THE CENTERLINE UNLESS OTHERWISE NOTED.  
3. ALL ELECTRICAL WORK SHALL BE SHOWN BY SYMBOLS AND NOT BY DIMENSIONS.  
4. ALL DIMENSIONS SHALL BE SHOWN TO THE CENTERLINE UNLESS OTHERWISE NOTED.  
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6. ALL DIMENSIONS SHALL BE SHOWN TO THE CENTERLINE UNLESS OTHERWISE NOTED.  
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9. ALL DIMENSIONS SHALL BE SHOWN TO THE CENTERLINE UNLESS OTHERWISE NOTED.  
10. ALL DIMENSIONS SHALL BE SHOWN TO THE CENTERLINE UNLESS OTHERWISE NOTED.

ELECTRICAL SYMBOLS	
1-0	SMALL PANEL SYMBOL
1-1	POLE PANEL SYMBOL
1-2	POLE PANEL SYMBOL
1-3	POLE PANEL SYMBOL
1-4	POLE PANEL SYMBOL
1-5	POLE PANEL SYMBOL
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1-99	POLE PANEL SYMBOL
1-100	POLE PANEL SYMBOL

**Rock-Gilmore, P.A.**  
3100 W. 11th Avenue  
Suite 200  
Palatine, IL 60067

**Federick Gilmore, Architect**  
3100 W. 11th Avenue  
Suite 200  
Palatine, IL 60067

PLAN 524  
FALLING L. 6807

That design was prepared by the undersigned and that the design complies with the applicable codes and standards. I am a duly Licensed Professional Engineer in the State of Illinois.

DATE: 11/11/11  
BY: [Signature]

**ROOF CONSTRUCTION**

2" POLYURETHANE INSULATION SHALL BE FLUSH TO THE EXTERIOR FACE OF THE ROOF SLAB. THE INSULATION SHALL BE CONTINUED UP THE EXTERIOR FACE OF THE ROOF SLAB TO THE FINISH GRADE OF THE ROOF. THE INSULATION SHALL BE PROTECTED BY A 1/2" THICK GYPSUM BOARD OR 1/2" THICK FIBERGLASS INSULATION BOARD. THE INSULATION SHALL BE PROTECTED BY A 1/2" THICK GYPSUM BOARD OR 1/2" THICK FIBERGLASS INSULATION BOARD. THE INSULATION SHALL BE PROTECTED BY A 1/2" THICK GYPSUM BOARD OR 1/2" THICK FIBERGLASS INSULATION BOARD.

**FASCIA AND SOFFIT**  
 1" x 4" x 1/2" GYPSUM BOARD SHALL BE USED FOR THE SOFFIT. THE SOFFIT SHALL BE PROTECTED BY A 1/2" THICK GYPSUM BOARD OR 1/2" THICK FIBERGLASS INSULATION BOARD. THE SOFFIT SHALL BE PROTECTED BY A 1/2" THICK GYPSUM BOARD OR 1/2" THICK FIBERGLASS INSULATION BOARD.

**SECOND FLOOR CONSTRUCTION**  
 1" x 12" x 1/2" GYPSUM BOARD SHALL BE USED FOR THE SECOND FLOOR. THE SECOND FLOOR SHALL BE PROTECTED BY A 1/2" THICK GYPSUM BOARD OR 1/2" THICK FIBERGLASS INSULATION BOARD. THE SECOND FLOOR SHALL BE PROTECTED BY A 1/2" THICK GYPSUM BOARD OR 1/2" THICK FIBERGLASS INSULATION BOARD.

1" x 12" x 1/2" GYPSUM BOARD

**FRAME WALL CONSTRUCTION**  
 1" x 12" x 1/2" GYPSUM BOARD SHALL BE USED FOR THE FRAME WALL. THE FRAME WALL SHALL BE PROTECTED BY A 1/2" THICK GYPSUM BOARD OR 1/2" THICK FIBERGLASS INSULATION BOARD. THE FRAME WALL SHALL BE PROTECTED BY A 1/2" THICK GYPSUM BOARD OR 1/2" THICK FIBERGLASS INSULATION BOARD.

1" x 12" x 1/2" GYPSUM BOARD

**FIRST FLOOR CONSTRUCTION**  
 1" x 12" x 1/2" GYPSUM BOARD SHALL BE USED FOR THE FIRST FLOOR. THE FIRST FLOOR SHALL BE PROTECTED BY A 1/2" THICK GYPSUM BOARD OR 1/2" THICK FIBERGLASS INSULATION BOARD. THE FIRST FLOOR SHALL BE PROTECTED BY A 1/2" THICK GYPSUM BOARD OR 1/2" THICK FIBERGLASS INSULATION BOARD.

1" x 12" x 1/2" GYPSUM BOARD

**SILL PLATE**  
 2" x 4" x 1/2" GYPSUM BOARD SHALL BE USED FOR THE SILL PLATE. THE SILL PLATE SHALL BE PROTECTED BY A 1/2" THICK GYPSUM BOARD OR 1/2" THICK FIBERGLASS INSULATION BOARD. THE SILL PLATE SHALL BE PROTECTED BY A 1/2" THICK GYPSUM BOARD OR 1/2" THICK FIBERGLASS INSULATION BOARD.

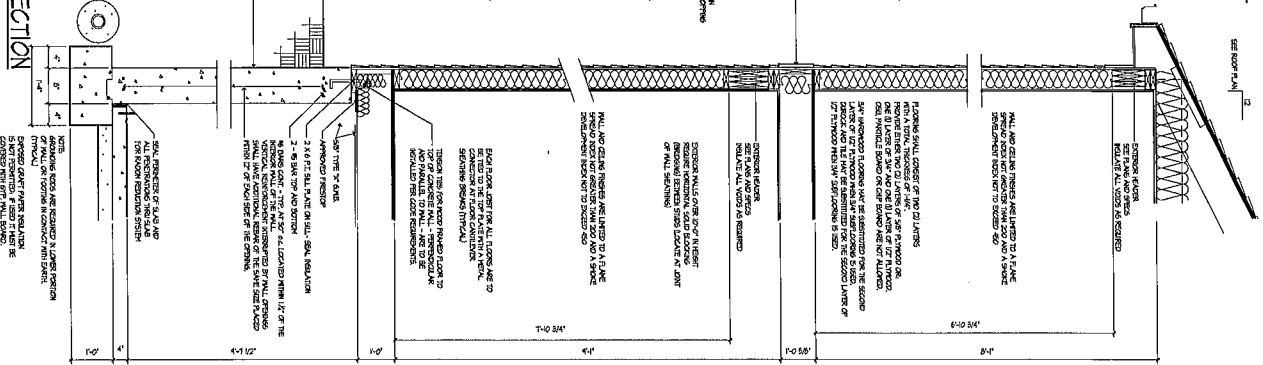
2" x 4" x 1/2" GYPSUM BOARD

**CONCRETE SLAB CONSTRUCTION**  
 4" THICK CONCRETE SLAB SHALL BE USED FOR THE CONCRETE SLAB. THE CONCRETE SLAB SHALL BE PROTECTED BY A 1/2" THICK GYPSUM BOARD OR 1/2" THICK FIBERGLASS INSULATION BOARD. THE CONCRETE SLAB SHALL BE PROTECTED BY A 1/2" THICK GYPSUM BOARD OR 1/2" THICK FIBERGLASS INSULATION BOARD.

4" THICK CONCRETE SLAB

**1 FRAME WALL SECTION**

SCALE: 3/4" = 1'-0"



**ROOF CONSTRUCTION**

2" POLYURETHANE INSULATION SHALL BE FLUSH TO THE EXTERIOR FACE OF THE ROOF SLAB. THE INSULATION SHALL BE CONTINUED UP THE EXTERIOR FACE OF THE ROOF SLAB TO THE FINISH GRADE OF THE ROOF. THE INSULATION SHALL BE PROTECTED BY A 1/2" THICK GYPSUM BOARD OR 1/2" THICK FIBERGLASS INSULATION BOARD. THE INSULATION SHALL BE PROTECTED BY A 1/2" THICK GYPSUM BOARD OR 1/2" THICK FIBERGLASS INSULATION BOARD.

**FASCIA AND SOFFIT**  
 1" x 4" x 1/2" GYPSUM BOARD SHALL BE USED FOR THE SOFFIT. THE SOFFIT SHALL BE PROTECTED BY A 1/2" THICK GYPSUM BOARD OR 1/2" THICK FIBERGLASS INSULATION BOARD. THE SOFFIT SHALL BE PROTECTED BY A 1/2" THICK GYPSUM BOARD OR 1/2" THICK FIBERGLASS INSULATION BOARD.

1" x 4" x 1/2" GYPSUM BOARD

2" x 4" x 1/2" GYPSUM BOARD

4" THICK CONCRETE SLAB

1" x 12" x 1/2" GYPSUM BOARD

1" x 12" x 1/2" GYPSUM BOARD

1" x 12" x 1/2" GYPSUM BOARD

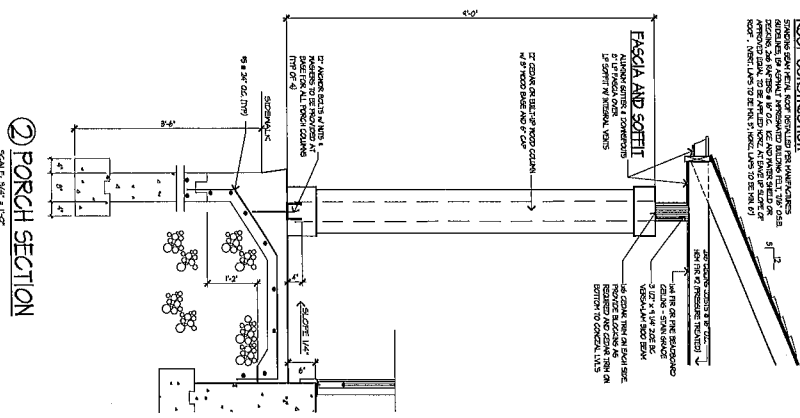
1" x 12" x 1/2" GYPSUM BOARD

1" x 12" x 1/2" GYPSUM BOARD

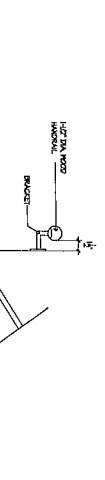
1" x 12" x 1/2" GYPSUM BOARD

**2 PORCH SECTION**

SCALE: 3/4" = 1'-0"

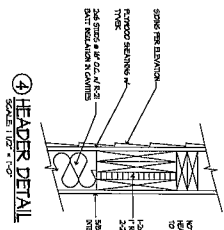


Their designs are the basis for the construction of the building.
   
 FEDERAL GILMORE ARCHITECTS
   
 1000 GILMORE DRIVE
   
 FALLS CHURCH, VA 22034
   
 PHONE: 703-271-1100
   
 FAX: 703-271-1101
   
 WWW.GILMOREARCHITECTS.COM
   
 SCALE: 3/4" = 1'-0"
   
 10

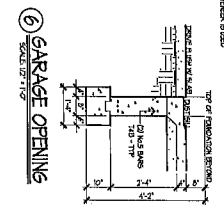


- NOTES:**
1. STRINGER SHALL BE 2x12 S4S WITH 2x4 JOIST.
  2. STRINGER SHALL BE 2x4 S4S WITH 2x12 JOIST.
  3. STRINGER SHALL BE 2x4 S4S WITH 2x12 JOIST.
  4. STRINGER SHALL BE 2x4 S4S WITH 2x12 JOIST.

**① STAIR DETAIL**  
SCALE: 1/2" = 1'-0"

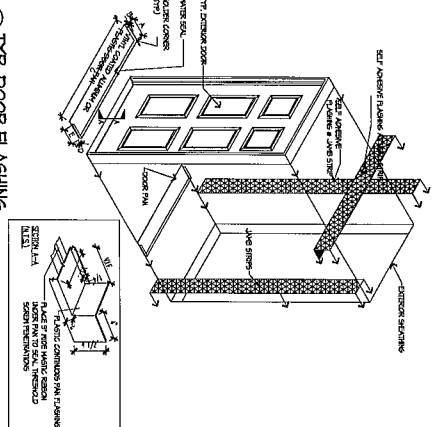


- NOTES:**
1. HEADER SHALL BE 2x6 S4S WITH 2x8 LINTEL.
  2. LINTEL SHALL BE 2x8 S4S WITH 2x6 HEADER.
  3. SILL SHALL BE 2x6 S4S WITH 2x8 LINTEL.
  4. SILL SHALL BE 2x6 S4S WITH 2x8 LINTEL.

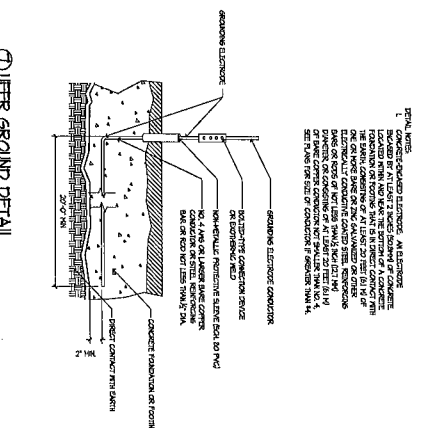


- NOTES:**
1. GARAGE OPENING SHALL BE 16'-0" WIDE BY 8'-0" HIGH.
  2. WALL SHALL BE 8" CMU WITH 1/2" GYPSUM BOARD.
  3. FLOOR SHALL BE 4" CONCRETE ON 4" GYPSUM BOARD.

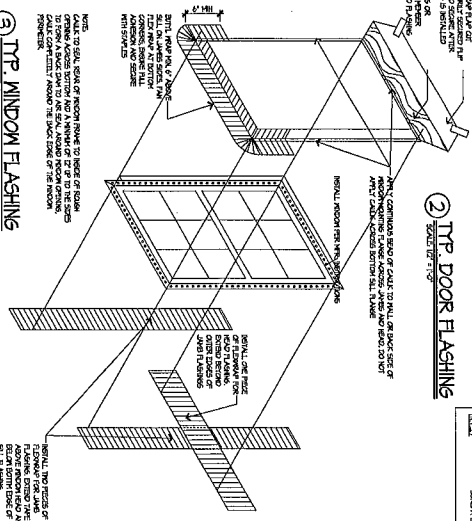
**② GARAGE OPENING**  
SCALE: 1/2" = 1'-0"



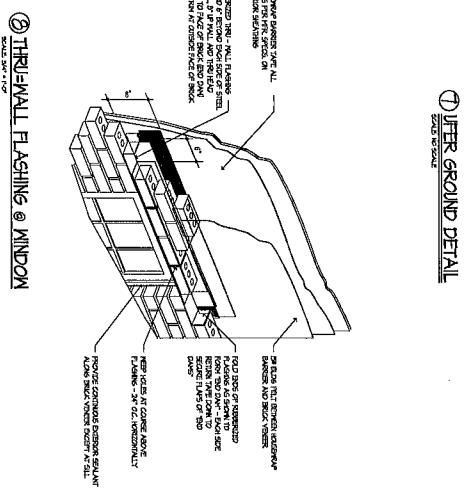
**② TOP DOOR FLASHING**  
SCALE: 1/2" = 1'-0"



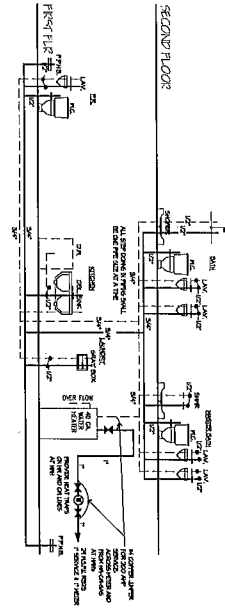
**① JULIFER GROUND DETAIL**  
SCALE: 1/2" = 1'-0"



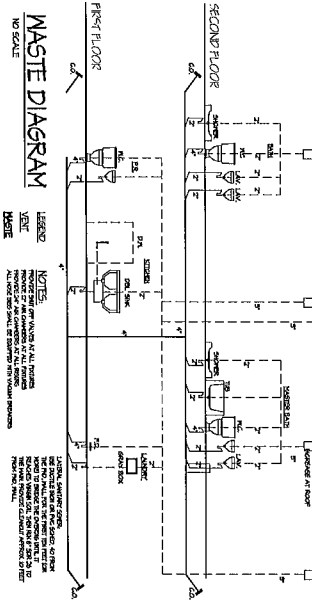
**③ TOP WINDOW FLASHING**  
SCALE: 1/2" = 1'-0"



**③ THRU-WALL FLASHING @ WINDOW**  
SCALE: 1/2" = 1'-0"



- LEGEND:**
- 1. FINISH FLOOR
  - 2. FINISH FLOOR
  - 3. FINISH FLOOR
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- LEGEND:**
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**WASTE DIAGRAM**  
SCALE: 1/2" = 1'-0"

**LEGEND:**

- 1. WASTE
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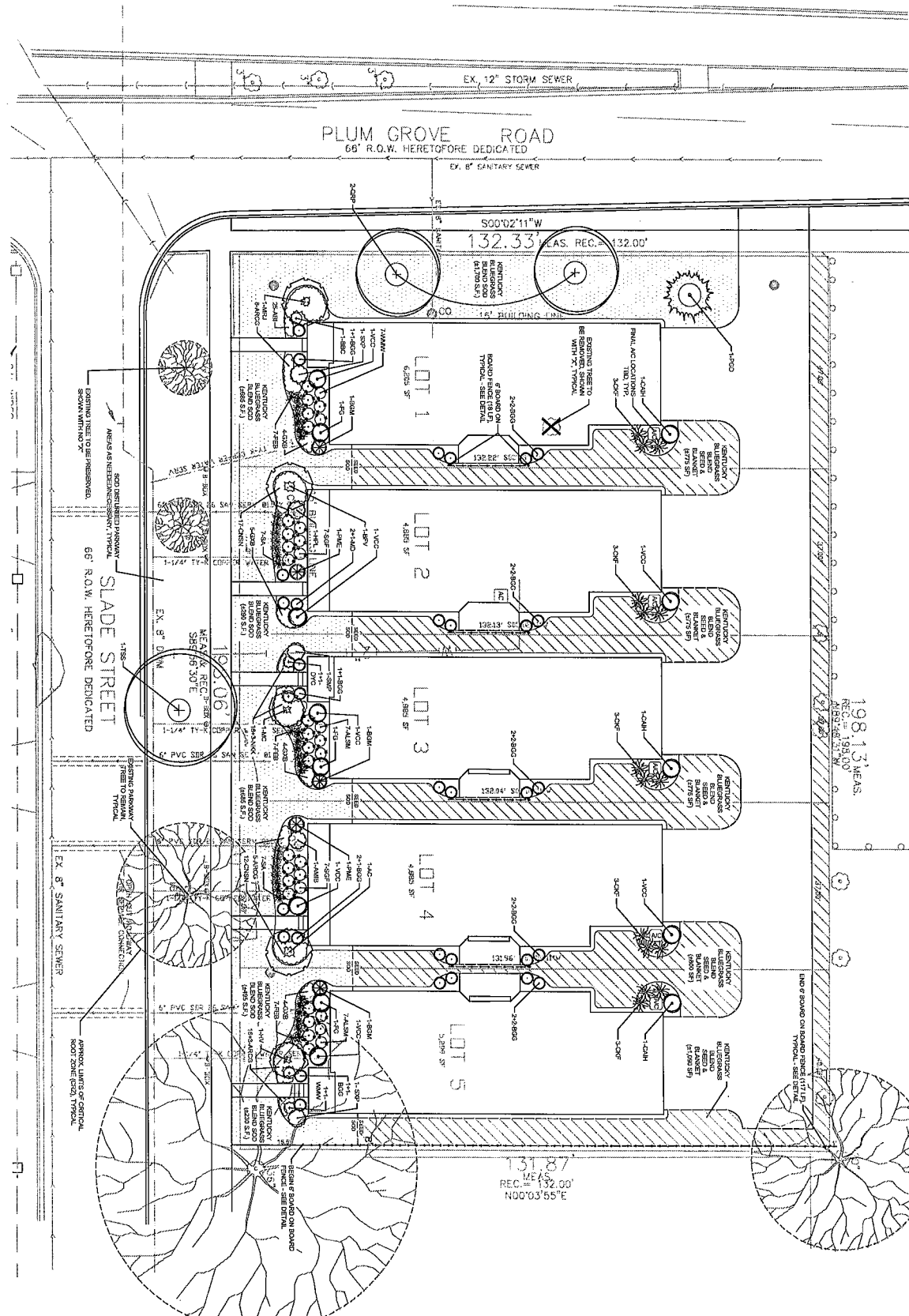
**NOTES:**

1. WASTE SHALL BE 1/2" DIA. WITH 1/4" WALL THICKNESS.
2. WASTE SHALL BE 1/2" DIA. WITH 1/4" WALL THICKNESS.
3. WASTE SHALL BE 1/2" DIA. WITH 1/4" WALL THICKNESS.
4. WASTE SHALL BE 1/2" DIA. WITH 1/4" WALL THICKNESS.

**FRANKLIN GIMMORE ARCHITECT**  
201 N. 3RD ST.  
CHICAGO, IL 60610  
TEL: 312.329.1000  
WWW.FRANKLINGIMMOREARCHITECT.COM







**LANDSCAPE PLAN**  
SCALE: 1" = 10'-0"



SHEET NUMBER  
**111**

PROJECT NAME AND SHEET TITLE  
**SLADE STREET CROSSING**  
PALATINE, IL  
**LANDSCAPE PLAN - OVERALL**

NO.	REVISIONS
1.	
2.	
3.	
4.	
5.	
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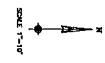
CLIENT NAME AND ADDRESS  
**GWB BUILDERS**  
PALATINE, IL  
JANUARY 2, 2024

**dickson design**  
STUDIO  
9 CRYSTAL LAKE ROAD  
LAKE IN THE HILLS, IL 60156  
(224) 241 8181

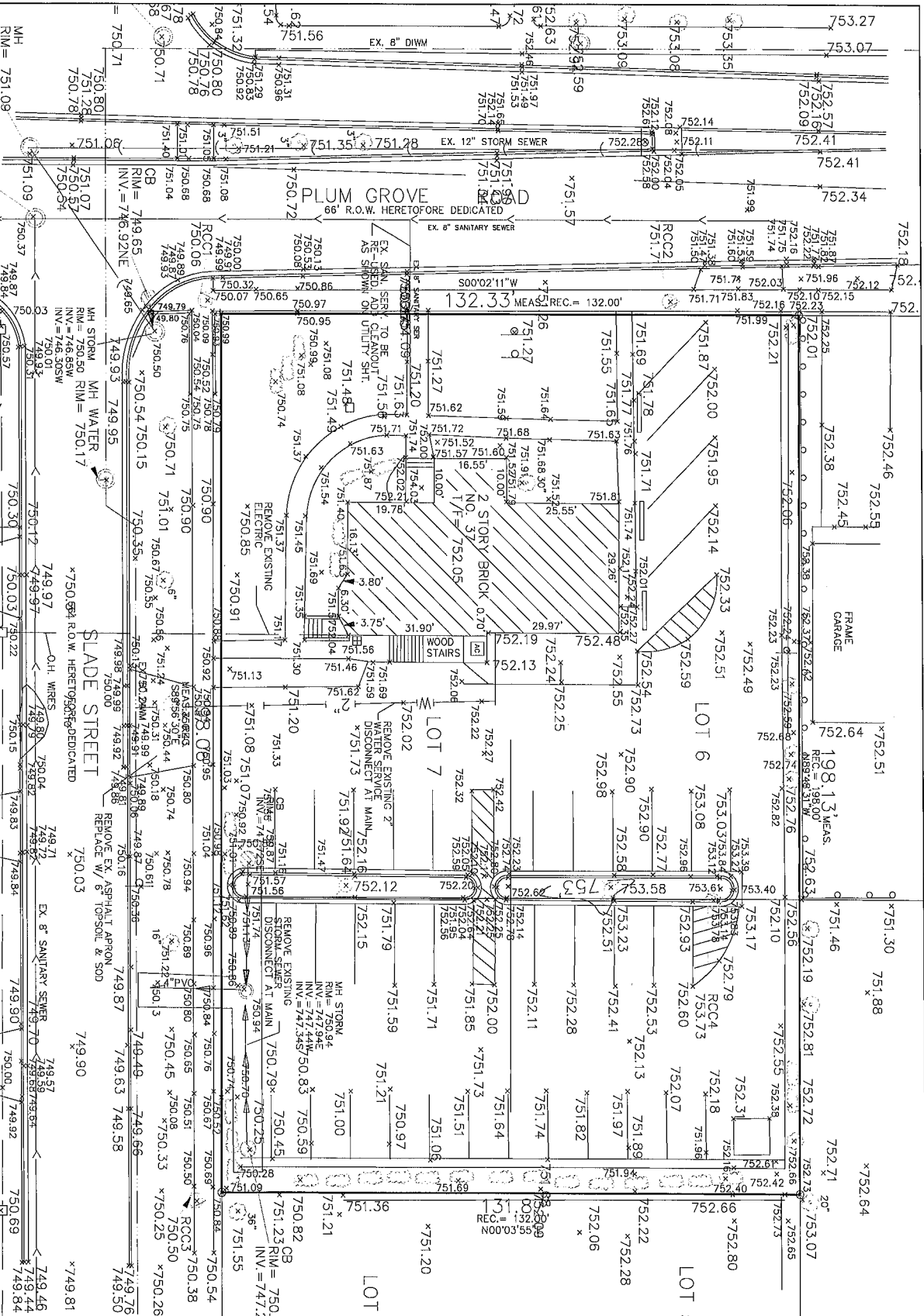








PROJECT BENCHMARK:  
 CROSS CUT ON NW UPPER FLANGE BOLT OF  
 FIRE HYDRANT LOCATED AT THE NW CORNER  
 OF PLUM GROVE RD. & WILSON STREET  
 NGVD88 ELEVATION 755.77  
 TO OBTAIN NAVD88 DATUM SUBTRACT 0.284'



**SPIES & ASSOCIATES, INC.**  
 Civil Engineers - Land Surveyors  
 534 WEST CAMPUS DRIVE  
 ARLINGTON HEIGHTS, ILLINOIS 60004  
 PH 847.577.8808 FAX 847.577.0229

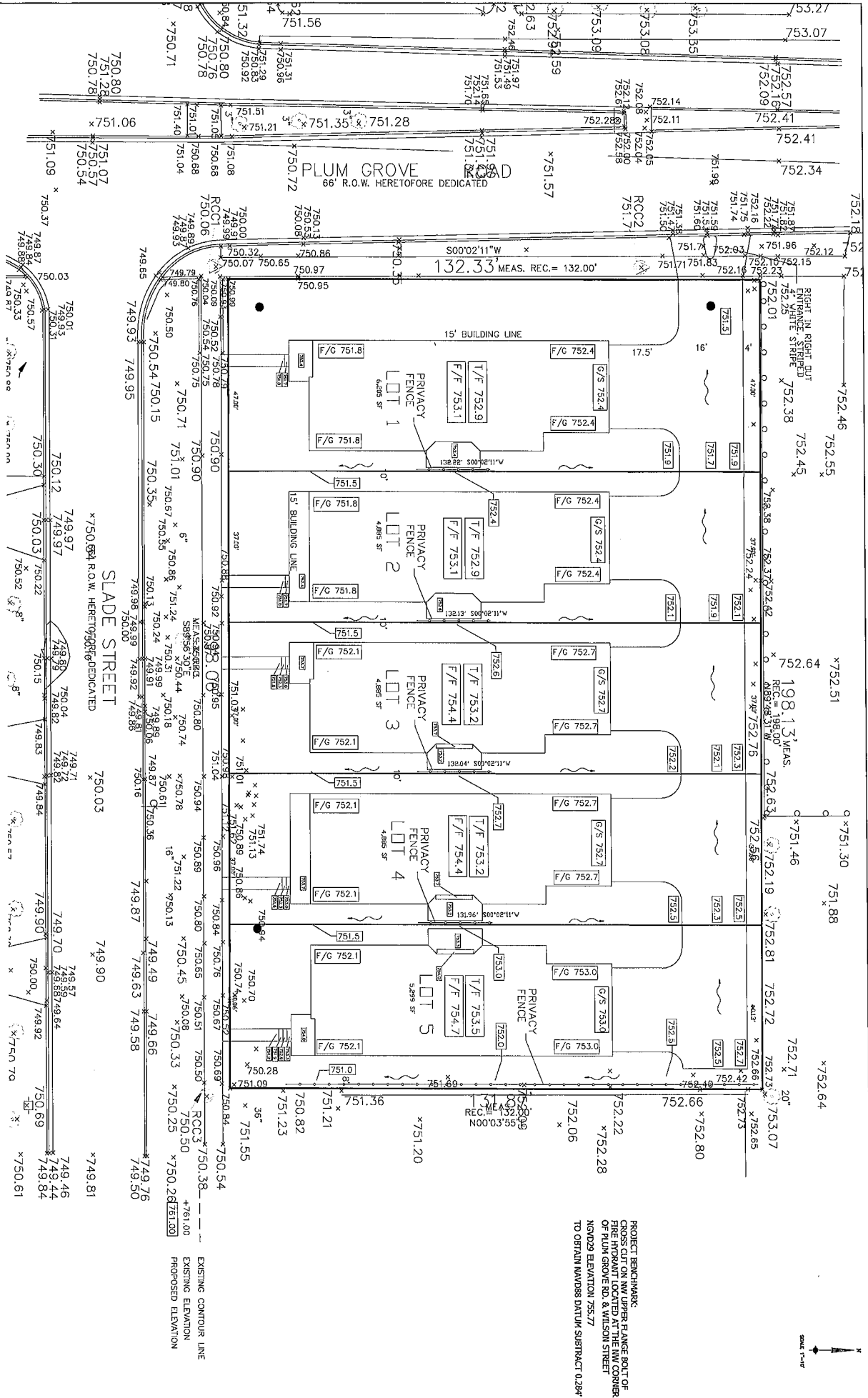
PER WILL 02-01-24  
 REVISIONS

DRAWN BY: TJS  
 DESIGNED BY: TJS  
 CHECKED BY: TJS

JOB NO. 5351  
 SCALE: 1"=10'  
 DATE: 10-10-23

EXISTING CONDITIONS  
 SLADE STREET CROSSING SUBDIVISION

SHEET NO. 3  
 OF 7 SHEETS



PROJECT BENCHMARK:  
 CROSS CUT ON NW UPPER FLANGE ROUTE OF  
 FIRE HYDRANT LOCATED AT THE NW CORNER  
 OF PLUM GROVE RD. & WILSON STREET  
 NGVD29 ELEVATION 755.77  
 TO OBTAIN NAVD83 DATUM SUBTRACT 0.28'

**SPES & ASSOCIATES, INC.**  
 Civil Engineers - Land Surveyors  
 534 WEST CAMPUS DRIVE  
 ARLINGTON HEIGHTS, ILLINOIS 60004  
 PH 847.577.8808 FAX 847.577.0229

REVISIONS  
 PER VILL 02/01/24

DRAWN BY: TJS  
 DESIGNED BY: TJS  
 CHECKED BY: TJS  
 JOB NO. 5351  
 SCALE: 1"=10'  
 DATE: 10-10-23

GRADING PLAN  
 SLADE STREET CROSSING SUBDIVISION

SHEET NO. 4  
 OF 7 SHEETS

EXISTING CONTOUR LINE  
 EXISTING ELEVATION  
 PROPOSED ELEVATION

**SPES & ASSOCIATES, INC.**  
 Civil Engineers - Land Surveyors  
 524 WEST CAMPUS DRIVE  
 ARLINGTON HEIGHTS, ILLINOIS 60004  
 PH 847.577.8808 FAX 847.577.0229

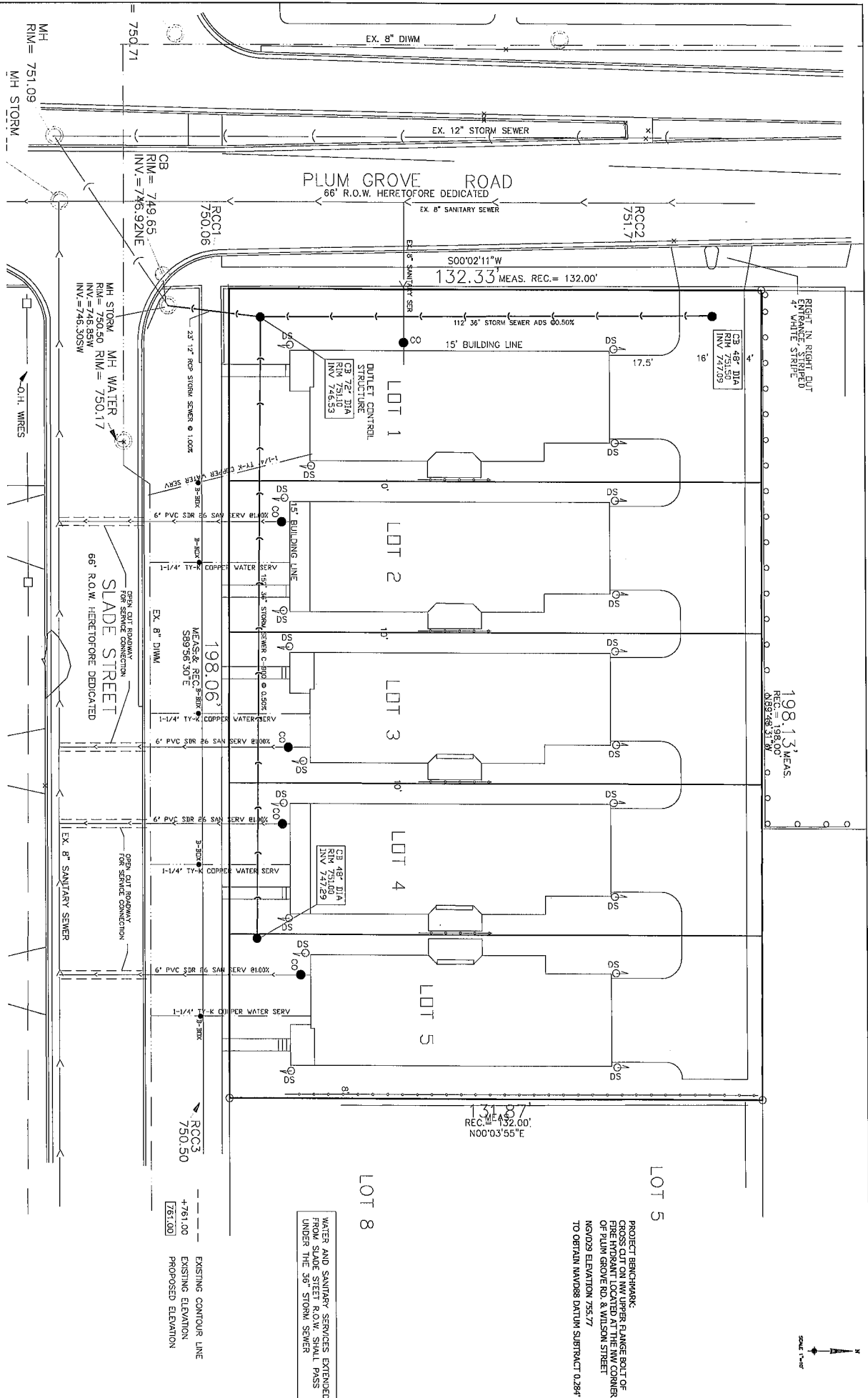
REVISIONS  
 PER VILL 02-01-24

DRAWN BY: TJS  
 DESIGNED BY: TJS  
 CHECKED BY: TJS

JOB NO. 5351  
 SCALE: 1"=10'  
 DATE: 10-10-23

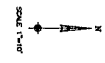
UTILITY PLAN  
 SLADE STREET CROSSING SUBDIVISION

SHEET NO. 5 OF 7 SHEETS



WATER AND SANITARY SERVICES EXTENDED FROM SLADE STREET R.O.W. SHALL PASS UNDER THE 36" STORM SEWER

PROJECT BENCHMARK  
 CROSS CUT ON NW UPPER FLANGE BOLT OF  
 FIRE HYDRANT LOCATED AT THE NW CORNER  
 OF PLUM GROVE RD. & WILSON STREET  
 NGVD29 ELEVATION 755.77  
 TO OBTAIN NAVD83 DATUM SUBTRACT 0.284'

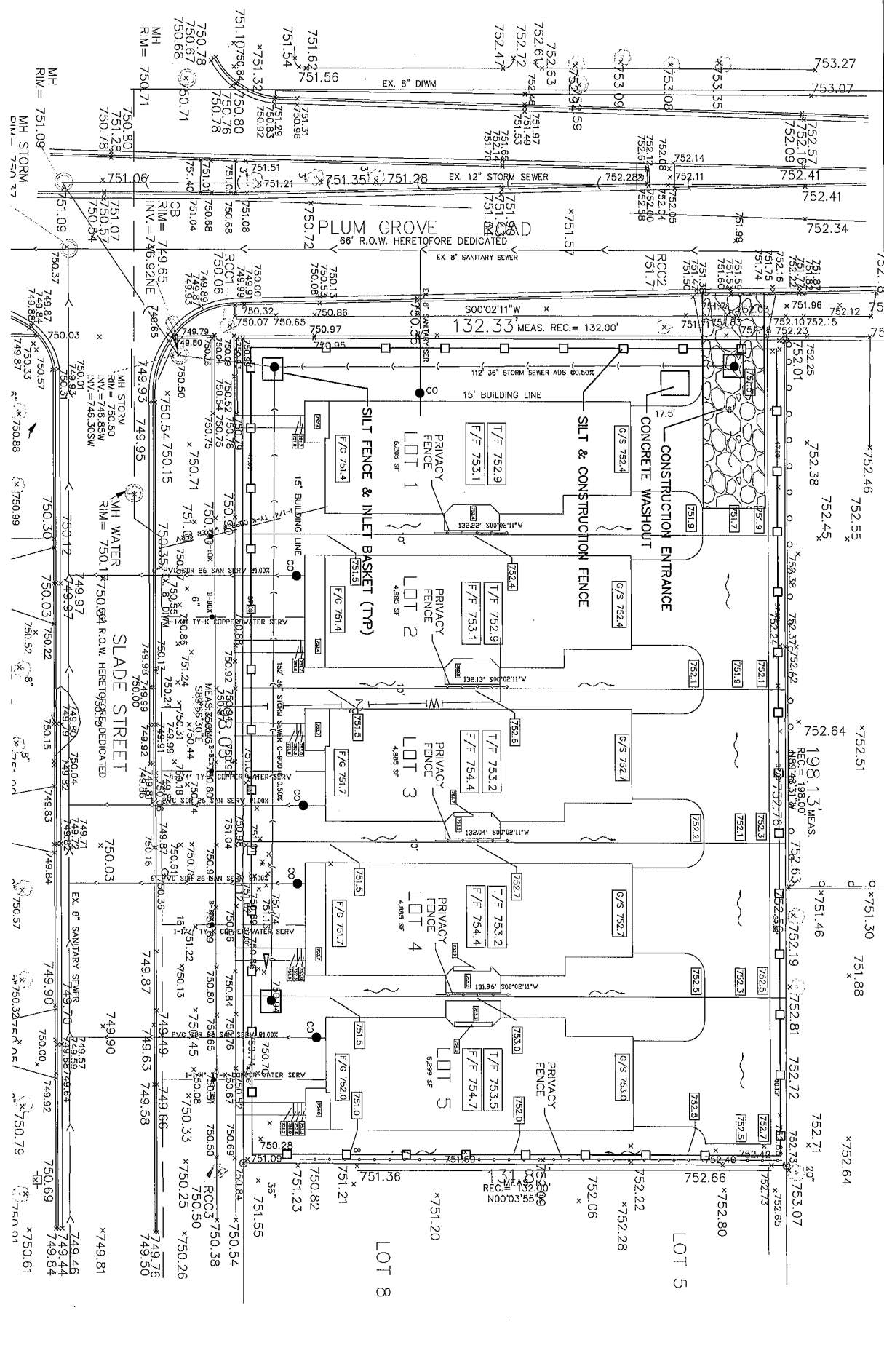


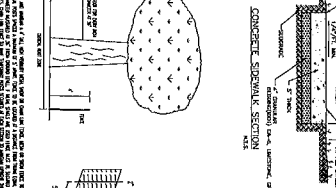
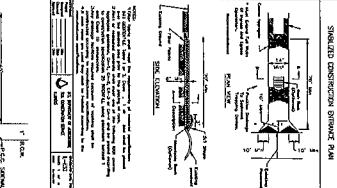
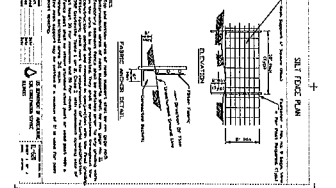
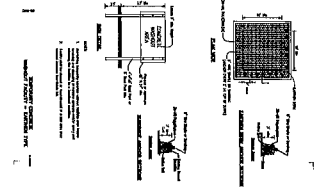
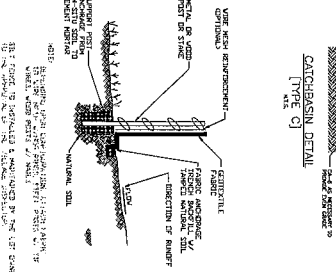
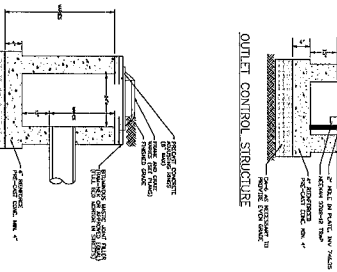
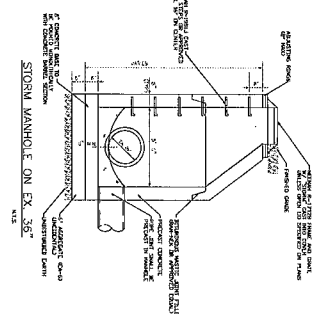
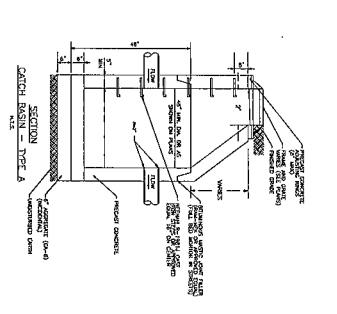
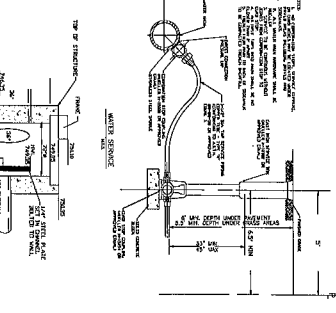
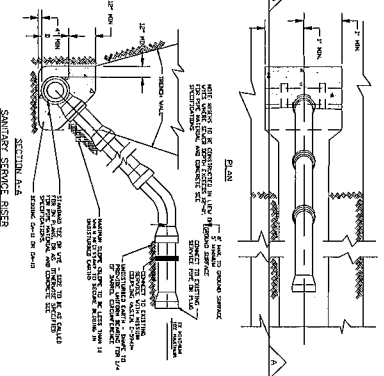
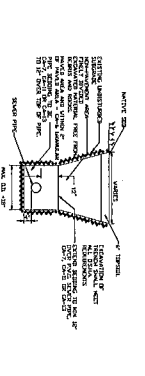
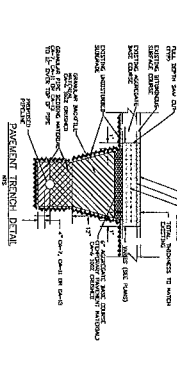
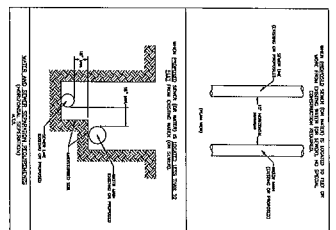
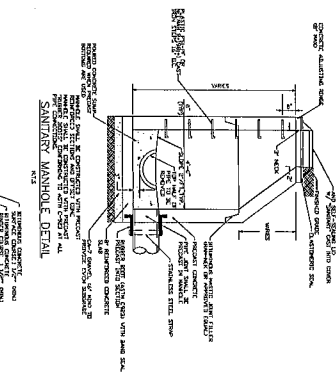
REVISIONS

PER VILL 02-01-24	

DESIGNED BY: TJS	JOB NO. 5351
CHECKED BY: TJS	SCALE:
DATE: 10-10-23	

**EROSION CONTROL PLAN**  
**SLADE STREET CROSSING SUBDIVISION**





**SPES & ASSOCIATES, INC.**  
 Civil Engineers - Land Surveyors  
 534 WEST CAMPUS DRIVE  
 ARLINGTON HEIGHTS, ILLINOIS 60004  
 PH 847/577-8808 FAX 847/577-0223

REVISIONS  
 PER VUL 02-01-24

DRAWN BY: TJS  
 DESIGNED BY: TJS  
 CHECKED BY: TJS  
 JOB NO. 5351  
 SCALE:  
 DATE: 10-10-23

DETAIL SHEET  
 SLADE STREET CROSSING SUBDIVISION

SHEET NO.  
 7  
 OF 7 SHEETS

## **Consider an Ordinance Granting a Minor Amendment to the Olms Corner Planned Development Regarding the Allowable Fencing Type, Maximum Height, and Permitted Locations, Including an Amendment to the Olms Corner Subdivision Declarations**

### **BACKGROUND:**

The Olms Corner Planned Development was approved in 2023 for a 3-lot single-family development. At present, two homes are complete and occupied, with the construction of the third lot limited to the completion of the foundation.

### **KEY ISSUES:**

- When the Olms Corner Planned Development was initially reviewed and approved, the development did not establish fencing criteria for the 3 home sites. As homes were completed and sold to the new owners, the developer is requesting a Minor Planned Development Amendment, in order to create the fencing criteria within the Subdivision. The criteria will include the permitted fencing type, maximum allowable height, and permitted locations within the development.
- Staff notes that the requested amendment only establishes the allowable fencing parameters that are consistent with what is permitted fencing by Code. This amendment will ensure that there is a uniform material, maximum permitted height (which aligns to the maximum height for residential properties in the zoning district), and permitted locations, all of which conform to the permitted parameters within the zoning ordinance.
- The requested fencing locations include interior fencing on the north side of Lot 1, which would not extend into the front yard along Brockway Street, nor impact the driveway apron to the garage or shared access driveway. For Lot 3 (corner lot at Colfax/Brockway), the requested amendment would allow the fencing material of an open picket-style fence, not to exceed 4 feet in height. Although a 4-foot picket-fence is permitted, the fencing would be required to be set back 3 feet, as this lot is positioned back-to-back with the lot directly to the east.

### **BUDGET IMPACT:**

N/A

### **RECOMMENDATION:**

Staff recommends approval of an ordinance granting the Minor Planned Development Amendment for the Olms Corner Planned Development.

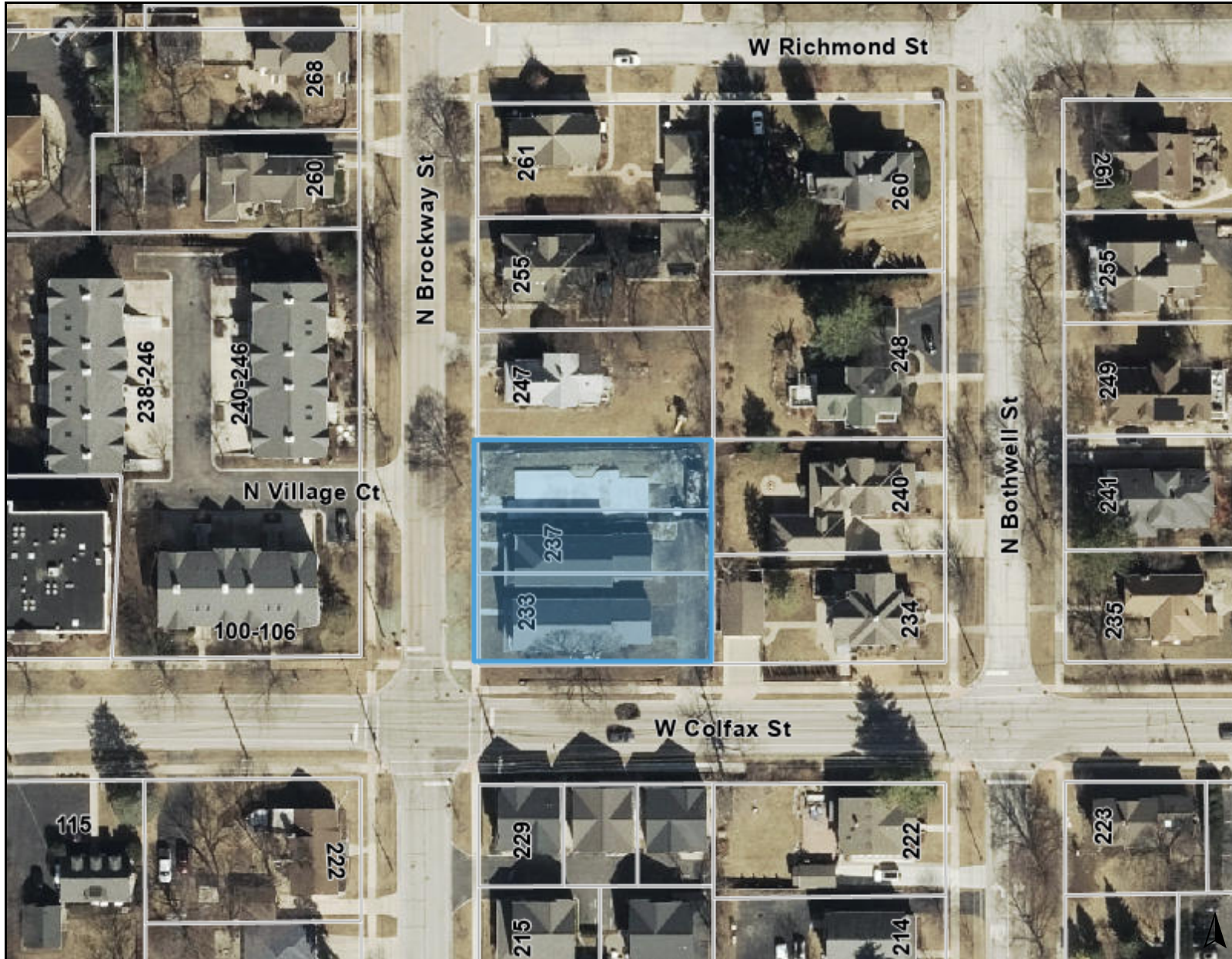
### **ACTION REQUIRED:**

A motion to approve the Minor Amendment to the Planned Development Ordinance for

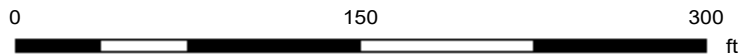
the Olms Corner Planned Development.

**ATTACHMENTS:**

1. Aerial Map
2. ORD - Minor Amendment -Olms Corner Planned Development
3. EXHIBIT - Olms Corner fencing site plan and picket elevation
4. Olms Corner Planned Development Ordinance



### Legend



Print Date: 3/5/2026

### Notes

Disclaimer: The GIS Consortium and MGP Inc. are not liable for any use, misuse, modification or disclosure of any map provided under applicable law. This map is for general information purposes only. Although the information is believed to be generally accurate, errors may exist and the user should independently confirm for accuracy. The map does not constitute a regulatory determination and is not a base for engineering design. A Registered Land Surveyor should be consulted to determine precise location boundaries on the ground.

**ORDINANCE NO. \_\_\_\_\_**

**AN ORDINANCE GRANTING A MINOR AMENDMENT AMENDING THE OLMS  
CORNER PLANNED DEVELOPMENT ORDINANCE #O-123-23 TO IDENTIFY THE  
PERMITTED FENCING TYPE, MAXIMUM HEIGHT, AND PERMITTED LOCATIONS  
FOR THE PROPERTY AT  
233, 237, AND 241 N. BROCKWAY STREET**

**WHEREAS, Olms Corner Planned Development did not contemplate the allowable fencing type, maximum height, and permitted locations; and**

**WHEREAS, the Petitioner would like to establish the allowable fencing parameters for the Planned Development to create a uniform design and permitted locations;**

**NOW, THEREFORE, BE IT ORDAINED, by the Mayor and Village Council of the Village of Palatine, Cook County, Illinois, acting in the exercise of their home rule power:**

**SECTION 1: That a Minor Amendment to Planned Development Ordinance #O-123-23, is hereby approved to permit a maximum 6-foot tall cedar shadowbox fence, within the interior side yard of Lot 1 (241 N. Brockway Street) and a maximum 4-foot tall picket style fence for lot 1 (233 N. Brockway Street) is approved, subject to the following conditions:**

- 1. The Olms Corner Declarations shall be revised and amended in a manner acceptable to the Village Attorney and Director of Planning and Zoning to reflect this Minor Amendment.**
- 2. The permitted locations and elevation shall substantially conform to the attached fencing site plan and elevations, except as such may be changed to conform with Village Codes and Ordinances.**

**All other conditions and requirements of Ordinance #O-123-23, as amended, shall remain in effect.**

**SECTION 2: This ordinance shall be in full force and effect upon passage and approval as provided by law.**

**PASSED: This \_\_\_\_\_ day of \_\_\_\_\_, 2026**

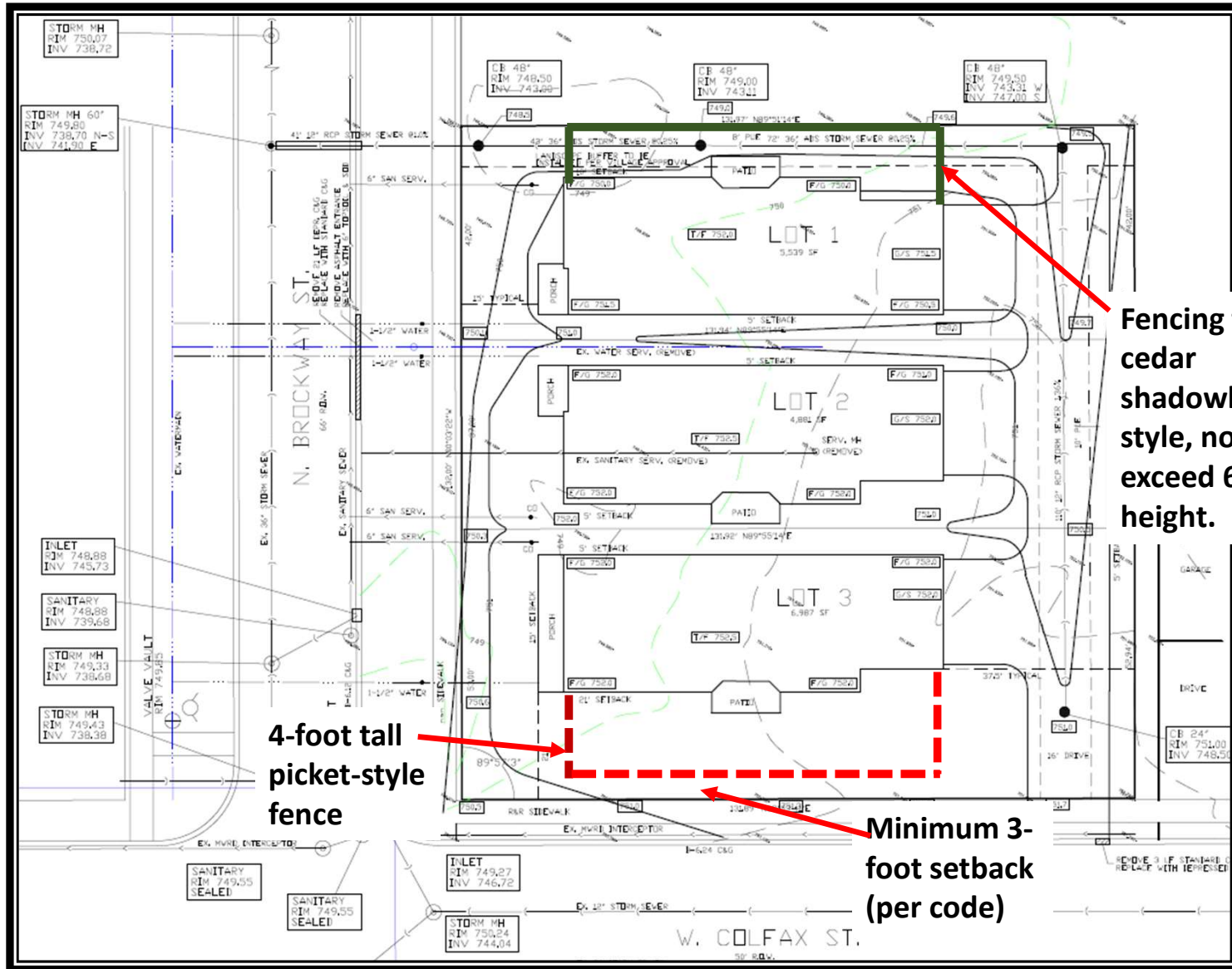
**AYES:\_\_\_\_\_ NAYS:\_\_\_\_\_ ABSENT:\_\_\_\_\_ PASS:\_\_\_\_\_**

**APPROVED by me this \_\_\_\_\_ day of \_\_\_\_\_, 2026**

\_\_\_\_\_  
**Mayor of the Village of Palatine**

**ATTESTED and FILED in the office of the Village Clerk  
this \_\_\_\_\_ day of \_\_\_\_\_, 2026**

\_\_\_\_\_  
**Village Clerk**



Fencing to be a cedar shadowbox style, not to exceed 6 feet in height.

4-foot tall picket-style fence

Minimum 3-foot setback (per code)

**Picket-style fence Olms Corner Subdivision**



ORDINANCE NO. 0-123-23

AN ORDINANCE GRANTING FINAL PLANNED DEVELOPMENT APPROVAL FOR  
52 W. COLFAX STREET

WHEREAS, upon petition of owners of said property, a Public Hearing was held by the Planning & Zoning Commission of the Village of Palatine on October 10, 2023, and in accordance with the Zoning Ordinance of the Village of Palatine, in such case made and provided, and said Planning & Zoning Commission, having made its findings in a report to the Mayor and Village Council of the Village of Palatine regarding a request for a Final Planned Development to permit a 3-lot single-family residential development, on the following legally described property:

BEGINNING 30 RODS WEST OF THE 20 RODS NORTH OF THE SOUTHEAST CORNER OF THE NORTHEAST CORNER OF THE SOUTHEAST QUARTER OF SECTION 15, TOWNSHIP 42 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN. RUNNING THENCE NORTH ON A STRAIGHT LINE 9 RODS TO STAKE OR STONE, THENCE WEST 10 RODS; THENCE SOUTH 9 RODS, THENCE EAST 10 RODS TO THE PLACE OF BEGINNING IN THE VILLAGE OF PALATINE, IN COOK COUNTY, ILLINOIS

NOW, THEREFORE, BE IT ORDAINED, by the Mayor and Village Council of the Village of Palatine, Cook County, Illinois, acting in the exercise of their home rule power:

SECTION 1: That the Preliminary and Final Planned Development is hereby approved to permit a 3-lot single-family residential development, subject to the following conditions:

1. The development shall substantially conform to the engineering plans by Spies and Associates, last revised on 9/27/23, the architectural plans by Gilmore and submitted elevations, and the landscaping plans by Dickson Design Studio, except as such plans may be changed to conform to Village Codes and Ordinances.
2. The Final Engineering Plans shall be submitted in a manner acceptable to the Village Engineer.

3. The Final Landscaping and screening Plan shall be revised in a manner acceptable to the Director of Planning and Zoning.
4. The drafted HOA declarations shall be revised in a manner acceptable to the Village Attorney.
5. In conjunction with the building permit application, a construction management plan shall be submitted in a manner acceptable to Village and shall outline the proposed development schedule, identify the material delivery routes, and proposed parking areas for the contractors.
6. A \$30,000 Planned Development letter of credit shall be submitted in a manner acceptable to the Director of Planning and Zoning and Village Engineer. The Public Improvement Letter of Credit shall be submitted in a manner acceptable to the Village Engineer and Director of Planning and Zoning and pursuant to the Code requirements.
7. The Olms Corner development sign (4 feet by 8 feet) shall substantially conform to the site plan and elevation attached hereto.

**SECTION 2:** That a copy of the public notice, be attached hereto and form a part of this ordinance.

**SECTION 3:** This ordinance shall be in full force and effect upon passage and approval as provided by law.

PASSED: This 6 day of November, 2023

AYES: 5 NAYS: 0 ABSENT: 1 PASS: 0

APPROVED by me this 6 day of November, 2023

  
\_\_\_\_\_  
Mayor of the Village of Palatine

ATTESTED and FILED in the office of the Village Clerk

this 6 day of November, 2023

  
\_\_\_\_\_  
Village Clerk

# COLFAX STREET HOMES

## PLAN 1

### PALATINE, ILLINOIS 60067

ARCHITECT CONTACT

**BLAKE CZAR**

847/871-3501

BUILDER

**GWR BUILDERS**

847/209-1214

DATE	PAGES REVISED
08/24/20	ISSUED FOR BIDDING

CODES

**APPLICABLE BUILDING CODES**

- 2015 INTERNATIONAL RESIDENTIAL CODE w/ AMENDMENTS EXISTING BUILDINGS AND STRUCTURES, APPENDIX J
- 2015 INTERNATIONAL MECHANICAL CODE w/ AMENDMENTS
- 2015 INTERNATIONAL FUEL GAS CODE
- 2018 INTERNATIONAL ENERGY CONSERVATION CODE
- 2017 NATIONAL ELECTRICAL CODE w/ AMENDMENTS
- 2014 ILLINOIS PLUMBING CODE w/ AMENDMENTS
- VILLAGE OF PALATINE CODE OF ORDINANCES

**OCCUPANCY**

R3 - RESIDENTIAL

**CLIMATIC AND GEOGRAPHICAL DESIGN CRITERIA**

Ground Snow Load: 30 psf  
 Wind Speed: 90 mph - 3 second gust  
 Seismic Category: A  
 Weathering: Severe  
 Frost Line Depth: 48"  
 Termite - Moderate  
 Winter Design temp: -4 F  
 Ice Barrier Underlayment Required: Yes  
 Air Freezing Index: 1750  
 Mean Annual temp: 50 F

FINISH	NO. OF TOILETS	NO. OF SINKS	NO. OF SHOWERS	NO. OF TUBS
WATER CLOSET	2	0	0	0
TOILET	2	1	0	0
WASH SINK	1	2	0	0
BATH TUB	0	0	0	4
SHOWER BATH	1	2	2	0
WASH SINK	1	1	1	1
TOILET	1	1	1	1
WASH SINK	1	2	0	0
BATH TUB	0	0	0	0
TOTAL	10	10	10	10

**SHEET INDEX**

- COVER SHEET
- FRONT & RIGHT SIDE ELEVATIONS/LV SCHEDULE
- REAR & LEFT SIDE ELEVATION
- FOUNDATION PLAN
- FIRST FLOOR PLAN
- SECOND FLOOR PLAN / ROOF PLAN
- FIRST FLOOR ELECTRICAL PLAN
- SECOND FLOOR ELECTRICAL PLAN
- WALL SECTIONS
- DETAILS / RISER DIAGRAMS
- SPECIFICATIONS

**ABBREVIATIONS**

AFB	ABOVE FINISH FLOOR	INS	INSULATED/ING
ADH	ADHESIVE	INT	INTERIOR
ADJ.SHL	ADJUSTABLE SHELF	JNT	JOINT
A/C	AIR CONDITIONING	JST	JOIST
ALT.	ALTERNATE	LAM.PLAG	LAMINATED PLASTIC
ALT.	ALTERNATE	LL	LIVE LOAD
ANL	STEEL ANGLE	MO	MASONRY OPENING
APNS	APRONS	MATL	MATERIAL
BRK	BRICK	MC	MEDICINE CABINET
BM	BEAM	ML	METAL
BRG.	BRACKETS	N.T.S.	NOT TO SCALE
CBMT	CASEMENT	O.G.	ON CENTER
CLP	CELLING	OPN	OPENING
CL	CENTER LINE	OVHD	OVERHEAD
CL	STEEL CHANNEL	PAT	FLANGED AND TOP SANDED
CLO	CLOSET	PC	PIECES
CS	POLE AND SHELF	PL	PLATE
COL	COLUMNS	PLY	PLYWOOD
CONC	CONCRETE	P.S.F.	FOAMED PER SQUARE FOOT
CONC	CONSTRUCTION	P.S.L.	FOAMED PER SQUARE INCH
C.L.	CONTROL JOINT	R	RISERS
CONT	CONTIGUOUS	RO	ROUGH OPENING
CO	CASED OPENING	RS	ROUGH SAWN
CI	CAST IRON	SH	SHELF
CRS	COURSES	SIC	SOLID CORE
DL	DEAD LOAD	S.M.T.	SHEET METAL
DTL	DETAIL	SMD	SIMILAR
DIA	DIAMETER	SND	SLIDING GLASS DOOR
DM	DIMENSION	ST	STEEL
DN	DISHWASHER	TEMP	TEMPERED
DS	DOWNSPOUT	T&G	TONGUE AND GROOVE
EAP	EACH	T	TREADS
EQ	EQUAL	TF	TOP OF
EXP	EXPANSION	UC	UNDER CABINET
EXT	EXTERIOR	WC	WATER CABINET
FIN	FINISHED	WH	WATER HEADERS
FP	FIREPLACE	W/P	WEATHER PROOF
FL	FLOOR	W/ST	WEATHER STRIPPING
FD	FLOOR DRAIN	W/FL	WIDE FLANGE
FTG	FOOTING	W/	W/
FRN	FOUNDATION	W/	W/
GLV	GALVANIZED	W/	W/
GL	GLASS	W/	W/
GYP.BD.	GYP.SUM BOARD	W/	W/
HFT	HEIGHT	W/	W/
HV	HOLLOW METAL	W/	W/
HC	HOLLOW CORE	W/	W/

JOIST SPACING	SPECIES & GRADE	MAX. SPAN	MAX. SPAN
12"	HEM-FR #2	18'-10" MAX. SPAN	22'-4" MAX. SPAN
16"	HEM-FR #2	15'-2" MAX. SPAN	17'-7" MAX. SPAN

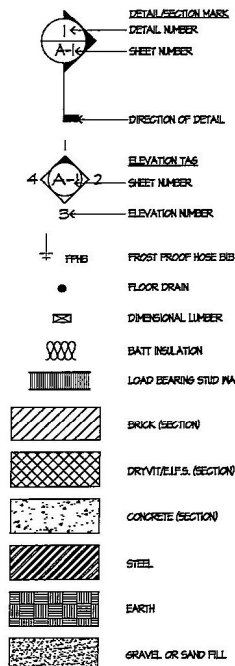
**DESIGN LOADS**

Floor:	Live Load	40 PSF Minimum
	Dead Load	10 PSF Minimum
Roof:	Live Load	30 PSF Minimum
	Dead Load	3,000 PSF Minimum
Sub:	Bearing Capacity	3,500 PSF Minimum

**DISTRIBUTIVE LIVE LOADS**

ATTICS w/ LIMITED STORAGE	20 P.S.F.
ATTICS w/o STORAGE	10 P.S.F.
ATTICS HARDWARE	40 P.S.F.
DECKS	80 P.S.F.
EXTERIOR BALCONIES	80 P.S.F.
CORRIDORS AND HALLWAYS	200 P.S.F.
ROOMS OTHER THAN SLEEPING	40 P.S.F.
SLEEPING ROOMS	40 P.S.F.
STAIRS	40 P.S.F.

**SYMBOLS**



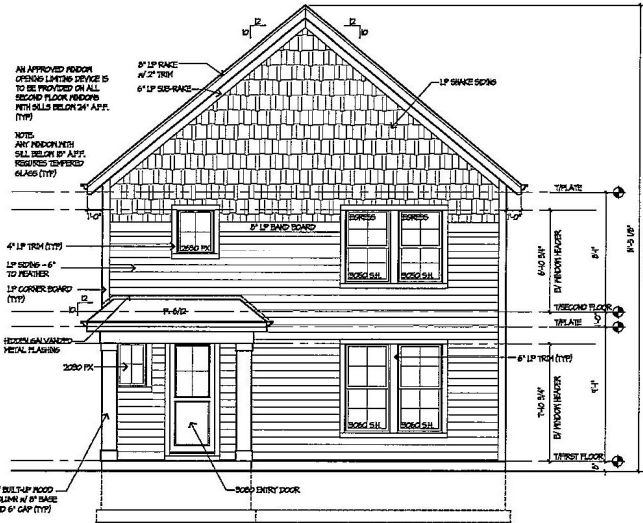
These drawings were prepared under my supervision and to the best of my knowledge, they comply with all applicable codes.

REV	DESCRIPTION	DATE
	ISSUED FOR BIDDING	08/24/20

Rick Gilmore, FALA  
 Fellow of the Association of Licensed Architects

PLAN 1  
 PALATINE, IL 60067

**Gilmore**  
 Fredrick Gilmore, Architect  
 2489 Gallant Fox Drive  
 Elgin, IL 60124  
 847.321.9076  
 email: gilmorearch@icloud.com  
 www.gilmorearchitects.com



**FRONT ELEVATION**

SCALE: 1/4" = 1'-0"  
 NOTE:  
 TOP OF FOUNDATION IS TO BE A MINIMUM OF 6" ABOVE FINISH GRADE (TYPICAL)

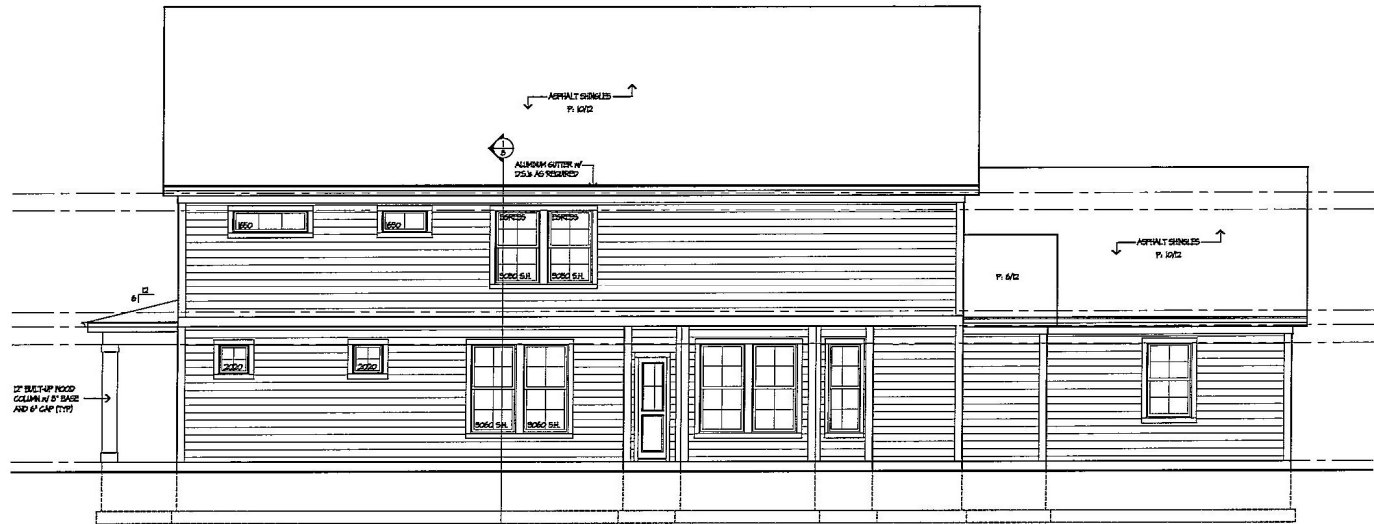
INSTALL NUMBERS OR ADDRESS PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. (ING. RES. TYPICAL 4'-6" HIGH NUMBERS, COLOR CONTRASTING WITH A BACKGROUND.)  
 NOTE:  
 PENETRATION SHALL BE LISTED AND LABELED BY VENDOR. MAX. AIR INFILTRATION OF WINDOWS, SKYLIGHTS, AND SLIDING DOORS IS 0.3 CFS/SQFT. MAX. AIR INFILTRATION OF SWINGING DOORS IS 0.5 CFS/SQFT.

**ELEVATION NOTES:**

- DO NOT SCALE DRAWINGS
1. PROVIDE FLASH BLOODS AT ALL DOWN SPOTS DISCHARGING AT GRADE. DO NOT DISCHARGE ACROSS WALKWAY
  2. PROVIDE Drip Gaps AT ALL WINDOWS AND DOORS
  3. ALL ROOF SHAKLES TO BE INSTALLED W/ EXPOSURE PAPER AND SINGLETS.
  4. REFER TO FLOOR PLAN FOR DOOR SIZES
  5. WINDOW SIZES ARE AS PER ELEVATIONS. WINDOW VERT TO VERIFY ALL WINDOWS HAVE DENSEST WINDOW
  6. ROOF VENTS TO BE SCREENED AND BALANCED INTAKE AND EXHAUST.
  7. PROVIDE "Z" FLASHING ALONG ALL HORIZONTAL TRIM
  8. PROVIDE GALV. METAL FLASHING AT ALL ROOF AND WALL INTERSECTIONS.
  9. FLASHING FLUE TO BE MIN. 1/2" ABOVE AND ROOF SURFACE WITHIN 12" OF HORIZONTALLY, MAX. 8" OF PENETRATION ABOVE ROOF.
  10. SHEET GLASS AT BATHROOMS, KITCHENS, HALLS, RESTROOMS, SLL HEIGHTS BELOW 8'. EXT. DOORS AND WINDOWS IN 34" OF DOOR JAMB PER GOVERNANCE CODES
- EXTERIOR FINISH MATERIALS:
1. TYPICAL ROOFING SHALL BE ARCHITECTURAL GRADE 30 YEAR ASPHALT SHINGLES
  2. TYPICAL - ALUMINUM GUTTERS IN DOWN SPOTS GABLE END FRAGA AND WITH HAD FREEZE BOARD UNLESS OTHERWISE NOTED.
  3. USE ON SID RACE BOARD TYPICAL
  4. TYPICAL SIDING - 1/2" W/ 6" SPACING
  5. TYPICAL TRIM - 1" W/ 6" SPACING
  6. ALL EYE AND RAKE OVERHANGS ARE 1'-0" UNLESS OTHERWISE NOTED.

**STANDARD ELEVATION NOTES**

- DO VISUAL ARCHITECTURAL GRADE ASPHALT SHINGLES
  - ALUMINUM GUTTERS AND DOWNSPOTS OVER ALUMINUM FLASHING
  - 1" SIP SUFFICIENT W/ INTERNAL VENT
  - SHEET METAL FLASHING OVER WINDOWS, DOORS AND ROOF TRIM
  - SHEET METAL FLASHING AT ALL ROOF AND WALL INTERSECTIONS. NO EDGE BOARD OVER NO FLASH BOARD
  - ALL RAKE AND OVERHANGS ARE 1'-0" UNLESS OTHERWISE NOTED. REFER TO ELEVATIONS AND ROOF PLAN FOR OVERHANGS
- KEY: [Symbol] INDICATES 1/2" SHARPSIDE SIDING  
 [Symbol] HIDDEN GALVANIZED METAL FLASHING
- NOTE: ALL WINDOW SIZES AND PARTITIONS SINGLE DIMS - OR AN APPROVED EQUAL



**RIGHT ELEVATION**

SCALE: 1/4" = 1'-0"

NOTE:  
 MAX. G-FACTOR OF 30 FOR FIBERGLASS ALL NEW WINDOWS AND GLAZED DOORS MUST BEAR MANUFACTURERS STICKERS SO COMPLIANCE CAN BE CONFIRMED BY INSPECTOR.

These drawings were prepared under my supervision and to the best of my knowledge, they comply with all applicable codes.

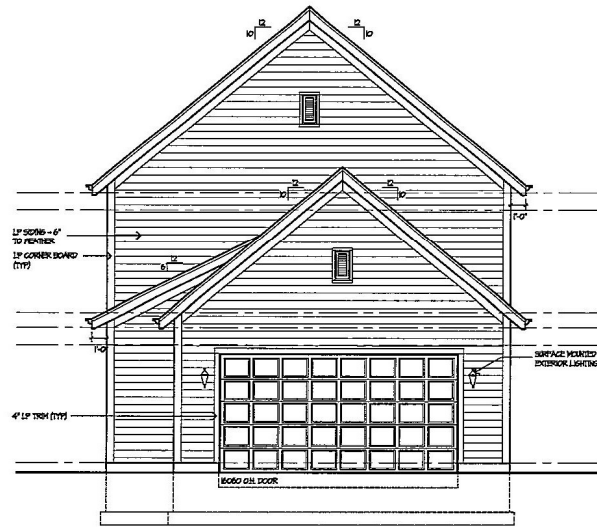
*Rick Gilmore*

REV	DESCRIPTION	DATE
1	ISSUED FOR BIDDING	02/24/23

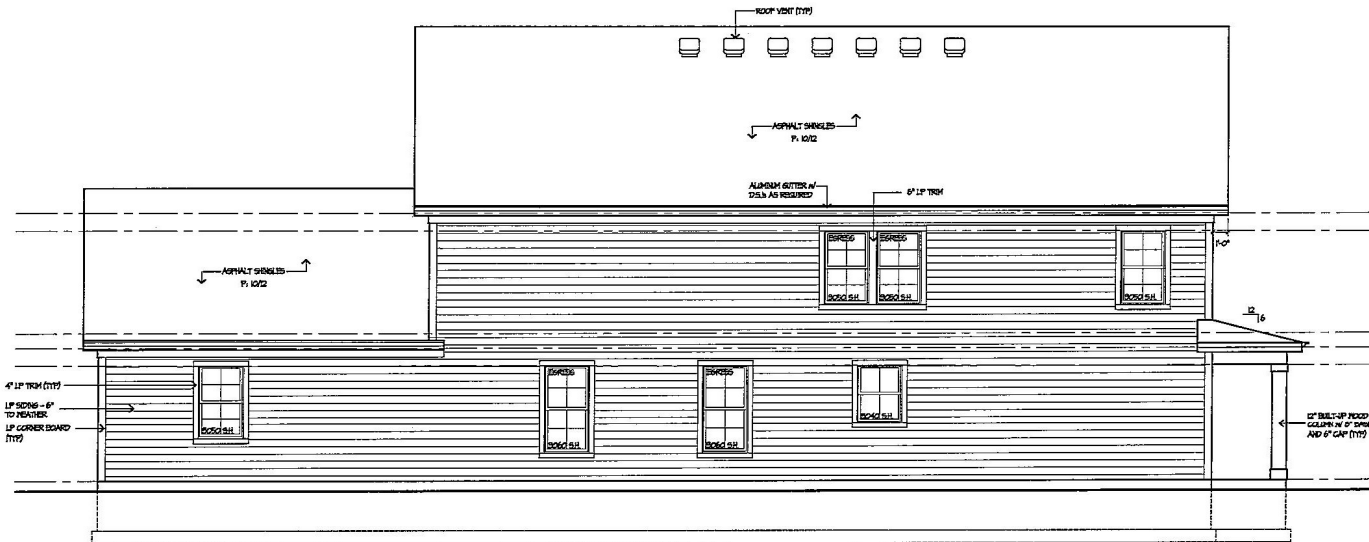
Rick Gilmore, F.A.L.A.  
 Fellow of the Association of Licensed Architects

PALATINE I  
 PALATINE, IL 60067

**Gilmore**  
 Fredrick Gilmore, Architect  
 3489 Gallant Fox Drive  
 Elgin, IL 60124  
 847-521-1076  
 email: gilmorearch@earthlink.com  
 www.gilmorearchitects.com



**REAR ELEVATION**  
SCALE: 1/4" = 1'-0"



**LEFT ELEVATION**  
SCALE: 1/4" = 1'-0"

**ELEVATION NOTES:**

1. PROVIDE FLASH BLOCKS AT ALL DOWN SPOTS DEGRADING AT GRADE. DO NOT DISCHARGE ACROSS PAINTS.
  2. PROVIDE Drip Gaps AT ALL JOINTS AND DOORS.
  3. ALL ROOF FLASHINGS TO BE SEALED w/ BUILDING PAPER AND SHINGLES.
  4. REFER TO FLOOR PLANS FOR DOOR SIZES.
  5. WINDOW SIZES ARE AS PER ELEVATIONS. INCHES MTR TO VERIFY ALL WINDOWS HAVE EXTERIOR PROFILES.
  6. ROOF VENTS TO BE SEALED AND BALANCED INTAKE AND EXHAUST.
  7. PROVIDE 2" FLASHING ALONG ALL SPERENTIAL TRIM.
  8. PROVIDE GALV. METAL FLASHING AT ALL ROOF AND WALL INTERSECTIONS.
  9. PROVIDE FLASH TO THE EXTERIOR OF ABOVE ANY ROOF SURFACE PENETRATION HORIZONTALLY, MIN 5'-0" PENETRATION ABOVE ROOF.
  10. SAFETY FLASHING AT BATHING/SHOWER SILL HEIGHTS BELOW W/ DOOR, DOORS AND WINDOWS IN 1/2" DIA. OF DOOR AND PER GOVERNING CODES.
- EXTERIOR FINISH MATERIALS:**
11. TYPICAL SIDING SHALL BE ARCHITECTURAL GRADE 50 YEAR ASPHALT SHINGLES.
  12. TYPICAL - ALUMINUM GUTTERS w/ DOWN SPOTS OVER 100 PITCH AND WITH 1/2" FREE BOARD UNLESS OTHERWISE NOTED.
  13. DOOR AND FRAME BOARD TYPICAL.
  14. TYPICAL SIDING - 1" x 6" SPACED.
  15. TYPICAL TRIM - 1" x 6" SPACED.
  16. ALL LINE AND RAKE OVERSHOTS ARE 1'-0" UNLESS OTHERWISE NOTED.

These drawings were prepared under my supervision and to the best of my knowledge, they comply with all applicable codes.

**FREDERICK R. GILMORE**  
REGISTERED ARCHITECT  
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DATE: 02/23/23  
ISSUED FOR BIDDING

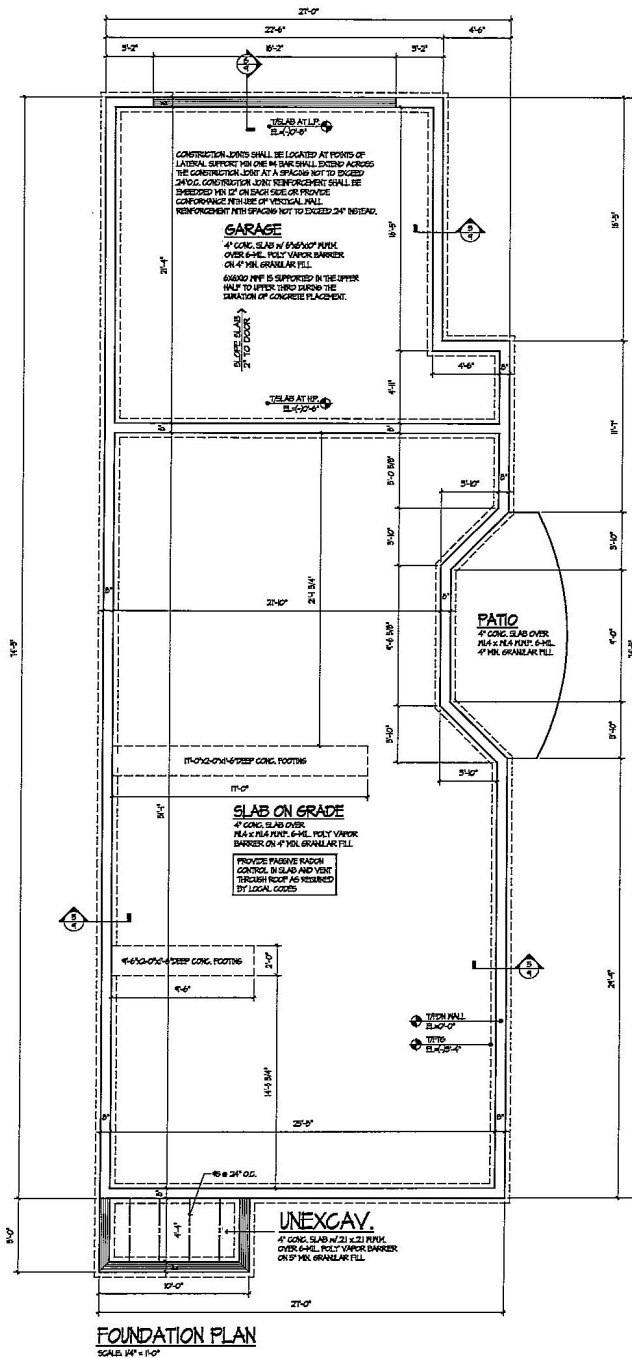
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**2A**

The drawings to comply with all applicable codes.



**REIN. NOTE:**  
 DOUBLE END JOINT REINFORCEMENT IS TO BE USED ABOVE CORNERS OF MASONRY EXCEPT A MIN. OF 2" BEYOND EACH SIDE OF OPENING (IF APPLICABLE).

**REBAR NOTE:**  
 NOT LESS THAN ONE VERTICAL #4 BAR SHALL BE PROVIDED ON EACH SIDE OF OPENING IDEAL TO OR GREATER THAN 2 FEET IN HEIGHT. VERTICAL REINFORCEMENT SHALL EXTEND THE FULL HEIGHT OF THE WALL AND BE LOCATED MINIMUM 2" OF EACH SIDE OPENING.

**ALL VAPOR BARRIERS NOTED ON BASEMENT AND GARAGE SLABS ARE TO HAVE JOINTS LAPPED NOT LESS THAN 12"**

**COMPRESSIVE STRENGTH OF CONCRETE**

TYPE OR LOCATION OF CONCRETE CONSTRUCTION	MIN. SPECIFIED COMPRESSIVE STRENGTH (PSI) (ASTM C 39)
BASEMENT WALLS, FND & OTHER WALLS NOT EXPOSED TO THE WEATHER	2500
BASEMENT SLABS & INTERIOR SLABS ON GRADE EXCEPT GARAGE FLOOR SLABS	2500
BASEMENT WALLS, FND WALLS, EXTERIOR WALLS & OTHER VERTICAL CONC. EXPOSED TO WEATHER	3000
PORTALS, CORNER SLABS & STEPS EXPOSED TO THE WEATHER & GARAGE FLOOR SLABS	3500 (AIR-ENTRAINED)

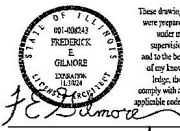
**MECHANICAL / VENTILATION NOTES:**

- DOWNSTAIR HOOD SYSTEMS CAPABLE OF EXHAUSTING IN EXCESS OF 400 CUBIC FEET PER HOUR SHALL BE PROVIDED WITH MAKE-UP AIR AT A RATE APPROXIMATELY EQUAL TO THE EXHAUST RATE. SUCH MAKE-UP AIR SYSTEMS SHALL BE CONTROLLED WITH A MANUAL OR AUTOMATIC SYSTEM AND SHALL BE AUTOMATICALLY CONTROLLED TO START AND OPERATE SIMULTANEOUSLY WITH THE EXHAUST SYSTEM.
- INDOOR MECHANICAL VENTILATION SYSTEMS SHALL BE DESIGNED IN ACCORDANCE WITH SECTION 9.03.01 THROUGH 9.03.04.
- INDOOR MECHANICAL VENTILATION SYSTEMS SHALL CONSIST OF ONE OR MORE SUPPLY OR EXHAUST FANS OR A COMBINATION, AND ASSOCIATED DUCTS AND CONTROLS. LEGAL EXHAUST OR SUPPLY FANS ARE PROHIBITED BY STATE AND FEDERAL LAWS. OUTDOOR AIR INTAKE CONNECTED TO THE REAR SIDE OF AN AIR HANDLER SHALL BE CONSIDERED TO PROVIDE SUPPLY VENTILATION.
- INDOOR MECHANICAL VENTILATION SYSTEM SHALL BE PROVIDED WITH CONTROLS THAT ENABLE MANUAL OVERSIGHT.
- INDOOR MECHANICAL VENTILATION SYSTEM SHALL PROVIDE OUTDOOR AIR AT A CONTINUOUS RATE OF NOT LESS THAN THAT DETERMINED IN ACCORDANCE WITH TABLE 9.03.01.01.

PROVIDE A MINIMUM SEPARATION OF 10 FEET BETWEEN THE MATCH HEADERS (SEE DRINKING WATER LOCATION) AND THE COMBUSTION AIR INTAKE OPENING FOR THE FURNACE.

OUTDOOR AIR INTAKES AND EXHAUSTS SHALL HAVE AUTOMATIC OR GRAVITY DAMPERS THAT CLOSE WHEN VENTILATION SYSTEM IS NOT OPERATING.

- BASEMENT FND NOTES:**
- DO NOT SCALE DRAWINGS
  - TYPICAL BASEMENT SLAB
  - 4" CONC. SLAB W/ 6#6@10" MIN. OVER 6-HL. POLY VAPOR BARRIER OR 4" MIN. GRANULAR FILL ON COMPACTED SAND. GARAGE SLAB
  - 3" MIN. 4" MIN. GRANULAR FILL
  - TYPICAL GRADE
  - 2" SLUSH COAT OVER
  - 4" GRAVEL COVER OVER
  - 4" MIN. VAPOR BARRIER
  - TYPICAL FLOOR SLAB
  - CONCRETE SLAB W/ 6#6@10" MIN. OVER 6-HL. POLY VAPOR BARRIER OR 4" MIN. GRANULAR FILL
  - PROVIDE DRY CLAY BACKFILL UNDER FLOOR SLABS (UNGRAVATED LOCATION)
  - PROVIDE REGULAR BLOCK CUTS AT STEEL COLUMN LOCATIONS
  - CONCRETE JOINTS TO CORNER OF "Z" STRIP OR TIE-BACK JOINTS AS SHOWN WITH MIN. DEPTH OF 1/4 OF SLAB THICKNESS
  - ALL ANKLED WALLS AND FOOTINGS ARE TO BE CONCRETE UNLESS OTHERWISE NOTED
  - SLABE CONCRETE SLAB TO FLOOR DRAINAGE WITHIN 6" OF DRAIN
  - WEAL TRADES RESPONSIBLE FOR PROVIDING AND LOCATING FOUNDATION BULKHEADS. LOCATION OF BULKHEADS FOR UTILITIES SHALL BE DETERMINED BY BULKHEAD PRIOR TO CONSTRUCTION IN ACCORDANCE WITH LOCAL CODES.
  - PROVIDE 2x6 TREATED PLATES ON ALL STEEL UNLESS OTHERWISE NOTED.
  - ALL CONCENTRATED LOADS FROM BEAMS OR GIRDERS TRANSFERRED TO FOUNDATION VIA POINTS BEAMS OR COLUMN BLOCKING.
  - BOTTOM OF STEEL COLUMNS (BEFORE & AFTER) SHALL HAVE A COAT OF RUST INHIBITIVE PAINT OR EQUAL.
  - ELECTRICAL PLAN FOR BASEMENT HAS BEEN INCORPORATED IN THE FINISHED BASEMENT PLAN ON SHEET BA.
  - PROVIDE 1/2" MIN. LIME PLASTER AT TOP & BOTTOM IN FOUNDATION WALL AND AT FOOTING GRADE CHANGES
  - FOR ADDITIONAL NOTES SEE SPECIFICATIONS AND DETAILS
  - EL. TOP OF FOUNDATION IS AT 0'-0" UNLESS OTHERWISE NOTED
  - PROVIDE 1/2" DIA. ANCHOR BOLTS # 3@4" O.C. MAX. 4" MIN. FROM END OF WALL PLATE. MIN. 2" FROM EXTERIOR END OF TRACES INTO CONC.
  - PROVIDE MIN. 4" CONCRETE COVER AT REAR AND UTILITY LOCATIONS WHEN CONCRETE ENCLOSURE OF UTILITY LINES IS REQUIRED. UTILITIES SHALL BE LAPPED SUFFICIENTLY BELOW SLAB TO ALLOW CONCRETE COVERAGE.
  - PROVIDE ALL WEAL HEADERS WITH ANK. PAD LOCATION. INSURE PENETRATION OF POURED CONCRETE SLAB FOR HOOK-UPS TO HANG TRAP/STAIN.
  - FIELD VERIFY LOCATIONS OF ALL HEADERS, PLUMBING FIXTURES, ELECTRICAL PANEL, AND SERVICE LINES PRIOR TO POURING CONCRETE SLAB.
  - ALL DESIGN REVISIONS, ENGINEERING, INSULATION AND LIABILITY OF SOIL CONDITIONS AND STRUCTURAL DESIGN ARE TO BE THE RESPONSIBILITY OF THE BUILDING DEVELOPER OR ITS SUBCONTRACTORS INVOLVED WITH DESIGN AND INSTALLATION OF SOIL AND THE ARCHITECT SHALL NOT BE HELD LIABLE OR RESPONSIBLE FOR THEIR IMPLEMENTATION.



These drawings were prepared under my supervision and to the best of my knowledge and belief they comply with all applicable codes.

*Fredrick E. Gilmore*

REV	DESCRIPTION	DATE

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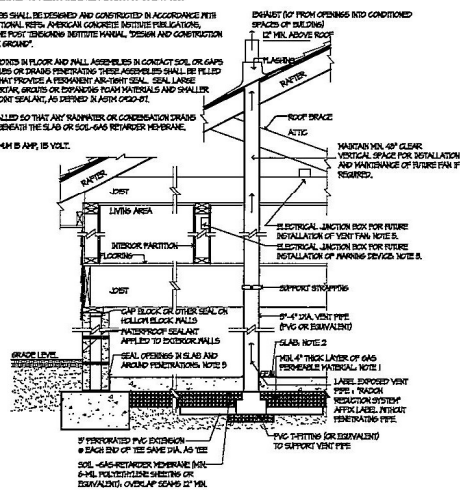
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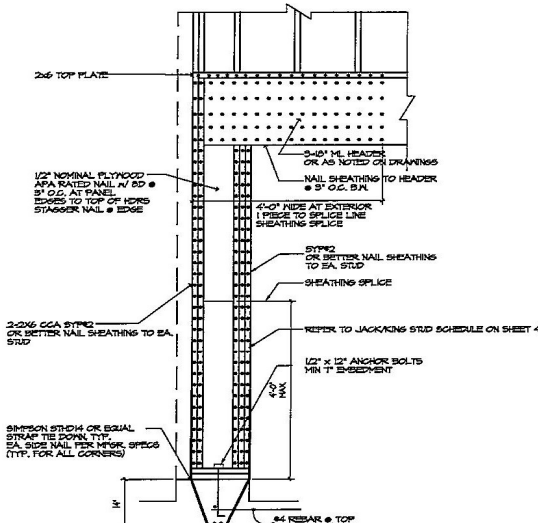
**NOTES:**

1. ALL CONCRETE SLABS THAT COME IN CONTACT WITH THE GROUND SHALL BE LAD OVER A GAS PERMEABLE MATERIAL, MIN. 1/4" THICK, A MINIMUM 4" THICK UNFINISHED LAYER OF CLEAN AGGREGATE, OR A MINIMUM 4" THICK UNFINISHED LAYER OF SAND, OVERLAIN BY A LAYER OR STRIPS OF MANUFACTURED MATING DESIGNED TO ALLOW THE LATERAL FLOW OF AIR.
2. ALL CONCRETE FLOOR SLABS SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH LOCAL BUILDING CODES. ADDITIONAL REINFORCING CONCRETE REINFORCEMENT SHALL BE PROVIDED AS REQUIRED BY THE PROJECT ARCHITECT'S DETAIL MANUAL. DESIGN AND CONSTRUCTION OF REINFORCED SLABS ON GROUND?
3. ALL OPENINGS, GAPS AND JOINTS IN FLOOR AND WALL ASSEMBLIES IN CONTACT WITH SOIL OR GASES FROM PIPES, TOILETS, BATHS OR DRAINS PENETRATING THESE ASSEMBLIES SHALL BE FILLED OR GASED WITH MATERIALS THAT PROVIDE A PERMANENT AIR-TIGHT SEAL. SEAL LARGELY OPENINGS WITH NON-FRAGILE, FLEXIBLE GROUTS OR EXPANDING FOAM MATERIALS AND SMALLER GAPS WITH AN ELASTOMERIC JOINT SEALANT, AS DESIGNED IN ASTM C920-07.
4. VENT PIPES SHALL BE INSTALLED SO THAT ANY RAINWATER OR CONDENSATION DRAINS DOWNWARD INTO THE GROUND BENEATH THE SLAB OR SOIL-GAS RETARDER MEMBRANE.
5. CROCKETS SHOULD BE A MINIMUM 8" DIA. IS VOLT.



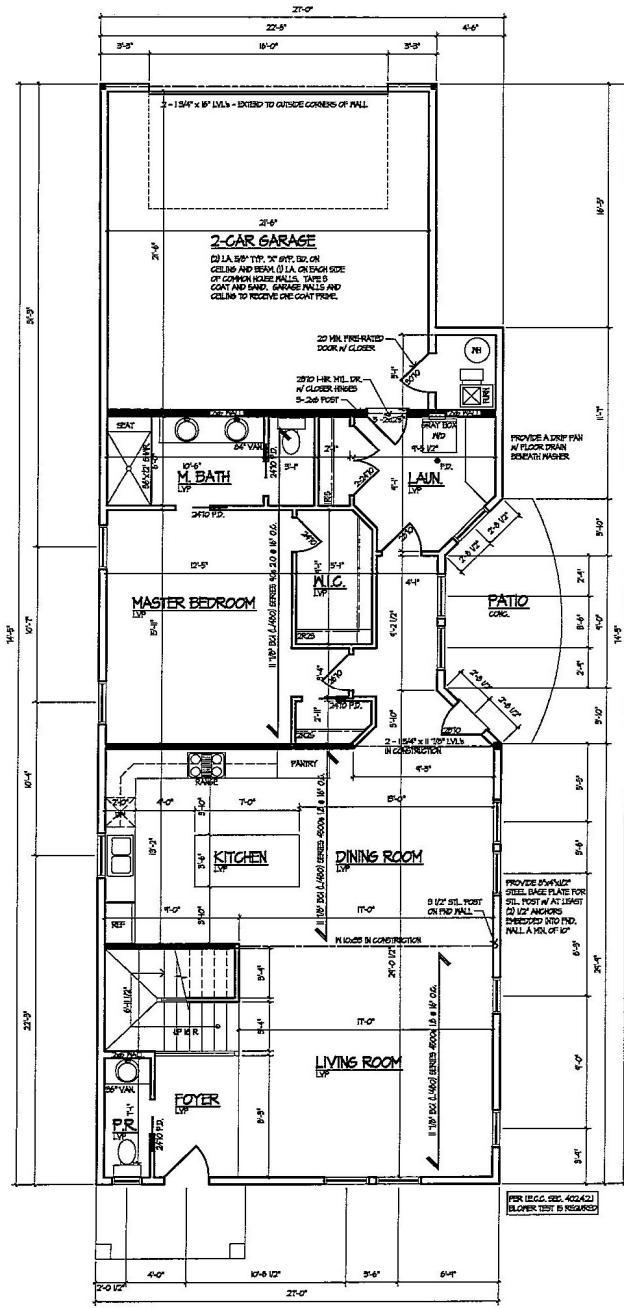
**PASSIVE SUB-SLAB DEPRESSURIZATION RADON CONTROL SYSTEM FOR NEW CONSTRUCTION**

SCALE: 3/4" = 1'-0"



**BRACED WALL PANEL W/ HOLD DOWNS**

SCALE: 3/4" = 1'-0"



**FIRST FLOOR PLAN**

FIRST FLR. = 1266 SF.  
SECOND FLR. = 750 SF.  
TOTAL = 2016 SF.  
GARAGE = 820 SF.  
OFF. THIS ROOM = 400 SF.

DOUBLE ALL DOORS UNDER BATHROOMS AND LAUNDRY EQUIPMENT.  
ALL WINDOW WALLS ARE 1/2\"/>

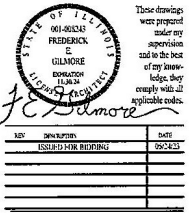
- FLOOR PLAN NOTES:**
1. ALL INTERIOR NON-LAND BEARING WALLS TO BE 2X4 STUD @ 16" O.C. UNLESS OTHERWISE NOTED.
  2. ALL UNDETERMINED PARTITIONS ARE 2" X 4" NOSH.
  3. ALL UNDETERMINED PARTITIONS ARE 4X6 UNLESS OTHERWISE NOTED.
  4. 2X4 @ 16" AT EACH END OF ALL BEAMS AND GIRDERS UNLESS OTHERWISE NOTED. ALL SUCH CONCENTRATED LOADS SHALL BE TRANSFERRED TO FOUNDATIONS VIA BEAMS, POSTS OR SOLD BULKHEADS.
  5. ALL EXTERIOR PARTITIONS ARE TO FACE OF EXTERIOR UNLESS OTHERWISE NOTED.
  6. ALL TREES TO BEAR ON EXTERIOR WALLS AND/OR GIRDERS TRUSSES UNLESS OTHERWISE NOTED.
  7. TRUSS MTS. TO SIZE MEMBERS, FASTENERS, HANGERS AND SET SPACING FOR ALL TRUSSES.
  8. JOIST SUPPLIES TO VERIFY AT LEAST ONE JOIST IN EACH BEDROOM TO HAVE A CLEAR SPACING OPENING OF 5/8" SQ. FT. WITH MIN. DIMENSION OF 24" IN HEIGHT AND 30" IN WIDTH AND SILL HEIGHT TO GREATER THAN 44" ABOVE FLOOR.
  9. WALLS OVER 10 FEET HIGH SHALL HAVE HOLD-DOWNS/ANCHORS LOCATED AT JOINT IN SHEATHING.
  10. ALL INTERIOR BALUSTERS TO BE SPACED SUCH THAT 4" SPHERE CAN NOT PASS BETWEEN BALUSTERS.
  11. ALL ELECTRICAL AND MECHANICAL EQUIPMENT 4 FEET OR ABOVE SHALL BE RELOCATED TO THE FLOOR CONDITIONS CONTRACTOR TO VERIFY.
  12. ALL INTERIOR HEAD HEIGHTS AT 6'-0" SHALL BE UNLESS OTHERWISE NOTED.
  13. PROVIDE 1/4" DIA. BY CORNER OR RATED STEEL DOOR AT HOSE TO GARAGE DOOR. W/ GLOSER.
  14. ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE 5/8" DIA. 6" X 6" DOOR ON THE WALLS AND GIRDERS.
  15. ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE 5/8" DIA. 6" X 6" DOOR ON THE WALLS AND GIRDERS.
  16. PROVIDE ACCESSIBLE UNITS AT PARALLELS, PARTITIONS AND SOLD BULKHEADS AT PERPENDICULAR PARTITIONS.
  17. PROVIDE 1/2" DIA. 1/2" X 1/2" PLATE HEADERS OVER ALL EXTERIOR OPENINGS UNLESS OTHERWISE NOTED.
  18. ALL EXTERIOR DOOR, WINDOWS, JOISTS, POSTS, STAIRS, HANDRAILS AND BALUSTERS TO BE PRESURE TREATED UNLESS OTHERWISE NOTED.
  19. PER APPROVAL, VERIFY ALL SPECIFICATIONS AND SHEET DETAILS.
  20. ALL INTERIOR AND DOOR SILL UNITS ARE TO BE 3" X 12" X 6" UNLESS OTHERWISE NOTED.

- 2020 ILLINOIS ENERGY CONSERVATION NOTES:**
1. A PERMANENT CERTIFICATE SHALL BE PROVIDED ON OR IN THE ELECTRICAL DISTRIBUTION PANEL. WHEN ELECTRICAL SERVICE INTERRUPTION IS COMPLETED, THE TYPE OF INSULATION INSTALLED, THE R-FACTORS, AND THE TYPES OF ATTENUATION OF HEATING COOLING, AND SERVICE PRACTICES BEING EMPLOYED. THIS BE COMPLETED BY THE BUILDER OR A REGISTERED DESIGN PROFESSIONAL.
  2. INSULATION AND PENETRATION-THE BUILDING THERMAL ENVELOPE SHALL MEET THE REQUIREMENTS OF TABLE 1203.1.
  3. AIR LEAKAGE-THE BUILDING THERMAL ENVELOPE SHALL COMPLY WITH TABLE 1203.1.
  4. ONE PROGRAMMABLE THERMOSTAT FOR EACH SEPARATE HEATING AND COOLING SYSTEM. INITIALLY PROGRAMMED MAX TO DECREASE HEAT AND NOT LOWER THAN TO DECREASE COOLING.
  5. MECHANICAL SYSTEM EFFICIENCY - NOT DECREASED OR LOS DECREASED INCLUDE WITH MINIMUM R-10. COOLING AND HOT WATER SYSTEMS NOT BUILT OVER 100'. HOT WATER PIPE INSULATION R-2.
  6. MECHANICAL INSULATION-THE BUILDING SHALL BE PROVIDED WITH VENTILATION THAT MEETS THE REQUIREMENTS OF TABLE 1203.1. OUTDOOR AIR DOWNS AND EXHAUST SHALL HAVE AUTOMATIC OR GRAVITY DAMPERS. LIGHTING EQUIPMENT-A MINIMUM OF 10% OF THE LAMPS IN PERMANENTLY INSTALLED FIXTURES SHALL HAVE HIGH-EFFICIENCY LAMPS.
  7. WINDOW, SKYLIGHTS, AND SLIDING GLASS DOORS SHALL HAVE AN AIR INFILTRATION RATE OF NO MORE THAN 0.25 CFM PER SF. AND SHROUD DOORS NO MORE THAN 0.5 CFM PER SF.
  8. WINDOW U-FACTOR SHALL BE 0.30 OR BETTER.
  9. LEAVE ALL MANUFACTURED OPENINGS ON WINDOWS AND DOORS UNIL AFTER INSULATION INSPECTION.

**JACK STUD REQUIREMENTS FOR 16" STUD SPACING**

SIZE OF OPENING (FEETxINCH)	No. of JACK STUDS	No. of END STUDS
1'-0" TO 1'-6"	1	1
1'-6" TO 2'-0"	2	2
2'-0" TO 2'-6"	3	3
2'-6" TO 3'-0"	4	4
3'-0" TO 3'-6"	5	5
3'-6" TO 4'-0"	6	6
4'-0" TO 4'-6"	7	7
4'-6" TO 5'-0"	8	8

**LEAKAGE NOTE:**  
BUILDING SHALL BE TESTED AND VERIFIED AS HAVING AIR LEAKAGE NOT EXCEEDING 5 CHANGES PER YEAR. AFTER COMPLETION OF ALL PENETRATIONS OF THE BUILDING THERMAL ENVELOPE. TESTING SHALL BE CONDUCTED WITH BLUERS AS A PRESENCE OF TOXIC GASES. A WRITTEN AIR LEAKAGE REPORT SHALL BE PROVIDED TO THE OWNER OFFICIAL.  
BUILDING SHALL BE PROVIDED WITH VENTILATION THAT MEETS THE REQUIREMENTS OF THE IBC OR I.E. AUTOMATIC AIR INTAKE AND EXHAUST SHALL HAVE AUTOMATIC OR GRAVITY DAMPERS THAT CLOSE WHEN THE VENTILATION SYSTEM IS NOT OPERATING.  
A LEAK TEST IS REQUIRED FOR ANY EXTERIOR OUTSIDE OF THE CONDITIONED SPACE. TEST SHALL BE PERFORMED BY AN APPROVED OUTSIDE THIRD PARTY. SUBJECT TEST RESULTS TO THE VILLAGE PRIOR TO CALLING FOR FINAL INSPECTION.



REV: 1/20/2020  
ISSUED FOR BUILDING: 02/24/20

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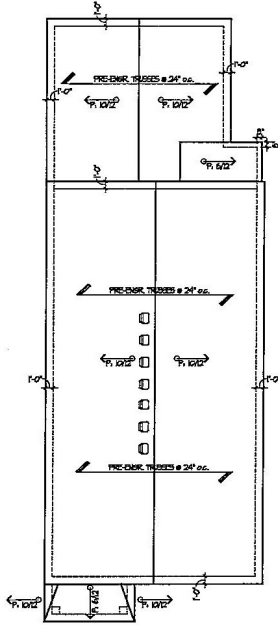
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**FLOOR PLAN NOTES:**

1. DO NOT SCALE DRAWINGS
2. ALL INTERIOR NON-LOAD BEARING WALLS TO BE 2x4 STUD @ 16" O.C. UNLESS OTHERWISE NOTED.
3. ALL NON-BEARING PARTITIONS ARE 3/4" GYP.
4. 5'-0" MIN AT EACH END OF ALL BEAMS AND OTHER JOISTS UNLESS OTHERWISE NOTED. ALL JOIST CONCENTRATED LOADS SHALL BE TRANSFERRED TO TONGUE AND GROOVE FLOORING.
5. ALL EXTERIOR DIMENSIONS ARE TO FACE OF SHEATHING UNLESS OTHERWISE NOTED.
6. ALL TRUSSES TO BEAR ON EXTERIOR WALLS AND/OR GROUND TRUSSES UNLESS OTHERWISE NOTED.
7. TRUSS HVLS TO SIZE MEMBERS, FASTENERS, HANGERS AND SET SPACING FOR ALL TRUSSES.
8. HOOKUP SUPPLIER TO VERIFY AT LEAST ONE PERSON IN EACH BEDROOM TO HAVE A CLEAN BREEZE OPENING OF 22 SQ. FT. MIN. DIMENSION OF 24" IN HEIGHT AND 20" IN WIDTH AND SHALL BE NO GREATER THAN 44" ABOVE FLOOR.
9. WALLS OVER 10 FEET HIGH SHALL HAVE 1" BRACKETS LOCATED AT JOINTS & SUBSTITUTED.
10. ALL HANDRAIL BALUSTERS TO BE SPACED SUCH THAT 4" SPHERE CAN NOT PASS BETWEEN BALUSTERS.
11. ALL ELECTRICAL AND MECHANICAL EQUIPMENT 4' HEIGHTS ARE SUBJECT TO RELOCATION DUE TO FIELD CONDITIONS. CONTRACTOR TO VERIFY.
12. ALL MODERN HEND HEADERS AT 4'-10" MIN UNLESS OTHERWISE NOTED.
13. PROVIDE 1/2" DIA. CORE 1" DIA. WOOD STEEL. LOOK AT HOSE TO GARAGE DOOR, W/ GLOSER.
14. ENCLOSE ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE 30" TYP. TO 60" TO ON THE WALLS AND CEILING.
15. PROVIDE DOUBLE JOISTS AT PARALLEL PARTITIONS AND WELDED BLOCKING AT PERPENDICULAR PARTITIONS.
16. PROVIDE 2x4 @ 12" TYP. HEADERS OVER ALL EXTERIOR OPENINGS UNLESS OTHERWISE NOTED.
17. ALL EXTERIOR 2x4 DECKING, JOISTS, POSTS, STAIRS, HANDRAILS AND BALUSTERS TO BE PRESSURE TREATED UNLESS OTHERWISE NOTED.
18. FOR ADDITIONAL NOTES SEE SPECIFICATIONS AND SHEET DETAILS.
19. ALL WINDOW AND DOOR STEEL LEVELS ARE TO BE 1/8" TYP. UNLESS OTHERWISE NOTED.



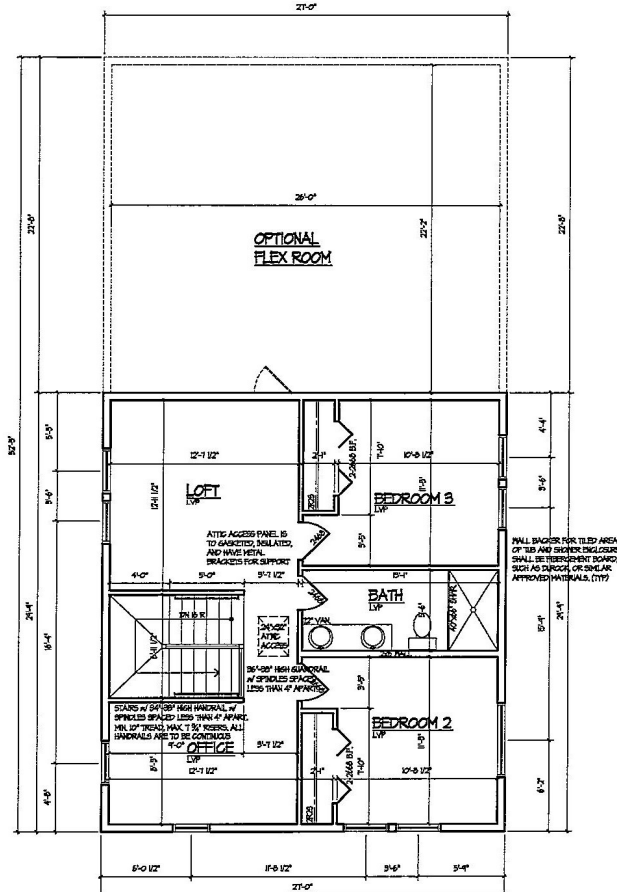
**ROOF PLAN**

SCALE: 1/8" = 1'-0"

**TRUSS/ROOFING:**  
 140 SQ. FT. OF ATTIC AREA TO BE VENTED  
 140 X 1500 = 210,000 SQ. FT. FREE AREA REQUIRED TOTAL  
 150 X 144 = 21,600 SQ. FT. = 18%  
 21,600 ÷ 6.2 (1 FOOT VENTS REQUIRED)  
 3484.84 = 3485 (6 SOFFIT VENTS REQUIRED)

**GARAGE ROOF:**  
 820 SQ. FT. OF ATTIC AREA TO BE VENTED  
 820 X 1500 = 1,230,000 SQ. FT. FREE AREA REQUIRED TOTAL  
 170 X 144 = 24,480 SQ. FT.  
 24,480 ÷ 10.2 (8 SOFFIT VENTS REQUIRED)

**NOTE:**  
 ALL ROOF TRUSSES ARE TO TRANSFER LOADS TO EXTERIOR WALLS  
 ALL ROOF OR HANGERS ARE TO BE 1-1/2" UNLESS NOTED OTHERWISE ON THE ROOF PLAN



**SECOND FLOOR PLAN**

SCALE: 1/8" = 1'-0"

**FINISH:**  
 R-5 INSULATION REQUIRED OUTSIDE OF DECKING OR BETWEEN THE DECK & EXTERIOR FINISH

**HEADER NOTE:**  
 ALL HEADERS FOR EXTERIOR WINDOWS ARE TO BE INSTALLED DIRECTLY ABOVE THE WALL FINISH PLATES

ALL INTERIOR WALLS ARE 5/8" UNLESS OTHERWISE NOTED



These drawings were prepared under my supervision and to the best of my knowledge they comply with all applicable codes.

NO.	REVISIONS	DATE
	ISSUED FOR BIDDING	

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1. SPECIFY ALL 120-VOLT, SINGLE PHASE IS AND 20-AMP RECEPTACLES THAT SERVE COATERS OF SURFACES SHALL HAVE A GROUND FAULT CIRCUIT INTERRUPTER PROTECTION FOR PERSONS.
2. BATHROOMS: ALL 120-VOLT, SINGLE PHASE IS AND 20-AMP RECEPTACLES INSTALLED SERVE IN BATHROOMS SHALL HAVE A GROUND FAULT CIRCUIT INTERRUPTER PROTECTION FOR PERSONS.
3. BATHROOM GFCI: ALL BATHROOM GFCI THAT SERVE 120-VOLT, SINGLE PHASE IS AND 20-AMP RECEPTACLES INSTALLED IN SHOWER AND JET TUBS SHALL BE PROTECTED BY AN ARC-Fault CIRCUIT INTERRUPTER LISTED TO PROVIDE PROTECTION OF THE ENTIRE BRANCH CIRCUIT.
4. RECESSED FIXTURES INSTALLED IN THE BELLING SHALL BE SECOND FLOOR CEILING ARE TO BE RATED OR INSTALLED IN A SEALED BOX CONSTRUCTED OF A 1/2" THICK WALLBOARD.
5. METAL TRUSS IS TO BE PROVIDED FOR REMOTE WATER METER READER. COORDINATE LOCATION WITH BUILDING INSPECTOR.
6. DIMENSION OF SIZE OF PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH EFFICACY LIGHTS.
7. SURFACE MOUNTED INCANDESCENT FIXTURES ARE TO BE INSTALLED NO CLOSER THAN 10" TO THE NEAREST STORAGE SPACE. SURFACE MOUNTED FLUORESCENT FIXTURES ARE TO BE INSTALLED NO CLOSER THAN 6" TO THE NEAREST STORAGE SPACE. RECESSED INCANDESCENT AND FLUORESCENT FIXTURES WITH COMPLETELY RECESSED LAMP NO CLOSER THAN 1" TO NEAREST STORAGE SPACE.
8. ALL 120-VOLT, SINGLE PHASE IS AND 20 AMPERE BRANCH CIRCUITS SERVING OUTLETS INSTALLED IN SLEEPING QUARTERS, BATHS, SHOWER ROOMS, LINEN ROOMS, HALLS, LIVING ROOMS, KITCHENS, PANTRY, BREAKFAST ROOMS, REAR PORCH, CLOSETS, HALLWAYS, OR SLEEPING ROOMS OR AREAS SHALL BE PROTECTED BY A LISTED ARC-Fault CIRCUIT INTERRUPTER, COMBINATION TYPE, INSTALLED TO PROVIDE PROTECTION OF THE CIRCUIT. ALL RECEPTACLES SHALL BE LISTED "WATERTIGHT RESIDENTIAL RECEPTACLES."
9. ALL STAIRWAYS SHALL BE PROVIDED WITH A LIGHT IN THE IMMEDIATE VICINITY OF EACH AND EVERY LANDING OF THE STAIRWAY, INCLUDING TOP AND BOTTOM. THE CONTROL FOR THESE LIGHTS SHALL BE A 3-WAY SWITCH LOCATED AT THE TOP AND BOTTOM OF THE STAIRS.
10. SEPARATE CIRCUITS SHALL BE PROVIDED FOR ALL RANGES, OVENS, WATER HEATERS, LAUNDRY, GARAGE ORIGINAL, MICROWAVE, COFFEE MAKER, FOOD PROCESSOR, REFRIGERATOR, PINKIE SINKS, VACUUM, TUBS WITH PUMPS, STEAM GENERATORS, SHIP AND ELEVATOR PUMPS, FURNACES, AND AIR CONDITIONERS.
11. COMBUSTIBLE RECEPTACLES ARE TO BE INSTALLED NO POINT ALONG THE WALL IS MORE THAN 20" FROM A RECEPTACLE OUTLET.
12. A CONDENSATE OUTLET SHALL BE INSTALLED FOR SERVICES OF HEATING AND COOLING AND REFRIGERATION EQUIPMENT.
13. SMOKE ALARM POWER SOURCE SHALL NOT BE CONNECTED TO A DEDICATED CIRCUIT.

**ELECTRICAL NOTES:**

ALL LIGHT / FAN FIXTURES IN THE BATHROOMS SHALL HAVE A DEDICATED SWITCH THAT OPERATES ONLY THE FAN FOR SECTION VAN 4(A)

A LIGHT FIXTURE SHALL BE INSTALLED WITHIN 5 FEET OF THE ELECTRICAL PANEL FOR SECTION VAN 4(A)

THE DISCONNECTER SHALL HAVE A DISCONNECT SWITCH LOCATED ON THE WALL IN THE IMMEDIATE VICINITY OF THE APPLIANCE FOR SECTION VAN 3(B)

WATER PIPES AND GAS PIPE OF THE WATER HEATER SHALL BE SHIELDED.

ALL RECEPTACLES SHALL BE SHOCK RESISTANT.

ALL BEDROOM RECEPTACLES AND SMOKE DETECTORS SHALL BE ARC-Fault CIRCUIT INTERRUPTER PROTECTED.

GFI RECEPTACLES IN THE GARAGE SHALL BE 4 FEET ABOVE THE FLOOR.

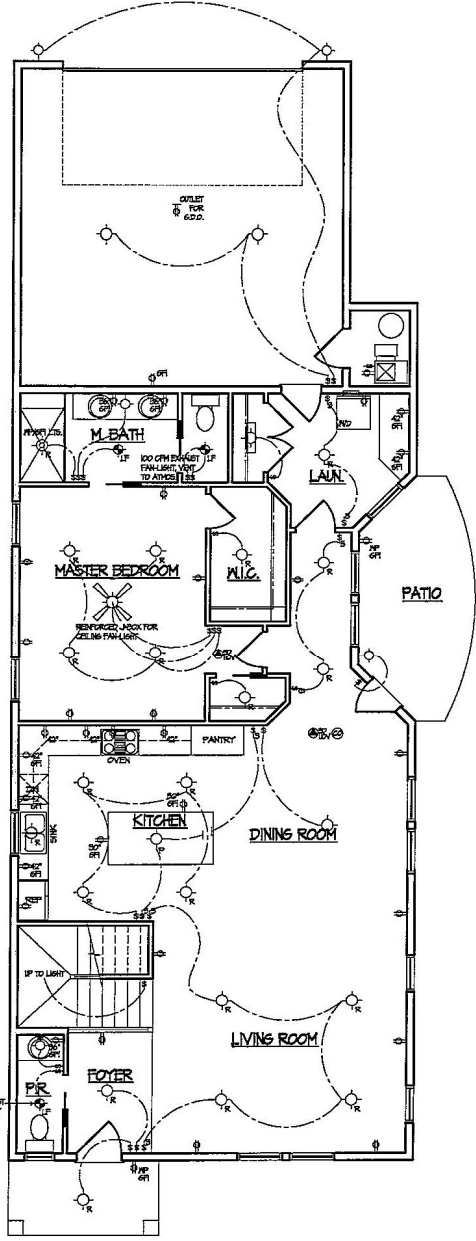
1.5 KW/20 AMP FAN GENERATOR FIXTURE SHALL HAVE A DEDICATED SWITCH TO OPERATE THE FAN.

PROVIDE ARC-Fault PROTECTION (AFPI) FOR OUTLETS AND SWITCHES IN THE KITCHEN, PANTRY, ROOM, OFFICE, BATHROOM, SHOWER ROOM, LIVING ROOM, BEDROOMS, CLOSETS, PANTRY, HALLS, LAUNDRY ROOM AND REAR PORCH RECEPTACLES.

THE SMOKE DETECTORS SHALL BE AFPI PROTECTED ON A DEDICATED CIRCUIT.

LOW VOLTAGE PIPING THAT IS INACCESSIBLE SHALL BE IN D.C. CONDUIT.

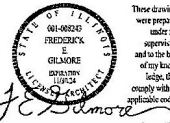
FOLLOWING APPLIANCES AND EQUIPMENT SHALL HAVE A DEDICATED CIRCUIT:  
 EACH FURNACE, EACH AIR CONDITIONER, EACH WATER HEATER, MICROWAVE, DISHWASHER, REFRIGERATOR, AND OVEN.  
 THE FOLLOWING APPLIANCES AND EQUIPMENT SHALL HAVE A DEDICATED SWITCH: EACH AIR CONDITIONER, EACH WATER HEATER, AND DISHWASHER.



**FIRST FLOOR ELECTRICAL PLAN**  
 SCALE: 1/8" = 1'-0"

- ELECTRICAL PLAN NOTES:**
1. DO NOT SCALE DRAWINGS
  2. ELECTRICAL CONTRACTOR IS TO VERIFY RECESSED DIRECT HOOKUPS AND COUPLERS.
  3. HVAC CONTRACTOR TO VERIFY REFRIGERANT LOCATIONS.
  4. ALL ELECTRICAL AND MECHANICAL EQUIPMENT ARE SUBJECT TO RELOCATION DUE TO FIELD CONDITIONS.
  5. ALL SMOKE DETECTORS AND GAS DETECTORS TO BE 1/2" PIPED IN SERIES IN BATTERY BACKUP INTERCONNECTED TO ALL OTHERS. 10L 5" FROM ALL BEDROOM DOORS. 10L 1 SMOKE DETECTOR PER FLOOR AND ONE IN EACH SLEEPING ROOM.
  6. PROVIDE AND INSTALL LOGICALLY CENTERED SMOKE DETECTORS AS REQUIRED BY NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) AND MEETING THE REQUIREMENTS OF ALL GOVERNING CODES.
  7. PROVIDE AND INSTALL GROUND FAULT CIRCUIT INTERRUPTERS (GFCI) AS REQUIRED BY NATIONAL ELECTRIC CODE (NEC) AND MEETING THE REQUIREMENTS OF ALL GOVERNING CODES.
  8. GROUND FAULT FOR SERVICE DISTRIBUTION TO BE LOCATED ON STREET SIDE OF WATER METER, 8' FROM STREET SIDE OF WATER METER, AND JAWER ABOVE METER. METER SCHEDULE SHALL HAVE DRIVEN GROUND ROD.
  9. PROVIDE GFCI PROTECT FROM WATER METER THROUGH OFFICE HALLWAY REVERSE METER READER. (LOCATE NEAR GAS METER)
  10. PROVIDE AN EXTERIOR DISCONNECT SWITCH ON THE EXTERIOR SERVICE.
  11. ALL NON-PROTECTED OUTLETS IN THE BASEMENT SHALL BE 120 VOLT, 15 OR 20 AMP GFI PROTECTED RECEPTACLES.
  12. PROVIDE GLOWE LAMPS ON ALL FLUORESCENT FIXTURES.

ELECTRICAL SYMBOLS		ALL DISCONNECT SW. OUTLETS SHALL BE INSTALLED WITH IN USE COVER
1-0	SINGLE POLE SWITCH	HEAT LAMP
1-0P	THREE POLE SWITCH	FAN
1-0B	POUR FLOOR SWITCH	FAN / LIGHT
1-0-B	HEADER PROOF SWITCH/GROUND FAULT INTERRUPTER	FAN / LIGHT / HEAT LAMP
1-0	PROTECT	EMERGENCY LIGHT WITH BATTERY BACKUP
1-0-B	HEADER PROOF GROUND FAULT INTERRUPTER IN USE (SEE COVER)	SURFACE MOUNTED FIXTURE
1-0	SINGLE OUTLET	SURFACE MOUNTED FIXTURE WITH FULL GAIN
1-0B	DUPLEX OUTLET	WALL MOUNTED FIXTURE
1-0B	DUPLEX OUTLET - ONE HALF SWITCHED	RECESSED FIXTURE
1-0B	220 VOLT OUTLET	RECESSED EXTERNAL FIXTURE
1-0B	THERMOSTAT	2 LIGHT TRACK - NUMBER INDICATES NUMBER OF LIGHTS (SEE LIST)
1-0B	JUNCTION BOX	24" STEP LIGHT - NUMBER INDICATES LENGTH (SEE LIST)
1-0B	GARAGE/PERSONAL	1x4
1-0B	120 VOLT SMOKE DETECTOR (W/BACKUP BY BATTERY)	2x4
1-0B	CARBON MONOXIDE ALARM	2x2
1-0B	1-0B	4x4
1-0B	DOOR BELL SWITCH	
1-0B	DOOR BELL CHimes	
1-0B	TELEPHONE OUTLET	
1-0B	CABLE TELEVISION OUTLET	
1-0B	INTERCOM	
1-0B	ELECTRICAL PANEL	
1-0B	ELECTRICAL METER	
1-0B	INDICATES WATERPROOF	DIMENSIONS WITH SYMBOL INDICATES HEIGHT ABOVE FLOOR
1-0B	INDICATES GROUND FAULT INTERRUPT	

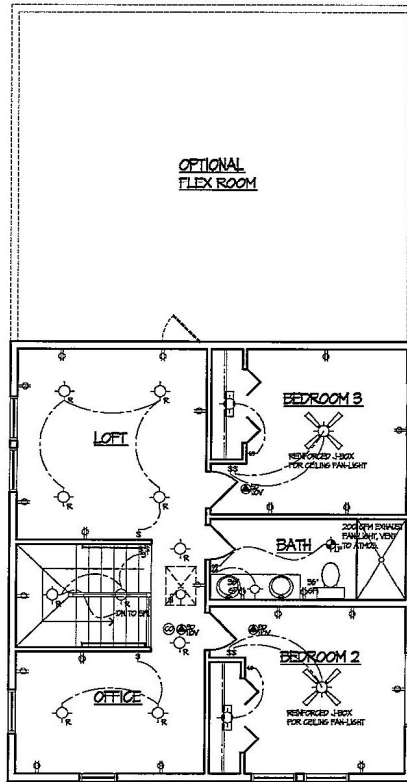


REV	DESCRIPTION	DATE
		04.24.23

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**SECOND FLOOR ELECT. PLAN**

SCALE 1/4"=1'-0"

WATER PIPES AND GAS PIPES OF THE WATER HEATER SHALL BE PROPERLY BORGED.  
 ALL RECEPTACLES SHALL BE TAMPER RESISTANT.  
 ALL BREAKROOM RECEPTACLES AND SMOKE DETECTORS SHALL BE ARC-FULTY GREAT  
 INTERRUPTER PROTECTED.  
 GFCI RECEPTACLES IN THE GARAGE SHALL BE 4 FEET ABOVE THE FLOOR.  
 LIGHT-DIMMABLE PAN COMBINATION FIXTURES SHALL HAVE A DEDICATED SWITCH  
 TO OPERATE THE PAN.

1. KITCHEN: ALL 125-VOLT, SINGLE PHASE 5 AND 20-AMP RECEPTACLES THAT SERVE COUNTERTOP SURFACES SHALL HAVE AN GROUND FAULT CIRCUIT INTERRUPTER PROTECTION FOR PERSONNEL.
2. BATHROOM: ALL 125-VOLT, SINGLE PHASE 5 AND 20-AMP RECEPTACLES INSTALLED ABOVE  
 IN BATHROOMS SHALL HAVE A GROUND FAULT CIRCUIT INTERRUPTER PROTECTION FOR PERSONNEL.
3. BREAKROOM OUTLETS: ALL BRANCH CIRCUITS THAT SUPPLY 125-VOLT, SINGLE PHASE 5 AND 20-AMP  
 RECEPTACLES INSTALLED IN DWELLING UNITS SHALL BE PROTECTED BY AN ARC-FULTY GREAT  
 INTERRUPTER INSTALLED TO PROVIDE PROTECTION OF THE ENTIRE BRANCH CIRCUIT.
4. RECEPTACLES INSTALLED IN THE BUILDING ENVELOPE SECOND FLOOR (GELING) ARE TO BE 1'-0"  
 RATED OR INSTALLED IN A SEALED BOX CONSTRUCTED OF A 1/2" THICK WALLBOARD.
5. METAL TUBING IS TO BE PROVIDED FOR REMOVE WATER HEATER READER, COORDINATE LOCATION WITH  
 BRIDGES NECESSARY.
6. RECESSED, CEILING OF PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH EFFICACY LIGHTS.
7. SURFACE MOUNTED INCANDESCENT FIXTURES ARE TO BE INSTALLED NO CLOSER THAN 12" TO THE NEAREST  
 STORAGE SPACE. SURFACE MOUNTED FLUORESCENT FIXTURES ARE TO BE INSTALLED NO CLOSER THAN 6" TO  
 THE NEAREST STORAGE SPACE. RECESSED INCANDESCENT AND FLUORESCENT FIXTURES WITH COMPLETELY  
 ENCLOSED LAMP NO CLOSER THAN 6" TO NEAREST STORAGE SPACE.
8. ALL 120 VOLT, SINGLE PHASE 5 AND 20 AMPERE BRANCH CIRCUITS SUPPLYING OUTLETS INSTALLED IN  
 DWELLING UNIT FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, HALLWAYS, LEVERAGED STAIRS, BEDROOMS,  
 GARAGES, PISO ROOMS, CLOSETS, HALLWAYS, OR STORAGE ROOMS OR AREAS SHALL BE PROTECTED BY A  
 LISTED ARC-FULTY INTERRUPTER, COPPERATION TYPE, INSTALLED TO PROVIDE PROTECTION OF THE CIRCUIT.  
 ALL RECEPTACLES SHALL BE LISTED TAMPER RESISTANT RECEPTACLES.
9. ALL STAIRWAYS SHALL BE PROVIDED WITH A LIGHT IN THE IMMEDIATE VICINITY OF EACH AND EVERY  
 LANDING OF THE STAIRWAY, INCLUDING TOP AND BOTTOM. THE CONTROL FOR THESE LIGHTS SHALL BE A  
 3-WAY SWITCH LOCATED AT THE TOP AND BOTTOM OF THE STAIRS.
10. GARAGE CIRCLES SHALL BE PROVIDED FOR ALL RANGES, Ovens, WATER HEATERS, LAUNDRY, GARAGE  
 STORAGE, REFRIGERATOR, COMPACTOR, DISHWASHER, FOOD PROCESSOR, REFRIGERATOR, WHEEL CHAIR VEHICLE  
 LIFT WITH RANGE, STEAM GENERATORS, SUMP AND EJECTOR PUMPS, HANGARS, AND AIR CONDITIONERS.
11. GARAGE SUMP RECEPTACLES ARE TO BE INSTALLED 50 NO POINT ALONG THE WALL IS MORE THAN 24" FROM  
 A RECEPTACLE OUTLET.
12. A CONDENSATE OUTLET SHALL BE INSTALLED FOR SERVICE OF HEATING AND CONDITIONING  
 AND REFRIGERATION EQUIPMENT.
13. SMOKE ALARM POWER SOURCE SHALL NOT BE CONNECTED TO A DEDICATED CIRCUIT

**ELECTRICAL PLAN NOTES:**

- DO NOT SCALE DRAWINGS
1. ELECTRICAL CONTRACTOR IS TO SUPPLY  
 REQUIRED DIRECT HOOKUPS AND GROUNTS.
  2. HVAC CONTRACTOR TO VERIFY REFRIGERANT  
 LOCATIONS.
  3. ALL ELECTRICAL AND MECHANICAL EQUIPMENT  
 ARE SUBJECT TO RELOCATION DUE TO FIELD  
 CONDITIONS.
  4. ALL SMOKE DETECTORS AND G.D. DETECTORS  
 TO BE 10 V WIRE IN SERIES IN BATTERY BACK UP  
 INTERCONNECTED TO ALL OTHERS. 10K 500" FROM ALL  
 BEDROOM DOORS. 10K 1 BRACK DETECTOR PER  
 FLOOR AND ONE IN EACH SLEEPING ROOM.
  5. PROVIDE AND INSTALL LOCALLY CERTIFIED  
 SMOKE DETECTORS AS REQUIRED BY NATIONAL  
 FIRE PROTECTION ASSOCIATION (NFPA) AND  
 MEETING THE REQUIREMENTS OF ALL  
 GOVERNING CODES.
  6. PROVIDE AND INSTALL GROUND FAULT  
 CIRCUIT-INTERRUPTERS (GFI) AS REQUIRED BY  
 NATIONAL ELECTRIC CODE (NEC) AND MEETING  
 THE REQUIREMENTS OF ALL GOVERNING CODES.
  7. GROUND FAULT FOR SERVICE DISTRIBUTION TO  
 BE LOCATED ON STREET SIDE OF WATER HEATER.
  8. GROUND WIRE FOR SERVICE DISTRIBUTION 40  
 TO STREET SIDE OF WATER HEATER AND JUMPER  
 ACROSS HEATER. METER SOCKET SHALL HAVE  
 TROZEN GROUND WIRE.
  9. PROVIDE 1/2" GROUT FROM WATER HEATER  
 THROUGH OUTSIDE WALL FOR REDUCED HEATER  
 READER. LOCATE NEAR 646 HETTER.
  10. PROVIDE AN EXTERIOR GROUND SWITCH ON  
 THE ELECTRIC SERVICE.
  11. ALL NON-PERMANENT OUTLETS IN THE  
 BATHROOM SHALL BE 20 VOLT, 5 OR 20 AMP  
 60% PROTECTED RECEPTACLES.
  12. PROVIDE CLOSED LAMP ON ALL  
 FLUORESCENT FIXTURES.

ELECTRICAL SYMBOLS		ALL EXTERIOR 120V GFI OUTLETS SHALL BE EQUIPPED WITH 1" WIDE COVERS
1-0	SINGLE POLE SWITCH	BEAT LAMP
1-0-0	THREE POLE SWITCH	FAN
1-0-0-0	FOUR POLE SWITCH	FAN / LIGHT
1-0-0-0-0	WATER PROOF SWITCH/GROUND FAULT INTERRUPTER	FAN / LIGHT / HEAT LAMP
1-0-0-0-0-0	PHOTOCELL	EMERGENCY LIGHT WITH BATTERY BACKUP
1-0-0-0-0-0-0	WATER PROOF GFI OUTLET GROUND FAULT INTERRUPTER w/ IN USE INDICATOR COVER	SURFACE MOUNTED FIXTURE
0	SINGLE OUTLET	SURFACE MOUNTED FIXTURE WITH PULL CHAIN
0-0	DUPLEX OUTLET	WALL MOUNTED FIXTURE
0-0-0	DUPLEX OUTLET - ONE HALF SWITCHED	RECESSED FIXTURE
0-0-0-0	220 VOLT OUTLET	RECESSED RECESSED FIXTURE
0-0-0-0-0	THERMOSTAT	2" LIGHT TRACE - NUMBER INDICATES LENGTH (FEET)
0-0-0-0-0-0	JUNCTION BOX	
0-0-0-0-0-0-0	GARAGE DISCONNECT	
0-0-0-0-0-0-0-0	120 VOLT SMOKE DETECTOR WIRE CONNECTED IN BATTERY BACKUP	
0-0-0-0-0-0-0-0-0	GAS/CO MONITORING ALARM	
1-0-0-0	DOOR BELL BUTTON	STEP LIGHT - NUMBER INDICATES LENGTH (DIECES)
1-0-0-0-0	DOOR BELL CHIMES	1 x 4
1-0-0-0-0-0	TELEPHONE OUTLET	2 x 4
1-0-0-0-0-0-0	CABLE TELEVISION OUTLET	2 x 2
1-0-0-0-0-0-0-0	INTERCOM	4 x 4
1-0-0-0-0-0-0-0-0	ELECTRICAL PANEL	
1-0-0-0-0-0-0-0-0-0	ELECTRICAL METER	
1-0-0-0-0-0-0-0-0-0-0	120 VOLT SMOKE DETECTOR WIRE CONNECTED IN BATTERY BACKUP	
1-0-0-0-0-0-0-0-0-0-0-0	INDICATES WATERPROOF FAULT INTERRUPT	DIMENSIONS WITH SYMBOL INDICATES HEIGHT ABOVE FLOOR

These drawings were prepared under my supervision and to the best of my knowledge they comply with all applicable codes.

*J.C. Gilmore*

BY: \_\_\_\_\_ DATE: \_\_\_\_\_  
 DESCRIPTION: \_\_\_\_\_ ISSUED FOR BIDDING: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

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7

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**ROOF CONSTRUCTION**

ASPHALT SHINGLE(SHOW TEAR) TWO (2) OR ASPHALT IMPREGNATED BUILDING FELT (X) OVER. DESIGN ANGLES PRE-ENGINEERED WOOD TRUSSES AT 24" O.C. ROOF RAFTERS AT EVERY ROOF TRUSS 16" ON CENTER. INSULATION IN INTERNAL VALS. 2" CENTRAL CEILING. ICE AND WATER SHIELD OR APPROVED EQUAL TO BE APPLIED HORIZ. AT GABLE UP SLOPE OF ROOF TO A POINT 24" HIGHER EXTERIOR WALL. VERT. LAPS TO BE MIN. 6". HORIZ. LAPS TO BE MIN. 6". ICE AND WATER SHIELD OR APPROVED EQUAL TO BE APPLIED TO ALL VALLEYS.

PROVIDE SPOON STRAP/TYPE TRUSS CONNECTORS TO ATTACH PRE-ENG. TRUSSES TO TOP PLATE OF STUD FRAMING. TYPICAL FOR ALL TRUSSES.

**FASCIA AND SOFFIT**

ALUMINUM GUTTER & DOWNSPOUTS WITH SPLASH BLOCKS  
 2" LP FIBERGLASS OVER  
 ALUMINUM SOFFIT IN INTERNAL VALLEYS  
 2" LP T&G BOARD OVER  
 5" LP B&B BOARD  
 5" LP 2X4 RAFTERS

**VAPOR BARRIER NOTE**

INTERNAL VAPOR BARRIERS ARE TO BE INSTALLED ON THE WARM IN INSIDE SIDE OF WALLS AND CEILING.

SLIP IN OR SPRAYED ROOF CEILING INSULATION SHALL BE NOTED IN NOTES ON MARKERS THAT ARE INSTALLED AT LEAST ONE FOR EVERY 300 SQ FT. THROUGH THE ATTIC SPACE. MARKERS ARE TO BE AFFIXED TO TRUSSES OR JOISTS.

SLIP IN OR SPRAYED INSULATION (FIBERGLASS AND CELLULOSE) INSTALLATION CERTIFICATION SHALL INCLUDE THICKNESS, SETTLED THICKNESS, SETTLED DENSITY, COVERAGE AREA AND NUMBER OF BAGS SHALL BE LISTED ON CERTIFICATION.

FOR SPRAYED POLYURETHANE FOAM INSULATION THE INSTALLATION THICKNESS OF THE AREAS COVERED AND FINISH OF INSTALLED THICKNESS SHALL BE NOTED ON THE CERTIFICATION. INSULATION INSTALLER IS TO SIGN, DATE, AND POST THE CERTIFICATION ON THE JOB SITE.

**SECOND FLOOR CONSTRUCTION**

24" T&G OSB SHEATHING GULED AND NAILLED  
 1/2" UNDERLAYMENT IN TILED AREAS  
 1" TOP 1/2" FIBERGLASS INSULATION (SEE FLOOR PLAN FOR SPACING AND SPICES)  
 1/2" 1/4" T&G OSB SHEATHING GULED AND NAILLED  
 1/2" GYPSUM BOARD CEILING GULED AND SCREWED TO INCREASE OF FLOOR JOISTS

**WALL CONSTRUCTION**

12" 2X4 STUDS SPACING 16" O.C. TYPICAL. FINISH FOR EXTERIOR. SAME ANGLES ALL ROOMS AND DOOR OPENINGS. PROVIDE RISE BUILT INSULATION IN WALL GABLETS AT INTERNAL VALS. ON WARM SIDE OF WALL. 2" FIBERGLASS INSULATION IN GABLE ROOF BRAYS 8" O.C. AT 12" O.C. 2X4 STUDS.

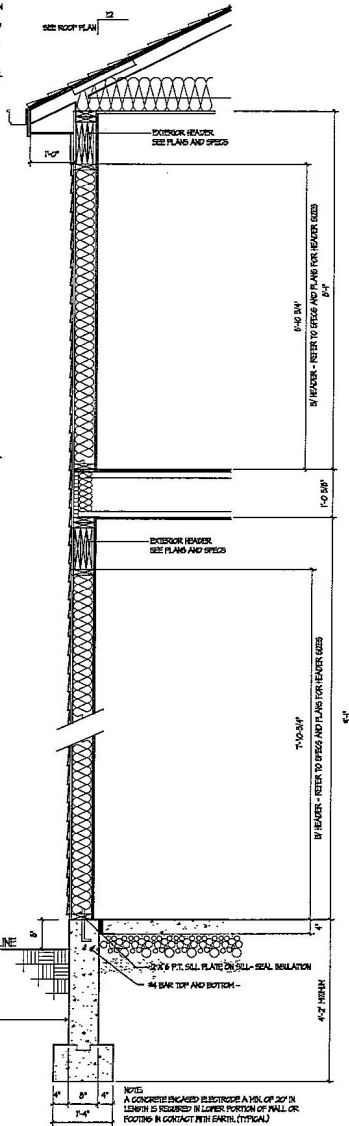
**SILL PLATE**

CONTAINING PRESSURE TREATED SILL PLATE 1/2" SILL SEALER 1/2" DIA. 12" ANCHOR BOLTS 1/2" DIA. 4" PACE TO BE MIN. 6" FROM CORNERS. MIN. 2" PER BOARD

NOTE: TOP OF FOUNDATION IS TO BE A MINIMUM OF 6" ABOVE FINISH GRADE. SFRANT ON DAMP PROOFING OR APPROVED EQUAL.

**CONCRETE SLAB CONSTRUCTION**

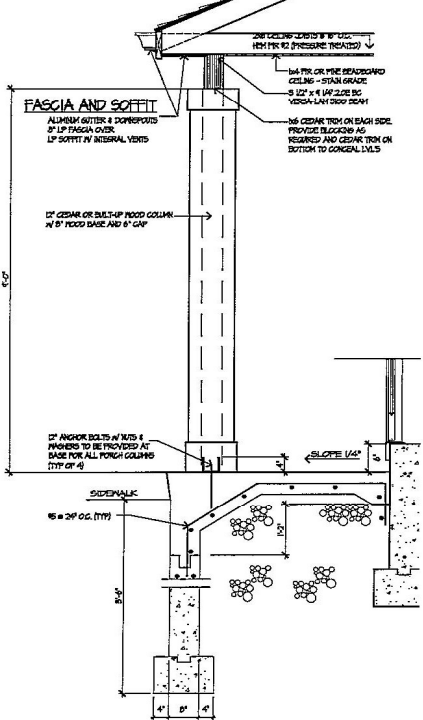
4" CONCR. SLAB w/ 4# 10# REBAR  
 4" MIN. 10# REBAR SPACING  
 OVER 1/2" DIA. 4" COMPACTED GRAVEL OVER COMPACTED SAND  
 (GRAVEL TO BE MIN. 4" 1/2" WASHED STONE)



① FRAME WALL SECTION  
 SCALE: 3/4" = 1'-0"

**ROOF CONSTRUCTION**

STANDING SEAM METAL ROOF DETAIL PER MANUFACTURER'S GUIDELINES. 24\"/>



② PORCH SECTION  
 SCALE: 3/4" = 1'-0"

These drawings were prepared under my supervision and to the best of my knowledge, they comply with applicable codes.

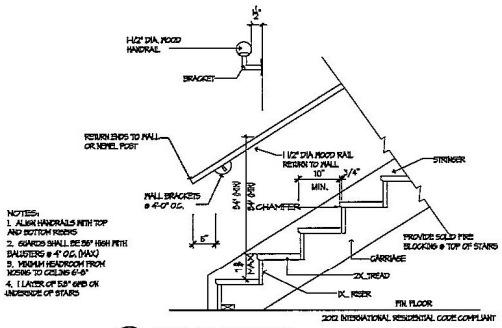
*Frederick Gilmore*

REV	DESCRIPTION	DATE
	ISSUED FOR BIDDING	02/24/24

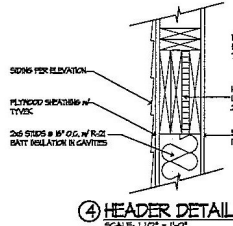
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PLAN 1  
 PALATINE, IL 60067

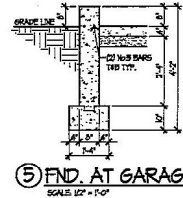
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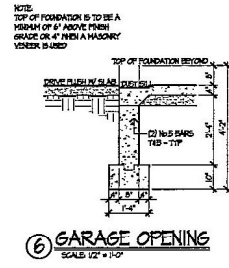
① STAIR DETAIL  
SCALE: 3/4\"/>



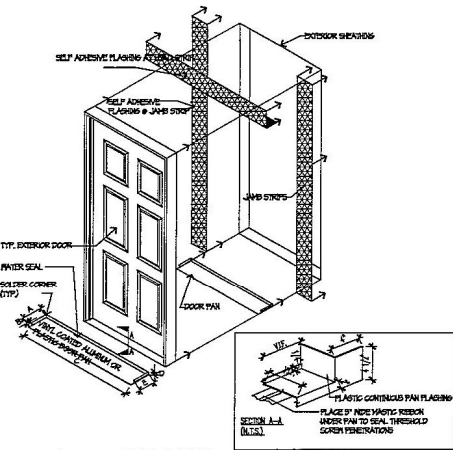
④ HEADER DETAIL  
SCALE: 1/2\"/>



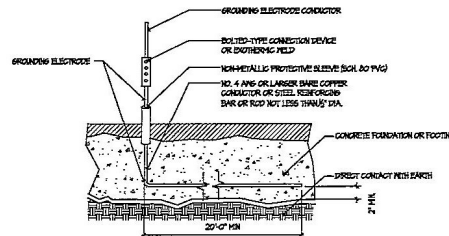
⑤ FND. AT GARAGE  
SCALE: 1/2\"/>



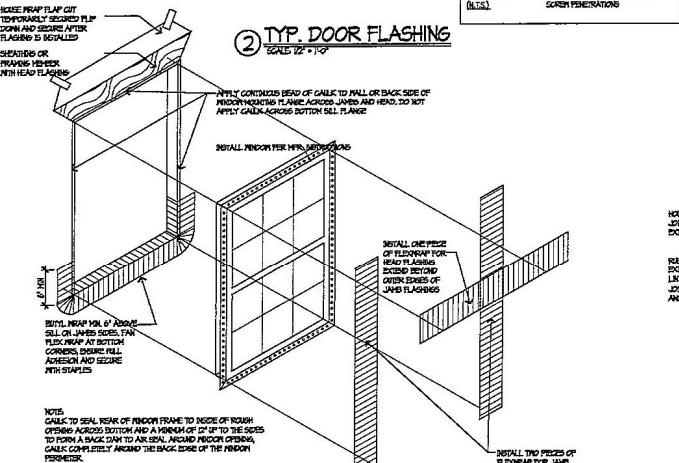
⑥ GARAGE OPENING  
SCALE: 1/2\"/>



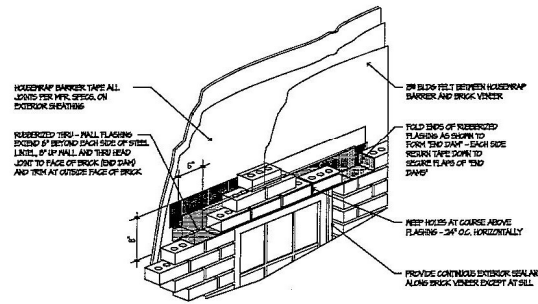
② TYP. DOOR FLASHING  
SCALE: 1/2\"/>



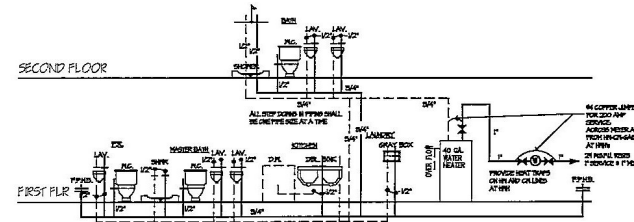
① UFER GROUND DETAIL  
SCALE: NO SCALE



③ TYP. WINDOW FLASHING  
SCALE: 1/2\"/>



⑤ THRU-WALL FLASHING @ WINDOW  
SCALE: 3/4\"/>

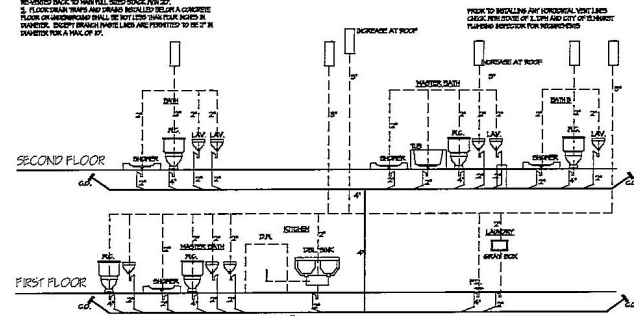


SUPPLY DIAGRAM  
NO SCALE

LEGEND:  
HOT WATER  
COLD WATER

PLUMBING MATERIALS:  
WATER PIPE: BLACK GALV. - PER APPLICABLE CODES  
W/IN THE ABOVE RANGE - PER APPLICABLE CODES  
SOIL 40 PVC  
W/IN THE ABOVE RANGE - PER APPLICABLE CODES  
W/IN THE ABOVE RANGE - PER APPLICABLE CODES  
W/IN THE ABOVE RANGE - PER APPLICABLE CODES

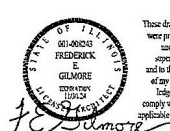
NOTES:  
1. ALL PLUMBING FIXTURES SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE PLUMBING CODE AND ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES.  
2. ALL PLUMBING FIXTURES SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE PLUMBING CODE AND ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES.  
3. ALL PLUMBING FIXTURES SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE PLUMBING CODE AND ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES.



WASTE DIAGRAM  
NO SCALE

LEGEND:  
VENT  
WASTE

NOTES:  
1. PROVIDE ONE (1) VENT FOR ALL FIXTURES PROVIDED BY THE CONTRACTOR AT ALL FLOORS PROVIDED BY THE CONTRACTOR AT ALL FLOORS.  
2. ALL VENTS SHALL BE INSTALLED PER APPLICABLE CODES.



These drawings were prepared under my supervision and to the best of my knowledge, they comply with all applicable codes.

REV.	DESCRIPTION	DATE
ISSUED FOR BIDDING		06/23/23

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BROCKWAY STREET ELEVATION

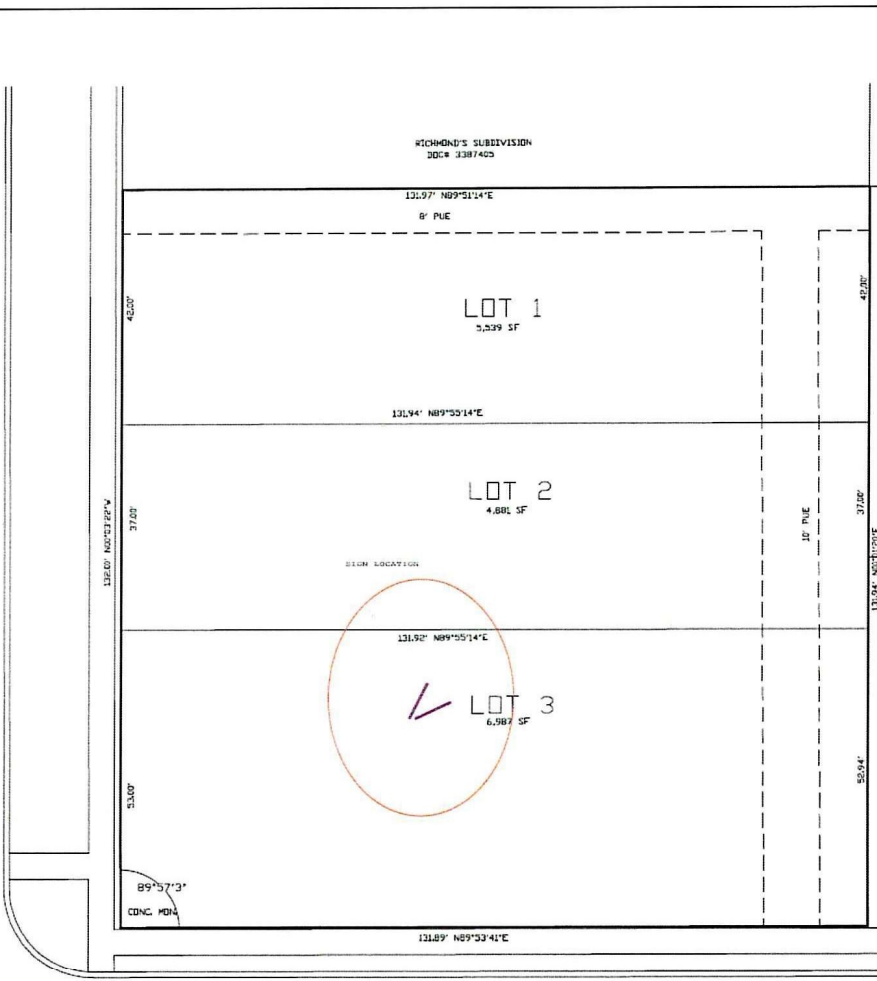
MAY 11, 2023



# Colfax Street Elevation



N. BROCKWAY ST.  
66' R.O.V. HERETOFORE DEDICATED



W. COLFAX ST.  
50' R.O.V. HERETOFORE DEDICATED

**Proposed Development Sign (4' x 8')  
'V' Configured (Two-Sided) Sign**

**New Single Family Homes Coming Soon!**  
For more info: 847-454-3091

OLM'S CORNER

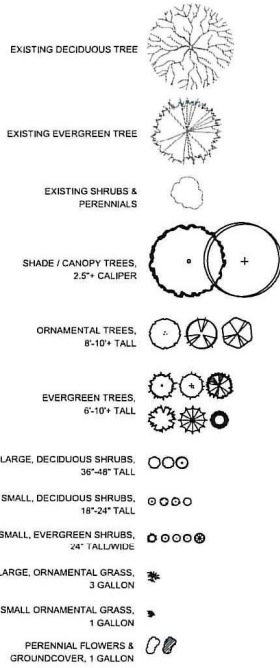
GWR BUILDERS

State/ZIP

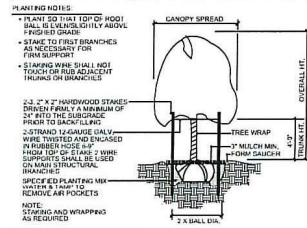
Job No.	6/8/2023
Order Date:	Salesperson:
Sign Dimensions 96.021in x 62.655in	Estimate \$ 0.00
Comments:	

## PLANT SYMBOLS KEY

**NOTE:**  
NOT ALL PLANT SYMBOLS MAY BE DEPICTED ON PLANS.

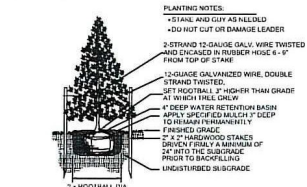


## PLANTING DETAILS



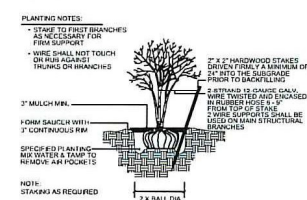
### TREE PLANTING & STAKING

NOT TO SCALE



### EVERGREEN TREE PLANTING

NOT TO SCALE



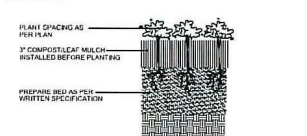
### MULTI-TRUNK TREE STAKING

NOT TO SCALE



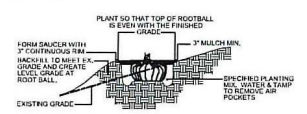
### SHRUB PLANTING

NOT TO SCALE



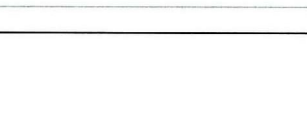
### PERENNIAL PLANTING

NOT TO SCALE



### HILLSIDE PLANTING

NOT TO SCALE



## NOTES - GENERAL LANDSCAPE

- CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS REQUIRED. ALL CONSTRUCTION SHALL CONFORM TO APPLICABLE STANDARDS AND CODES.
- CALL J.U.L.I.E. UTILITY LOCATING SERVICE (TEL. 800.852.0123), 48 HOURS PRIOR TO THE START OF ANY DIGGING.
- GENERAL PLANT NOTES:
  - ALL PLANT MATERIAL SHALL CONFORM IN SIZE AND GRADE IN ACCORDANCE WITH AMERICAN STANDARD FOR NURSERY STOCK.
  - ALL PLANT MATERIAL SHALL BE MAINTAINED ALIVE, HEALTHY, AND FREE FROM DISEASE AND PESTS.
  - ALL NEW PLANT MATERIAL SHALL BE FROM A LOCAL SOURCE WHENEVER POSSIBLE (LESS THAN 50 MILES).
  - PLANTS SHALL BE ALLOWED TO GROW IN THEIR NATURAL FORM/HABIT. PLANTS SHALL NOT BE PRUNED/HEDGED UNLESS ABSOLUTELY NECESSARY (DUE TO VISIBILITY OR HAZARD OBSTRUCTION).
  - ALL LANDSCAPED AREAS SHALL BE FREE OF WEEDS, LITTER, AND SIMILAR SIGNS OF DEFERRED MAINTENANCE.
- LOCATIONS OF PROPOSED PLANT MATERIAL MAY BE ADJUSTED AT TIME OF INSTALLATION DUE TO FINAL ENGINEERING AND FINAL LOCATION OF SITE UTILITIES.
- THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR PROVIDING AND SPREADING TOPSOIL 10"-12" DEEP, FINE GRADING, AND PREPARATION OF ALL LAWN AND LANDSCAPE AREAS. ALL SOILS SHALL BE FREE OF CONSTRUCTION DEBRIS, PRIOR TO INSTALLING ANY PLANT MATERIAL.
- PRIOR TO SPREADING TOPSOIL, THE LANDSCAPE CONTRACTOR SHALL INSPECT AND ACCEPT ALL BASE GRADES. ANY DEVIATION FROM GRADES INDICATED ON THE GRADING PLAN SHALL BE CORRECTED BEFORE PLACING ANY TOPSOIL.
- ALL SHRUB, GROUNDCOVER, PERENNIAL, AND ANNUAL PLANTING BEDS SHALL BE PREPARED WITH A SOIL AMENDMENT MIX - 1/3 TOPSOIL, 1/3 MUSHROOM COMPOST, AND 1/3 TOPDRESS SAND. MATERIAL SHALL BE ROTO-TILLED JUST PRIOR TO THE INSTALLATION OF PLANT MATERIAL.
- ALL PLANTING ISLANDS SHALL BE MOUND TO PROVIDE POSITIVE DRAINAGE.
- ALL PLANTING BEDS ADJACENT TO LAWN AREAS SHALL HAVE A SPADED EDGE BORDER, UNLESS METAL OR OTHER BORDER IS SPECIFIED.
- ALL PLANTING BED AREAS SHALL MAINTAIN A MAX. 3" DEEP LAYER OF SHREDDED HARDWOOD MULCH (COLOR: NON-DYED, BROWN).
- LANDSCAPE CONTRACTOR SHALL COORDINATE PLANTING SCHEDULE WITH LANDSCAPE MAINTENANCE CONTRACTOR TO ENSURE PROPER WATERING OF PLANTED AND SOGGED AREAS AFTER INITIAL INSTALLATION.
- LANDSCAPE CONTRACTOR SHALL COORDINATE WORK WITH OTHER CONTRACTORS ON SITE TO MINIMIZE ANY REDD OF COMPLETED LANDSCAPE WORK AND DAMAGE TO PLANT MATERIAL.
- CONTRACTOR SHALL BE RESPONSIBLE FOR HIS/HER OWN LAYOUT WORK. UPON REQUEST, LANDSCAPE ARCHITECT SHALL BE AVAILABLE TO ASSIST/APPROVE CONTRACTOR LAYOUT.
- EVERY ATTEMPT HAS BEEN MADE TO DEPICT ALL EXISTING UTILITY LINES. CONTRACTOR SHALL USE PRECAUTION WHEN DIGGING. CONTRACTOR SHALL MAKE THEMSELVES THOROUGHLY FAMILIAR WITH ALL UNDERGROUND UTILITY LOCATIONS PRIOR TO ANY DIGGING, VERIFYING LOCATIONS AND DEPTHS OF ALL UTILITIES.
- IT IS THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY TO VISIT THE SITE PRIOR TO BID SUBMITTAL, TO BECOME FAMILIAR WITH EXISTING CONDITIONS AT THE SITE.
- PLANT LIST QUANTITIES PROVIDED AT TIME OF FINAL PLANS ARE APPROXIMATIONS. CONTRACTORS ARE RESPONSIBLE FOR COMPLETING THEIR OWN QUANTITY TAKE-OFFS. IF A DISCREPANCY IS FOUND BETWEEN THE PLAN AND THE PLANT LIST, THEN THE PLAN SHALL PREVAIL.
- PLANT SUBSTITUTIONS ARE ALLOWED DUE TO PLANT AVAILABILITY OR PLANTING TIME OF YEAR. ONLY WITH THE PRIOR CONSENT OF THE LANDSCAPE ARCHITECT. IF SUBSTITUTIONS ARE MADE WITHOUT PRIOR CONSENT, THE LANDSCAPE ARCHITECT MAINTAINS THE RIGHT TO REJECT MATERIAL IN THE FIELD, AT THE COST TO THE CONTRACTOR.
- CONTRACTOR TO PROVIDE TEST OF EXISTING AND IMPORTED SOILS PER SPECIFICATIONS. PLANTING SOIL SHALL BE AMENDED PER SPECIFICATIONS.
- CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT IF AREAS OF POOR DRAINAGE OR OTHER UNUSUAL SUBSURFACE CONDITIONS ARE ENCOUNTERED DURING EXCAVATION FOR PLANTING PITS.
- ALL TURF SHALL BE KENTUCKY BLUEGRASS BLEND SOD (MINERAL, NOT PEAT), PER VILLAGE. SEED IS NOT ALLOWED.
- CONTRACTOR SHALL RESTORE LAWN AREAS THAT HAVE REMAINED PARTIALLY INTACT, TOP DRESSING WITH SOIL, SCARIFYING, AND SEEDING TO FORM A SMOOTH, FULL, EVEN LAWN, FREE OF BARE SPOTS, INDENTATIONS, AND WEEDS.
- LANDSCAPE DETAILS SHOWN ARE FOR DESIGN INTENT ONLY. LANDSCAPE ARCHITECT ASSUMES NO LIABILITY. CONTRACTOR IS RESPONSIBLE FOR ERECTING AND INSTALLING PROPERLY BUILT AMENITIES PER CODE, PER SITE CONDITIONS (FINAL GRADING & UTILITY LOCATIONS) AND PER AREA CLIMATE CONDITIONS. ALL LANDSCAPE SITE DETAILS FOR STRUCTURES AND FOOTINGS SHALL BE REVIEWED & APPROVED BY A STRUCTURAL ENGINEER.
- CONTRACTOR INSTALLATION BIDS SHALL INCLUDE A ONE-YEAR WARRANTY ON ALL PLANT MATERIAL.
- (IF APPLICABLE) CONTRACTOR INSTALLATION BIDS SHALL INCLUDE A THREE-YEAR MONITORING AND MAINTENANCE PROGRAM ON ALL NATURALIZED RESTORATION AREAS.

## PROJECT TEAM

**DEVELOPER:**  
GWR BUILDERS  
47 N. BOTHWELL  
PALATINE, IL  
TEL (847) 209-1214

CONTACT: GREG ROSE

**SURVEYOR:**  
MORRISON SURVEYING CO., INC.  
604 BEDFORD RD. UNIT A MORRIS, IL 60450  
TEL (815) 942-2620

CONTACT: MATTHEW MORRISON

**CIVIL ENGINEER:**  
SPIES & ASSOCIATES, INC.  
534 WEST CAMPUS DRIVE  
ARLINGTON HEIGHTS, IL 60004  
TEL (847) 577-8808

CONTACT: TIM SPIES

**LANDSCAPE ARCHITECT:**  
DICKSON DESIGN STUDIO, INC.  
9 CRYSTAL LAKE ROAD, SUITE 110  
LAKE IN THE HILLS, IL 60156  
TEL (224) 241-8181

CONTACT: SHARON DICKSON / JEFF TORRENS



**dickson design**  
STUDIO  
9 CRYSTAL LAKE ROAD  
SUITE 110  
LAKE IN THE HILLS, IL 60156  
(224) 241 8181

CLIENT NAME AND ADDRESS

**GWR BUILDERS**

PALATINE, IL

PLAN DATE

**AUGUST 4, 2023**

REVISIONS

NO.	DESCRIPTION
1.	
2.	
3.	
4.	
5.	
6.	
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8.	
9.	
10.	

PROJECT NAME AND SHEET TITLE

**OLM'S CORNER**  
52 W. COLFAK STREET - PALATINE, IL

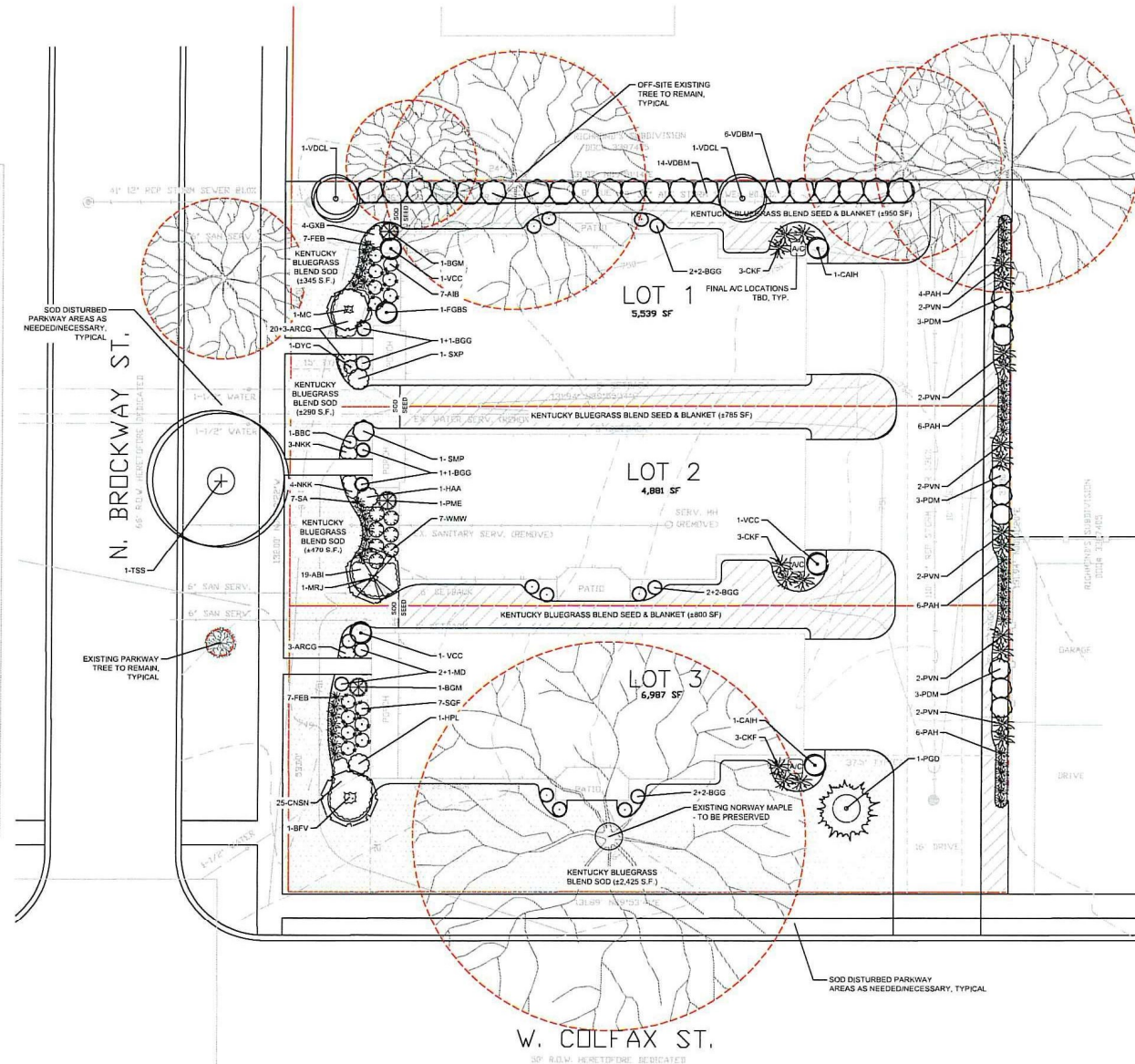
**LANDSCAPE PLAN - COVER**

SHEET NUMBER

**LO.1**

**PLANT & MATERIALS LIST**

CODE	QTY	SIZE	BOTANIC NAME	COMMON NAME
<b>Shade Trees</b>				
TSS	1	2.5' caliper	Tilia tomentosa 'Sterling Silver'	Sterling Silver Linden
<b>Evergreen Trees</b>				
PGD	1	8' high	Picea glauca 'Demaris'	Black Hills Spruce
<b>Ornamental Trees</b>				
BFV	1	6' high	Betula nigra 'Fox Valley'	Fox Valley Dwarf River Birch
MC	1	6' high	Malus x 'Carmel'	Carmel Crab
MRJ	1	6' high	Malus x 'Red Jewel'	Red Jewel Flowering Crabapple
<b>Evergreen Shrubs</b>				
BGG	16	24" wide	Buxus x 'Green Gem'	Green Gem Boxwood
BGM	2	36" high	Buxus x 'Green Mountain'	Green Mountain Boxwood
MD	3	24" wide	Microbiota decussata	Siberian Cypress
PME	1	30" high	Pinus mugo 'Etna'	Etna Dwarf Mugo Pine
<b>Large &amp; Medium Deciduous Shrubs</b>				
CAH	2	7 Gal./30"	Cornus alba 'Balthus'	hony Halo Tartarian Dogwood
FGBS	1	7 Gal./30"	Fothergilla gardenii 'Blue Shadow'	Blue Shadow Dwarf Fothergilla
HAA	1	7 Gal./30"	Hydrangea aborescens 'Annabelle'	Annabelle Hydrangea
HPL	1	7 Gal./30"	Hydrangea paniculata 'Little Quick Fire'	Little Quick Fire Hydrangea
PDM	9	7 Gal./30"	Physocarpus opulifolius 'Donna May'	Little Deaf Ninkah
SMP	1	7 Gal./30"	Syringa meyeri 'Palibon'	Dwarf Korean Lilac
SYP	1	7 Gal./30"	Syringa x 'Penda'	Bloomerang Lilac
VCC	3	7 Gal./30"	Viburnum cedasi 'Compactum'	Dwarf Korean Viburnum
VDBM	20	7 Gal./30"	Viburnum dentatum 'Blue Muffin'	Blue Muffin Arrowwood Viburnum
VDCL	2	48" high	Viburnum dentatum 'Syrwestw'	Chicago Lustre Arrowwood Viburnum
<b>Small Deciduous Shrubs</b>				
ABI	7	5 Gal./24"	Abutilon melanocarpum 'Toque Beauty'	Incense Beauty Black Chokeberry
BBC	1	5 Gal./24"	Buddleia Blue Chip	Lo & Behold Butterfly Bush
DYC	1	5 Gal./24"	Deutzia x 'NCDXZ'	Yuki Cherry Blossom Deutzia
SGF	7	5 Gal./24"	Spiraea bumalda 'Goldflame'	Goldflame Spiraea
WMW	7	5 Gal./24"	Wegelia forosa 'Midnight Wine'	Midnight Wine Wegelia
<b>Ornamental Grasses</b>				
CKF	9	3 Gal.	Calamagrostis acutiflora 'Karl Foerster'	Karl Foerster Feather Reed Grass
FEB	14	1 Gal.	Festuca ovina glauca 'Elijah Blue'	Elijah Blue Fescue Grass
PAH	22	1 Gal.	Pennisetum alopecuroides 'Hameln'	Dwarf Fountain Grass
PVN	12	3 Gal.	Panicum virgatum 'Northwind'	Northwind Switch Grass
SA	7	1 Gal.	Sesleria autumnalis	Autumn Moor Grass
<b>Parentals &amp; Groundcovers</b>				
ABI	19	1 Gal.	Amsonia montana 'Blue Ice'	Blue Ice Blue Star
ARCG	26	1 Gal.	Arja reptans 'Cattin's Giant'	Cattin's Giant Bugweed
CNSN	25	1 Gal.	Calamagrostis nepeta s. nepeta	Calamagrostis
GXB	4	1 Gal.	Geranium x 'Brookside'	Brookside Cranebit
NKK	7	1 Gal.	Nepeta fassenii 'Kit Cat'	Kit Cat Catmint
<b>Materials</b>				
-	5	C.Y.	-	Soil Amendments
-	14	C.Y.	-	Shredded Hardwood Mulch
-	TBD	S.F.	-	Kentucky Bluegrass Blend Sod (parkway)
-	3,530	S.F.	-	Kentucky Bluegrass Blend Sod
-	2,525	S.F.	-	Kentucky Bluegrass Blend Seed & Blanket
-	6	EACH	-	Splash Blocks (for downspout exits)



**LANDSCAPE PLAN**  
SCALE: 1" = 10'-0"



**dickson design**  
**STUDIO**  
9 CRYSTAL LAKE ROAD  
SUITE 110  
LAKE IN THE HILLS, IL 60156  
(224) 241 8181

CLIENT NAME AND ADDRESS

**GWR BUILDERS**

**PALATINE, IL**

PLAN DATE

**AUGUST 4, 2023**

REVISIONS

NO.	DESCRIPTION
1.	
2.	
3.	
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PROJECT NAME AND SHEET TITLE

**OLM'S CORNER**  
52 W. COLFAX STREET - PALATINE, IL

**LANDSCAPE PLAN - OVERALL**

SHEET NUMBER

**L1.1**

# CERTIFICATE OF PUBLICATION

DES PLAINES JOURNAL, INC., a corporation organized and existing under and by virtue of the laws of the State of Illinois, does hereby CERTIFY that it is the publisher of the:

Journal & Topics Newspapers  
 AKA Des Plaines Journal, Inc.  
 622 Graceland Ave.  
 Des Plaines, IL 60016-4556

and that said newspaper(s) is a secular newspaper of general circulation and has been published weekly in the

(Village) (Town) (City) (Township) of PALATINE 52 W. COLFAX ST.



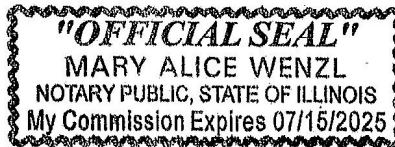
County of COOK

and State of Illinois, continuously for more than one year prior to date of the first publication of the notice attached hereto, and that said newspaper(s) complies with the requirements of Paragraphs 5 and 10, Chapter 100, of the Illinois Revised Statutes.

Further, that the notice, of which the attached is a true copy, was published ONE times in the said newspaper(s), namely once each week for ONE successive week(s) and that the first publication of said notice was made on the 21ST day of SEPTEMBER, A.D. 2023, and the last publication thereof was made on the 21ST day of SEPTEMBER, A.D. 2023.

Your Legal appeared in the following Journal & Topics Newspapers (Des Plaines Journal, Inc.)

- Des Plaines Journal
- Elk Grove Village Journal
- Mt. Prospect Journal
- Niles Journal
- Park Ridge-Golf Mill Journal
- Prospect Heights Journal
- Rosemont Journal
- Arlington Heights Topics
- Buffalo Grove Topics
- Palatine Topics
- Rolling Meadows Topics
- Wheeling Topics
- Suburban Journal
- Northwest Journal
- Glenview Journal



*Mary Alice Wenzl*

IN WITNESS WHEREOF, THE DES PLAINES JOURNAL, INC., has caused this certificate to be signed and its corporate seal affixed hereto at Des Plaines, Illinois this 21ST day of SEPTEMBER A.D., 2023.

By Todd Wassell

President  
 Title of Corporate Officer

County of Cook  
 State of Illinois

Subscribed and sworn to before me this 21ST day of SEPTEMBER A.D., 2023.

My commission expires the 15TH day of JULY A.D., 2025.

## Discussion on Slade Street Improvements from Greeley Street to Plum Grove Road

### BACKGROUND:

As part of the Capital Improvement Plan, an improvement to Slade Street from Greeley to Plum Grove Road is planned. In 2025, staff engaged a landscape architect to develop conceptual improvements which would enhance public spaces, formalize areas for outdoor dining, improve landscaping, and balance public parking needs.

An initial design was previously presented to the Village Council which contemplated removal of all on-street parking spaces on Slade Street from Brockway to Bothwell. During the preliminary design, it was identified that many of the initial project goals could be achieved and some parking could remain near the intersections, which could assist adjacent businesses while still accommodating pedestrian needs along public sidewalks and moving from parking areas to businesses.

### KEY ISSUES:

- Focused outdoor dining areas would be created along with landscaping improvements with irrigation. This is planned in the block between Greeley and Brockway as well as between Brockway and Bothwell.
- A pergola would be used to provide a visual cue to motorists and pedestrians on mid-block crossing areas on Slade and a designated smoking shelter is proposed.
- Utility improvements continue to include water main replacement and installation of fiber-optic extensions to accommodate public safety cameras.
- Decorative fencing is proposed to delineate seating areas and public walking areas, which will include landscaping planting elements. Additionally, cafe-style lighting will be installed at strategic locations. This concept is planned for expansion in the downtown in the next several years.
- Village staff hosted a presentation of the proposed improvement with the business owners along the route as well as those nearby with positive feedback.
- Construction is planned to occur primarily between mid-May and Labor Day with final plantings to occur in September. The contract will include incentives for the contractor to finish early and strong penalties should the contractor not be substantially complete by Labor Day.

### BUDGET IMPACT:

The improvements to Slade Street are part of the 2026 Capital Improvement Program and fully funded from the Downtown TIF District. The design presented this evening is aligned with the amount budgeted.

**RECOMMENDATION:**

Staff recommends proceeding with the design as presented and seeks Village Council concurrence to proceed to competitive bidding for Slade Street.

**ACTION REQUIRED:**

Staff is seeking Village Council concurrence to proceed with the preliminary design and competitively bid the proposed improvement to Slade Street.

**ATTACHMENTS:**

- 1. Slade Condensed

# Slade Street/Railroad Avenue Improvement Project Area

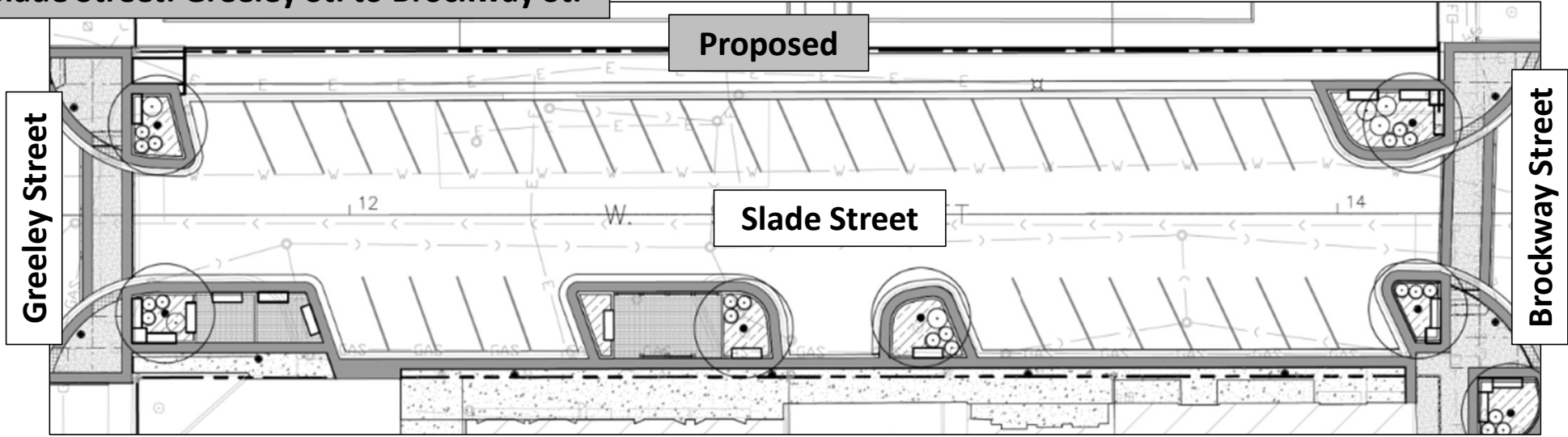




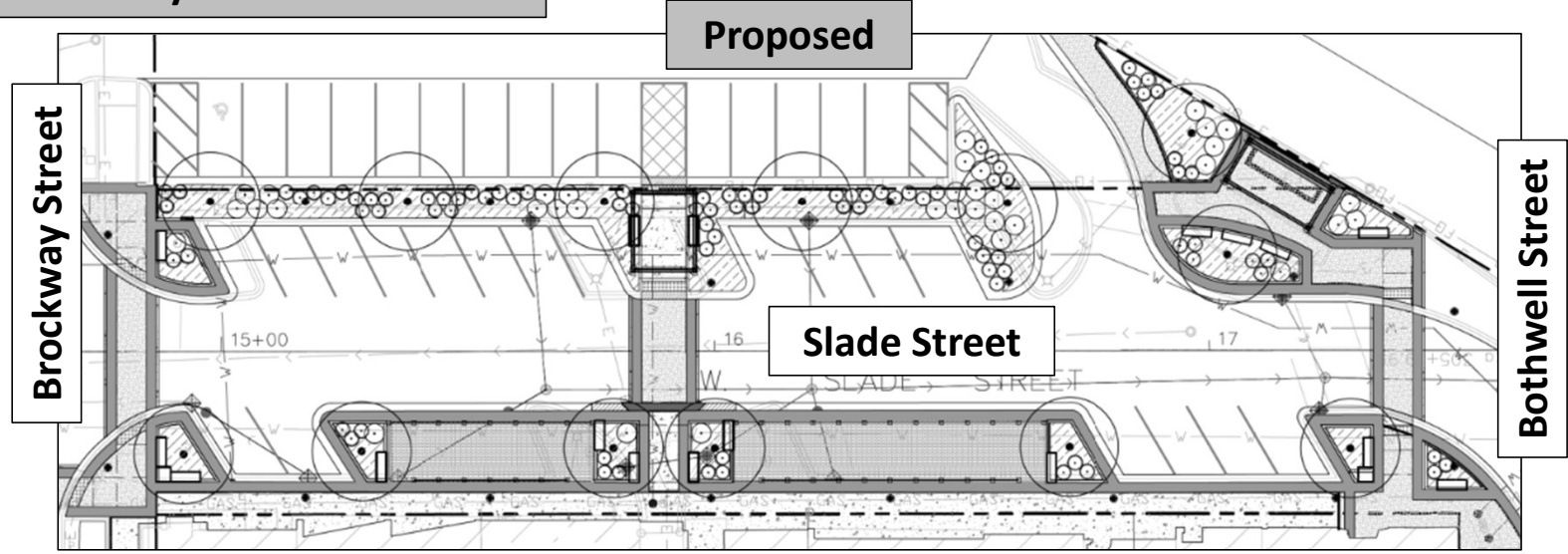
**CONCEPT RENDERING**  
**PALATINE SLADE STREET**  
PALATINE, IL



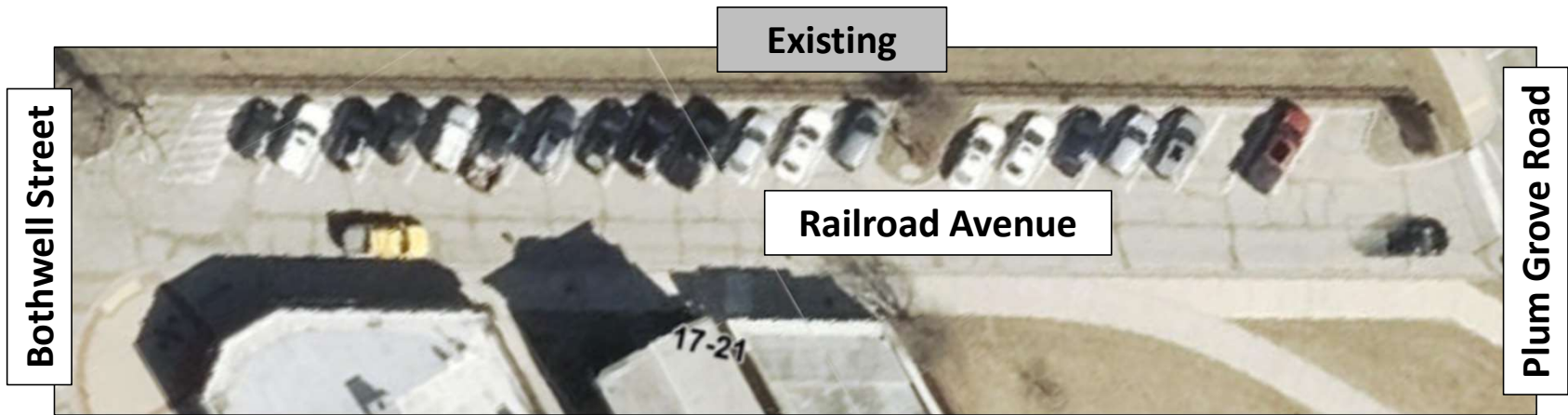
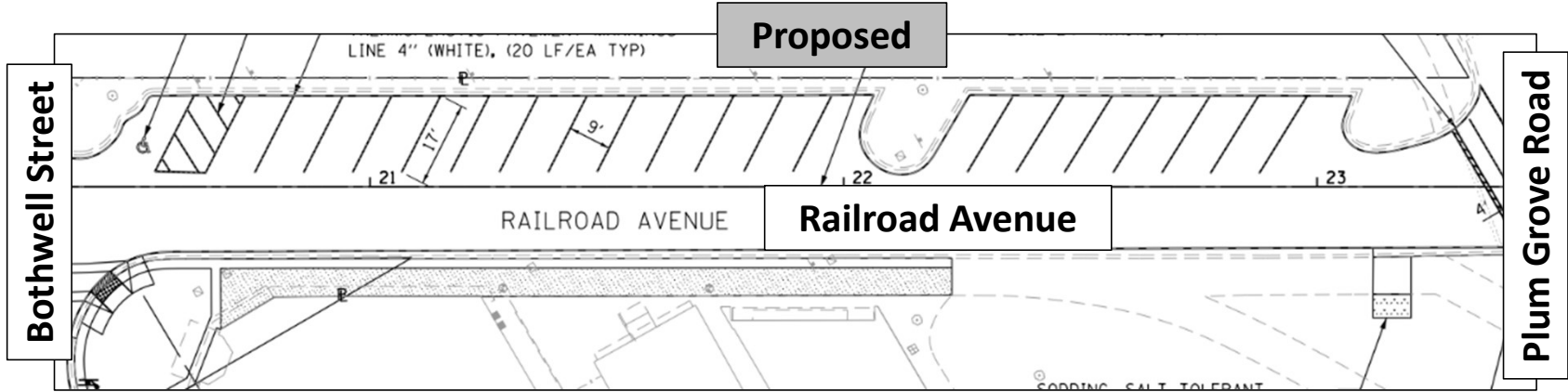
**Slade Street: Greeley St. to Brockway St.**



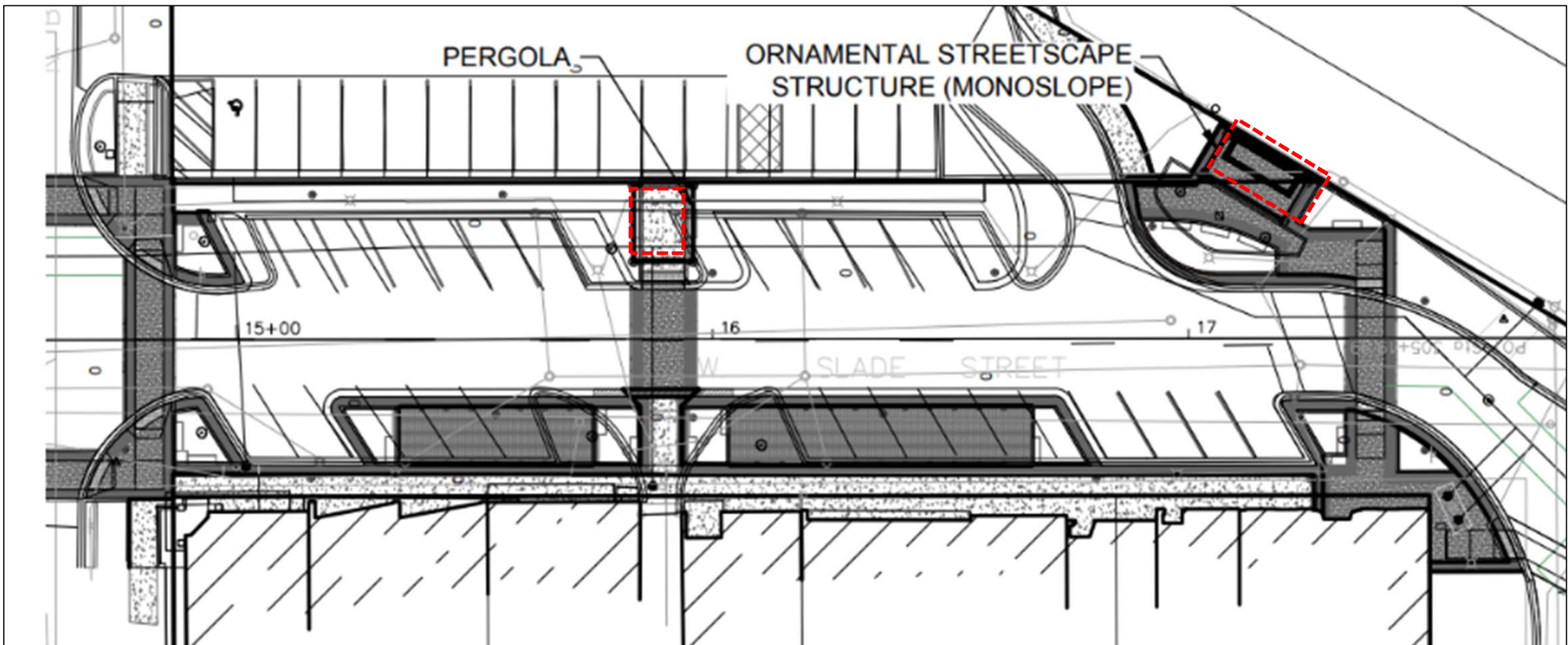
**Slade Street: Brockway St. to Bothwell St.**



**Railroad Avenue: Bothwell St. to Plum Grove Rd.**



ORNAMENTAL STREETSCAPE STRUCTURE



## **Consider an Ordinance Authorizing the Village Manager to Execute an Amended and Restated Solid Waste Services Agreement Between The Village of Palatine and Groot Industries, Inc.**

### **BACKGROUND:**

Residential solid waste collection and hauling is provided throughout the Village of Palatine through a contract with Groot Industries. The current contract is due to expire on December 31, 2026. At the end of 2025, the Village Council authorized the Village Manager to either negotiate an amended contract with Groot or pursue a Request for Proposal process. Staff has undertaken an extensive review of not only our current contract, but many recent contracts throughout the Chicago market for communities that have gone through a RFP process as well as many that have negotiated extensions.

### **KEY ISSUES:**

Based on a comprehensive review and discussions with our current vendor, staff is recommending an amended and restated contract with Groot. After reviewing recent contracts in other communities, scope of services offered and customer service satisfaction, staff believes that the contract with Groot will provide the strongest economic benefit, avoid disruption and continue to provide our residents with outstanding customer service.

- **Pricing** — The contract reflects a multifaceted approach to the cost for waste collection and hauling services that will allow the Village to keep the current monthly costs for single-family/townhome properties, assuming no change in law, constant over the next five years. Multi-family properties will have a rate freeze in their first year of the new contract.
- **Food Scrap Program** — The agreement has added a provision for the contractor to provide a food scrap program for the residents. At no additional cost, residents can place food scraps in a landscape waste bag and have weekly collection from April through the second collection in December. On a subscription basis, a resident would receive a collection toter that will allow for year-round food scrap disposal as well as double as a landscape waste collection toter. The program is \$150 per year for the first three years of the agreement. This is lower than the cost of what most private contractors are charging for the food scrap only service. To require the food scrap collection on all residents would result in an increase to the monthly rate for everyone of approximately \$7 or a 33% increase. Staff does not recommend a mandatory collection as we believe the 8-month free alternative is a benefit for many, and staff is concerned over increased compliance issues if homes must store three toters.
- **Contractor Performance and Insurance** — Contractors Bond increased from \$250,000 to \$2,000,000, they will maintain a \$25,000,000 umbrella policy, and

language was added regarding spill prevention and remediation, accident reporting, street damage prevention, and collection during residential road construction projects.

- **Refuse Cart Changeout** — All residents will be provided a cart change out at no cost from May 1 to 31, annually. This will allow residents to manage their cart size annually at no charge and is a new provision of the contract. Any requested cart change out between June 1 and April 30 will result in a cart change-out fee.
- **White Goods and Electronic Waste Collection** — These services will still be provided at \$20.00 in year 1 of the contract with nominal increases layered in over the term of the contract. Often Groot would come out for a scheduled collection to find the item already removed. We anticipate that many items will be placed at the curb for scrapers prior to calling for a collection.

The contract would have an initial term of eight (8) years with renewal options. In 2031, the Village will be in a position to determine whether to continue their membership with the Solid Waste Agency of Northern Cook County (SWANCC). If the Village were to terminate membership, the pricing in the contract would, at worst, remain what is published. There is a chance that savings could be achieved due to a shorter haul distance for refuse.

**BUDGET IMPACT:**

The Refuse Fund is an Enterprise Fund and the cost of solid waste collection is charged to the home owner, thus the budget impact is neutral.

**RECOMMENDATION:**

Staff recommends approval of an ordinance authorizing the Village Manager to execute an amended and restated solid waste services agreement with Groot Industries.

**ACTION REQUIRED:**

A motion to approve the ordinance authorizing the Village Manager to execute an amended and restated solid waste services agreement with Groot Industries.

**ATTACHMENTS:**

1. ORD - Groot Agreement
2. VOP Groot Final 2027

ORDINANCE NO. \_\_\_\_\_

**AN ORDINANCE AUTHORIZING THE VILLAGE MANAGER TO EXECUTE AN AMENDED AND RESTATED SOLID WASTE SERVICES AGREEMENT BETWEEN THE VILLAGE OF PALATINE AND GROOT INDUSTRIES, INC.**

WHEREAS, on June 17, 2019 the Mayor and Village Council authorized the Village Manager to enter into an agreement with Groot Industries, Inc. for solid waste services; and

WHEREAS, the Mayor and Village Council have directed the Village Manager to evaluate an extension to the existing contract or a request for proposals for a new contract; and

WHEREAS, following the evaluation, the Mayor and Village Council have determined that entering into an Amended and Restated Solid Waste Services Agreement between the Village of Palatine and Groot Industries, Inc. is in the best interest of the Village; and

WHEREAS, the term of the current Agreement expires on December 31, 2026.

BE IT ORDAINED, by the Mayor and Village Council of the Village of Palatine that:

**SECTION 1:** The Village Manager of the Village of Palatine is hereby authorized and directed to execute said Amended and Restated Solid Waste Services Agreement between the Village of Palatine and Groot Industries, Inc.

PASSED This \_\_\_\_ day of \_\_\_\_\_, 2026

AYES: \_\_\_\_ NAYS: \_\_\_\_ ABSENT: \_\_\_\_ PASS: \_\_\_\_

APPROVED by me this \_\_\_\_ day of \_\_\_\_\_, 2026

\_\_\_\_\_  
Mayor of the Village of Palatine

ATTESTED and FILED in the office of the Village Clerk this \_\_\_\_ day of \_\_\_\_\_, 2026

\_\_\_\_\_  
Village Clerk

VILLAGE OF PALATINE  
AMENDED AND RESTATED RESIDENTIAL SOLID WASTE SERVICES AGREEMENT

**THIS AMENED AND RESTATED RESIDENTIAL SOLID WASTE SERVICES AGREEMENT** is dated as of the 1st day of January, 2027 ("Agreement") and is by and between the **VILLAGE OF PALATINE**, an Illinois home rule municipal corporation ("Village") and the Contractor identified in Subsection 1A below. Village and Contractor may be referred to individually herein as a "Party," and collectively, as the "Parties."

**IN CONSIDERATION OF** the recitals and the mutual covenants and agreements set forth in this Agreement, and pursuant to the Village's statutory and home rule powers, the parties agree as follows:

**SECTION 1. CONTRACTOR.**

A. **Engagement of Contractor.** The Village desires to engage the Contractor identified below to provide all necessary labor and equipment to provide residential solid waste Services and to perform the Services in connection with the project identified below:

**Groot Recycling & Waste Services, Inc.**  
**2500 Landmeier Road**  
**Elk Grove Village, IL 60007**  
**847-734-6400**

B. **Project Description.** The Contractor shall provide residential solid waste Services for the Village of Palatine.

C. **Representations of Contractor.** The Contractor has submitted to the Village a description of the services to be provided by the Contractor, a copy of which is attached as Exhibit B to this Agreement ("Services"). The Contractor represents that it is financially solvent, has the necessary financial resources, and is sufficiently experienced and competent to perform and complete the Work set forth in Exhibit B in a manner consistent with the standards of professional practice by recognized consulting firms providing services of a similar nature.

**SECTION 2. SCOPE OF SERVICES.**

A. **Retention of the Contractor.** The Village retains the Contractor to perform, and the Contractor agrees to perform, the Services.

B. **Services.** The Contractor shall provide the Services described in Exhibit B attached hereto pursuant to the terms and conditions of this Agreement.

C. **Commencement; Time of Performance.** The Contractor shall commence the Services immediately upon receipt of written notice from the Village that this Agreement has been fully executed by the Parties (the "Commencement Date"). The Contractor shall diligently and continuously prosecute the Services until the completion of the Work.

D. **Reporting.** The Contractor shall regularly report to the Village Manager ("Manager"), or his/her designee, regarding the progress of the Services during the term of this Agreement.

### **SECTION 3. COMPENSATION AND METHOD OF PAYMENT.**

A. **Agreement Amount.** The fees to be charged by and paid to the Contractor shall be the amounts identified in the Schedule of Prices section in Exhibit A, unless otherwise provided herein or amended pursuant to Subsection 8A of this Agreement.

B. **Invoices and Payment.** The Contractor shall be paid as provided in Exhibit A. The Contractor shall submit invoices to the Village in a Village approved format for those portions of the Services performed and completed by the Contractor. The amount billed in any such invoice shall be based on the method of payment set forth in Exhibit B. The Village shall pay to the Contractor the amount billed pursuant to the Illinois Local Government Prompt Payment Act (50 ILCS 505/1 et seq.)

C. **Records.** The Contractor shall maintain adequate records of the Services provided to the Village provided hereunder, and shall permit the authorized representative of the Village to inspect and audit all data and records of the Contractor for work done under the Agreement. The records shall be made available to the Village at reasonable times during the Agreement period, and for three years after the termination or expiration of the Agreement.

D. **Taxes, Benefits and Royalties.** The rates reflected in Exhibit A include all applicable federal, state, and local taxes of every kind and nature applicable to the Services as well as all taxes, contributions, and premiums for unemployment insurance, old age or retirement benefits, pensions, annuities, or similar benefits and all costs, royalties and fees arising from the use on, or the incorporation into, the Services, of patented or copyrighted equipment, materials, supplies, tools, surcharges, appliances, devices, processes, or inventions. All claim or right to claim additional compensation by reason of the payment of any such tax, contribution, premium, costs, royalties, or fees is hereby waived and released by Contractor. Notwithstanding the foregoing, and subject to the Village's approval, Contractor may increase the rates set forth in Exhibit A to pass through documented and substantiated increases in disposal fees, increases in the Contractor's costs due to changes in local, state or federal rules, ordinances or regulations applicable to the Contractor's operations or the Services provided hereunder, and any increases in and newly imposed taxes, fees or other governmental charges assessed against or passed through to the Contractor (other than income or real property taxes). The Village shall not be required to approve any such increase unless Contractor provides documentation to support Contractor's increased costs, to the Village's reasonable satisfaction.

E. **Escalation.** Written requests for price revisions after the first eight (8) year period shall be submitted at least ninety (90) calendar days before the end of the first eight-year period.

The Village reserves the right to reject a proposed price increase and terminate the Agreement.

For any year beyond the initial year, this Agreement is contingent upon the appropriation of sufficient funds by the Village. If the Village does not appropriate funds for payment of the Services hereunder in a given fiscal year, the Village shall have the right to terminate this Agreement without penalty at the end of the then-current fiscal year.

**SECTION 4. PERSONNEL, SUBCONTRACTORS.**

- A. **Availability of Personnel.** The Contractor shall provide all personnel necessary to complete the Services. Contractor shall also provide the Village with the name and direct contact information of a supervisor who the Village can contact at any time concerning the Services provided by Contractor hereunder.
- B. **Approval and Use of Subcontractors.** The Contractor shall perform the Services with its own personnel and under the management, supervision, and control of its own organization unless otherwise approved by the Village in writing. All subcontractors and subcontracts used by the Contractor shall be acceptable to, and approved in advance by, the Village. The Village's approval of any subcontractor or subcontract shall not relieve the Contractor of full responsibility and liability for the provision, performance, and completion of the Services as required by the Agreement. All Services performed under any subcontract shall be subject to all of the provisions of this Agreement in the same manner as if performed by employees of the Contractor. For purposes of this Agreement, the term "Contractor" shall be deemed also to refer to all subcontractors of the Contractor, and every subcontract shall include a provision binding the subcontractor to all provisions of this Agreement.
- C. **Removal of Personnel and Subcontractors.** If any personnel or subcontractor fails to perform the Services in a manner satisfactory to the Village, the Contractor shall immediately upon notice from the Village remove and replace such personnel or subcontractor from performance of the Services hereunder. The Contractor shall have no claim for damages, for compensation in excess of the amount contained in this Agreement of for a delay or extension of the time of performance as a result of any such reasonable request by the Village for removal or replacement.

**SECTION 5. CONFIDENTIAL INFORMATION.**

- A. **Confidential Information.** The term "Confidential Information" shall mean information in the possession or under the control of the Village relating to the technical, business or corporate affairs of the Village; Village property; user information, including, without limitation, any information pertaining to usage of the Village's computer system, including and without limitation, any information obtained from server logs or other records of electronic or machine readable form; and the existence of, and terms and conditions of, this Agreement. Village Confidential Information shall not include information that can be demonstrated: (i) to have been rightfully in the possession of the Contractor from a source other than the Village prior to the time of disclosure of said information to the Contractor under this Agreement ("Time of Disclosure"); (ii) to have been in the public domain prior to the Time of Disclosure; (iii) to have become part of the public domain after the Time of Disclosure by a publication or by any other means except an unauthorized act or omission or breach of this Agreement on the part of the Contractor or the Village; or (iv) to have been supplied to the Contractor after the Time of Disclosure without restriction by a third party who is under no obligation to the Village to maintain such information in confidence.

## **SECTION 5. CONFIDENTIAL INFORMATION (cont.)**

- B. **No Disclosure of Confidential Information by the Contractor.** The Contractor acknowledges that it shall, in performing the Services for the Village under this Agreement, have access to or be directly or indirectly exposed to Confidential Information. The Contractor shall hold confidential all Confidential Information and shall not disclose or use such Confidential Information without express prior written consent of the Village. The Contractor shall use reasonable measures at least as strict as those the Contractor uses to protect its own confidential information. Such measures shall include, without limitation, requiring employees and subcontractors of the Contractor to execute a non-disclosure agreement before obtaining access to Confidential Information.
- C. **GIS Data.** The Village has developed digital map information through Geographic Information Systems Technology ("GIS Data") concerning the real property located within the Village. If requested to do so by the Contractor, the Village agrees to supply the Contractor with a digital copy of the GIS Data, subject to the following conditions:
1. **Limited Access to GIS Data.** The GIS Data provided by the Village shall be limited to the scope of the Services that the Contractor is to provide for the Village;
  2. **Purpose of GIS Data.** The Contractor shall limit its use of the GIS Data to its intended purpose of furtherance of the Services; and
  3. **Agreement with Respect to GIS Data.** The Contractor does hereby acknowledge and agree that:
    - i. **Trade Secrets of the Village.** The GIS Data constitutes proprietary materials and trade secrets of the Village and shall remain the property of the Village;
    - ii. **Consent of Village Required.** The Contractor will not provide or make available the GIS Data in any form to anyone without the prior written consent of the Village Manager;
    - iii. **Supply to Village.** At the request of the Village, the Contractor shall supply the Village with any and all information that may have been developed by the Contractor based on the GIS Data;
    - iv. **No Guarantee of Accuracy.** The Village makes no guarantee as to the accuracy, completeness, or suitability of the GIS Data in regard to the Contractor's intended use thereof; and
    - v. **Discontinuation of Use.** At such time as the Services have been completed to the satisfaction of the Village, the Contractor shall cease its use of the GIS Data for any purpose whatsoever; and, upon request, an authorized representative of the Village shall be afforded sufficient access to the Contractor's premises and data processing equipment to verify that all use of the GIS Data has been discontinued.

## **SECTION 6. WARRANTY; INDEMNIFICATION; INSURANCE; PROPERTY**

- A. **Warranty of Services.** The Contractor shall undertake to perform all Services rendered hereunder in a neat, thorough and workmanlike manner, without supervision by the Village, and to use care and diligence in the performance of all specified Services and to provide neat, orderly, uniformed and courteous employees and personnel on its crews

**SECTION 6. WARRANTY; INDEMNIFICATION; INSURANCE; PROPERTY (cont.)**

- B. **Indemnification.** The Contractor shall, without regard to the availability or unavailability of any insurance, either of the Village or the Contractor, indemnify, save harmless, and defend the Village, and its officials, employees, agents, and Accountants against any and all third-party lawsuits, claims, demands, damages, liabilities, losses, and expenses, including reasonable attorneys' fees and administrative expenses, to the extent arising from the Contractor's (i) negligence or willful misconduct, (ii) uncured breach of this Agreement, or (iii) violation of applicable law or regulation, whether or not due or claimed to be due in whole or in part to the active, passive, or concurrent negligence or fault of the Contractor, except to the extent caused by the negligence of the Village.
- C. **Insurance.** Contemporaneous with the Contractor's execution of this Agreement, the Contractor shall provide certificates of insurance, all with coverages and limits as described herein, and evidencing at least the minimum insurance coverages and limits as set forth in Exhibit B to this Agreement. For good cause shown, the Village Manager ("Manager") may extend the time for submission of the required certificates and endorsements of insurance upon such terms, and with such assurances of complete and prompt performance, as the Manager may impose in the exercise of his sole discretion. Such certificates and endorsements shall be in a form acceptable to the Village and from companies with a general rating of A minus, and a financial size category of Class X or better, in Best's Insurance Guide. Such insurance policies shall provide that no cancellation of any insurance shall become effective until the expiration of 30 calendar days after written notice thereof shall have been given by the insurance company to the Village. The Contractor shall, at all times during the term of this Agreement, maintain and keep in force, at the Contractor's expense, the insurance coverages provided above, including, without limitation, at all times while correcting any failure to meet the requirements of Section 6, of this Agreement.
- D. **Accident Prevention.** The Contractor shall exercise every precaution at all times to protect itself, the property of the Village and the property of others. The safety provision of all applicable laws and ordinances shall be strictly observed by the Contractor at all times. Any practice deemed hazardous or dangerous by the Village Manager or their designee shall be immediately discontinued by the Contractor upon receipt of instructions from the Village Manager or their designee. To the fullest extent permitted by law, the Contractor shall be solely responsible for ensuring its safe performance of the Services hereunder.
- E. **Damage to Streets Prohibited.** The Contractor shall provide collection equipment that will not disfigure or damage Village streets, and drivers that will operate vehicles in a manner that will not damage streets, sidewalks, overhead trees, etc. The Village will require the Contractor to repair, at the Contractor's expense, damages to Village property that is caused by spills, skidding vehicles, driving on sidewalks or parkways, equipment malfunctioning, or operator negligence. Notwithstanding the foregoing, except in the case of the Contractor's negligence or willful misconduct, the Contractor shall not be liable for any damages to pavement, curbing, or other driving surface resulting from the weight of its trucks and equipment.

**SECTION 6. WARRANTY; INDEMNIFICATION; INSURANCE; PROPERTY (cont.)**

- F. **Prevention and Remediation of Spills.** All materials hauled by the Contractor shall be contained, tied, or enclosed so that leaking, spilling or blowing of materials or fluids is prevented. In the event of any spillage by the Contractor on the parkway, or street, the Contractor shall immediately clean up the materials or fluids. If such materials or fluids are not cleaned up after receipt of notice (verbal or written) from the Village, the Village may clean up same and the Village may bill the cost to clean up any spillage or displacement to the Contractor for services rendered by the Village.
- G. **Protection of Property.** The Contractor shall take all reasonable actions to avoid damage, as a result of its and any subcontractor's operations, to existing sidewalks, curbs, streets, trees, parkways, pavements, utilities, adjoining property, the work of separate contractors, and the property of the Village and others, and the Contractor shall repair any damage thereto or replace damaged items specifically caused by the negligence or willful misconduct of the Contractor or its subcontractors. The Contractor shall also leave all property described in the preceding sentence in a clean and sightly condition, and shall clean property that has been made unclean or unsightly while serving the Village.
- H. **No Personal Liability.** No elected or appointed official, agent, or employee of the Village shall be personally liable, in law or in contract, to the Contractor as the result of the execution of this Agreement.

**SECTION 7. SERVICE AGREEMENT GENERAL PROVISIONS.**

- A. **Relationship of the Parties.** The Contractor shall act as an independent contractor in providing and performing the Services. Nothing in, nor done pursuant to, this Agreement shall be construed (i) to create the relationship of principal and agent, employer and employee, partners, or joint ventures between the Village and Contractor; or (ii) to create any relationship between the Village and any subcontractor of the Contractor.
- B. **Conflict of Interest.** The Contractor represents and certifies that, to the best of its knowledge, (1) no Village employee or agent is interested in the business of the Contractor or this Agreement; (2) as of the date of this Agreement neither the Contractor nor any person employed or associated with the Contractor has any interest that would conflict in any manner or degree with the performance of the obligations under this Agreement; and (3) neither the Contractor nor any person employed by or associated with the Contractor shall at any time during the term of this Agreement obtain or acquire any interest that would conflict in any manner or degree with the performance of the obligations under this Agreement.

**SECTION 7. SERVICE AGREEMENT GENERAL PROVISIONS (cont.)**

- C. **No Collusion.** The Contractor represents and certifies that the Contractor is not barred from contracting with a unit of state or local government as a result of (i) a delinquency in the payment of any tax administered by the Illinois Department of Revenue unless the Contractor is contesting, in accordance with the procedures established by the appropriate revenue act, its liability for the tax or the amount of the tax, as set forth in Section 11-42.1-1 et seq. of the Illinois Municipal Code, 65 ILCS 5/11-42.1-1 et seq.; or (ii) a violation of either Section 33E-3 or Section 33E-4 of Article 33E of the Criminal Code of 1961, 720 ILCS 5/33E-1 et seq. The Contractor represents that the only persons, firms, or corporations interested in this Agreement as principals are those disclosed to the Village prior to the execution of this Agreement, and that this Agreement is made without collusion with any other person, firm, or corporation. If at any time it shall be found that the Contractor has, in procuring this Agreement, colluded with any other person, firm, or corporation, then the Contractor shall be liable to the Village for all loss or damage that the Village may suffer, and this Agreement shall, at the Village's option, be null and void.
- D. **Sexual Harassment Policy.** The Contractor certifies that it has a written sexual harassment policy in full compliance with Section 2-105(A)(4) of the Illinois Human Rights Act, 775 ILCS 512-105(A)(4).
- E. **Termination.** Notwithstanding any other provision hereof, the Village may terminate this Agreement, in accordance with Section 9 of this Agreement. In the event that this Agreement is so terminated, the Contractor shall be paid for Services actually performed and reimbursable expenses actually incurred, if any, prior to termination, not exceeding the value of the Services completed as determined as provided in Exhibit A.
- F. **Term.** The Time of Performance of this Agreement, unless terminated pursuant to the terms of this Agreement, shall be for eight (8) years, beginning January 1, 2027, ending December 31, 2034, with two (2) possible extensions. At the end of any term, the Village reserves the right to extend this Agreement for a period of up to ninety (90) calendar days for the purpose of securing a new Agreement.
- G. **SWANCC Costs.** The Village may request to renegotiate the rates in Exhibit A attached hereto as a direct result of changes associated with the Village's membership in SWANCC. All other terms and conditions of this Agreement shall remain in full force and effect during such negotiations. The Village shall provide written notice of its intent to reopen negotiations no later than ninety (90) days prior to a SWANCC membership/contract change.

## **SECTION 7. SERVICE AGREEMENT GENERAL PROVISIONS (cont.)**

- H. **Compliance with Laws and Grants.** Contractor shall give all notices, pay all fees, and take all other action that may be necessary to ensure that the Services are provided, performed, and completed in accordance with all required governmental permits, licenses, or other approvals and authorizations that may be required in connection with providing, performing, and completing the Services, and with all applicable statutes, ordinances, rules, and regulations, including without limitation the Fair Labor Standards Act; any statutes regarding qualification to do business; any statutes prohibiting discrimination because of, or requiring affirmative action based on, race, creed, color, national origin, age, sex, or other prohibited classification, including, without limitation, the Americans with Disabilities Act of 1990, 42 U.S.C. §§ 12101 et seq., and the Illinois Human Rights Act, 775 ILCS 5/1-101 et seq. Contractor shall also comply with all conditions of any federal, state, or local grant received by Owner or Contractor with respect to this Agreement or the Services.

Contractor shall be solely liable for any fines or civil penalties that are imposed on Contractor by any governmental or quasi-governmental agency or body that may arise, or be alleged to have arisen, out of or in connection with Contractor's, or its subcontractors', performance of, or failure to perform, the Services or any part thereof.

Every provision of law required by law to be inserted into this Agreement shall be deemed to be inserted herein.

The Contractor agrees to be bound by SWANCC Rules and Regulations relating to the Glenview Transfer Station and; all fines assessed to the Contractor pursuant to the Rules and Regulations are the sole responsibility of the Contractor; provided that, if any such fines are due to the actions of a third party, the Contractor shall be permitted to seek recovery or reimbursement for the payment of such fines from such third party.

- I. **Contractor's Bond.** The Contractor shall furnish an annually renewable performance bond for the faithful performance of this Agreement, such bond shall be in the form shown acceptable to the Village, to be executed by a responsible surety company and to be in the penal sum of Two Million Dollars (\$ 2,000,000). Such performance bond shall indemnify the Municipality against any loss resulting from any failure of performance by the Contractor. Such performance bond shall be in full force in effect throughout the term any agreement
- J. **No Additional Obligation.** The Parties acknowledge and agree that the Village is under no obligation under this Agreement or otherwise to negotiate or enter into any other or additional contracts or agreements with the Contractor or with any vendor solicited or recommended by the Contractor.
- K. **Village Council Authority.** Notwithstanding any provision of this Agreement, any negotiations or agreements with, or representations by the Contractor to vendors shall be subject to the approval of the Village Council. The Village shall not be liable to any vendor or other third party for any agreements made by the Contractor, purportedly on behalf of the Village, without the knowledge and approval of the Village Council.

**SECTION 7. SERVICE AGREEMENT GENERAL PROVISIONS (cont.)**

- L. **Mutual Cooperation.** The Village agrees to cooperate with the Contractor in the performance of the Services, including meeting with the Contractor and providing the Contractor with such non-confidential information that the Village may have that may be relevant and helpful to the Contractor's performance of the Services. The Contractor agrees to cooperate with the Village in the performance of the Services to complete the Work and with any other Contractors engaged by the Village.
- M. **News Releases.** The Contractor shall not issue any news releases or other public statements regarding the Services without prior approval from the Manager.

**SECTION 8. GENERAL PROVISIONS.**

- A. **Amendment.** No amendment or modification to this Agreement shall be effective unless and until such amendment or modification is in writing, properly approved in accordance with applicable procedures, and executed.
- B. **Assignment.** This Agreement may not be assigned by the Village or by the Contractor without the prior written consent of the other party, which shall not be unreasonably withheld, delayed, or conditioned.
- C. **Binding Effect.** The terms of this Agreement shall bind and inure to the benefit of the Parties hereto and their agents, successors, and assigns.

**SECTION 8. GENERAL PROVISIONS (cont.)**

- D. **Notice.** Any notice or communication required or permitted to be given under this Agreement shall be in writing and shall be delivered (i) personally, (ii) by a reputable overnight courier, (iii) by certified mail and deposited in the U.S. Mail, postage prepaid, (iv) by facsimile, or (v) by electronic Internet mail ("e-mail"). Facsimile notices shall be deemed valid only to the extent that they are (a) actually received by the individual to whom addressed and (b) followed by delivery of actual notice in the manner described in either (i), (ii), or (iii) above within three business days thereafter at the appropriate address set forth below. E-mail notices shall be deemed valid and received by the addressee thereof when delivered by e-mail and (a) opened by the recipient on a business day at the address set forth below, and (b) followed by delivery of actual notice in the manner described in either (i), (ii) or (iii) above within three business days thereafter at the appropriate address set forth below. Unless otherwise expressly provided in this Agreement, notices shall be deemed received upon the earlier of (a) actual receipt; (b) one business day after deposit with an overnight courier as evidenced by a receipt of deposit; or (c) three business days following deposit in the U.S. mail. By notice complying with the requirements of this Subsection, each Party shall have the right to change the address or the addressee, or both, for all future notices and communications to such party, but no notice of a change of addressee or address shall be effective until actually received.

Notices and communications to the Village shall be addressed to, and delivered at, the following address:

Village of Palatine  
 200 Wood Street.  
 Palatine, IL 60067  
 Attn: Village Manager  
 Email: [findept@palatine.il.us](mailto:findept@palatine.il.us), [village@palatine.il.us](mailto:village@palatine.il.us)  
 cc:

Notices and communications to the Contractor shall be addressed to, and delivered at, the following address:

Groot Recycling & Waste Services, Inc.  
 2500 Landmeier Road  
 Elk Grove Village, IL 60007  
 847-734-6400

With a copy to:

Waste Connections  
 3 Waterway Square Place, Suite 110  
 The Woodlands, TX 77380  
 Attn: Legal Department

**SECTION 8. GENERAL PROVISIONS (cont.)**

- E. **Third Party Beneficiary.** No claim as a third party beneficiary under this Agreement by any person, firm, or corporation other than the Contractor shall be made or be valid against the Village.
- F. **Provisions Severable.** If any term, covenant, condition, or provision of this Agreement is held by a court of competent jurisdiction to be invalid, void, or unenforceable, the remainder of the provisions shall remain in full force and effect and shall in no way be affected, impaired or invalidated.
- G. **Time.** Time is of the essence in the performance of this Agreement.
- H. **Governing Laws.** This Agreement shall be interpreted according to the internal laws, but not the conflict of laws rules, of the State of Illinois. Venue shall be in Cook County, Illinois.
- I. **Entire Agreement.** This Agreement constitutes the entire agreement between the parties and supersedes any and all previous or contemporaneous oral or written agreements and negotiations between the Village and the Contractor with respect to the Request for Proposal.
- J. **Waiver.** No waiver of any provision of this Agreement shall be deemed to or constitute a waiver of any other provision of this Agreement (whether or not similar) nor shall any such waiver be deemed to or constitute a continuing waiver unless otherwise expressly provided in this Agreement.
- K. **Exhibit.** Exhibits A, B, and C are attached hereto, and by this reference incorporated in and made a part of this Agreement. In the event of a conflict between the Exhibits and the text of this Agreement, the text of this Agreement shall control.
- L. **Counterpart Execution.** This Agreement may be executed in several counterparts, each of which, when executed, shall be deemed to be an original, but all of which together shall constitute one and the same instrument.
- M. **Rights Cumulative.** Unless expressly provided to the contrary in this Agreement, each and every one of the rights, remedies, and benefits provided by this Agreement shall be cumulative and shall not be exclusive of any other such rights, remedies, and benefits allowed by law.
- N. **No Waiver of Tort Immunity.** Nothing contained in this Agreement shall constitute a waiver by the Village of any right, privilege or defense available to the Village under statutory or common law, including, but not limited to, the Illinois Governmental and Governmental Employees Tort Immunity Act, 745 ILCS 10/1-101 et seq., as amended.

**SECTION 8. GENERAL PROVISIONS (cont.)**

- O. **Freedom of Information.** Contractor agrees to furnish all documentation related to this Agreement and any documentation related to the Village required under an Illinois Freedom of Information Act (ILCS 140/1 et. seq.) ("FOIA") request within five (5) calendar days after Village issues notice of such request to Contractor. Contractor agrees to defend, indemnify and hold harmless the Village, and agrees to pay all reasonable costs connected therewith (including, but not limited to reasonable Accountant's and witness fees, filing fees and any other expenses) for the Village to defend any and all causes, actions, causes of action, disputes, prosecutions, or conflicts arising from Contractor's, actual or alleged violation of the FOIA or Contractor's failure to furnish all documentation related to a request within five (5) calendar days after Village issues notice of a request.
- Furthermore, should the Contractor request that Village utilize a lawful exemption under FOIA in relation to any FOIA request thereby denying that request, Contractor agrees to pay all costs connected therewith (such as reasonable Accountants' and witness fees, filing fees and any other expenses) to defend the denial of the request. The defense shall include, but not be limited to, challenged or appealed denials of FOIA requests to either the Illinois Accountant General or a court of competent jurisdiction. Contractor agrees to defend, indemnify and hold harmless the Village, and agrees to pay all costs connected therewith (such as reasonable Accountants' and witness fees, filing fees and any other expenses) to defend any denial of a FOIA request by Contractor's request to utilize a lawful exemption to the Village.

**SECTION 9. BREACH: EVENTS OF DEFAULT AND REMEDIES.****Section 9.1 Breach by Contractor**

Each of the following shall constitute a breach on the part of the Contractor:

- A. Failure of the Contractor to pay, within thirty (30) days after notice from the Village of such non-payment, amounts which are undisputed or which are due to the Village under this Agreement;
- B. Failure of the Contractor to timely deliver any SWANCC System Waste or other material collected pursuant to this Agreement to the required transfer, disposal or other facility required hereunder;
- C. Failure of the Contractor on ten or more occasions during any calendar year to timely collect waste in accordance with the schedule established by and between the Village and the Contractor, except that such failure shall constitute a breach on any occasion only if such failure remains uncured for twenty-four (24) hours after written notice to the Contractor from the Village of such collection failure. An occasion shall be defined as the individual occurrence of any of the following:
1. The failure of the Contractor to collect 50% or more of the scheduled waste pick-ups for a day, or
  2. The failure of the Contractor to collect 50% or more of the scheduled recycling pick-ups for a day, or
  3. The failure of the Contractor to collect 50% or more of the scheduled yard waste pick-ups for a day
- D. Failure of the Contractor to perform any other obligation under this Agreement that is not covered by 9.1 A 1 through 3 that is not cured by Contractor within 30 days after written notice by the Village to the Contractor; or
- E. Any of the following:
1. the Contractor's being or becoming insolvent or bankrupt or ceasing to pay its debts as they mature or making an arrangement with or for the benefit of its creditors or consenting to or acquiescing in the appointment of a receiver, trustee or liquidator for a substantial part of its property,
  2. a bankruptcy, winding up, reorganization, insolvency, arrangement or similar proceeding being instituted by the Contractor under the laws of any jurisdiction,
  3. a bankruptcy, winding up, reorganization, insolvency, arrangement or similar proceeding being instituted against the Contractor under the laws of any jurisdiction, which proceeding has not been dismissed within one hundred twenty (120) days,
  4. any action or answer by the Contractor approving of, consenting to or acquiescing in any such proceeding, or
  5. the levy of any distress, execution or attachment upon the property of the Contractor which shall (or which reasonably might be expected to) substantially interfere with its performance under this Agreement.
  6. the sale of 50% or more of an interest in the Contractor to another; notwithstanding the terms outlined in Section 8.B of this agreement.
  7. subject to Section 8.B., any other attempt to assign the Contractor's interest in this Agreement to another without the express approval of the Village and otherwise in full compliance with the terms of this Agreement.

## **SECTION 9. BREACH: EVENTS OF DEFAULT AND REMEDIES (cont.)**

### **Section 9.2 Breach by Village**

Each of the following shall constitute a breach on the part of the Village:

- A. Failure of the Village to pay, within thirty (30) days after notice from the Contractor of such nonpayment, amounts which are undisputed or which are determined to be due to the Contractor under this Agreement;
- B. The Village's being or becoming insolvent or bankrupt or ceasing to pay its debts as they mature or making an arrangement with or for the benefit of its creditors or consenting to or acquiescing in the appointment of a receiver, trustee or liquidator for a substantial part of its property,
- C. bankruptcy, winding up, reorganization, insolvency, arrangement or similar proceeding being instituted by the Village under the laws of any jurisdiction,
- D. a bankruptcy, winding up, reorganization, insolvency, arrangement or similar proceeding being instituted against the Village under the laws of any jurisdiction, which proceeding has not been dismissed within one hundred twenty (120) days,
- E. any action or answer by the Village approving of, consenting to or acquiescing in any such proceeding, or
- F. the levy of any distress, execution or attachment upon the property of the Village which shall (or which reasonably might be expected to) substantially interfere with the Village's performance hereunder.

### **Section 9.3 Events of Default and Remedies of Village**

If a breach occurs on the part of the Contractor under this Agreement, the Village may exercise anyone or more of the following remedies:

- A. The Village may declare an Event of Default and may then terminate this Agreement, upon notice to the Contractor specifying the termination date and, upon such termination date, the Contractor shall cease providing Services under this Agreement;
- B. It shall not be considered a breach, and therefore, the Contractor shall not be liable for damages for any delay in performance or failure to collect when such delay or failure is the result of fire, flood, act of God, Public enemy or by any other circumstances which are beyond the control of the Contractor, excluding labor strike/work stoppage (a "Force Majeure Event").
- C. In the event of a labor strike/work stoppage the regular collection rate will be pro- rated to account for each instance of missed pick-up and no liquidated damages will be assessed.
- D. The Village may seek to recover from the Contractor any unpaid amounts due the Village, all excess costs for the failure of the Contractor to perform any obligation under this Agreement and all damages, whether based upon contract, negligence (including tort), warranty, delay or otherwise, arising out of the performance or non- performance by the Contractor of its obligations under this Agreement, and whether incidental, consequential, indirect or punitive, resulting from the breach, unless such failure is caused by a Force Majeure Event;

**SECTION 9. BREACH; EVENTS OF DEFAULT AND REMEDIES (cont.)**

E. Unless due to a Force Majeure Event, the Village may (A) call upon the sureties to perform their obligations under any performance bond or letter of credit or (B) in the alternative, after releasing the sureties from their obligations under such performance bond or letter of credit, take over and perform the required services by its own devices, or may enter into a new contract for the required services, or any portion thereof, or may use such other methods as shall be required in the opinion of the Village for the performance of the required services;

F. The Village shall have the power to proceed with any right or remedy granted by federal laws and laws of the State of Illinois as it may deem best, including any suit, action or special proceeding in equity or at law for the specific performance of any covenant or agreement contained herein or for the enforcement of any proper legal or equitable remedy as the Village shall deem most effectual to protect the rights aforesaid, insofar as such may be authorized by law;

G. Upon any termination of this Agreement, the Contractor shall for a period requested by the Village, but not longer than eight (8) months, continue to perform the Services during which period the Village shall continue to pay the Contractor its scheduled compensation;

H. No remedy by the terms of this Agreement conferred upon or reserved by either Party is intended to be exclusive of any other remedy, but each and every such remedy shall be cumulative and shall be in addition to any other remedy. No delay or omission to exercise any right or power accruing upon any Event of Default shall impair any such right or power or shall be construed to be a waiver of any such Event of Default or acquiescence therein, and every such right and power may be exercised from time to time and as often as may be deemed expedient. No waiver of any Event of Default shall extend to or shall affect any subsequent default or Event of Default or shall impair any rights or remedies consequent thereto.

This Section shall survive the termination of this Agreement.

**Section 9.4          Events of Default and Remedies of Contractor**

If a Breach occurs on the part of the Village under this Agreement, the Contractor may declare an Event of Default and terminate this Agreement, upon notice to the Village specifying a termination date not less than ten (10) days from the receipt of said notice. In such event, the Contractor's sole remedy shall be to seek and recover from the Village any unpaid amounts due the Contractor, provided however Contractor shall not be entitled to recover any incidental, consequential, indirect or punitive damages resulting from the Breach.

This Section shall survive termination of this Agreement.

**Acknowledgement.**

The undersigned hereby represent and acknowledge that they have read the foregoing Agreement, that they know its contents, and that in executing this Agreement they have received legal advice regarding the legal rights of the party on whose behalf they are executing this Agreement, and that they are executing this Agreement as a free and voluntary act and on behalf of the named parties.

IN WITNESS WHEREOF, the Parties have executed this Agreement as of the dates set forth below.

**VILLAGE OF PALATINE**

**By:** \_\_\_\_\_  
**Reid Ottesen, Village Manager**

**Date:** \_\_\_\_\_

**GROOT RECYCLING & WASTE SERVICES, INC.**

**By:** \_\_\_\_\_

**Title:** \_\_\_\_\_

**Date:** \_\_\_\_\_

**Exhibit A.**  
Agreed Upon Pricing Structure

<b>Cost Category</b>	<b>2027</b>	<b>2028</b>	<b>2029</b>	<b>2030</b>	<b>2031</b>	<b>2032</b>	<b>2033</b>	<b>2034</b>
<b>Single-Family Dwelling</b>								
Refuse and Recycling	\$12.52	\$12.96	\$13.41	\$13.88	\$14.37	\$14.87	\$15.39	\$15.93
Yard Waste	\$2.27	\$2.35	\$2.43	\$2.52	\$2.61	\$2.70	\$2.79	\$2.89
Back Door Service	\$30.71	\$31.78	\$32.89	\$34.04	\$35.23	\$36.46	\$37.74	\$39.06
Senior Discount	\$1.50	\$1.50	\$1.50	\$1.50	\$1.50	\$1.50	\$1.50	\$1.50
<b>Multi-Family Dwelling</b>								
Refuse and Recycling	\$11.66	\$12.07	\$12.49	\$12.93	\$13.38	\$13.85	\$14.33	\$14.83
<b>Two Flat Dwelling</b>								
Refuse, Recycling, and Yard Waste	\$35.60	\$36.85	\$38.14	\$39.47	\$40.85	\$42.28	\$43.76	\$45.29
<b>Year-round Food Scrap Subscription</b>	\$150.00	\$150.00	\$150.00	\$160.00	\$165.00	\$175.00	\$185.00	\$190.00
<b>Oversized Bulk Item*</b>	\$50	\$50	\$50	\$50	\$50	\$50	\$50	\$50
<b>White Goods Collection</b>	\$20.00	\$20.00	\$25.00	\$25.00	\$30.00	\$30.00	\$35.00	\$35.00
<b>Electronic Waste Collection*</b>	\$20.00	\$25.00	\$25.00	\$30.00	\$35.00	\$40.00	\$45.00	\$45.00
<b>Cart Replacement Fee</b>	\$65	\$65	\$65	\$65	\$65	\$65	\$65	\$65
<b>Cart Changeout Fee</b>	\$30.00	\$30.00	\$30.00	\$30.00	\$35.00	\$35.00	\$35.00	\$35.00
SWANOC Fees are not included in above pricing								

Single Family Dwelling, Two Flat Dwelling, and Multi Family Dwelling, items are priced at a per unit per month rate

White Goods and Electronic Waste items are priced at a per collection rate. See Exhibit B for details.

Year-round Food Scrap Subscription is priced at a cost per year rate

\* These items incur a \$50 fee for overweight items see Exhibit B for details

**Exhibit B.**  
("Services")

**General**

The Contractor shall perform the following solid waste hauling and collection services:

1. Collection and transportation of Solid Waste Agency of Northern Cook County (SWANCC) System Waste to the GTS or another SWANCC contract facility as directed by the Village;
2. Collection, transportation and disposal of other waste described herein
3. Collection and legal disposal or composting of leaves and live holiday trees through the Villages' s leaf collection and disposal program and live holiday tree collection and disposal program as prescribed by the Village Manager;
4. Collection and transportation of Waste from all Village Facilities; and
5. Municipal Event support
6. On site document destruction of all materials provided by Village.

**SCOPE OF WORK**

**A. Description of Waste to be Collected**

SWANCC System Waste Materials are to be collected by the Contractor in accordance with an agreed upon schedule and transported to the Glenview Transfer Station (GTS) located at 3 Providence Way, Des Plaines, IL 60016 or another contract facility as directed by the Village, shall include all SWANCC System Waste generated within the corporate limits of the Village.

SWANCC System Waste Materials means garbage and general household waste, including up to two (2) cubic yards of residential remodeling waste, discarded by persons located within the Village limits of the Village of Palatine, residing in single-family dwellings, two flat residences, multi -family dwellings, waste from municipal facilities and other solid waste that is to be collected by the Contractor which must be disposed of to a SWANCC facility by reason of an existing contract between SWANCC and the Village, including Bulk Items. There shall be no limit to the quantity of SWANCC System Waste that residents may set out for collection.

Other Waste Materials to be collected and transported by the Contractor shall include the following:

1. Recyclable Materials - Materials accepted by the recycling facility for recycling, including at a minimum:
  - a. Metal including aluminum, tin and steel food and spray cans, aluminum foil and foil trays;
  - b. Glass including clear and colored bottles and jars;
  - c. Paper including newspaper, magazines, catalogs, telephone books, hardcover books, softcover books, office paper, advertising/ junk mail, kraft paper bags, chip board/ paperboard, corrugated cardboard, beverage cartons and aseptic packaging, paper cups, wrapping paper;
  - d. Plastic including bottles, tubs, jugs, and containers made of #1 PET/PETE; #2 HDPE; and #5 PP, LDPE and HDPE six-pack rings and twelve-pack bands, and

**A. Description of Waste to be Collected (cont.)**

- e. Any other material or materials which the Village and the Contractor mutually agree to include as a "Recyclable Material" subsequent to the execution of an Agreement.
  - f. Containers and packages, six- pack rings and twelve -pack bands, and any other material or materials which the Village and the Contractor mutually agree to include as a "Recyclable Material" subsequent to the execution of an Agreement.
2. Landscape Waste – Grass or shrubbery cuttings, leaves, tree limbs and other materials accumulated as the result of the care of lawns, shrubbery, vines and trees, excluding, however, tree limbs that are more than four (4) inches in diameter or more than four (4) feet in length. There shall be no limit to the quantity of Landscape Waste that residents may set out for collection.
  3. White Goods - as defined in 415 ILCS 5/22.28, and shall include all discarded refrigerators, ranges, water heaters, freezers, air conditioners, humidifiers, washing machines, dryers, dishwashers, ovens, furnaces, dehumidifiers, water softeners, trash compactors, microwave ovens and other similar domestic large appliances.
  4. Electronic Waste - Includes items as defined under the Illinois Electronics Products Recycling and Reuse Act 415 ILCS 151/1
  5. Bulk items - Generally items fifty (50) lbs or less that can be safely collected by one driver including but not limited to furnishings, furniture such as tables or bookcases, sofa/couch, household fixtures, carpeting (cut down to a size of four foot lengths), lawn care equipment, bicycles, vanities, and exercise equipment.
  6. Oversize Bulk - Items that weigh in excess of fifty (50) lbs and requires more than one driver to safely collect. Oversize Bulk Items in excess of seventy-five (75) lbs shall incur an additional fee of \$50. Note: Mattress and Boxspring sets shall cost \$50 no matter the weight.
  7. Hazardous Household Waste shall include all items defined by the I.E.P.A. as Acceptable Hazardous Waste.
  8. Food scrap(s) means garbage that is capable of being decomposed into compost by composting

**B. Materials Not Collected**

Materials to be collected will not include, earth, sod, rocks, concrete, waste from remodeling or construction of homes by commercial contractors, tree limbs, stumps or logs that are more than 4" in diameter, tires, liquid waste, motor oil, auto batteries, Electronic Waste , Hazardous Household Waste, potentially Infectious Medical Waste or other materials whose collection is not permitted by the law. All of the preceding items shall not be included in regular collections except as a special collection as agreed to by the Village and the Contractor.

### **C. Schedule and Location of Collection**

Once approved the Collection Schedule shall not be altered without prior approval by the Village Manager or their designee.

#### **1. Collection Schedule**

Contractor shall provide pricing for Existing Collection Schedule (Regularly scheduled pick up on Monday, Tuesday and Wednesday of each week.) as shown in Exhibit C also available via [weblink here](#). and may provide pricing and collection details for a Proposed Collection Schedule.

#### **2. Hours of Collection**

All refuse, landscape waste and recycling collection is to be between the hours of 6:30 AM and 8:00 PM. A sufficient number of collection vehicles and operators are to be provided to complete collections during these hours.

#### **3. Holidays**

Selected Contractor shall not perform Services on the following holidays: New Year's Day, Memorial Day, Independence Day (July 4), Labor Day, Thanksgiving Day, and Christmas Day. When any such holiday falls on a weekday, then collections for the week within which such holiday falls shall be delayed by not more than one day for the remainder of the week after the holiday; provided, however, that no such delayed collections shall occur on Sundays or holidays. In any case Contractor and Village shall agree upon a Holiday schedule no later than November 1<sup>st</sup> for the following calendar year. It is the Contractor's responsibility to proactively notify residents/customers of all schedule changes.

#### **4. Missed Collections**

In case of a missed pickup that is the fault of the Contractor and that is reported to the Contractor by the Village or a resident, the Contractor shall try to collect the missed items the same day if trucks are still on route. If not collected that day, collection will occur the following business day. Any calls received after the collection vehicles have left the Village for the day will be scheduled for collection the next business day.

#### **5. Single Family Dwellings and Two-Flat Residences**

Single Family dwelling means a single family residential unit, including duplexes, two-flats properties, and town-homes each unit has a separate entrance and separately metered electric, water or sewer facilities.

- a. All SWANCC System Waste, Landscape Waste, Recyclable Materials, and Bulk Items shall be collected once per week and shall be collected in accordance with an agreed up on schedule and specifications prepared for the Village, after consultation with the Contractor. Such schedule shall, among other items, establish the day or days of each week, and the times during each such day or days, when all SWANCC System Waste, Landscape Waste, Recyclable Materials, and Bulk Items are to be collected.
- b. Contractor shall only be required to collect waste that is properly prepared, which shall be placed at the curb in front or in the alley behind each household and made accessible to standard garbage, yard waste collection and recycling trucks. Waste shall be bagged, bundled, not weigh in excess of fifty (50) pounds or placed in cart provided by Contractor.

### **C. Schedule and Location of Collection (cont.)**

- c. Optional Back Door Collection (containers picked up at the customer' s back door) consisting of one sixty- five (65) or ninety- five (95) gallon wheeled refuse cart and sixty-five (65) or ninety-five (95) gallon wheeled recycling cart provided by the Contractor with excess refuse placed at the curb once each week.
- d. Refuse/Recycling Cart - the Contractor shall provide one (1) sixty- five (65) gallon wheeled refuse cart and one (1) sixty- five (65) gallon wheeled recycling cart to a single family resident at no initial cost to the resident. Residents may change cart sizes (35, 65, 95 Gallon) free of charge from May 1 through May 31 during each year of the Agreement. Contractor may charge Residential Units the fee as set forth in the Schedule of Prices for replacing the cart with a different size cart if the option is not exercised between May 1 through May 31 each year. The replacement carts may be refurbished and not necessarily brand new, in either case replacement carts must be clean. The Contractor shall be responsible for billing and collection of the fee. Residents are required to bring the cart to the curb. The Contractor will maintain ownership of all refuse/recycling carts.
- e. Landscape Waste shall be placed in thirty (30) gallon two (2) ply Kraft paper bags. The Contractor shall also accept and collect all bundles of brush or limbs, provided that the bundles do not exceed four (4) feet in length. The Contractor shall not be required to pick up individual bags or bundles that exceed sixty (60) pounds in weight.

### **6. Multi -Family Dwellings**

Multi -Family dwellings is understood to mean structures containing three (3) or more separate Households typically with shared entrances and utilities. All SWANCC System Waste Materials and Recyclable Materials, not including Landscape Waste Materials, shall be collected by the Contractor at least once per week . Increased collection frequencies shall be made at the discretion of the Contractor as approved by the Village. The Village may also request increased collection frequency of specific Multi -Family Dwellings with the Contractor's written consent.

### **7. Municipal Facilities**

Contractor shall furnish normal collection and disposal service for all Municipal Facilities and designated street litter baskets without any compensation. A list of all facilities and street litter baskets can be found in Exhibit D., this list will be updated at least once per year. Contractor shall provide annual document destruction for materials provided by the Village.

### **8. Municipal Events**

Provision, delivery, collection, transportation, and disposal of roll -offs, totes, and/ or event boxes free from transportation and disposal charges for special events, and various special municipal collections (as determined by the Village Manager) totaling up to 600 cubic yards of waste annually (including Garbage, SWANCC System Waste, Landscape Waste and Recyclable Materials).

### **9. Bulk Items**

The Contractor shall furnish a Bulk Items collection service to collect and dispose of all Bulk Items that weigh fifty (50) pounds or less and can be safely collected by one driver. All Bulk Items shall be placed at curbside by a resident for collection on the regular collection day. There shall be no additional charge for these collections.

## **C. Schedule and Location of Collection (cont.)**

### **10. Oversize Bulk Items**

The Contractor shall provide a collection program for Oversized Bulk Items (Bulk Items in excess of fifty (50) pounds that requires more than one driver to safely collect.). Oversize Bulk Items in excess of 75lbs shall incur an additional fee of \$50. Note: Mattress and Boxspring sets shall cost \$50 no matter the weight. Residents must contact the Contractor directly to receive this service. Contractor shall be responsible for billing and collections of all Oversized Bulk Items. The Village shall have no financial or other responsibility or liability for these collections. A process by which the Contractor shall notify a Resident that an item left out for collection is considered to be Oversized Bulk shall be created and mutually agreed upon by the Village and the Contractor.

### **11. White Goods**

The Contractor shall provide a collection program for White Goods at a maximum of two (2) items per collection price. Residents must contact the Contractor directly to receive this service at least 24 hours ahead of their service day. Contractor shall be responsible for billing and collections of all White Goods. The Village shall have no financial or other responsibility or liability for these collections.

### **12. Electronic Waste**

The Contractor shall provide a collection program for Electronic Waste. This service includes the collection of up to five (5) Electronic Waste items, or other items as agreed to by the Contractor and the Village, including televisions (50 pounds or less). Televisions in excess of 50 pounds will require an additional charge of \$50.00 per unit. Residents must contact the Contractor directly to receive this service at least 24 hours ahead of their service day. Contractor shall be responsible for billing and collections of all Electronic Waste. The Village shall have no financial or other responsibility or liability for these collections.

### **13. Year-Round Food Scrap Collection**

The Contractor shall provide a year-round subscription program for food scraps which includes a 65 gallon Food Scrap Cart unless another cart size is requested. Residents must contact the Contractor directly to receive this service and cart. Contractor shall be responsible for billing and collections of this service. Service provided during the winter months (outside the defined yard waste season) shall occur for all participants weekly on Monday (or alternate day as mutually agreed to) for food scraps only. Contractor shall annually provide a list of acceptable items that may be placed in the cart, which may include Landscape Waste. Year-Round Food Scrap Collection is a twelve (12) month subscription plan that shall be billed annually and shall not be prorated. Should the participation of this program exceed 30% participation, the total annual subscription rate would be reduced by \$25.00 per season. After year three of the contract term the parties will review the program and may mutually agree to discontinue the subscription program. The Village shall have no financial or other responsibility or liability for these collections.

### **C. Schedule and Location of Collection (cont.)**

#### **14. Hazardous Household Waste**

Subject to the availability of a suitable third-party provider for such services, within Contractor's discretion, the Contractor shall annually propose or provide a report on a collection program for Hazardous Household Waste until such program is operational. Residents must contact the Contractor directly to receive this service. Once a mutually agreeable program is finalized, the Contractor shall be responsible for billing and collections of all Hazardous Household Waste which may include the use of a subcontractor. The Village shall have no financial or other responsibility or liability for these collections.

#### **15. Holiday Trees**

The Contractor is to collect Holiday Trees from both single family and multi-family properties for collection during December and January. Holiday Trees shall be disposed of by the Selected Contractor in the same manner as Landscape Waste. The fee for Holiday tree collection shall be included in the refuse and recycling pricing.

#### **16. Fall Leaf Assistance**

The Contractor at its sole cost shall provide assistance to the Village's Public Works Department with a fall leaf collection and disposal program. The Contractor will be required to load and transport leaves collected by the Village. The Village Manager or their designee will coordinate the scheduled removal.

#### **17. Residential Move Out**

Contractor shall collect, at no cost to the Village, all refuse placed at the curb by a resident moving out of their home. Collections are to occur on regular collection days or upon special request by the Village.

#### **18. Emergency Pick-Up Service**

The Contractor shall, upon receipt of notice from the Village, provide any residence in the Village a special emergency pick-up service for Garbage, SWANCC System Waste and miscellaneous waste materials, in circumstances requiring prompt disposition of the waste materials and where a delay in pick-up until the next regularly scheduled pick-up day would or might be injurious or detrimental to the health, safety and/or welfare of the Village. Any such special emergency pick-up service shall be completed on or before the next business day after the day of notification and no charge shall be made to the Village for this service.

#### **19. Closed Streets**

In the event a street is closed due to construction work, the Contractor agrees to collect SWANCC System Waste and Other Waste Materials in accordance with the regular schedule, and in accordance with a method of collection approved by the Village. The method of collection shall be a method offering minimal inconvenience to residents along the street and minimal expense to the Contractor.

## **D. Disposal of Waste**

### **1. SWANCC System Waste**

The Contractor shall transport for processing all SWANCC System Waste to the GTS, a SWANCC approved facility, or as otherwise mutually agreed upon by the Village and Contractor. No SWANCC System Waste or other material collected shall be commingled with any other waste or other material. No Recyclable Materials collected shall be commingled with any SWANCC System Waste or other material regardless of where collected, nor shall any such Recyclable Materials be disposed of rather than being recycled, except where the Contractor, in its sole but reasonable discretion, has deemed that an individual recycling cart is contaminated to the extent the materials need to be treated as Refuse in order to maintain the integrity of the recyclables being collected.

### **2. Other Waste**

- a. Recyclable Materials shall be collected and transported to a recycling facility for processing. The Contractor is obligated to ensure that all Recyclable Materials collected are properly processed and marketed. No collected Recyclable Materials shall be landfilled or incinerated unless advance authorization to do so is given in writing by the Village. The Village currently participates in SWANCC's Recycling Incentive Program (RIP), through which all recyclables collected are delivered to Groot's Elk Grove MRF with no tipping fee or processing fee incurred by the Contractor. RIP participation for the next contract term may be negotiated, and the Village has the option to opt out of RIP participation.
- b. Landscape Waste shall be collected (the first week of April through the second week of December) of each year and delivered either directly or through transfer haul to a permitted composting facility.
- c. White Goods shall be collected and disposed of as defined in Section 22.28 of the Illinois Environmental Protection Act (415 ILCS 5/22.28)
- d. Electronic Waste shall be collected and recycled or disposed of in accordance with applicable laws.
- e. Hazardous Household Waste shall be collected and recycled or disposed of in accordance with applicable laws.
- f. Year-Round Food Scrap Collection - food scraps shall be collected and composted

## **E. General Operating Requirements**

### **1. Reporting**

The Contractor shall provide to the Village, monthly, a report on the quantity of all waste collected within the municipality. Such a statement shall be issued to the Village by the last day of the month immediately following each calendar quarter. The report shall contain a breakdown of the types of waste collected including SWANCC System Waste, Oversized Bulk Items, White Goods, Landscape Waste, Electronic Waste, Hazardous Waste, Cart Change outs, Food Scrap Collection, and Recyclable Materials, and shall be further detailed by the origin of the waste collected including Fall Leaf Assistance program, Special Municipal Collections, Emergency Pick Up Service, Single -Family Dwellings, Two-flat Dwellings, and Multi -Family Dwellings. Additionally the Contractor shall provide the Village, annually, a Collection Schedule in a format consumable by the Village's GIS system (currently ArcGIS).

## **E. General Operating Requirements (cont.)**

### **2. Service Coordinator**

The Contractor shall provide the Village with a Service Coordinator with respect to issues that may arise during the performance of the work, and such person shall have authority to transmit instructions and receive information and confer with the Village Manager or their designee. The Service Coordinator shall be the Emergency contact for the Contractor and shall be available to the Village Manager or their designee 24/7.

### **3. Collection Vehicles**

The Contractor shall provide an adequate number of high-quality compactor vehicles to ensure timely completion of routes. If front loading compactor vehicles are provided, the Contractor is to make arrangements at no additional charge for collecting items that will not fit into the front hopper. All vehicles shall be kept in good repair and appearance and shall be always maintained in a sanitary condition. Each vehicle shall have the name, a vehicle identification number, and a toll-free local phone number of the Contractor clearly visible on the side. Refuse and Landscape Waste vehicles shall be of a compactor type. No truck shall displace or leak fluids, oil, hydraulic fluids, etc. In the event any vehicle is not properly operable, the Contractor shall immediately provide a substitute complying with the terms outlined herein.

A listing of vehicles to be utilized in carrying out the Agreement shall be provided to the Village prior to starting work under the Agreement. The Contractor shall provide an adequate work force so as to ensure regular collection under adverse weather conditions, regardless of breakdowns or similar problems.

### **4. Public Information**

No Less than sixty (60) calendar days prior to the initial term of the contract and once per year thereafter, the Contractor shall at its sole expense, prepare and distribute an informational brochure approved by the Village Manager or their designee. Additional mailings to help educate residents about program changes may be required by the Village. The cost of any mailings will be the responsibility of the Contractor.

Contractor, at their own expense, shall affix a label not less than (8) eight by ten (10) inches in size displaying acceptable recycling materials to all recycling containers. Label shall be reviewed and approved by the Village Manager or designee.

### **5. Ready Web/Telephone Access**

The Contractor is to provide an office through which it can be readily contacted to receive service requests and complaints from Village residents and Village officials. Sufficient toll-free telephone lines, telephones, and service staff are to be provided from 8:00 AM – 5:00 PM Monday through Friday to minimize caller waiting time to less than 3 minutes on average. The Contractor is to have a web presence/phone app dedicated to the Village of Palatine that provides detailed information on services, schedule, special pick ups, and the ability to enter requests for service.

## **F. Base Compensation**

### **1. Single Family Dwelling**

The Contractor shall be entitled to compensation for its Services in accordance with the Schedule of Prices. The Village shall collect fees for Single Family Dwellings on behalf of the Contractor. The Village retains the right to make payment to the Contractor through the issuance of a check, electronic means or the use of a credit card/purchasing card. Any other form of payment shall be mutually agreed upon.

### **2. Multi Family Dwelling - Containerized Collections**

- a. SWANCC System Waste Collection — Monthly rate shall be pursuant to the Schedule of Prices (regardless of the number of collections per week) based on the number of units available and not on occupancy.
- b. Multi -Family Disposal Fee – This fee shall be set by the Village and be adjusted annually each **January 1, by** the percentage increase in the SWANCC Tipping Fee (Disposal Fee) or as otherwise directed by the Village Manager or their designee. The Contractor shall pay the disposal fee to the Village each month based upon the number of multi -family units billed by the Contractor regardless of the amount of waste actually delivered to the GTS. Collection shall be based on the number of units available and not on occupancy.
- c. The Contractor shall send bills to the person, firm or corporation benefiting from such service.

### **3. Municipal Facilities, Municipal Events, Designated Street Litter Baskets, Fall Leaf Assistance, and Document Destruction**

The Village shall not be charged for these services.

### **4. Senior Discount**

Provide a discount to Single-Family Dwellings where the head of the household is 65 or older.

### **5. Optional Services**

Optional Services, including but not limited to, Year-round Food Scrap Collection, White Goods, Oversize Bulk items, Hazardous Household Waste, and Electronics Collections. The Contractor shall send bills to the person, firm or corporation benefiting from such service.

## **G. Adjustments to Base Compensation**

The compensation to the Contractor for the services included in the Schedule of Prices shall be adjusted quarterly on the basis of the increase or decrease in the number of Single Family Dwellings served during the preceding month, based upon the billing records of the Village. Such computation of charges for the number of households served shall be made by the Village and the Contractor mutually, within ten (10) days following the close of each quarter, the change in compensation to the Contractor to be effective as of the first day of said new quarter. All such changes shall be reflected in the annual and quarterly reports due to the Village.

The annual adjustments provided for in the Schedule of Prices shall represent the full and only adjustments allowable and supplemental surcharges for fuel or any other costs are specifically not allowed.

## H. Contractor's Insurance

Contractor shall procure and maintain, for the duration of the Contract and any maintenance period, insurance against claims for injuries to persons or damages to property, which may arise from or in connection with the performance of the work hereunder by the Contractor, his agents, representatives, employees or subcontractors.

Minimum Scope of Insurance: Coverage shall be at least as broad as:

Insurance Services Office Commercial General Liability occurrence form CG 0001 with the Village of Palatine named as additional insured on a primary and non-contributory basis. This primary, non-contributory additional insured coverage shall be confirmed through the following required policy endorsements: ISO Additional Insured Endorsement CG 20 10 or CG 20 26

1. Insurance Services Office Commercial General Liability occurrence form CG 0001 with the Village named as additional insured, on a form at least as broad as the ISO Additional Insured Endorsement CG 2010 and CG 2026
2. Insurance Service Office Business Auto Liability coverage form number CA 0001, Symbol 01 "Any Auto."
3. Workers' Compensation as required by the Labor Code of the State of Illinois and Employers' Liability insurance.

Minimum Limits of Insurance: Contractor shall maintain limits no less than:

1. Commercial General Liability: \$2,000,000 combined single limit per occurrence for bodily injury, personal injury and property damage. The general aggregate shall be twice the required occurrence limit. Minimum General Aggregate shall be no less than \$5,000,000.
2. Business Automobile Liability: \$5,000,000 combined single limit per accident for bodily injury and property damage.
3. Workers' Compensation and Employers' Liability: Workers' Compensation coverage with statutory limits and Employers' Liability limits of \$500,000 per accident.
4. Environmental Impairment/Pollution Liability: \$ 2,000,000 combined single limit per occurrence for bodily injury, property damage and remediation costs.
5. Umbrella or excess liability coverage of \$ 25,000,000 per occurrence and in aggregate. Limits of any of the policies contained herein may be met through a combination of primary and Umbrella/ Excess Policies

Other Insurance Provisions

The policies are to contain, or be endorsed to contain, the following provisions:

1. General Liability and Automobile Liability Coverages:
  - a. The Village, its officials, agents, employees and volunteers are to be covered as additional insureds as respects: liability arising out of activities performed by or on behalf of the Contractor; products and completed operations of the Contractor; premises owned, leased or used by the Contractor; or automobiles owned, leased, hired or borrowed by the Contractor. The coverage shall contain no special limitations on the scope of protection afforded to the Village, its officials, agents, employees and volunteers.
2. The Contractor's insurance coverage shall be primary and non-contributory as respects the Village, its officials, agents, employees and volunteers. Any insurance or self-insurance maintained by the Village, its officials, agents, employees and volunteers shall be excess of Contractor's insurance and shall not contribute with it.
3. Any failure to comply with reporting provisions of the policies shall not affect coverage provided to the Village, its officials, agents, employees and volunteers.
4. The Contractor's insurance shall contain a Severability of Interests/Cross Liability clause or language stating that Contractor's insurance shall apply separately to each insured against whom claim is made or suit is brought, except with respect to the limits of the insurer's liability.
5. If any commercial general liability insurance is being provided under an excess or umbrella liability policy that does not "follow form," then the Contractor shall be required to name the Village, its officials, employees, agents and volunteers as additional insureds
6. All general liability coverages shall be provided on an occurrence policy form. Claims-made general liability policies will not be accepted.
7. The contractor and all subcontractors hereby agree to waive any limitation as to the amount of contribution recoverable against them by the Village. This specifically includes any limitation imposed by any state statute, regulation, or case law including any Workers' Compensation Act provision that applies a limitation to the amount recoverable in contribution such as Kotecki v. Cyclops Welding.
8. All insurance coverage required to be purchased and maintained shall contain a provision or endorsement providing that the coverage afforded will not be cancelled or renewal refused until at least thirty (30) days' prior written notice has been given to the Village by regular mail or electronic transmission (including e-mail).

All Coverages:

1. No Waiver. Under no circumstances shall the Village be deemed to have waived any of the insurance requirements of this Contract by any act or omission, including, but not limited to:
  - a. Allowing work by Contractor or any subcontractor to start before receipt of Certificates of Insurance and Additional Insured Endorsements.
  - b. Failure to examine, or to demand correction of any deficiency, of any Certificate of Insurance and Additional Insured Endorsement received.
2. Each insurance policy required shall have the Village expressly endorsed onto the policy as a Cancellation Notice Recipient. Should any of the policies be cancelled before the expiration date thereof, notice will be delivered in accordance with the policy provisions.

Acceptability of Insurers

Insurance is to be placed with insurers with a Best's rating of no less than A-, VII and licensed to do business in the State of Illinois.

Verification of Coverage

**Contractor shall furnish the Village with certificates of insurance naming the Village, its officials, agents, employees, and volunteers as additional insureds and with original endorsements, affecting coverage required herein.** The certificates and endorsements for each insurance policy are to be signed by a person authorized by that insurer to bind coverage on its behalf. The certificates and endorsements are to be received and approved by the Village before any work commences. The Contractor shall deliver certificates of renewal or replacement policies or coverage no less than ten (10) days prior to the effective date of each renewal or replacement policy or coverage.

Subcontractors

Contractor shall require all subcontractors to carry the same coverages and limits as set forth herein. All coverages for subcontractors shall be subject to all of the requirements stated herein.

Assumption of Liability

The Contractor assumes liability for all injury to or death of any person or persons including employees of the Contractor, any subcontractor, any supplier or any other person and assumes liability for all damage to property sustained by any person or persons occasioned by or in any way arising out of any work performed pursuant to the Contract to the extent such liability arises from Contractor's negligence or willful misconduct.

Workers' Compensation and Employers' Liability Coverage

The insurer shall agree to waive all rights of subrogation against the Village of Palatine, its officials, employees, agents and volunteers for losses arising from work performed by Contractor for the municipality.

Reporting Claims

The Contractor shall be responsible for promptly reporting all claims to the appropriate insurer on behalf of itself, the Village and the additional insureds set forth below.

Additional Insureds

The insurance policies set forth herein shall be endorsed to include the Village, elected officials, the directors, officers, employees, agents and members of the municipality, SWANCC and the directors, officers, employees, agents and members of SWANCC as additional insureds for all activities of the Contractor in the performance of the Agreement. Such insurance is to be primary and non-contributory with any insurance secured and maintained by such additional insureds.

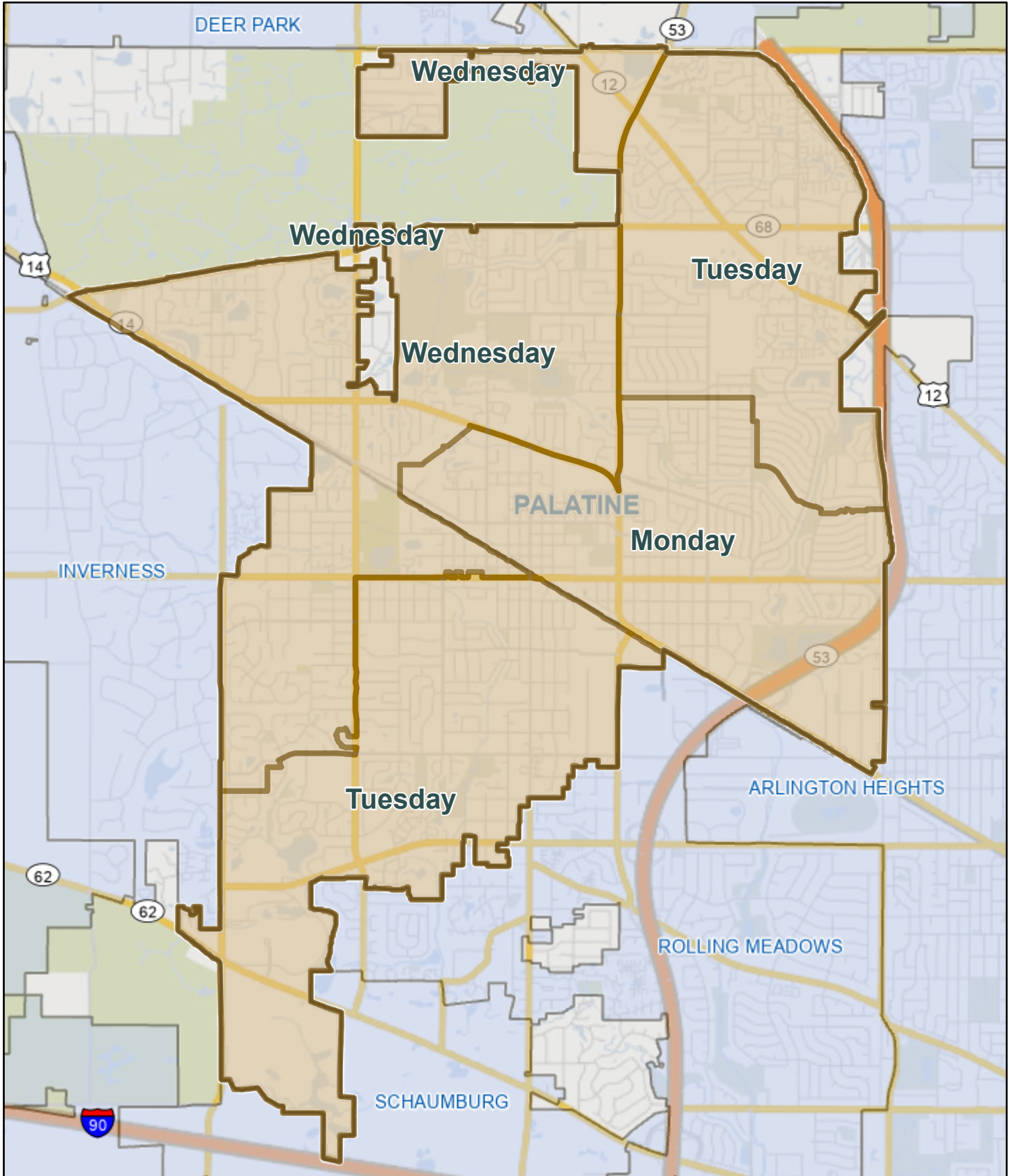
Failure to Comply

In the event the Contractor fails to obtain or maintain any insurance coverages required under this contract, The Village may purchase such insurance coverages and charge the expense thereof to the Contractor.

**Exhibit C.**  
("Collection Schedule")




Attach Map here

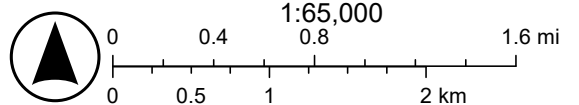
# Exhibit C



3/10/2026, 3:44:30 PM

-  Garbage Collection Areas
-  Interstate Highway Label
-  Municipal Boundary
-  Other Municipal Boundary
-  Municipal Boundary Mask

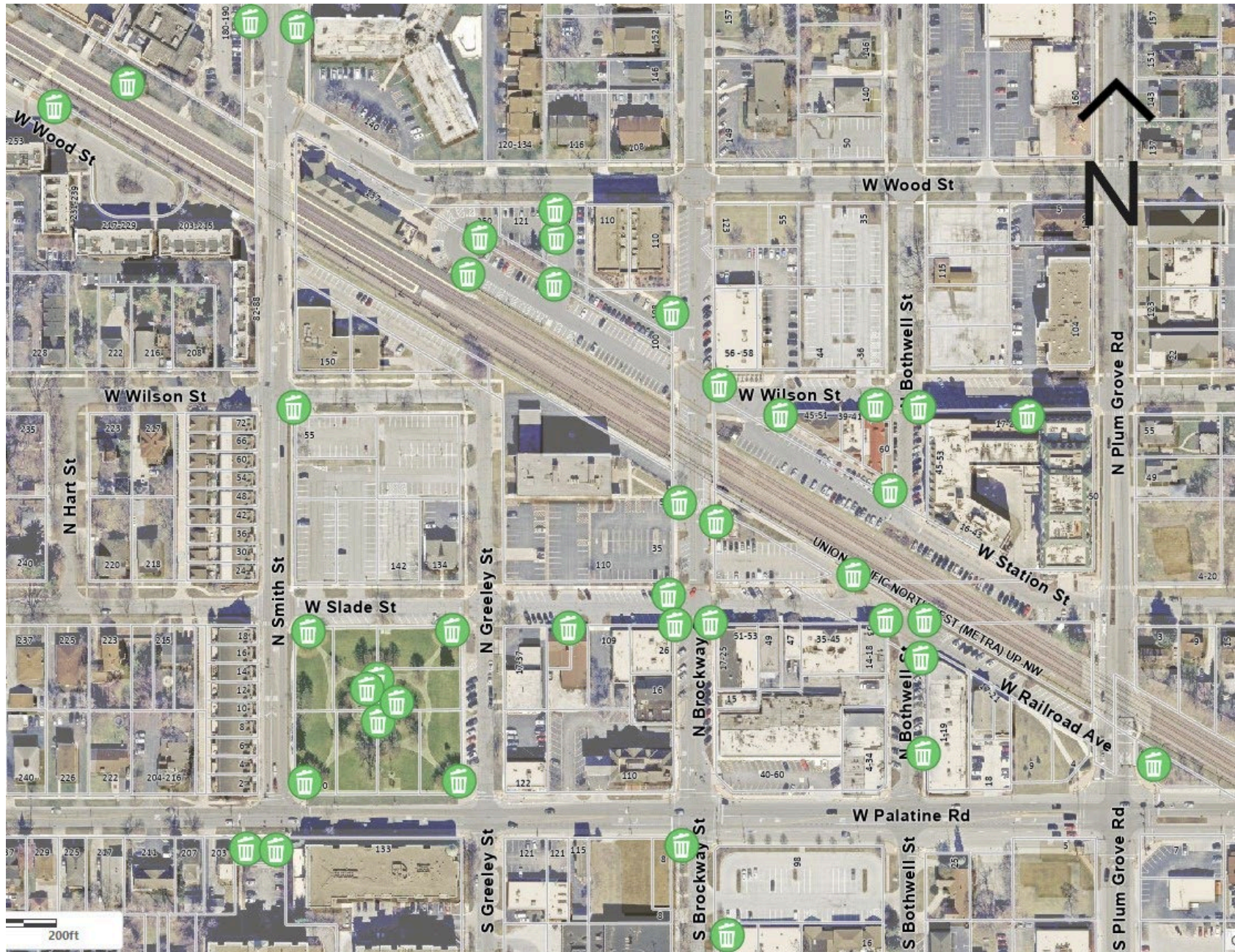
- GISC\_BASEMAP\_MEDIUMCANVAS
-  Red: Band\_1
  -  Green: Band\_2
  -  Blue: Band\_3



GIS Consortium

**Exhibit D.**  
Facility List

<b>Address</b>	<b>Facility</b>
39 E. Colfax Street	Fire Station 85
220 W. Illinois Avenue	Fire Station 84
1475 N. Hicks Road	Fire Station 82
987 E. Palatine Road	Fire Station 83
1215 N. Quentin Road	Fire Station 81
148 W. Illinois Avenue	Combined Services Facility
200 E. Wood Street	Village Hall
595 N. Hicks Road	Police Headquarters



## **Police Department's Online Reporting and Crime Incident Viewer Presentation**

### **BACKGROUND:**

The Village of Palatine has implemented a variety of new technology that allows residents and businesses to conduct more Village business online as a convenience to the end user. Over the past several years this included the ability to submit all building permits and business licenses online as well as manage utility accounts.

Additionally, in an effort to better educate the public of recent police activity, we have leveraged our Geographic Information System to provide the public with current crime mapping.

### **KEY ISSUES:**

- The Police Department has worked through the process with a vendor to allow for many routine type incidents to be handled online rather than requiring someone to come to the station or an officer to respond to the location.
- Online reporting is a benefit for any resident that is either unable to leave their residence or would prefer not to leave.
- Commander Chris Stearns will provide a brief overview of this new reporting system that is now available to the public. Additionally, he will preview the crime mapping system available to the public.

### **BUDGET IMPACT:**

N/A

### **RECOMMENDATION:**

N/A

### **ACTION REQUIRED:**

N/A

### **ATTACHMENTS:**

1. Police On-line Reporting and Crime Mapping



# Enhancing Transparency and Service: Online Police Reporting & Incident Map Viewer

As part of ongoing efforts to improve transparency and community access, the Palatine Police Department implemented an online reporting system and incident map viewer. These tools allow residents to easily submit certain reports online while providing the public with insight into crime and police activity in the community.





# Online Police Reporting

**Convenient, secure reporting for non-emergency incidents**

Residents can submit certain non-emergency police reports online through the Village's website. Each report is reviewed by our investigations bureau to ensure it meets reporting requirements before being officially approved.

## What is it:

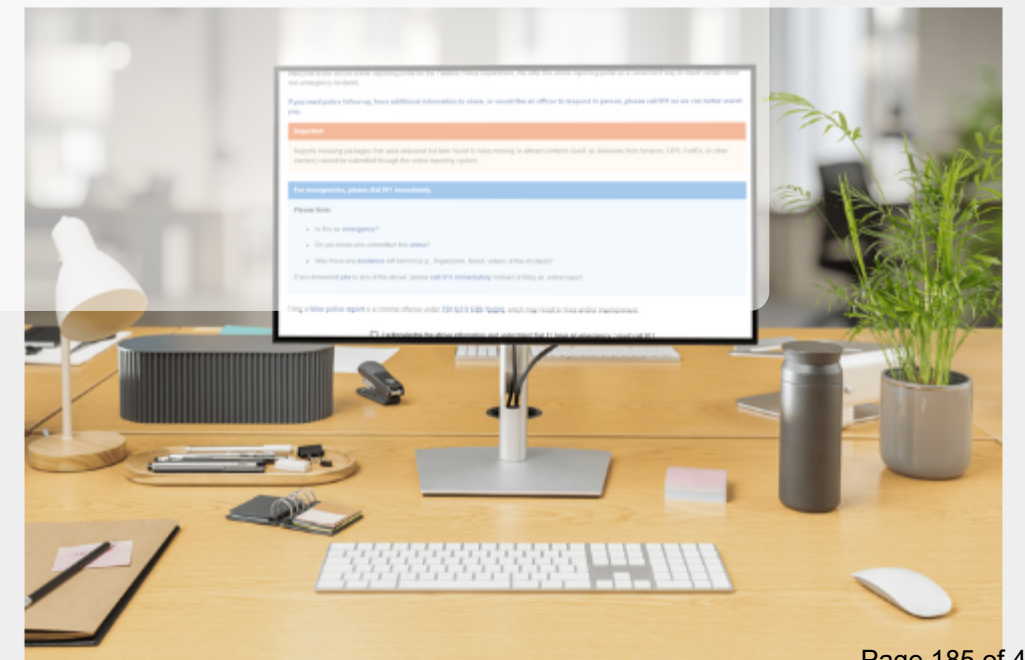
- Allows residents to submit certain police reports online through the Palatine Police Department website
- Reports are reviewed by officers before being officially approved and entered into the records system

## Types of Reports:

- Credit Card Fraud
- Criminal Damage to Vehicle
- Identity Theft
- Lost Property
- Online/Telephone Harassment
- Theft
- Vandalism

## Benefits to the Community

- Available 24 hours a day from any device (Computer, mobile, kiosk)
- Faster and more convenient for residents
- Upon report approval, provided a PDF copy of report via email.
- Allows officers to focus on priority calls and proactive policing



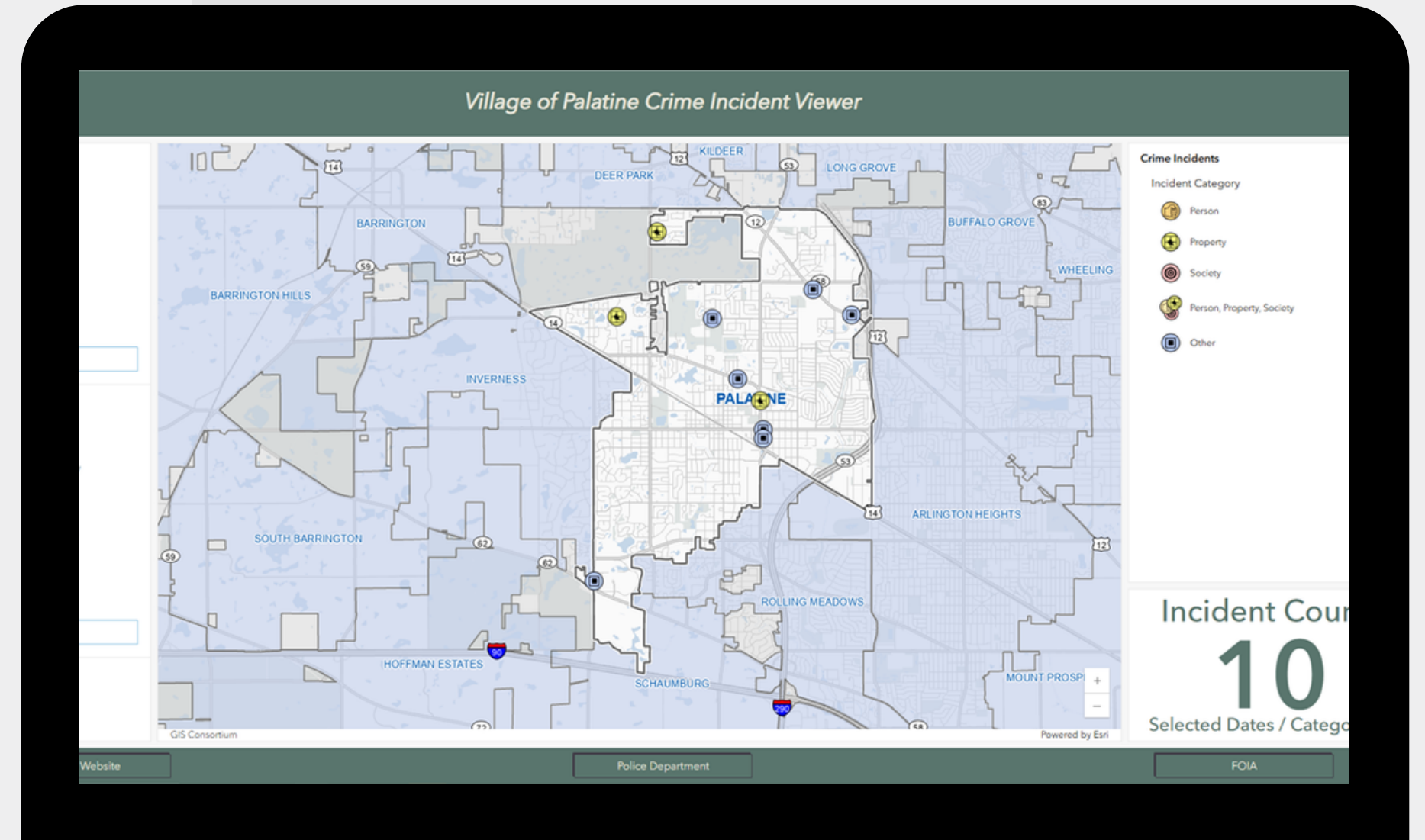


# Public Incident Map Viewer

Providing the community with transparent access to police activity

The Public Incident Map Viewer combines two systems to provide residents with accessible information about police activity in the community. Incident data from the Police Department's dispatch center (CAD system) is integrated with the Village's Geographic Information System (GIS) to display recent police incidents on an interactive map.

This system allows residents to view general information about police activity while maintaining appropriate privacy protections. Locations are generalized and sensitive details are removed to ensure transparency while protecting victims and ongoing investigations.



## **Consider an Ordinance Authorizing the Village Manager to Execute a Renewed Intergovernmental Agreement Between the Village of Palatine and the Inverness Fire Protection District**

### **BACKGROUND:**

The Village of Palatine and the Inverness Fire Protection District have a long-standing intergovernmental agreement, in which Palatine provides first responder fire and EMS services to agreed-upon areas of unincorporated Cook County that are in the Inverness Fire Protection District. The last agreement expired April 14, 2024, and the new agreement has been revised and was approved by the Inverness Fire Protection Board on February 9, 2026.

### **KEY ISSUES:**

- The Village of Palatine and Inverness have operated within an intergovernmental agreement for agreed-upon services since 2000. The intergovernmental agreement expired in 2024, thus a new agreement is needed.
- The term of the new agreement is from March 16, 2026 to March 15, 2031.
- Under this agreement, the Village will continue to provide first responder fire and EMS services to agreed-upon areas of unincorporated Cook County that is in the Inverness Fire Protection District. The District will provide mutual aid to the Village of Palatine, as well as an annual payment to the Village.
- The terms of the agreement remain unchanged except for a change in the methodology for annual increases, moving from a portion of property tax receipts to a 3% escalator every year based on the 2025 dollar amount for the life of the agreement term.

### **BUDGET IMPACT:**

\$801,788.05 for 2026 with 3% escalator per year thereafter.

### **RECOMMENDATION:**

Staff recommends approval of a Renewed Intergovernmental Agreement between the Village of Palatine and the Inverness Fire Protection District.

### **ACTION REQUIRED:**

Approval of an ordinance authorizing the Village Manager to execute a renewed Intergovernmental Agreement between the Village of Palatine and the Inverness Fire Protection District.

### **ATTACHMENTS:**

1. Ord - Auth Exec of Intergov.Agr with Inverness Fire Protection District
2. Intergovernmental Agreement



ORDINANCE NO. \_\_\_\_\_

**AN ORDINANCE AUTHORIZING THE EXECUTION OF A RENEWED INTERGOVERNMENTAL AGREEMENT BETWEEN THE VILLAGE OF PALATINE AND THE INVERNESS FIRE PROTECTION DISTRICT**

WHEREAS, the Village of Palatine (“Village”) is a municipal corporation organized and existing under the Statutes of the State of Illinois and empowered by statutes and by Home Rule Authority; and

WHEREAS, the Village and the Inverness Fire Protection District (“Inverness”) are Illinois governmental entities subject to the Illinois Intergovernmental Cooperation Act (5 ILCS 220/1 et. seq.).

WHEREAS, for the past twenty-five (25) years, the Village and Inverness have shared services and responses for fire and emergency medical services; and

WHEREAS, the sharing of services has been governed by an Intergovernmental Agreement which was most recently approved in 2014; and

WHEREAS, through an annual review of the Intergovernmental Agreement it has been determined that an update to the Agreement is appropriate to reflect current service delivery for the exchange of fire and emergency medical services in specified areas.

NOW, THEREFORE, BE IT ORDAINED, by the Mayor and Village Council of the Village of Palatine, Illinois, as follows:

**SECTION 1:** The Mayor, is hereby authorized to execute an Intergovernmental Agreement between the Village of Palatine and Inverness Fire Protection District, attached hereto.

**SECTION 2:** This Ordinance shall be in full force and effect from and after its adoption as provided by law.

PASSED: This \_\_\_\_\_ day of \_\_\_\_\_, 2026

AYES:\_\_\_\_\_ NAYS:\_\_\_\_\_ ABSENT:\_\_\_\_\_ PASS:\_\_\_\_\_

APPROVED by me this \_\_\_\_\_ day of \_\_\_\_\_, 2026

\_\_\_\_\_  
Mayor of the Village of Palatine

ATTESTED and FILED in the office of the Village Clerk this \_\_\_\_\_ day of \_\_\_\_\_, 2026

\_\_\_\_\_  
Village Clerk

INTERGOVERNMENTAL AGREEMENT  
BETWEEN  
THE VILLAGE OF PALATINE  
AND THE  
INVERNESS FIRE PROTECTION DISTRICT

THIS INTERGOVERNMENTAL AGREEMENT (“Agreement”) is made and entered on the last date set forth next to the signatures of the Inverness Fire Protection District (the “District”) and the Village of Palatine (the “Village”) (collectively, the “Parties”), that have approved this Agreement in the manner provided by law.

*WITNESSETH:*

*WHEREAS*, Article VII, Section 10 of the Illinois Constitution of 1970 authorizes units of local government to cooperate with each other in order to accomplish common goals and objectives; and

*WHEREAS*, 5 ILCS 220/2 defines a public agency as “any unit of local government”; and

*WHEREAS*, 5 ILCS 220/3 entitled “Intergovernmental Cooperation Act” provides that any power or powers, privilege, or authority exercised or which may be exercised by any public agency may be exercised and enjoyed jointly with any other public agency; and

*WHEREAS*, 5 ILCS 220/5 authorizes such intergovernmental agreements and contracts; and

*WHEREAS*, the District is organized pursuant to 70 ILCS 705/1 *et seq.* and the Board of Trustees pursuant to 70 ILCS 705/6 is authorized to enter into this Agreement and to undertake the obligations herein and pursuant to 70 ILCS 705/11a to enter into contracts for fire protection. Pursuant to that authority, the Board possesses the power to manage and conduct the business of the District for carrying into effect the objects for which the District was formed. In entering into this Agreement, the Board finds that the rights and obligations and mutual promises contained

herein carry into effect the objects and purposes for which the District was formed; and

*WHEREAS*, the Parties are both public agencies as defined by statute; and

*WHEREAS*, the Parties recognize the need to cooperate in maintaining their concern for public safety in order to provide efficient and effective fire protection and emergency services to certain territory that has been annexed to the Village and that territory that remains in the District; and

*WHEREAS*, the Parties hereto have determined that it is in their best interest to enter into this Agreement to secure to each the benefits of cooperation in providing fire suppression, rescue, fire prevention bureau services, and emergency medical services ("EMS") to all those properties identified in this Agreement and that such services are a legitimate public purpose.

*NOW, THEREFORE*, the Parties do hereby enter into this Intergovernmental Agreement and agree to cooperate upon the following terms and conditions. As mutual consideration for the promises and agreements entered into herein, the Parties agree that:

1. Incorporation of Preambles. The representations, covenants and recitations set forth in the foregoing preambles are material to this Agreement and are hereby incorporated into and made a part of this Agreement as though they were fully set forth herein. The parties acknowledge the adequacy and sufficiency of the consideration contained herein.

2. District and Village Agreement on First Responder and Special Service.

First Responder Services

(a) The Village shall provide (i) first responder fire and EMS services to all of unincorporated Cook County located within the current boundaries of the District (except unincorporated property west of Roselle Road and the Ned Brown Forest Preserve) as shown in red on attached GIS map, Exhibit # 1. and (ii) all fire prevention bureau services including

building inspections and reviews pursuant to Village schedules and District fire prevention ordinances for the Subject Properties (together the "Services"). The Service shall be with comparable staffing and equipment as is provided throughout the Village.

(b) The District shall provide automatic aid as determined by mutual agreement between the Fire Chiefs of both the Village and District.

Special Services

In addition to First Responder Services described below, the Village shall provide certain special services upon request. The details and scope of the provision of said special services is set forth on attached applicable Exhibits # 2, 3, 4.

(c) Each party hereto agrees to waive all claims against the other party hereto for any loss, damage, personal property, injury or death occurring in consequence of the performance of this Agreement.; provided, however, that such claim is not a result of gross negligence or willful misconduct by a party hereto or its personnel.

(d) Each party providing aid pursuant to this Agreement hereby expressly agrees to hold harmless, indemnify and defend the party requesting aid and its personnel from any and all claims, demands, liability, losses, suits in law or in equity which are made by a third party. This indemnity shall include attorney's fees and costs that may arise from providing aid pursuant to this Agreement, provided, however, that such claims made by a third party are not the result of gross negligence or willful misconduct on the part of the party rendering aid. For example, if the Village responds to a call in an area that is within the District's original jurisdiction and a third person is injured by the acts of the Village's Fire Department, the Village shall hold the District harmless for any injuries sustained by that party.

(e) All employee benefits, wage and disability payments, pensions workers compensation claims, damage to or destruction of equipment and clothing, and medical expenses of the party rendering aid shall be the sole and exclusive responsibility of the party rendering aid for its employees, except in cases of gross negligence or willful misconduct on the part of the party for whom the aid was rendered. For example, if a District firefighter is injured in connection with responding to a call which is located within the Village's original jurisdiction, pursuant to this Agreement, the employee's claim shall be made against the District.

(f) The rendering of assistance under the terms of this Agreement shall not be mandatory.. It is the responsibility of the party who denies a response to immediately notify the other party of the party's inability to respond; however, failure to immediately notify the other party of such inability to respond shall not constitute evidence of noncompliance with the terms of this section and no liability may be assigned for any failure to notify or for not responding.

3. Financial and Other Contributions to the Village for Servicing Unincorporated Portions of the District.

(a) As consideration for the Village's undertakings herein, the District shall pay a portion of property tax receipts from unincorporated Cook County except the property described below:

- (i) The northbound lanes of Illinois Route 53 from Palatine Road to Dundee Road; and
- (b) All unincorporated properties west of Roselle Road. These areas are depicted and bordered in yellow on attached GIS map Exhibit # 5. The District shall collect that

portion of the real estate taxes generated in the unincorporated Cook County areas, per Section 3(a). Additionally, the District shall be allowed to collect and retain the real estate taxes under the Non-Cap Fire Pension per P.A. 93-0689. Any future annexation / de-annexation within the District will require recalculation of the annual base payment amount. The payment for Calendar Year 2025 is \$778,435. This amount shall increase in future years by three percent (3%). For example, the Calendar Year 2026 payment shall be \$801,788.05.

(c) All amounts owed by the District to the Village shall be paid in two (2) equal installments due and payable on June 15 and December 15 of each year.

(d) As additional consideration for the Village's undertakings herein, the District agrees for the term of this Agreement, to not exercise its right to object pursuant to 70 ILCS 705/20 to the disconnection of territory from the District as a result of any Village annexations occurring after January 1, 2000 and thereafter.

(e) The Village may charge fees for plan reviews, other lawful special services, EMS service, and Shared Special Team services (i.e., water rescue, technical rescue, hazardous material mitigation, and fire investigation services) pursuant to District ordinances in unincorporated Cook County according to applicable attached Exhibits # 6, 7, 8 and 9.

(f) Except for any assessments or charges set forth herein, neither agency shall assess or charge any fees for services provided to the recipient of the service, unless otherwise agreed to by both Parties.

#### 4. Operational Issues.

(a) The control of all operational incidents within the unincorporated areas of

the District where service is provided by the Village, shall rest with the Village.

(b) Second due vehicle responses within the areas previously described, or in other areas within each Party's jurisdiction, will be determined and agreed upon by the Fire Chiefs and incorporated into the Northwest Central Dispatch System (NWCDS).

(c) The Village shall make one (1) officer available to attend the meetings of the District's Board of Trustees upon the request of the District to act as a resource for and advisor to the District in its deliberations regarding fire, rescue, emergency medical services, and fire prevention bureau services provided to the Subject Properties.

(d) Each following year, on or around the anniversary of this Agreement, representatives from each Party will attempt to meet in order to evaluate the previous year's responses. Specific minor response area changes can be made as necessary by the Fire Chiefs, to maintain mutual benefit of each respective Party. Substantial changes to this Agreement shall be approved by the corporate authorities of each Party.

(e) The Village and the District will continue to respond to the other Party's requests for assistance pursuant to all mutual and automatic aid agreements.

(f) The District shall adopt an ordinance authorizing the Village to inspect and enforce all property within the District located within unincorporated Cook County pursuant to the lawful ordinances of the District. The form of said ordinance is attached as Exhibit# 6. It being expressly understood that any court enforcement of the District's ordinances shall be brought by the District.

(g) When reasonable and able, the Village will provide additional operational services described in Appendix A. Modifications to this list will be determined and agreed upon by the Fire Chiefs of the respective parties.

5. General.

(a) If any third-party litigation develops as a result of this Intergovernmental Agreement, the Village and the District agree that they will equally contribute to a legal defense fund. The attorneys for the Village and the District shall work together in the defense of such litigation.

(b) This Agreement shall be in full force and effect upon its adoption and shall supersede any agreement, resolution, or motion, or part of any agreement, resolution, *or* motion in conflict with any part herein, and any such agreement, resolution, or motion or part of any resolution is hereby repealed. This Agreement shall be binding on the successors and assigns of the District and Village during the term of this Agreement.

Severability.

(c) If any section, paragraph, or provision of this Agreement shall be held invalid or unenforceable for any reason, such invalidity or unenforceability shall not affect any of the remaining provisions of this Agreement.

Default.

(d) Whenever a party has failed to perform in accordance with the requirements of any provision of this Agreement, the aggrieved party shall provide specific written notice of such failure to the non-performing party detailing the non-performance and allowing the non-performing party no less than fifteen (15) days to cure the non-performance. If a cure is not effected within the specified period, the non-performing party shall be in default and the aggrieved party may pursue any remedy available to it at law or in equity, without waiver of any other rights or remedies that may be available to it. The Village and the District shall each have the right to compel each

other's specific performance of this Agreement without waiver of any other rights in the event of breach. Upon a breach of this Agreement and subject to the cure period, the Village shall have the right upon sixty (60) days' notice to the District to suspend service to the unincorporated territory of the District and the District agrees to resume service in such area. In the event any litigation over the meaning, legality or performance of this Agreement, the prevailing party shall be entitled to recover as part of the judgment, its reasonable costs of litigation, including but not limited to its reasonable attorneys' fees.

(e) Except in cases of emergency, all notices or communications provided for herein shall be in writing and shall be delivered to the Village or the District either in person or by United States mail, via certified mail, return receipt requested, postage prepaid, addressed to the parties as follows:

If to the Village:                      Village Manager  
    Village of Palatine  
    200 E. Wood Street  
    Palatine, Illinois 60067

With a copy to:                         Fire Chief  
    Village of Palatine  
    1475 N. Hicks Road  
    Palatine, Illinois 60074

If to the District:                       President of the District  
    Inverness Fire Protection District  
    35 N. Ela Road  
    Inverness, Illinois 60067

With a copy to:                         Fire Chief  
    Inverness Fire  
    Protection District  
    35 N. Ela Road  
    Inverness, Illinois 60067

until and unless other addresses are specified by notice given in accordance herewith.

Notices and communications shall be deemed to be given or delivered on the date of delivery, if in person or on the next business day after being deposited with a national overnight courier service, or two (2) days (excluding Saturdays, Sundays and holidays) after deposited in the mail, if by United States mail. Notice, which is reasonable in view of the circumstances, shall be given in cases of emergency.

(f) This Agreement shall be effective on the last date set forth next to the signatures of the Parties, and thereafter for a term of five (5) years after the last date of execution of this Agreement.

(g) The parties also acknowledge the agreements attached as Exhibits 10, 11, 12, and 13 related to Sharing of Fire Apparatus, District Fuel Purchase, Mutual Release and Hold Harmless and Exchange of Services between the Village, District and Lake Zurich.

(h) Nothing contained in this Agreement shall constitute a waiver by either party of any right, privilege or defense available under statutory or common law, including, but not limited to, the Illinois Governmental and Governmental Employees Tort Immunity Act, 745 ILCS 10/1-101 et seq., as amended.

*IN WITNESS WHEREOF*, the Parties, pursuant to proper and necessary authorization, have executed this Agreement on the dates shown below.

INVERNESS FIRE PROTECTION DISTRICT

By: 

Its: President

Date: 2/9/2026

VILLAGE OF PALATINE

By: \_\_\_\_\_

Its: \_\_\_\_\_

Date: \_\_\_\_\_

### Exhibits

1. Map: GIS maps of Contract Areas
2. IGA: VOP/PALR/RM “Exchange of Fire and Emergency Medical Services in Specified Areas”
3. Amendment to IGA: VOP/PALR/RM “Exchange of Fire and Emergency Medical Services in Specified Areas”
4. Memo of Understanding: Map Book & Maintenance
5. Map: GIS map of Excluded Areas
6. District Ordinance: #2013-007 Granting Inspection Authority
7. District Ordinance # 2013-002 Fire Prevention Code
8. Memo of Understanding: Ambulance Billing
9. Shared Special Team Services

### Additional Current Agreements:

10. IGA: “ Sharing of Fire Apparatus”
11. IGA: “District Fuel Purchase”
12. Mutual Release & Hold Harmless: Training RPM
13. IGA: VOP/PALR/LZ “Exchange of Fire and Emergency Medical Services in Specified Areas”

## APPENDIX A

*“ 4.) Operational Issues - (g) When reasonable and able, the Village will provide additional operational services described in Appendix A. Modifications to this list will be determined and agreed upon by the Fire Chiefs.”*

1. Enhanced Code 4 response protocols into the District (including west of Roselle Road) for confirmed structure fires, and will generally consist of ten (10) Village firefighters staffing an engine, an aerial device (i.e., Tower 85), a heavy rescue squad, an ambulance, and a Shift Commander vehicle.
2. Shift Commander/Incident Command coverage into the District (north of Palatine Road) through automatic-aid response coverage.
3. Large incident tactical staffing support through the Village's Incident Management Assist Team (IMAT).
4. Loaner vehicles, tools, and equipment.
5. Fueling privileges at Village Public Works fuel pumps.
6. Mapping management and reproduction services.
7. Coordinated annual fire hose and ground ladder testing schedule (The District remains responsible for providing assistance during testing and for paying their respective hose and ground ladder testing service fees).
8. Training Officer services including curriculum preparation, scheduling, instruction, and evaluation (The District remains responsible for providing a reasonable share of

instructors during larger, company-based training programs as well as paying an agreed portion of consumable training materials).

9. Use of Village training facility and grounds (behind Station 84), including a 3-story training/rappelling tower, drafting pit, forcible entry props, and a training classroom/restroom.
10. Initial and annual OSHA-required N-95 and Self-Contained Breathing Apparatus (SCBA) mask fit testing services for District members.

## **Consider a Motion Authorizing the Village Manager to Execute a Change Order for the Improvement of Fire Station 82 and 85**

### **BACKGROUND:**

Dating back to 2022, the Village commissioned architectural services to address building maintenance needs and make necessary improvements at Fire Station 82 and Fire Station 85. Program objectives included relocating Fire Administrative operations from Colfax Street to Hicks Road, replacing declining building elements, repairing site conditions which had deteriorated, and repurposing vacated office space to conference and fitness space.

Needs exceeded the original available resources and some elements originally part of the plan were held in abeyance. The Village was successful in securing additional grant funding for the Salt Creek Improvement, which freed up America Rescue Plan Act funds to be used for improvements needed.

### **KEY ISSUES:**

- For Fire Station 82, the proposed change order includes parking lot maintenance, exterior stair replacement, building lighting replacement in the original building, door replacement, and bay floor improvements.
- For Fire Station 85, the proposed change order includes parking lot maintenance, bay floor plumbing replacement, replacement of potable water feeds, electrical system replacement, and garage door replacements.
- Fixed and pre-agreed upon costs in the proposed change order are \$877,695. Similar to the base contract for this work, a contingency is proposed. The recommended contingency is \$165,010. This contingency would be used to address unforeseen circumstances when improving existing space.
- Should available contingencies remain as risk diminishes during the prosecution of work, remaining identified work including irrigation, planting, and retaining wall repair at Fire Station 82 could proceed.

### **BUDGET IMPACT:**

American Rescue Plan Act Funds in an amount of \$1,000,000 and Village Capital Improvement Funds in Program BF-22, Fire Station Improvements, in an amount of \$370,000 are available to support this work.

### **RECOMMENDATION:**

Staff recommends the Village Manager be authorized to execute a Change Order for the improvement of Fire Station 82 and 85 in an amount of \$1,042,705.

### **ACTION REQUIRED:**

Motion to authorize the Village Manager to execute a Change Order for Fire Station 82 and 85 improvements in an amount not to exceed \$1,042,705.

**ATTACHMENTS:**

- 1. Station 82 Change Order
- 2. Station 85 Change Order

# Palatine Fire Department Stations 82 Additional Scope

Opinion of Probable Cost

## FGMARCHITECTS

March 10, 2026

FGMA#: 23-3804.02

Item	Quantity	Unit	Cost/Unit		Remarks
			Low	High	
<b>1.0 Fire Station 82 Exterior Items</b>					
1.1 Parking Lot Mill and Resurface	1	935 sqft	\$	39,930.00	Scope of work to include. - Cold mill area 1-1/2" deep and remove all spoils. - Clean and tack coat. - Pave 1-1/2" HMA surface. - Stripe lots as per original layout.
1.2 Replacement of existing east concrete stair	1		\$	54,780	Demo and replace reinforced concrete cheek walls, landing and stairs Saw cut a and remove -18" to -24" from top of cheek walls Demo existing stairs and landings Add rebar to existing cheek walls Form and pour new caps to cheek walls Form and pour stairs and landings Approx. 66' LF of 36" - 42" Railing to match existing, powder coated To be cored and epoxied into new concrete retaining wall
1.3 Exterior Deck Replacement	1	500sqft	\$	18,720	Replacement of the existing wood decking and screen with new composite decking material. Leave structure in place. Include railing and screening. New color.
1.4 Retaining Wall Replacement	1		\$	-	Replacement of existing retaining wall with new cmu block retaining wall
1.5 Trash Enclosure Replacement	1	360 sqft	\$	20,330	Replacement of existing wood fencing with composite material to match deck
1.6 Upgrade lighting to LED				inc 2.10	Replacement of existing lighting soffit and wall mounted fixtures with LED lighting.  Soffit Can Lights where included in renovation scope (8) Exterior wall fixtures
1.7 Update landscaping and irrigation			\$	-	Village asks to work with village provided subcontractor.
<b>2.0 Fire Station 82 Interior Renovations</b>					
2.1 Replace the existing apparatus bay doors	1		\$	44,725	(5) Cloplay 3720 27 gauge polyuethande insulated R 18.4 1 full row of vision lites 100,000 cycles Motor, controls, safty devices existing to remian
2.2 Apparatus bay cord circuit repairs	1			inc 2.10	Replacement of 3 cord drops - provide new reels and GFCI outlets
2.3 Fire Panel Replacement					
2.4 Entry Toilet - Code update/Modernization			\$	10,420	Update finishes add tile around toilet. Replace plumbing fixtures. Replace flooring tile, include entry and hall
2.5 Exterior door X-113 (lobby)					New weather stripping and closures
2.6 Exterior door X-100 (rear corridor)					New weather stripping and closures
2.7 Exterior door X-125 (bay vestibule) replacement			\$	7,000	Replacement of door and repair surrounding concrete block (Interior door). Salvage hardware

**Palatine Fire Department  
Stations 82 Additional Scope**

**FGMA**ARCHITECTS

March 10, 2026

Opinion of Probable Cost

FGMA#: 23-3804.02

Item	Quantity	Unit	Cost/Unit		Remarks
			Low	High	
2.8 Interior door X-117 (company)				\$ 3,500	Replacement of company door. Salvage hardware
2.9 Apparatus bay floor	2,865	sqft			Squarefootage includes Apparatus Bay, Shop, Laundry, and Turn-out Gear
Base scope: Repair cracking, grind, seal				\$ 24,825	Remove existing coating, repair cracks and seal
2.10 Replace balance of existing interior light fixtures				\$ 37,400	Replacement of remaining interior light fixtures to match new fixtures from building renovation and apparatus bay high fixtures  Fixture count: Vest X-125: (1) surface mounted 1x2 Stair X-118: assumed (1) surface mounted 1x2 Company office X-117: (4) 2x4 fixtures Station office X-116: (3) 2x4 fixtures and (1) can light Storage X-115: assume (1) fixture Lobby X-113: (3) can lights and (1) wall fixture Toilet X-114: (1) 2x4 fixture Bunk X-101: assume (6) 2x4 fixtures and (1) ceiling fan Training Room X-102: (4) 2x4 fixtures and (1) ceiling fan Bunk X-103: assume (6) 2x4 fixtures and (1) ceiling fan App Bay X-120: (14) high bay lights Laundry X-122: assumed (1) surface mounted 1x2 Shop X-121: (1) surface mounted 1x2 Decon X-119: assumed (1) surface mounted 1x2 Mezz: (7) surfaced mounted 1x2 (looks like this could be reduced Basement: No information
2.11 Apparatus bay infrared heaters				\$ 58,000	3 infrareds, 3 intakes, 3 flues, gas, low voltage
<b>2.13 Sub-Total Construction Budget (Station 82)</b>				\$ <b>224,920</b>	
<b>2.15 TOTAL CONSTRUCTION BUDGET (STATION 82)</b>				\$ <b>224,920</b>	including contingency
<b>3.0 GENERAL CONDITIONS AND OH&amp;P</b>					
3.1 General Contractor General Conditions (5%)			ok	\$ 11,246	
3.2 General Contractor Bonds & Insurance (1.5%)			ok	\$ 3,374	
3.3 General Contractor Overhead and Profit (5%)			ok	\$ 11,246	
<b>4.0 TOTAL PRELIMINARY CONSTRUCTION BUDGET</b>				\$ <b>250,786</b>	

**Palatine Fire Department  
Stations 85 Additional Scope**

**FGMA**ARCHITECTS

March 10, 2026

Opinion of Probable Cost

FGMA#: 23-3804.02

Item	Quantity	Unit	Cost/Unit		Remarks
			Low	High	
<b>1.0 Fire Station 85 Exterior Renovations</b>					
1.1 Parking lot resurfacing	705 sy			\$30,250.00	Cold mill area 1-1/2" deep and remove all spoils. Clean and tack coat. Pave 1-1/2" HMA surface. Stripe lots as per original layout
1.2 Concrete apron replacement	920sqft			\$ 74,440.00	920 sqft 5", 750s sqft 8", testing by owner
<b>1.3 Grind and seal floor</b>	3754			\$ 21,150.00	
<b>2.0 Fire Station 85 Renovations</b>					
2.1 Existing plumbing updates	1			\$ 180,500	<p>A). Camera existing underground sanitary lines                      B). Remove ex. Metallic water and vent piping and replace existing waste, vent, and water lines per plans                      C). Remove ex. 2nd floor plumbing fixtures as noted                      D). 1 – WC-1                      E). 2 – WC-2                      F). 3 – UR-1                      G). 4 – L-1                      H). 1 – SK-1                      I). 1 – SS                      J). 2 – SH                      K). 1 – IM                      L). 2 – 2" RPZ                      M). 4 – HCHB                      N). 3 – 1-1/2" CW stub for truck fill, no fixture included                      O). 1 – WB for washing machine, washing machine by others                      P). 1 – CW connection to humidifier                      Q). 1 – FD-2                      S). Remove and replace approx. 45 LF of interior sanitary marked plan north on PD1.0. Piping assumed to be at standard depth, be 4" in size, and run in direction shown on drawing                      T). Remove and replace approx. 64 LF of interior sanitary and 91' of trench drain marked in left bay on PD1.0. Piping assumed to be standard depth, be 4" in size, and run in direction shown on drawing PD1.0. Trench Drain to be standard Zurn Z886.                      A). Remove 5 existing FD                      B). Abandon existing underground plumbing not being reused for new TD                      C). New 4" waste tied into existing oil waste near work room and run as shown on 3/4/26 Markup PD1.0                      D). Line assumed to be 4" in size. Triple Basin and tie in assumed to be at adequate depth to accommodate new TD. Triple Basin is assumed to be big enough to accommodate an additional TD.                      E). 1 – TD (Approx. 43' and standard Zurn Z886)                      F). Drawings assumed to be a 1/4" = 1'-0" scale                      G). Waste and vent piping in sch. 40 PVC, water piping in type L copper</p>

Updated 3/5/26 - Trench Drain

**Palatine Fire Department  
Stations 85 Additional Scope**

**Opinion of Probable Cost**

**FGMA**ARCHITECTS

March 10, 2026

FGMA#: 23-3804.02

Item	Quantity	Unit	Cost/Unit		Remarks
			Low	High	
2.1B Concrete Replacement for Plumbing Scope				\$ 52,800	8" Apparatus Slab on Grade 790 sf Saw cutting, slurry removal, concrete removal and haul off. Fine grade and compaction of sub base material. Install #4 rebar reinforcement at 12" on center each way. Drill and set 18"long #5 rebar pins at 24 " on center into existing slab on grade perimeter. Place and hard trowel finish 8" (4000 psi) concrete. Saw cut control joints and seal. Includes sawcut and removal of right apparatus bay 790sf Plumbing slab in fills at trenches 274 sf
2.2 Aparatus Bay Door - West Bay	1			\$ 64,700	Replacement of west bay overhead door with bi-fold unit to increase clearance height. Door clearances to be confirmed.
2.3 Apparatus Bay Overhead Door Replacement	1			\$ 37,050	Cloplay 3720 27 gauge polyuethande insulated R 18.4 1 full row of vision lites 100,000 cycles Motor, controls, safty devices existing to remian
2.4 Gas detention control/sensors to apparatus bay	1			\$ 17,000	
2.5 Apparatus bay unit heater replacement for single bay door	1			\$ 8,900	Replacement of heater at front of single apparatus bay
2.6 Exhaust fan replacement	1			\$ 5,500	One on roof with 10 air changes
2.7 Electric unit heaters replacement	1			inc.	Units located in stairwell off single apparatus bay
2.8 Apparatus bay toilet modernization	1			\$ 18,000	
2.9 Electrical system improvements (room, panel, generator)	1			See below	A.) Replace existing electrical service from the pole mounted utility company transformers. B.) Provide new main electrical service distribution panel. C.) Exercise existing circuit breakers and replace aging panelboards. D.) Have the fire alarm system inspected, replace panel, and add devices as required to meet compliance. E.) Replace existing generator and transfer switch to new, sized to accommodate teh entire building load.
Electrical Systems Generator				\$ 140,000	Supply and install: A new 400 amp main breaker Generac liquid cooled generator; A new 400 amp rated transfer switch; A new 400 amp breaker panel to distribute the existing loads / breakers to the rest of the building; Rework the existing electrical main panel as needed; Replace (3) of the older circuit breaker panels with new panels; Includes installing the gas line from the main trunk line over the electrical room to the generator; Includes expanding the generator pad as necessary; Includes start-up and training. Total: \$134,600.00 ***Does not include permit fees ***Does not include upgrading the gas line if it needs to be larger or a higher pressure (engineering will need to be done to determine this) ***Includes \$5,400.00 patching of floors,walls, ceiling allowance ***Alternate --- A smaller generator capable of 300 amps with load shedding of the HVAC, or other high loads may reduce the cost up to \$15,000.00

**Palatine Fire Department  
Stations 85 Additional Scope**

**FGMA**ARCHITECTS

March 10, 2026

**Opinion of Probable Cost**

FGMA#: 23-3804.02

Item	Quantity	Unit	Cost/Unit		Remarks
			Low	High	
Electrical system improvements (room, panel, generator)- Fire Alarm				\$ 35,000	Fire Alarm System-Parts, Smarts and Trim, including cabling and programming; 1 FACP, 1 FAA, 10 Horn-Strobes, 11 Strobes, 5 Pull Stations, 20 Smoke Detectors, 15 Heat Detectors; Includes boxes and conduit stubs and conduit runs only where exposed to damage and cabling open air above drop or hard ceilings; Includes mounting and power / cabling for the FAA (annunciator panel).
2.10 Replacement of East door opener	1			\$ 2,800	Replacement of overhead door operator (above current fitness area)
2.11 <b>Sub-Total Construction Budget (Station 85)</b>				\$ 562,250	144420
<b>2.13 TOTAL CONSTRUCTION BUDGET (STATION 85)</b>				\$ 562,250	
<b>3.0 GENERAL CONDITIONS AND OH&amp;P</b>					
3.1 General Contractor General Conditions (5%)		ok	5%	\$ 28,113	
3.2 General Contractor Bonds & Insurance (1.5%)		ok	1.5%	\$ 8,434	
3.3 General Contractor Overhead and Profit (5%)		ok	5%	\$ 28,113	
<b>4.0 TOTAL PRELIMINARY CONSTRUCTION BUDGET</b>				\$ 626,909	

## **Consider a Motion Authorizing the Village Manager to Execute an Architectural Services Supplement for Fire Station 82 and Fire Station 85 Improvements**

### **BACKGROUND:**

In 2022, the Village hired FGMA Architects to perform a building condition assessment and develop schematic designs to address building maintenance needs at Fire Station 82 and 85. Their initial scope included an addition at Fire Station 82 and preliminary plans for fully addressing the two campuses' needs. As needs exceeded the initial budget, some of the initially identified and planned work was held back from the initial contract due to expected costs. Needs remain and costs can be addressed from other project savings and grants secured.

### **KEY ISSUES:**

- FGMA Architects was involved in the initial study, detailed design, and construction services to date.
- A supplement is recommended due to the ability to now complete more of the initial targeted scope of work, which was suspended from the initial effort.
- With the expansion of construction efforts, there is a need for more detailed plans, permitting efforts, and construction administration services.

### **BUDGET IMPACT:**

American Rescue Plan Act Funds in an amount of \$1,000,000 and Village Capital Improvement Funds in Program BF-22, Fire Station Improvements, in an amount of \$370,000 are available to support this work.

### **RECOMMENDATION:**

Staff recommends the Village Manager be authorized to execute an Architectural Services Supplement with FGMA Architects for Fire Station 82 and Fire Station 85 improvements in an amount not to exceed \$70,950.

### **ACTION REQUIRED:**

Motion to authorize the Village Manager to execute an Architectural Services Supplement with FGMA Architects for Fire Station 82 and Fire Station 85 improvements in an amount not to exceed \$70,950.

### **ATTACHMENTS:**

1. FGMA - Palatine Fire Stations 82 85 Additional Scope Fee Proposal



March 10, 2026

Matthew D. Barry  
Public Works Director  
Village of Palatine  
mbarry@palatine.il.us

**Subject: Palatine Fire Station 82 and Fire Station 85 Additional Design Work**

Dear Mr. Barry,

As discussed, the following is a breakdown of the proposed additional fees for our work related to the additional scope of work at both Fire Station 82 and Fire Station 85.

- Design Assistance completed as part of the scope determination and coordination with the General Contractor on bidding and pricing the added scope of work for both Station 82 and Station 85. This is basically the work that we have done to date. Fee: \$ 6,800.00
- Fire Station 82: Permit drawings for the various work for Station 82. Fee: \$ 16,775.00
- Fire Station 82: Construction Administration Services including attending construction meetings, response to RFIs, and approval of construction submittals. Fee: \$ 12,050.00
- Fire Station 85: Permit drawings for the various work for Station 85. Fee: \$ 21,650.00
- Fire Station 85: Construction Administration Services including attending construction meetings, response to RFIs, and approval of construction submittals. Fee: \$ 13,675.00

**Total Lump Sum Fee of \$70,950**

If you have any questions or comments, please do not hesitate to call me. We look forward to continuing to work with you and the Fire Department on these projects.

Sincerely,

**Mike Elliott, AIA | Vice President**  
[mikeelliott@fgmarchitects.com](mailto:mikeelliott@fgmarchitects.com)

## Consider a Motion Authorizing the Village Manager to Purchase a Public Works Cargo Van

### BACKGROUND:

As part of the Capital Vehicle Replacement Budget for 2026, the Village Council has appropriated \$62,940 in funds for the replacement of a Public Works cargo van. The existing van (T-422) is a 2014 Ford E-250 with 32,000 miles. The van is 12 years old and on its second assignment for water meter work by the Utilities Division. With its age, it is becoming increasingly costly to maintain. Staff proposes to dispose of T-422 and replace it with a zero-emission vehicle. This front-line van serves as a mobile workshop and carries necessary repair parts and supplies. The van is equipped with shelving units to carry tools, parts, and equipment. It also has power for 120-volt tools, and emergency lighting for safety when parked at job sites.

### KEY ISSUES:

- The van proposed to be purchased is an all-electric battery-powered vehicle. The current van is a gasoline motor-driven vehicle. A gasoline-powered van, while being \$538 less to purchase, consumes a substantially higher amount of fuel and has higher maintenance costs that would long surpass the electric upcharge. Fuel alone on current public works vans ranges from \$6,400 to \$29,500 over a 12-year span. An electric van is well suited for the distance and work it is responsible for. Being electric also increases our strides to be a green village by offering yet another zero-emission Public Works vehicle. Palatine's adding of electric and hybrid vehicles, which produce significantly lower emissions than traditional gasoline vehicles and lower maintenance costs, will continue to reduce our carbon footprint.
- Staff researched available models and at this time the only manufacturers that offer an all-electric van are Ford, Rivian, and GM/Britedrop. The Rivian and Britedrop units are large walk-in vans and have yet to have convenient dealer networks or co-op buying options. The Ford E-Transit is not only available and serviced by Ford, but is also available through the Suburban Purchasing Cooperative joint-purchase bid.
- Battery life would not be a concern. The van is typically driven from job site to job site and may be stationary for a few hours while meters are serviced. It will be plugged in at night to recharge back to 100%.
- The cost of this vehicle is \$57,601, which includes various options. Upfitting costs for shelves, cabinets, and emergency lights will be approximately \$4,000, for a total cost of \$61,601.
- The existing unit will be sent to auction.

### BUDGET IMPACT:

Funds in the amount of \$62,940 have been appropriated in the 2026 Capital Vehicle Replacement Budget to accommodate this purchase. With the total proposed cost of \$61,601, the budgeted savings would be \$1,339.

**RECOMMENDATION:**

Staff recommends authorizing the Village Manager to purchase one 2026 Ford E-Transit van through the Suburban Purchasing Cooperative from Currie Motors in the amount of \$57,601 and a total cost including upfitting not to exceed \$61,601.

**ACTION REQUIRED:**

Motion to authorize the Village Manager to purchase one 2026 Ford E-Transit van through the Suburban Purchasing Cooperative Contract #207 from Currie Motors Fleet of Frankfort, Illinois in the amount of \$57,601 and upfitting for a total cost not to exceed \$61,601.

**ATTACHMENTS:**

1. 2026 Public Works E-Transit Van Replacement Memorandum
2. Capital Budget Page
3. Currie Motors Proposal



**MEMORANDUM**

**To:** Matt Barry, Director of Public Works  
Katie Lapid, Assistant Public Works Director, Dan Neyfeldt, Public Works Superintendent

**From:** Jim Keats, Fleet Services Coordinator  
Jay Kernan, Utilities Coordinator

**Date:** February 10, 2026

**Subject:** Replacement of Public Works Cargo Van

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**Issue:** As part of the Capital Vehicle Replacement Budget for CY 2026, the Village Council has appropriated \$62,940 in funds for the replacement of a Public Works cargo van. The existing van (T-422) is a 2014 Ford E-250 with 32,000 miles. The van is 12 years old and on its second assignment for water meter work by the Utilities Division. With its age and miles, it is becoming increasingly costly to maintain and is no longer aesthetically pleasing. Our plan is to dispose of T-422 and replace it with a zero-emission vehicle. We will be adding this electric van to our Utilities division.

The van intended to be purchased is an all-electric battery powered vehicle. The current van is a gasoline motor driven vehicle. A gasoline powered van in model year 2026, while being \$538.00 less to purchase, would demand a substantially higher amount of fuel and maintenance cost that would long surpass the electric upcharge. Fuel alone on current public works vans range from \$6,400 to \$29,500 over a 12-year span. An electric van is well suited for the distance and work it is responsible for. Being electric also increases our strides to be a green village by offering yet another zero emission Public Works vehicle. Palatine's adding of electric and hybrid vehicles, which produce significantly lower emissions than traditional gasoline vehicles and lower maintenance costs, will continue to reduce our carbon footprint.

**Analysis:** Fleet and Utilities Division staff began its search for a suitable van through internet sites and various dealers. Ford, Ram, and Chevrolet were researched. At this time, the only manufacturers that offer an all-electric van are Ford, Rivian, and GM/Britedrop. Unfortunately, the Rivian and Britedrop products are large walk-in vans and have yet to have convenient dealer networks or co-op buying options. The Ford E-Transit is not only available and serviced by Ford, but is also available through the Suburban Purchasing Cooperative joint-purchase bid. The E-Transit is a standard width van, but available in a variety of roof heights.

This Ford van will fit the mission of the Utilities Division Meter function. The van will have lighting, shelving, power for 120-volt tools, plus a medium height roof for the ability to work in the field. Battery life would not be a concern as it will be plugged in overnight. The van is typically driven from job site to job site and may be stationary for a few hours while meters are serviced. Upfitting of shelves, cabinets, and emergency lights will be purchased when the van is delivered and will be completed in-house by Fleet Division staff.

This purchase makes economic sense over a gasoline powered van, and will still achieve the mission intended for the vehicle as a mobile work truck while staying as green as possible.

The cost for the meter van is \$57,601 with various options. Budgeted funds are \$62,940, leaving a balance of \$5,339. \$4,000 of the remaining balance will be used for upfitting the vehicle. The total cost for the van with upfitting is \$61,601, leaving an overall surplus of \$1,339.

**Recommendation:** Staff recommends the Village Council approve the purchase of one 2026 Ford E-Transit Medium Roof Van through the SPC Contract #207 through Currie Motors, 10125W Laraway, Frankfort, IL 60423, at a cost of **\$57,601.00**. Staff also recommends approval of approximately **\$4,000** for upfitting by the Village of Palatine Fleet Division, for a total outlay of **\$61,601**. Staff also recommends the sale of T-422 2014 Ford E-250 (1FTNE2EL1EDB13106) through America's Auto Auction or GovDeals.com.

**Attachments:** E-Transit Van Proposal-Currie Motors Fleet, E-Transit Spec Sheet, VE 0003, Upfitting Options.

# Capital Improvement Plan

## Palatine, IL

**Project #** VE 0003  
**Project Name** Public Works Vehicle Replacements

<b>Department</b>	52-Public Works	<b>Type</b>	Equipment
<b>Category</b>	Vehicles & Equipment	<b>Useful Life</b>	10 years
<b>Account #</b>	401-52-75-6070 625		

### Description

CY 2026 Replacements

- \$234,845 - T410 2014 Five-Ton Dump Truck (Replace with same)
- 136,500 - T409 2014 One-Ton Crew Cab Dump Truck (Replace with same)
- 90,000 - T419 2014 Ford F-450 Stake Body Truck (Replace with same)
- 66,150 - T417 2014 Ford F-250 with plow (Replace with same)
- 66,150 - T420 2014 Ford F-250 with plow (Replace with same)
- 66,150 - T483 2020 Ford F-150 (Replace with F-250 with plow)
- 62,940 - T422 2014 Ford E-250 Van (Replace with Ford E-Transit Electric Unit)
- 42,000 - T448 2016 Ford F-150 Extended Cab (Replace with same)

2027 planned purchases include replacement of two Five-Ton Trucks, one Pickup Truck, one Aerial Bucket Truck, one Aerial Bucket/Chipper Box Truck, one Step Van, and one Service Truck.

### Justification

This program provides the planned replacement of necessary Public Works vehicles in order to prevent obsolescence, maintain the functionality of the Department, and enhance operational efficiency. Major items in this category include 5 Ton Dump Trucks which are utilized for 12 years front line and 2 years reserve.

Prior	Expenditures	2026	2027	2028	2029	2030	Total
922,980	Equipment	764,735	1,081,965	982,890	574,980	1,012,020	4,416,590
	<b>Total</b>	<b>764,735</b>	<b>1,081,965</b>	<b>982,890</b>	<b>574,980</b>	<b>1,012,020</b>	<b>4,416,590</b>

Prior	Funding Sources	2026	2027	2028	2029	2030	Total
922,980	401 - Capital Equipment	764,735	1,081,965	982,890	574,980	1,012,020	4,416,590
	<b>Total</b>	<b>764,735</b>	<b>1,081,965</b>	<b>982,890</b>	<b>574,980</b>	<b>1,012,020</b>	<b>4,416,590</b>

Prepared for: , Village of Palatine

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2026 E-Transit-350 Cargo RWD Medium Roof Van 148" WB Base (W9C)

Price Level: 635

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**Client Proposal**

Prepared by:

Nic Cortellini

Office: 815-464-9200

Email: [ncortellini@curriemotors.com](mailto:ncortellini@curriemotors.com)

Quote ID: 2026-Pal7

Date: 02/24/2026



Currie Motors Fleet | 10125 West Laraway Road, Frankfort, IL , 60423

Office: 815-464-9200

**Prepared for:**

Village of Palatine

Prepared by: Nic Cortellini

02/24/2026



Currie Motors Fleet | 10125 West Laraway Road Frankfort IL | 60423

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**2026 E-Transit-350 Cargo RWD Medium Roof Van 148" WB Base (W9C)**

Price Level: 635 | Quote ID: 2026-Pal7

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## Warranty

### Standard Warranty

*Basic Warranty*

Basic warranty ..... 36 months/36,000 miles

*Powertrain Warranty*

Powertrain warranty ..... 60 months/60,000 miles

*Corrosion Perforation*

Corrosion perforation warranty ..... 60 months/unlimited

*Roadside Assistance Warranty*

Roadside warranty ..... 60 months/60,000 miles

*Hybrid/Electric Components Warranty*

Hybrid/electric components warranty ..... 96 months/100,000 miles

*Traction Battery Warranty*

Traction battery warranty ..... 96 months/100,000 miles

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Prices and content availability as shown are subject to change and should be treated as estimates only. Actual base vehicle, package and option pricing may vary from this estimate because of special local pricing, availability or pricing adjustments not reflected in the dealer's computer system. See salesperson for the most current information.

**Prepared for:**

Village of Palatine  
 Prepared by: Nic Cortellini  
 02/24/2026



Currie Motors Fleet | 10125 West Laraway Road Frankfort IL | 60423

**2026 E-Transit-350 Cargo RWD Medium Roof Van 148" WB Base (W9C)**

Price Level: 635 | Quote ID: 2026-Pal7

**Major Equipment**

(Based on selected options, shown at right)  
 Automatic

- \* Running boards
- \* LT235/65RR16 AS BSW front and rear tires
- \* All-speed ABS and driveline traction control
- \* Battery run down protection
- \* Steering wheel mounted audio controls
- \* 12 inch primary display
- \* AM/FM
- \* SYNC 4 external memory control
- \* Wheelbase: 148.0"
- \* Standard ride suspension
- \* Power door mirrors
- \* Deep tinted windows
- \* Automatic climate control
- \* Seat mounted side impact driver airbag
- \* Seat mounted side impact front passenger airbag
- \* 6 airbags
- \* SecuriLock immobilizer

- Exterior: Race Red
- Interior: Dark Palazzo Gray w/Vinyl Front Bucket Seats
- \* 16 x 6.5-inch front and rear argent steel wheels
- \* Front tires LT load rating: C
- \* Lead acid battery
- \* Connected Navigation integrated navigation system with voice activation
- \* Bluetooth wireless audio streaming
- \* AM/FM stereo radio
- \* Seek scan
- \* Vehicle body length: 235.5"
- \* Interior cargo length: 143.7 "
- \* Rear window defroster
- \* Manual folding door mirrors
- \* Variable intermittent front windshield wipers
- \* Driver front impact airbag
- \* Cancellable front passenger air bag
- \* Airbag occupancy sensor
- \* Ford Co-Pilot360 w/Side Wind Stabilization electronic stability control system with anti-rollover
- \* Bucket front seats

**As Configured Vehicle**

MSRP

STANDARD VEHICLE PRICE .....	\$54,475.00
Order Code 101A .....	N/C
Engine: Electric Motor w/Enhanced Range Battery .....	Included
Transmission: Single-Speed .....	Included
Electric Axle .....	Included
GVWR: 9,500 lbs .....	Included
Tires: 235/65R16C 121/119 R AS BSW .....	Included
Wheels: 16" Steel w/Full Silver Cover .....	Included
Monotone Paint Application .....	STD
148" Wheelbase .....	STD
Radio: AM/FM Stereo .....	Included
Zero Evaporated Emissions System .....	STD
SYNC 4 .....	Included
Ford Connectivity Package (1-Year Included) .....	Included
Spare Tire & Wheel .....	\$280.00
Race Red .....	N/C
Dark Palazzo Gray w/Vinyl Front Bucket Seats .....	N/C
Vinyl Front Bucket Seats .....	N/C
Dark Palazzo Gray Vinyl Bucket Seats w/Armrests .....	\$45.00

Prices and content availability as shown are subject to change and should be treated as estimates only. Actual base vehicle, package and option pricing may vary from this estimate because of special local pricing, availability or pricing adjustments not reflected in the dealer's computer system. See salesperson for the most current information.

**Prepared for:**

Village of Palatine  
 Prepared by: Nic Cortellini  
 02/24/2026



Currie Motors Fleet | 10125 West Laraway Road Frankfort IL | 60423

**2026 E-Transit-350 Cargo RWD Medium Roof Van 148" WB Base (W9C)**

Price Level: 635 | Quote ID: 2026-Pal7

**Major Equipment**

- \* Driver seat with 4-way directional controls
- \* Height adjustable front seat head restraints
- \* Driver seat armrest
- \* Manual reclining driver seat
- \* Manual reclining passenger seat
- \* Vinyl front seat upholstery
- \* 4-wheel disc brakes
- \* Electronic parking brake
- \* Hill start assist
- \* Front passenger seat with 4-way directional controls
- \* Manual front seat head restraint control
- \* Front passenger seat armrest
- \* Manual driver seat fore/aft control
- \* Manual passenger seat fore/aft control
- \* Vinyl front seatback upholstery
- \* 4-wheel antilock (ABS) brakes
- \* Brake assist system

**Fuel Economy**

**City**  
N/A



**Hwy**  
N/A

**As Configured Vehicle**

MSRP

Tire Inflator & Sealant Kit Delete	N/C
Front License Plate Bracket	N/C
Mobile Power Cord (120V/240V)	N/A
Passenger Running Boards	\$290.00
Fixed Rr Cargo Door & 2nd Row Passenger-Side Glass	\$650.00
Rearview Mirror	Included
<del>Privacy Glass</del>	<del>Included</del>
Rear-Window Defroster	Included
Front & Rear Vinyl Floor Covering	\$230.00
2 Additional Keys (4 Total)	\$75.00
Pro Power OnBoard - 2.4kW	\$1,265.00
Back Up Alarm	\$190.00
D-Pillar Assist Handles	\$55.00
Full Rear Compartment Lighting	\$70.00
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SUBTOTAL	\$57,625.00
Destination Charge	\$2,095.00
<hr/>	
<b>TOTAL</b>	<b>\$59,720.00</b>

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**Prepared for:**

Village of Palatine

Prepared by: Nic Cortellini

02/24/2026



Currie Motors Fleet | 10125 West Laraway Road Frankfort IL | 60423

**2026 E-Transit-350 Cargo RWD Medium Roof Van 148" WB Base (W9C)**

Price Level: 635 | Quote ID: 2026-Pal7

**As Configured Vehicle**

Code	Description	MSRP
<b>Base Vehicle</b>		
W9C	Base Vehicle Price (W9C)	\$54,475.00
<b>Packages</b>		
101A	<b>Order Code 101A</b> <i>Includes:</i> - Engine: Electric Motor w/Enhanced Range Battery Includes 89kWh high-voltage battery. - Transmission: Single-Speed - Electric Axle - GVWR: 9,500 lbs - Tires: 235/65R16C 121/119 R AS BSW - Wheels: 16" Steel w/Full Silver Cover - Radio: AM/FM Stereo - SYNC 4 Includes 12" center display, Bluetooth, dual USB ports, enhanced voice recognition, electronic climate control and connectivity package which includes information on demand panel, wireless Apple CarPlay and Android Auto compatibility, cloud connected, 911 Assist, digital owner's manual and conversational voice command recognition. - Ford Connectivity Package (1-Year Included) Includes unlimited Wi-Fi hotspot, connected navigation, audio and video streaming, voice assistant and entertainment. Note: Ford Connectivity Package included for one-year from warranty start date, Requires activation via Ford app with credit card authorization; customer may cancel at any time. Evolving technology/cellular networks/vehicle capability may limit functionality and prevent operation of connected features. Ford may temporarily slow data speeds if such data usage reaches or exceeds 50GB within a billing cycle or due to network limitations. If a customer uses more than 50% of their data usage in a roaming country during a 60-day period, Ford may remove or limit the customer's data plan.	N/C
<b>Powertrain</b>		
99M	<b>Engine: Electric Motor w/Enhanced Range Battery</b> <i>Includes 89kWh high-voltage battery.</i>	Included
44A	<b>Transmission: Single-Speed</b>	Included
STDAX	<b>Electric Axle</b>	Included
STDGV	<b>GVWR: 9,500 lbs</b>	Included
<b>Wheels &amp; Tires</b>		
STDTR	<b>Tires: 235/65R16C 121/119 R AS BSW</b>	Included
64H	<b>Wheels: 16" Steel w/Full Silver Cover</b>	Included
51D	<b>Spare Tire &amp; Wheel</b> <i>Includes 3 ton jack, tool kit and full-size matching tire.</i>	\$280.00

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**Prepared for:**

Village of Palatine

Prepared by: Nic Cortellini

02/24/2026



Currie Motors Fleet | 10125 West Laraway Road Frankfort IL | 60423

**2026 E-Transit-350 Cargo RWD Medium Roof Van 148" WB Base (W9C)**

Price Level: 635 | Quote ID: 2026-Pal7

**As Configured Vehicle (cont'd)**

Code	Description	MSRP
57A	Tire Inflator & Sealant Kit Delete	N/C
<b>Seats &amp; Seat Trim</b>		
V	Vinyl Front Bucket Seats <i>Includes driver and front-passenger manual reclining bucket seats with adjustable headrest and inboard armrest.</i>	N/C
21P	Dark Palazzo Gray Vinyl Bucket Seats w/Armrests <i>Includes 2-way manual driver seat and 2-way manual passenger seat.</i>	\$45.00
<b>Other Options</b>		
PAINT	Monotone Paint Application	STD
148WB	148" Wheelbase	STD
STDRD	Radio: AM/FM Stereo <i>Includes:</i> <i>- SYNC 4</i> <i>Includes 12" center display, Bluetooth, dual USB ports, enhanced voice recognition, electronic climate control and connectivity package which includes information on demand panel, wireless Apple CarPlay and Android Auto compatibility, cloud connected, 911 Assist, digital owner's manual and conversational voice command recognition.</i> <i>- Ford Connectivity Package (1-Year Included)</i> <i>Includes unlimited Wi-Fi hotspot, connected navigation, audio and video streaming, voice assistant and entertainment. Note: Ford Connectivity Package included for one-year from warranty start date, Requires activation via Ford app with credit card authorization; customer may cancel at any time. Evolving technology/cellular networks/vehicle capability may limit functionality and prevent operation of connected features. Ford may temporarily slow data speeds if such data usage reaches or exceeds 50GB within a billing cycle or due to network limitations. If a customer uses more than 50% of their data usage in a roaming country during a 60-day period, Ford may remove or limit the customer's data plan.</i>	Included
68H	Passenger Running Boards <i>Covers the B-C pillar passenger-side.</i>	\$290.00
17B	Fixed Rr Cargo Door & 2nd Row Passenger-Side Glass <i>Includes:</i> <i>- Rearview Mirror</i> <i>- Privacy Glass</i> <i>Provides protection of vehicle occupant(s) and occupant personal belongings. The glass also provides occupant comfort by helping to reduce vehicle cool-down time.</i> <i>- Rear-Window Defroster</i>	\$650.00
66C	D-Pillar Assist Handles <i>Located on the driver and passenger-side.</i>	\$55.00
15F	Full Rear Compartment Lighting <i>Includes cargo area LED lights at C-pillar and D-pillar and rear compartment LED switch.</i>	\$70.00
16E	Front & Rear Vinyl Floor Covering	\$230.00

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**Prepared for:**

Village of Palatine

Prepared by: Nic Cortellini

02/24/2026



Currie Motors Fleet | 10125 West Laraway Road Frankfort IL | 60423

**2026 E-Transit-350 Cargo RWD Medium Roof Van 148" WB Base (W9C)**

Price Level: 635 | Quote ID: 2026-Pal7

**As Configured Vehicle (cont'd)**

Code	Description	MSRP
	<i>Includes wheel well liners.</i>	
98A	Mobile Power Cord (120V/240V)  Switchable cord end to allow customer charge functionality with 120V (NEMA 5-15) up to 15 Amps or 240V (NEMA 14-50) up to 32 Amps. Adapter to access DC fast charging stations using the North American Charging Standard (NACS).  <i>Includes fast charger adapter (NACS).</i>	N/A
90E	Pro Power OnBoard - 2.4kW  <i>Pro power onboard allows the vehicle to be used as a power source for tools to be plugged in to. System contains (2) three-prong outlets on passenger side near the rear cargo doors.</i>	\$1,265.00
86F	2 Additional Keys (4 Total)  <i>Includes key fobs.</i>	\$75.00
43B	Back Up Alarm  Ford accessory, pre-installed.  <i>Includes 97 dB(A) warning capability.</i>	\$190.00
153	Front License Plate Bracket  Standard in states requiring two license plates and optional in all other states.	N/C

**Emissions**

425	Zero Evaporated Emissions System	STD
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**Exterior Color**

PQ_01	Race Red	N/C
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**Interior Color**

VK_01	Dark Palazzo Gray w/Vinyl Front Bucket Seats	N/C
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**Upfit Options**

01	License and Title (M-Plates)	\$203.00
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SUBTOTAL	\$57,828.00
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Destination Charge	\$2,095.00
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<b>TOTAL</b>	<b>\$59,923.00</b>
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Prices and content availability as shown are subject to change and should be treated as estimates only. Actual base vehicle, package and option pricing may vary from this estimate because of special local pricing, availability or pricing adjustments not reflected in the dealer's computer system. See salesperson for the most current information.

**Prepared for:**

Village of Palatine

Prepared by: Nic Cortellini

02/24/2026



Currie Motors Fleet | 10125 West Laraway Road Frankfort IL | 60423

---

**2026 E-Transit-350 Cargo RWD Medium Roof Van 148" WB Base (W9C)**

Price Level: 635 | Quote ID: 2026-Pal7

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## Pricing Summary - Single Vehicle

	<b>MSRP</b>
<i>Vehicle Pricing</i>	
Base Vehicle Price	\$54,475.00
Options	\$3,150.00
Colors	\$0.00
Upfitting	\$203.00
Fleet Discount	\$0.00
Fuel Charge	\$0.00
Destination Charge	\$2,095.00
<b>Subtotal</b>	<b>\$59,923.00</b>
<i>Discount Adjustments</i>	
Discount Adjustments	-\$2,322.00
<b>Total</b>	<b>\$57,601.00</b>

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Customer Signature

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Acceptance Date

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## Consider a Motion Authorizing the Village Manager to Purchase a Public Works Locate Truck

### BACKGROUND:

As part of the Capital Vehicle Replacement Budget for 2026, the Village Council has appropriated \$42,000 in funds for the replacement of a Public Works locate pickup truck. The existing truck (T-448) is a 2016 Ford F-150 with 73,000 miles. The truck is 10 years old and is designated to locating tasks by the Utilities Division. With its age and miles, it is becoming increasingly costly to maintain. Staff proposes to dispose of T-448 and replace it with an in-kind unit with an economical engine.

### KEY ISSUES:

- Staff researched the possibility of downsizing to a compact pickup truck. Ford and Chevrolet make compact trucks. A compact truck would be a viable option, but there are some drawbacks. They are not available with any kind of idle reduction system and the existing equipment on the locate truck could not be reused. This would add approximately \$2,325 in bed accessories, thus bringing a compact truck within \$4,000 of a full-size truck.
- Staff researched available options for replacement full-size trucks. Ford, Ram, and Chevrolet make full-size trucks. Co-op pricing is available on half-ton Ford F-150 pickups. Chevrolet only offers a crew cab and Ram is not on any co-op pricing. The base model F-150 is well suited for the distance and work it is responsible for. The fuel efficient EcoBoost engine with start/stop technology and programmable idle restriction reduces emissions in a Public Works vehicle.
- The cost for this vehicle is \$40,032, which includes various options. Upfitting costs for a back-rack, toolbox, and emergency lighting will be approximately \$1,968, for a total cost of \$42,000.
- The existing unit will be sent to auction.

### BUDGET IMPACT:

Funds in the amount of \$42,000 have been appropriated in the 2026 Capital Vehicle Replacement Budget to accommodate this purchase.

### RECOMMENDATION:

Staff recommends authorizing the Village Manager to purchase one 2026 Ford F-150 XL pickup truck through the Suburban Purchasing Cooperative from Currie Motors in the amount of \$40,032 and a total cost including upfitting not to exceed \$42,000.

### ACTION REQUIRED:

Motion to authorize the Village Manager to purchase one 2026 Ford F-150 XL pickup truck through the Suburban Purchasing Cooperative Contract #232 from Currie Motors

Fleet of Frankfort, Illinois in the amount of \$40,032 and upfitting for a total cost not to exceed \$42,000.

**ATTACHMENTS:**

1. 2026 Public Works Locate Truck Replacement Memorandum
2. Capital Budget Page
3. Currie Motors Proposal



**MEMORANDUM**

**To:** Matt Barry, Director of Public Works  
Katie Lapid, Assistant Public Works Director, Dan Neyfeldt, Public Works Superintendent

**From:** Jim Keats, Fleet Services Coordinator  
Jay Kernan, Utilities Coordinator

**Date:** February 27, 2026

**Subject:** Replacement of Public Works Locate Truck

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**Issue:** As part of the Capital Vehicle Replacement Budget for CY 2026, the Village Council has appropriated \$42,000 in funds for the replacement of a Public Works locating pickup truck. The existing truck (T-448) is a 2016 Ford F-150 with 73,000 miles. The truck is 10 years old and is designated to locating tasks by the Utilities Division. With its age and miles, it is becoming increasingly costly to maintain and is no longer aesthetically pleasing. Our plan is to dispose of T-448 at fall auction and replace it with a like in kind unit with an economical powerplant.

**Analysis:** Staff began its search for a suitable half-ton truck through internet sites and various dealers. The Fleet and Utilities Divisions also researched the possibility of a compact pickup truck and what it would take to adapt down. Ford and Chevrolet make compact trucks. The compact truck would be a viable option but there are some drawbacks. Both the Chevrolet and Ford are not available in red to match the other Public Works vehicles. They are also not available with any kind of idle reduction system. Finally, if we step down to a compact pickup, we could not re-use any of the current equipment off the old locate truck. This would add approximately \$2,325.00 in bed accessories, thus bringing a compact truck within \$4,000.00 of a full size truck.

Ford, Ram, and Chevrolet make full-size trucks. The Fleet Division was successful in finding co-op pricing on half-ton Ford pickups. Chevrolet only offers a “crew cab” for 2026 and Ram is not on any co-op pricing. The base model F-150 is well suited for the distance and work it is responsible for. The fuel efficient EcoBoost engine with start/stop technology and programmable idle restriction increases our strides to be a green village by offering another low emission Public Works vehicle.

The cost for the locate truck is \$40,032 with various options. Budgeted funds are \$42,000, leaving a balance of \$1,968. The remaining balance will be used for upfitting the vehicle with a refurbished back-rack, toolbox, and emergency lighting. The total cost for the truck with upfitting is \$42,000.

**Compact Truck Comparisons:**

2026 Ford Ranger (White) - \$33,728

2026 Chevrolet Colorado (White) - \$33,538

*A new toolbox, cab protector, ladder rack, and lighting would have to be ordered. (\$2,325)*

**Recommendation:** Staff recommends the Village Council approve the purchase of one 2026 Ford F-150 XL Pickup Truck through the SPC Contract #232 through Currie Motors, 10125W Laraway, Frankfort, IL 60423, for a cost of **\$40,032**. Staff also recommends approval of approximately **\$1,968** for upfitting by

the Village of Palatine Fleet Division, for a total outlay of **\$42,000**. Staff also recommends the sale of T-448 2016 Ford F-150 (1FTEX1C80GKE84906) through Americas Auto Auction or GovDeals.com.

**Attachments:** Currie Motors Fleet Proposal, Comp Quotes, VE 0003

# Capital Improvement Plan

## Palatine, IL

**Project #** VE 0003  
**Project Name** Public Works Vehicle Replacements

<b>Department</b>	52-Public Works	<b>Type</b>	Equipment
<b>Category</b>	Vehicles & Equipment	<b>Useful Life</b>	10 years
<b>Account #</b>	401-52-75-6070 625		

### Description

CY 2026 Replacements

- \$234,845 - T410 2014 Five-Ton Dump Truck (Replace with same)
- 136,500 - T409 2014 One-Ton Crew Cab Dump Truck (Replace with same)
- 90,000 - T419 2014 Ford F-450 Stake Body Truck (Replace with same)
- 66,150 - T417 2014 Ford F-250 with plow (Replace with same)
- 66,150 - T420 2014 Ford F-250 with plow (Replace with same)
- 66,150 - T483 2020 Ford F-150 (Replace with F-250 with plow)
- 62,940 - T422 2014 Ford E-250 Van (Replace with Ford E-Transit Electric Unit)
- 42,000 - T448 2016 Ford F-150 Extended Cab (Replace with same)

2027 planned purchases include replacement of two Five-Ton Trucks, one Pickup Truck, one Aerial Bucket Truck, one Aerial Bucket/Chipper Box Truck, one Step Van, and one Service Truck.

### Justification

This program provides the planned replacement of necessary Public Works vehicles in order to prevent obsolescence, maintain the functionality of the Department, and enhance operational efficiency. Major items in this category include 5 Ton Dump Trucks which are utilized for 12 years front line and 2 years reserve.

Prior	Expenditures	2026	2027	2028	2029	2030	Total
922,980	Equipment	764,735	1,081,965	982,890	574,980	1,012,020	4,416,590
	<b>Total</b>	<b>764,735</b>	<b>1,081,965</b>	<b>982,890</b>	<b>574,980</b>	<b>1,012,020</b>	<b>4,416,590</b>

Prior	Funding Sources	2026	2027	2028	2029	2030	Total
922,980	401 - Capital Equipment	764,735	1,081,965	982,890	574,980	1,012,020	4,416,590
	<b>Total</b>	<b>764,735</b>	<b>1,081,965</b>	<b>982,890</b>	<b>574,980</b>	<b>1,012,020</b>	<b>4,416,590</b>

Prepared for: , Village of Palatine

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2026 F-150 4x2 SuperCab 6.5' box 145" WB XL (X1K)

Price Level: 630

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### Client Proposal

Prepared by:

Nic Cortellini

Office: 815-464-9200

Email: [ncortellini@curriemotors.com](mailto:ncortellini@curriemotors.com)

Quote ID: 2026-Pal2

Date: 02/09/2026



Currie Motors Fleet | 10125 West Laraway Road, Frankfort, IL , 60423

Office: 815-464-9200

**Prepared for:**

Village of Palatine

Prepared by: Nic Cortellini

02/09/2026



Currie Motors Fleet | 10125 West Laraway Road Frankfort IL | 60423

2026 F-150 4x2 SuperCab 6.5' box 145" WB XL (X1K)

Price Level: 630 | Quote ID: 2026-Pal2

## Warranty

### Standard Warranty

*Basic Warranty*

Basic warranty ..... 36 months/36,000 miles

*Powertrain Warranty*

Powertrain warranty ..... 60 months/60,000 miles

*Corrosion Perforation*

Corrosion perforation warranty ..... 60 months/unlimited

*Roadside Assistance Warranty*

Roadside warranty ..... 60 months/60,000 miles

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**Prepared for:**

Village of Palatine  
Prepared by: Nic Cortellini  
02/09/2026



Currie Motors Fleet | 10125 West Laraway Road Frankfort IL | 60423

**2026 F-150 4x2 SuperCab 6.5' box 145" WB XL (X1K)**

Price Level: 630 | Quote ID: 2026-Pal2

**Major Equipment**

(Based on selected options, shown at right)  
10-speed automatic

- \* Running boards
- \* Class IV tow rating
- \* Overdrive transmission
- \* Transmission electronic control
- \* Stainless steel single exhaust
- \* Battery rating: 760CCA
- \* Battery run down protection
- \* Auto stop-start engine
- \* Steering wheel mounted audio controls
- \* 12 inch primary display
- \* AM/FM/satellite
- \* Radio data system (RDS)
- \* SYNC 4 external memory control
- \* 3 month satellite trial subscription
- \* Wheelbase: 145.0"
- \* Tire/wheel capacity rear: 4,150 lbs.
- \* Spring rating front: 3,300 lbs.
- \* Trip computer
- \* Power door mirrors

Exterior: Vermillion Red  
Interior: Black w/Medium Dark Slate w/Vinyl  
40/20/40 Front Seat

- \* 17 x 7.5-inch front and rear silver aluminum wheels
- \* P245/70RS17 AS BSW front and rear tires
- \* Lock-up transmission
- \* Alternator Amps: 200A
- \* All-speed ABS and driveline traction control
- \* Lead acid battery
- \* Fuel tank capacity: 36.01 gal.
- \* Driver selectable drivetrain mode
- \* Bluetooth wireless audio streaming
- \* SiriusXM with 360L AM/FM/Satellite radio
- \* Seek scan
- \* Auxiliary input jack
- \* Internet radio capability
- \* Vehicle body length: 231.7"
- \* Axle capacity rear: 3,800 lbs.
- \* Axle capacity front: 4,050 lbs.
- \* Standard ride suspension
- \* Rear window defroster
- \* Heated driver and passenger side door mirrors

**As Configured Vehicle**

MSRP

STANDARD VEHICLE PRICE .....	\$41,600.00
Engine: 2.7L V6 EcoBoost .....	Included
Transmission: Electronic 10-Speed Automatic .....	Included
3.55 Axle Ratio .....	Included
GVWR: 6,365 lbs Payload Package .....	Included
Tires: 245/70R17 BSW A/S .....	Included
145" Wheelbase .....	STD
Monotone Paint Application .....	STD
Radio: AM/FM Stereo w/SiriusXM 360L .....	Included
Fleet Customer Powertrain Limited Warranty .....	N/C
Equipment Group 103A High .....	\$1,195.00
Wheels: 17" Silver Painted Aluminum .....	Included
50-State Emissions .....	Included
Ford Connectivity Package (1-Year Included) .....	Included
SYNC 4 w/Enhanced Voice Recognition .....	Included
Vermillion Red .....	\$660.00
Black w/Medium Dark Slate w/Vinyl 40/20/40 Front Seat .....	N/C
Vinyl 40/20/40 Front Seat .....	N/C
Interior Work Surfaces .....	Included

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**Prepared for:**

Village of Palatine  
 Prepared by: Nic Cortellini  
 02/09/2026



Currie Motors Fleet | 10125 West Laraway Road Frankfort IL | 60423

**2026 F-150 4x2 SuperCab 6.5' box 145" WB XL (X1K)**

Price Level: 630 | Quote ID: 2026-Pal2

**Major Equipment**

- \* Manual folding door mirrors
- \* Daytime running lights
- \* Variable intermittent front windshield wipers
- \* Rear under seat climate control ducts
- \* Seat mounted side impact driver airbag
- \* Seat mounted side impact front passenger airbag
- \* 6 airbags
- \* SecuriLock immobilizer
- \* 60-40 folding rear seats
- \* Fold-up rear seat cushion
- \* Manual rear seat head restraint control
- \* Split-bench rear seat
- \* Driver seat with 4-way directional controls
- \* Height adjustable front seat head restraints
- \* Split-bench front seat
- \* Manual reclining driver seat
- \* Manual reclining passenger seat
- \* Vinyl front seat upholstery
- \* 4-wheel disc brakes
- \* Electronic parking brake
- \* Hill Start Assist
- \* DRL preference setting
- \* Deep tinted windows
- \* Manual climate control
- \* Driver front impact airbag
- \* Passenger front impact airbag
- \* Airbag occupancy sensor
- \* AdvanceTrac w/Roll Stability Control electronic stability control system with anti-rollover
- \* Fixed rear seats
- \* Front facing rear seat
- \* Height adjustable rear seat head restraints
- \* 3 rear seat head restraints
- \* 40-20-40 split-bench front seat
- \* Front passenger seat with 4-way directional controls
- \* Manual front seat head restraint control
- \* Front seat center armrest
- \* Manual driver seat fore/aft control
- \* Manual passenger seat fore/aft control
- \* Vinyl front seatback upholstery
- \* 4-wheel antilock (ABS) brakes
- \* Brake assist system

**As Configured Vehicle**

MSRP

Chrome Bumpers .....	Included
LED Fog Lamps .....	Included
Rear Window Fixed Privacy Glass w/Defroster .....	Included
Black Platform Running Boards .....	\$250.00
Plastic Drop-In Bedliner .....	\$380.00
Front License Plate Bracket .....	N/C
Back-Up Alarm System .....	\$230.00
<hr/>	
SUBTOTAL .....	\$44,315.00
Destination Charge .....	\$2,795.00
<hr/>	
<b>TOTAL .....</b>	<b>\$47,110.00</b>

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**Prepared for:**

Village of Palatine

Prepared by: Nic Cortellini

02/09/2026



Currie Motors Fleet | 10125 West Laraway Road Frankfort IL | 60423

2026 F-150 4x2 SuperCab 6.5' box 145" WB XL (X1K)

Price Level: 630 | Quote ID: 2026-Pal2

*Fuel Economy*

**City**  
20 mpg



**Hwy**  
26 mpg

## Prepared for:

Village of Palatine

Prepared by: Nic Cortellini

02/09/2026



Currie Motors Fleet | 10125 West Laraway Road Frankfort IL | 60423

## 2026 F-150 4x2 SuperCab 6.5' box 145" WB XL (X1K)

Price Level: 630 | Quote ID: 2026-Pal2

## As Configured Vehicle

Code	Description	MSRP
<b>Base Vehicle</b>		
X1K	Base Vehicle Price (X1K)	\$41,600.00
<b>Packages</b>		
103A	<b>Equipment Group 103A High</b> <i>Includes:</i> <ul style="list-style-type: none"><li>- Engine: 2.7L V6 EcoBoost</li><li>- Includes auto start-stop technology.</li><li>- 50-State Emissions</li></ul> <p>Standard equipment on 2.7L (99P) and 5.0L V8 (99S). Automatically added to 3.5L EcoBoost (998) and 3.5L PowerBoost full hybrid (99D) orders from dealers located in the following California emissions states: California, Massachusetts, New York, Oregon, Pennsylvania, Vermont and Washington. Available 3.5L EcoBoost (998) and 3.5L PowerBoost full hybrid (99D) option for dealers in federal states for all order types (retail / stock / fleet): Arizona, Connecticut, Delaware, Idaho, Maine, Maryland, Montana, New Hampshire, New Jersey, Nevada, Ohio, Rhode Island and West Virginia. Available option for dealers located in all states for retail orders. Available option for dealers located in all states for commercial / rental fleet orders. Available option for dealers located in all states for government fleet orders with ship-to addresses in California emissions states.</p> <ul style="list-style-type: none"><li>- Transmission: Electronic 10-Speed Automatic</li><li>- Includes SelectShift with progressive range select and selectable drive modes: normal, ECO, sport, tow/haul, slippery and trail.</li><li>- 3.55 Axle Ratio</li><li>- GVWR: 6,365 lbs Payload Package</li><li>- Tires: 245/70R17 BSW A/S</li><li>- Wheels: 17" Silver Painted Aluminum</li><li>- Radio: AM/FM Stereo w/SiriusXM 360L</li></ul> <p>Includes 6 speakers and auxiliary audio input jack. Note: includes a three (3)-month prepaid subscription. Service is not available in Alaska and Hawaii. Note: all SiriusXM services require a subscription, sold separately by SiriusXM after the trial period. Your SiriusXM service will automatically stop at the end of your trial unless you decide to subscribe. If you decide to continue service, the subscription plan chosen will automatically renew and be charged according to your chosen payment method at the then-current rates. Fees and taxes apply. See the SiriusXM customer agreement &amp; privacy policy at <a href="http://www.siriusxm.com/">http://www.siriusxm.com/</a> <a href="http://www.siriusxm.com/">www.siriusxm.com</a> for full terms and how to cancel, which includes online methods or calling 1-866-635-2349. Available in the 48 contiguous United States, D.C., and Puerto Rico (with coverage limits and capable receiver). Visit <a href="http://www.siriusxm.com/FAQS">http://www.siriusxm.com/FAQS</a> for most current service area information. Availability of some services and features is subject to device capabilities and location restrictions. All fees, content and features are subject to change. SiriusXM, Pandora and all related logos are trademarks of Sirius XM Radio Inc. and its respective subsidiaries.</p> <ul style="list-style-type: none"><li>- Ford Connectivity Package (1-Year Included)</li></ul> <p>Includes (features may vary by make and model) unlimited Wi-Fi hotspot, audio and video streaming, voice assistant and entertainment. Included for one-year from warranty start date. Requires activation via Ford app with credit card authorization; customer may cancel at any time. Evolving technology/cellular networks/vehicle capability may limit functionality and prevent operation of connected features. Ford may temporarily slow data speeds if such data usage reaches or exceeds 50GB within a billing cycle or due to network limitations. If a customer uses more than 50% of their data usage in a roaming country during a 60-day period, Ford may remove or limit the customer's data plan.</p> <ul style="list-style-type: none"><li>- SYNC 4 w/Enhanced Voice Recognition</li></ul> <p>Includes 12" center display, wireless phone connection, cloud connected, AppLink with App catalog, 911 Assist, Apple CarPlay and Android Auto compatibility, digital owners manual and conversational voice command recognition.</p> <ul style="list-style-type: none"><li>- Interior Work Surfaces</li><li>- Chrome Bumpers</li><li>- LED Fog Lamps</li><li>- Rear Window Fixed Privacy Glass w/Defroster</li></ul>	\$1,195.00

## Powertrain

Prices and content availability as shown are subject to change and should be treated as estimates only. Actual base vehicle, package and option pricing may vary from this estimate because of special local pricing, availability or pricing adjustments not reflected in the dealer's computer system. See salesperson for the most current information.

**Prepared for:**

Village of Palatine

Prepared by: Nic Cortellini

02/09/2026

Currie Motors Fleet | 10125 West Laraway Road Frankfort IL | 60423

**2026 F-150 4x2 SuperCab 6.5' box 145" WB XL (X1K)**

Price Level: 630 | Quote ID: 2026-Pal2

**As Configured Vehicle (cont'd)**

Code	Description	MSRP
99P	<b>Engine: 2.7L V6 EcoBoost</b> <i>Includes auto start-stop technology.</i>  <i>Includes:</i> - 50-State Emissions Standard equipment on 2.7L (99P) and 5.0L V8 (995). Automatically added to 3.5L Ecoboost (998) and 3.5L PowerBoost full hybrid (99D) orders from dealers located in the following California emissions states: California, Massachusetts, New York, Oregon, Pennsylvania, Vermont and Washington. Available 3.5L Ecoboost (998) and 3.5L PowerBoost full hybrid (99D) option for dealers in federal states for all order types (retail / stock / fleet): Arizona, Connecticut, Delaware, Idaho, Maine, Maryland, Montana, New Hampshire, New Jersey, Nevada, Ohio, Rhode Island and West Virginia. Available option for dealers located in all states for retail orders. Available option for dealers located in all states for commercial / rental fleet orders. Available option for dealers located in all states for government fleet orders with ship-to addresses in California emissions states.	Included
44G	<b>Transmission: Electronic 10-Speed Automatic</b> <i>Includes SelectShift with progressive range select and selectable drive modes: normal, ECO, sport, tow/haul, slippery and trail.</i>	Included
X19	<b>3.55 Axle Ratio</b>	Included
STDGV	<b>GVWR: 6,365 lbs Payload Package</b>	Included
<b>Wheels &amp; Tires</b>		
STDTR	<b>Tires: 245/70R17 BSW A/S</b>	Included
NONWL	<b>Wheels: 17" Silver Painted Aluminum</b>	Included
<b>Seats &amp; Seat Trim</b>		
A	<b>Vinyl 40/20/40 Front Seat</b>	N/C
<b>Other Options</b>		
145WB	<b>145" Wheelbase</b>	STD
PAINT	<b>Monotone Paint Application</b>	STD
STDRD	<b>Radio: AM/FM Stereo w/SiriusXM 360L</b> <i>Includes 6 speakers and auxiliary audio input jack. Note: includes a three (3)-month prepaid subscription. Service is not available in Alaska and Hawaii. Note: all SiriusXM services require a subscription, sold separately by SiriusXM after the trial period. Your SiriusXM service will automatically stop at the end of your trial unless you decide to subscribe. If you decide to continue service, the subscription plan chosen will automatically renew and be charged according to your chosen payment method at the then-current rates. Fees and taxes apply. See the SiriusXM customer agreement &amp; privacy policy at <a href="http://www.siriusxm.com/">http://www.siriusxm.com/</a> www.siriusxm.com for full terms and how to cancel, which includes online methods or calling 1-866-635-2349. Available in the 48 contiguous United States, D.C., and Puerto Rico (with coverage limits and capable receiver). Visit <a href="http://www.siriusxm.com/FAQS">http://www.siriusxm.com/FAQS</a> for most current service area information. Availability of some services and features is subject to device capabilities and location restrictions. All fees, content and features are subject to change. SiriusXM, Pandora and all related logos are trademarks of Sirius XM Radio Inc. and its respective subsidiaries.</i>	Included

Prices and content availability as shown are subject to change and should be treated as estimates only. Actual base vehicle, package and option pricing may vary from this estimate because of special local pricing, availability or pricing adjustments not reflected in the dealer's computer system. See salesperson for the most current information.

**Prepared for:**

Village of Palatine

Prepared by: Nic Cortellini

02/09/2026



Currie Motors Fleet | 10125 West Laraway Road Frankfort IL | 60423

**2026 F-150 4x2 SuperCab 6.5' box 145" WB XL (X1K)**

Price Level: 630 | Quote ID: 2026-Pal2

**As Configured Vehicle (cont'd)**

Code	Description	MSRP
	<p><i>Includes:</i></p> <ul style="list-style-type: none"> <li>- Ford Connectivity Package (1-Year Included) Includes (features may vary by make and model) unlimited Wi-Fi hotspot, audio and video streaming, voice assistant and entertainment. Included for one-year from warranty start date. Requires activation via Ford app with credit card authorization; customer may cancel at any time. Evolving technology/cellular networks/vehicle capability may limit functionality and prevent operation of connected features. Ford may temporarily slow data speeds if such data usage reaches or exceeds 50GB within a billing cycle or due to network limitations. If a customer uses more than 50% of their data usage in a roaming country during a 60-day period, Ford may remove or limit the customer's data plan.</li> <li>- SYNC 4 w/Enhanced Voice Recognition Includes 12" center display, wireless phone connection, cloud connected, AppLink with App catalog, 911 Assist, Apple CarPlay and Android Auto compatibility, digital owners manual and conversational voice command recognition.</li> </ul>	
18B	Black Platform Running Boards	\$250.00
924	Rear Window Fixed Privacy Glass w/Defroster	Included
153	Front License Plate Bracket <i>Standard in states where required by law, optional to all others.</i>	N/C
96P	Plastic Drop-In Bedliner Ford accessory.	\$380.00

**Fleet Options**

85H	Back-Up Alarm System Requires valid FIN code.	\$230.00
WARANT	Fleet Customer Powertrain Limited Warranty Requires valid FIN code. <i>Ford is increasing the 5-year 60,000-mile limited powertrain warranty to 5-years, 100,000 miles. Only Fleet purchasers with a valid Fleet Identification Number (FIN code) will receive the extended warranty. When the sale is entered into the sales reporting system with a sales type fleet along with a valid FIN code, the warranty extension will automatically be added to the vehicle. The extension will stay with the vehicle even if it is subsequently sold to a non-fleet customer before the expiration. This extension applies to both gas and diesel powertrains. Dealers can check for the warranty extension on eligible fleet vehicles in OASIS. Please refer to the Warranty and Policy Manual section 3.13.00 Gas Engine Commercial Warranty. This change will also be reflected in the printed Warranty Guided distributed with the purchase of every new vehicle.</i>	N/C
E4_02	Vermillion Red Requires valid FIN code.	\$660.00

**Emissions**

425	50-State Emissions	Included
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**Prepared for:**

Village of Palatine

Prepared by: Nic Cortellini

02/09/2026



Currie Motors Fleet | 10125 West Laraway Road Frankfort IL | 60423

**2026 F-150 4x2 SuperCab 6.5' box 145" WB XL (X1K)**

Price Level: 630 | Quote ID: 2026-Pal2

**As Configured Vehicle (cont'd)**

Code	Description	MSRP
<p><i>Standard equipment on 2.7L (99P) and 5.0L V8 (995). Automatically added to 3.5L Ecoboost (998) and 3.5L PowerBoost full hybrid (99D) orders from dealers located in the following California emissions states: California, Massachusetts, New York, Oregon, Pennsylvania, Vermont and Washington. Available 3.5L Ecoboost (998) and 3.5L PowerBoost full hybrid (99D) option for dealers in federal states for all order types (retail / stock / fleet): Arizona, Connecticut, Delaware, Idaho, Maine, Maryland, Montana, New Hampshire, New Jersey, Nevada, Ohio, Rhode Island and West Virginia. Available option for dealers located in all states for retail orders. Available option for dealers located in all states for commercial / rental fleet orders. Available option for dealers located in all states for government fleet orders with ship-to addresses in California emissions states.</i></p>		

**Interior Color**

AS_02	Black w/Medium Dark Slate w/Vinyl 40/20/40 Front Seat	N/C
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**Upfit Options**

01	License and Title (M-Plates)	\$203.00
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SUBTOTAL	\$44,518.00
Destination Charge	\$2,795.00
TOTAL	\$47,313.00

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**Prepared for:**

Village of Palatine

Prepared by: Nic Cortellini

02/09/2026



Currie Motors Fleet | 10125 West Laraway Road Frankfort IL | 60423

2026 F-150 4x2 SuperCab 6.5' box 145" WB XL (X1K)

Price Level: 630 | Quote ID: 2026-Pal2

## Pricing Summary - Single Vehicle

	<b>MSRP</b>
<i>Vehicle Pricing</i>	
Base Vehicle Price	\$41,600.00
Options	\$2,055.00
Colors	\$660.00
Upfitting	\$203.00
Fleet Discount	\$0.00
Fuel Charge	\$0.00
Destination Charge	\$2,795.00
<b>Subtotal</b>	<b>\$47,313.00</b>
<i>Discount Adjustments</i>	
Discount Adjustments	-\$7,281.00
<b>Total</b>	<b>\$40,032.00</b>

\_\_\_\_\_  
Customer Signature

\_\_\_\_\_  
Acceptance Date

Prices and content availability as shown are subject to change and should be treated as estimates only. Actual base vehicle, package and option pricing may vary from this estimate because of special local pricing, availability or pricing adjustments not reflected in the dealer's computer system. See salesperson for the most current information.

## **Consider a Motion Authorizing the Village Manager to Purchase a Public Works Five-Ton Dump Truck**

### **BACKGROUND:**

As part of the Capital Vehicle Replacement Budget for 2026, the Village Council has appropriated \$234,845 in funds for the replacement of a 2014 Public Works heavy-duty single-axle five-ton dump truck. The existing truck (T-410) is recommended for replacement after an inspection, evaluation, and cost analysis. The current meter on the truck is 3,647 hours which translates into 109,410 equivalent miles using the municipal industry standard conversion of 30 miles per engine hour. This is a front-line truck used year-round for snow and ice control, asphalt patching, leaf collection, and utilities hauling duties. This truck is also now a primary water main break vehicle.

### **KEY ISSUES:**

- Traditionally, the Village has purchased heavy-duty trucks through the Illinois State joint-purchase contract. At this time, there are no contracts for a heavy-duty truck cab/chassis, but our local Freightliner dealer continues to beat any Class 7/8 vehicle pricing. They were also lower than the Sourcewell (formerly NJPA) and State contract pricing this year.
- Freightliner has been reliable and the preferred unit due to its aluminum cab structure and Cummins engine. Similar trucks are the International 7400 Workstar and the Kenworth T380/T480. Neither of these trucks have the order availability of Freightliner and neither have aluminum cabs. The Kenworth is also \$20,000 to 30,000 more expensive.
- For the chassis price, the Freightliner 108SD Plus is \$100,415 through the local dealer, Northwest Trucks of Palatine, Illinois. Trans Chicago quoted \$101,028 and Truck Country quoted \$103,876. Northwest Trucks does not have a current joint-purchase contract, but it would be in the best interest of the Village to accept the proposal from Northwest Trucks.
- The truck chassis is only the first part of the purchase. The upfitting of plows, spreader, dump body, and emergency lighting is performed by a truck body company. Freightliner will deliver our cab/chassis directly to the upfitter.
- Staff reviewed the upfitting options available from three companies that offer the same plow hitch as on our existing trucks. The majority of the Village trucks have been upfitted by Monroe Truck of Monroe, Wisconsin. Staff's main concern is that the plows and spreaders be interchangeable. If a plow is damaged and needs major repairs, the driver can hook up to the spare plow and continue to work without downtime.
- Another option is a tarp system. With our increase in paving operations, trips to the asphalt plant have dramatically increased. To increase productivity and safety, Staff is proposing an arm-style tarp system. Tarp systems are not only the norm among paving and hauling trucks in our country, but also have several

advantages:

- The tarp can be deployed from the cab or ground level. The driver does not need to climb on to the bed sides to manually arrange a tarp, thus reducing the risk of falling.
- Tarp systems provide insulation for hot asphalt also providing a higher quality of paved surface upon application.
- The final option is air brake lines in the rear of the truck. This option would accommodate future trailers that require air brakes due to weight.
- Staff requested upfitting quotes from Lindco Equipment, Monroe Truck, Henderson Products, and Bonnell Industries. Monroe Truck of Monroe, Wisconsin provided the lowest pricing and there is also a Sourcewell joint-purchase contract available through Monroe.
- For upfitting costs, Monroe quoted \$145,324, Henderson quoted \$157,175.16, Lindco quoted \$162,460, and Bonnell did not provide a quote. The best value for a truck with our preferred options is a Freightliner 108SD Plus from Northwest Trucks and upfitting by Monroe for a total of \$245,739.
- The addition of the rear air brake lines and current steel costs creates a budget shortfall of \$10,894, but this option would provide required towing capability.
- The existing unit will be sent to auction.

**BUDGET IMPACT:**

Funds in the amount of \$234,845 have been appropriated in the 2026 Capital Vehicle Replacement Budget to accommodate this purchase. There is a shortfall of \$10,894, but savings of \$44,078 from the proposed purchase of a new one-ton dump truck will cover the overage.

**RECOMMENDATION:**

Staff recommends authorizing the Village Manager to purchase one Freightliner 108SD Plus single-axle chassis five-ton dump truck from Northwest Trucks in the amount of \$100,415 and upfitting through the Sourcewell Contract from Monroe Truck in the amount of \$145,324, for a total cost not to exceed \$245,739.

**ACTION REQUIRED:**

Motion to authorize the Village Manager to purchase one Freightliner 108SD Plus single-axle chassis five-ton dump truck from Northwest Trucks, Incorporated of Palatine, Illinois in the amount of \$100,415 and upfitting through the Sourcewell Contract #062222-AEB-1 from Monroe Truck of Monroe, Wisconsin in the amount of \$145,324, for a total cost not to exceed \$245,739.

**ATTACHMENTS:**

1. 2026 Public Works Five-Ton Dump Truck Replacement Memorandum
2. Capital Budget Page
3. Northwest Trucks Freightliner 108SD Plus Chassis Proposal
4. Monroe Truck Upfitting Quotation





**MEMORANDUM**

**To:** Matt Barry - Director of Public Works, Dan Neyfeldt – Superintendent, Katie Lapid – Assistant Director

**From:** Jim Keats - Fleet Services Coordinator, Bill Schumann – Streets Coordinator

**Date:** 02/25/2026

**Subject:** Replacement of Public Works Single-Axle Dump Truck

**Issue:** As part of the Capital Vehicle Replacement Budget for CY 2026, the Village Council has appropriated \$234,845 in funds for the replacement of a 2014 heavy-duty single-axle dump truck. The truck (T-410) is recommended for replacement after an inspection, evaluation and cost analysis. The current meter on the truck is 3,647 hours which translates into 109,410 equivalent miles using the municipal industry standard conversion of 30 miles per engine hour.

This truck is a front-line truck used year-round for snow and ice control, asphalt patching, leaf collection, and utilities hauling duties. This truck is also now a primary water main break vehicle and the recent busy years have taken its toll on this truck’s body condition.

**Analysis:** Traditionally, the Village has purchased heavy-duty trucks through the Illinois State joint-purchase contract. At this time, no cab/chassis vehicles are on contract, but our local Freightliner dealer here in Palatine continues to beat any class 7/8 vehicle pricing. They have even beat NJPA and State contract pricing on this year’s quote. The Freightliner product has been reliable for us and is preferred by Palatine due to its aluminum cab structure and its availability with a Cummins engine. Similar trucks are the International 7400 Workstar and the Kenworth T380/T480. Neither of these trucks have the order availability of Freightliner and neither have aluminum cabs. The Kenworth is also \$20-30,000 higher.

The truck chassis is the first part of the purchase. The upfitting of plows, spreader, dump body, and emergency lighting is performed by a truck body company. Freightliner will deliver our cab/chassis directly to the upfitter. The Fleet and Streets Divisions chose to review the upfitting options available from at least three companies that offer the same plow hitch that we currently have. The majority of the Village trucks have been upfitted by Monroe Truck in Monroe, Wisconsin. If another vendor is chosen, staff’s main concern is that the plows and spreaders be interchangeable. If a plow is damaged and needs major repairs, the driver can hook up to the spare plow and continue working seamlessly without downtime. This year, staff reached out to Lindco, Bonnell, Monroe, and Henderson for upfitting needs. The best quote pricing on what we requested was Monroe. At this time, every upfitter is backed up due to good availability of truck chassis but a backlog of parts and manpower. Every upfitter is scheduling into 2027. Monroe is the largest company and assured to try their best to cut down wait time.

Another consideration and a major concern among Streets Division staff is to have consistency among our fleet and plan for the future. With our increase in paving operations, the trips to the asphalt plant have dramatically increased. In consideration of productivity and safety, staff would like to see our trucks now have an arm-style tarp system. Tarp systems are not only the norm among paving and hauling trucks in our area but also have several advantages:

- Tarp can be deployed from cab or ground level. No climbing on to bed sides thus reducing the risk of falling 6-8 feet.
- Tarp system can be used for any load now that it is permanently mounted on the truck. This allows tarp to be used on any chosen material in any season. This provides extra safety for our residents and commuters. Tarp can also be removed in winter.
- Tarp systems provide insulation for our fresh asphalt, not only reducing waste but also providing a higher quality of paved surface upon application.

The final consideration is Staff would like to start including air brake lines to the rear of the trucks, including fittings and gladhands. This option would accommodate future trailers that require air brakes due to weight. According to the upfitters, the options we desire will slightly increase build costs but not nearly as much as adding them after the truck is complete.

After extensive research, the best value for a truck chassis is still a Freightliner 108SD Plus from Northwest Trucks in Palatine. Upfitting by Monroe Truck in Monroe, Wisconsin is also our recommendation and the least expensive.

Unfortunately, due to options and steel costs there will be an overage of \$10,894, but that can be covered by a multitude of savings in other VE 0003 and VE 0004 purchases. If ordered promptly, no tariffs will be applied.

**Chassis Comparisons:**

Trans Chicago - \$101,028

Truck Country - \$103,876

**Upfitting Comparisons:**

Henderson - \$157,175.16

Lindco - \$162,460.00

Bonnell – Chose not to quote

**Recommendation:** Staff recommends that the Village Council approve the purchase of one new Freightliner 108SD Plus chassis from Northwest Trucks Inc., 2120 Rand Rd., Palatine, IL 60074 at a cost of **\$100,415**.

Additionally, Staff recommends that the Village Council accept the upfitting proposal from Monroe Truck, 1051 W. 7<sup>th</sup> St., Monroe, WI 53566 at a cost of **\$145,324**.

Total budgeted funds are **\$234,845**, and these combined purchases for this asset total **\$245,739**.

Upon completion of build and putting new truck in service, the oldest reserve truck (T-373) will be cleaned and sent to auction. The Village will use GovDeals.com or America’s Auto Auction.

**Attachments:**

**Streets Approval**

**Capital Budget Project:** VE 0003

**Upfitting Quotes From:** Henderson, Lindco, & Monroe

**Chassis Quotes From:** NW Truck, Trans Chicago, & Truck Country

# Capital Improvement Plan

## Palatine, IL

**Project #** VE 0003  
**Project Name** Public Works Vehicle Replacements

<b>Department</b>	52-Public Works	<b>Type</b>	Equipment
<b>Category</b>	Vehicles & Equipment	<b>Useful Life</b>	10 years
<b>Account #</b>	401-52-75-6070 625		

### Description

CY 2026 Replacements

- \$234,845 - T410 2014 Five-Ton Dump Truck (Replace with same)
- 136,500 - T409 2014 One-Ton Crew Cab Dump Truck (Replace with same)
- 90,000 - T419 2014 Ford F-450 Stake Body Truck (Replace with same)
- 66,150 - T417 2014 Ford F-250 with plow (Replace with same)
- 66,150 - T420 2014 Ford F-250 with plow (Replace with same)
- 66,150 - T483 2020 Ford F-150 (Replace with F-250 with plow)
- 62,940 - T422 2014 Ford E-250 Van (Replace with Ford E-Transit Electric Unit)
- 42,000 - T448 2016 Ford F-150 Extended Cab (Replace with same)

2027 planned purchases include replacement of two Five-Ton Trucks, one Pickup Truck, one Aerial Bucket Truck, one Aerial Bucket/Chipper Box Truck, one Step Van, and one Service Truck.

### Justification

This program provides the planned replacement of necessary Public Works vehicles in order to prevent obsolescence, maintain the functionality of the Department, and enhance operational efficiency. Major items in this category include 5 Ton Dump Trucks which are utilized for 12 years front line and 2 years reserve.

Prior	Expenditures	2026	2027	2028	2029	2030	Total
922,980	Equipment	764,735	1,081,965	982,890	574,980	1,012,020	4,416,590
	<b>Total</b>	<b>764,735</b>	<b>1,081,965</b>	<b>982,890</b>	<b>574,980</b>	<b>1,012,020</b>	<b>4,416,590</b>

Prior	Funding Sources	2026	2027	2028	2029	2030	Total
922,980	401 - Capital Equipment	764,735	1,081,965	982,890	574,980	1,012,020	4,416,590
	<b>Total</b>	<b>764,735</b>	<b>1,081,965</b>	<b>982,890</b>	<b>574,980</b>	<b>1,012,020</b>	<b>4,416,590</b>

**Prepared for:**  
James Keats  
PALATINE VILLAGE OF  
200 E WOOD ST

PALATINE, IL 60067  
Phone: 847-202-6976

**Prepared by:**  
Don Cooper  
NORTHWEST TRUCKS, INC.  
2120 N RAND ROAD  
PALATINE, IL 60074  
Phone: 800-559-8890

## S P E C I F I C A T I O N   P R O P O S A L

Description
<b>Price Level</b>
SD PRL-30D (EFF:MY27 ORDERS)
<b>Data Version</b>
SPECPRO21 DATA RELEASE VER 011
<b>Vehicle Configuration</b>
108SD PLUS CONVENTIONAL CHASSIS 2027 MODEL YEAR SPECIFIED SET BACK AXLE - TRUCK TRAILER TOWING PROVISION AT END OF FRAME WITH SAE J560 LH PRIMARY STEERING LOCATION
<b>General Service</b>
TRUCK/TRAILER CONFIGURATION DOMICILED, USA 50 STATES (EPA CLEAN IDLE LABEL OR NO CLEAN IDLE REQUIRED) EPA CLEAN IDLE LABEL - (INCLUDES 6X4 INCH LABEL ON LOWER FORWARD OF DRIVER DOOR) UTILITY/REPAIR/MAINTENANCE SERVICE GOVERNMENT BUSINESS SEGMENT DIRT/SAND/ROCK COMMODITY TERRAIN/DUTY: 100% (ALL) OF THE TIME, IN TRANSIT, IS SPENT ON PAVED ROADS MAXIMUM 8% EXPECTED GRADE SMOOTH CONCRETE OR ASPHALT PAVEMENT - MOST SEVERE IN-TRANSIT (BETWEEN SITES) ROAD SURFACE FREIGHTLINER SD VOCATIONAL WARRANTY EXPECTED FRONT AXLE(S) LOAD : 14000.0 lbs

**Prepared for:**  
James Keats  
PALATINE VILLAGE OF  
200 E WOOD ST

PALATINE, IL 60067  
Phone: 847-202-6976

**Prepared by:**  
Don Cooper  
NORTHWEST TRUCKS, INC.  
2120 N RAND ROAD  
PALATINE, IL 60074  
Phone: 800-559-8890

**Description**

EXPECTED REAR DRIVE AXLE(S) LOAD :  
21000.0 lbs  
EXPECTED GROSS VEHICLE WEIGHT CAPACITY  
: 35000.0 lbs  
EXPECTED GROSS COMBINATION WEIGHT :  
80000.0 lbs

**Truck Service**

FRONT PLOW/END DUMP BODY  
MONROE TRUCK EQUIPMENT

**Engine**

CUM L9 300 HP @ 2200 RPM; 2200 GOV RPM,  
860 LB-FT @ 1200 RPM

**Electronic Parameters**

64 MPH ROAD SPEED LIMIT  
CRUISE CONTROL SPEED LIMIT SAME AS ROAD  
SPEED LIMIT  
15 MINUTE IDLE SHUTDOWN - TIMER RESET  
WITH CLUTCH AND SERVICE BRAKE  
PTO MODE ENGINE RPM LIMIT - 1100 RPM  
PTO ENGINE SPEED CONTROL DEACTIVATED  
BY SERVICE BRAKE LIGHTLY APPLIED  
(STATIONARY APPLICATIONS)  
PTO RPM WITH CRUISE SET SWITCH - 1000  
RPM  
PTO RPM WITH CRUISE RESUME SWITCH - 1000  
RPM  
PTO MODE CANCEL VEHICLE SPEED - 5 MPH  
PTO GOVERNOR RAMP RATE - 300 RPM PER  
SECOND  
PTO MINIMUM RPM - 825  
REGEN INHIBIT SPEED THRESHOLD - 0 MPH

**Engine Equipment**

EPA 2010/GHG 2024 CONFIGURATION  
STANDARD OIL PAN  
ENGINE MOUNTED OIL CHECK AND FILL  
SIDE OF HOOD AIR INTAKE WITH DONALDSON  
HIGH CAPACITY AIR CLEANER WITH SAFETY  
ELEMENT, FIREWALL MOUNTED  
DR 12V 160 AMP 28-SI QUADRAMOUNT PAD  
ALTERNATOR WITH REMOTE BATTERY VOLT  
SENSE  
(2) DTNA GENUINE, FLOODED STARTING, MIN  
2000CCA, 370RC, THREADED STUD BATTERIES

Prepared for:  
James Keats  
PALATINE VILLAGE OF  
200 E WOOD ST

PALATINE, IL 60067  
Phone: 847-202-6976

Prepared by:  
Don Cooper  
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2120 N RAND ROAD  
PALATINE, IL 60074  
Phone: 800-559-8890

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**Description**

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BATTERY BOX FRAME MOUNTED  
STANDARD BATTERY JUMPERS  
SINGLE BATTERY BOX FRAME MOUNTED LH  
SIDE UNDER CAB  
WIRE GROUND RETURN FOR BATTERY CABLES  
WITH ADDITIONAL FRAME GROUND RETURN  
NON-POLISHED BATTERY BOX COVER  
NON-ESSENTIAL POSITIVE LOAD DISCONNECT,  
IN CAB CONTROL SWITCH MOUNTED  
OUTBOARD OF DRIVER SEAT  
POSITIVE AND NEGATIVE POSTS FOR  
JUMPSTART LOCATED ON FRAME NEXT TO  
STARTER  
PROGRESSIVE LOW VOLTAGE DISCONNECT AT  
12.3 VOLTS FOR DESIGNATED CIRCUITS  
CUMMINS TURBOCHARGED 18.7 CFM AIR  
COMPRESSOR WITH INTERNAL SAFETY VALVE  
ELECTRONIC ENGINE INTEGRAL SHUTDOWN  
PROTECTION SYSTEM  
CUMMINS ENGINE INTEGRAL BRAKE WITH  
VARIABLE GEOMETRY TURBO ON/OFF  
RH OUTBOARD UNDER STEP MOUNTED  
HORIZONTAL AFTERTREATMENT SYSTEM  
ASSEMBLY WITH RH B-PILLAR MOUNTED  
VERTICAL TAILPIPE  
ENGINE AFTERTREATMENT DEVICE,  
AUTOMATIC OVER THE ROAD REGENERATION  
AND VIRTUAL REGENERATION REQUEST  
SWITCH IN CLUSTER  
11 FOOT 06 INCH (138 INCH+0/-5.9 INCH)  
EXHAUST SYSTEM HEIGHT  
RH CURVED VERTICAL TAILPIPE B-PILLAR  
MOUNTED ROUTED FROM STEP  
6 GALLON DIESEL EXHAUST FLUID TANK  
100 PERCENT DIESEL EXHAUST FLUID FILL  
STANDARD DIESEL EXHAUST FLUID PUMP  
MOUNTING  
LH FORWARD FACE OF DIESEL EXHAUST FLUID  
TANK 48 TO 52 INCHES BACK OF CAB  
STANDARD DIESEL EXHAUST FLUID TANK CAP  
STAINLESS STEEL AFTERTREATMENT  
DEVICE/MUFFLER/TAILPIPE SHIELD  
AIR POWERED ON/OFF ENGINE FAN CLUTCH  
AUTOMATIC FAN CONTROL WITHOUT DASH  
SWITCH, NON ENGINE MOUNTED  
CUMMINS SPIN ON FUEL FILTER

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**Description**

COMBINATION FULL FLOW/BYPASS OIL FILTER  
1115 SQUARE INCH ALUMINUM RADIATOR  
ANTIFREEZE TO -34F, OAT (NITRITE AND SILICATE FREE) EXTENDED LIFE COOLANT  
GATES BLUE STRIPE COOLANT HOSES OR EQUIVALENT  
CONSTANT TENSION HOSE CLAMPS FOR COOLANT HOSES  
RADIATOR DRAIN VALVE  
PHILLIPS-TEMRO 1000 WATT/115 VOLT BLOCK HEATER  
BLACK PLASTIC ENGINE HEATER RECEPTACLE MOUNTED UNDER LH DOOR  
ELECTRIC GRID AIR INTAKE WARMER  
DELCO 12V 39MT HD/OCV STARTER WITH THERMAL PROTECTION AND INTEGRATED MAGNETIC SWITCH

**Transmission**

ALLISON 3500 RDS AUTOMATIC TRANSMISSION WITH PTO PROVISION

**Transmission Equipment**

ALLISON VOCATIONAL PACKAGE 223 - AVAILABLE ON 3000/4000 PRODUCT FAMILIES WITH VOCATIONAL MODELS RDS, HS, MH AND TRV  
ALLISON VOCATIONAL RATING FOR ON/OFF HIGHWAY APPLICATIONS AVAILABLE WITH ALL PRODUCT FAMILIES  
PRIMARY MODE GEARS, LOWEST GEAR 1, START GEAR 1, HIGHEST GEAR 6, AVAILABLE FOR 3000/4000 PRODUCT FAMILIES ONLY  
SECONDARY MODE GEARS, LOWEST GEAR 1, START GEAR 1, HIGHEST GEAR 6, AVAILABLE FOR 3000/4000 PRODUCT FAMILIES ONLY  
S2 PERFORMANCE 2 PRIMARY SHIFT SCHEDULE, AVAILABLE FOR 3000/4000 PRODUCT FAMILIES ONLY  
FIXED 2 SECONDARY SHIFT SCHEDULE, AVAILABLE FOR 3000/4000 PRODUCT FAMILIES ONLY  
2100 RPM PRIMARY MODE SHIFT SPEED  
2100 RPM SECONDARY MODE SHIFT SPEED  
ENGINE BRAKE RANGE PRESELECT RECOMMENDED BY DTNA AND ALLISON, THIS DEFINED BY ENGINE AND VOCATIONAL USAGE

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**Description**

2ND GEAR ENGINE BRAKE ALTERNATE  
PRESELECT WITH MODERATE DOWNSHIFT  
STRATEGY

FUEL SENSE 2.0 DISABLED - PERFORMANCE -  
TABLE BASED

DRIVER SWITCH INPUT - DEFAULT - NO  
SWITCHES

DIRECTION CHANGE ENABLED WITH  
MULTIPLEXED SERVICE BRAKES - ALLISON 5TH  
GEN TRANSMISSIONS

MAXIMUM ENGINE SPEED FOR PTO  
ENGAGEMENT 900 RPM

MAXIMUM ENGINE SPEED FOR PTO  
OPERATION 2700 RPM

MAXIMUM OUTPUT SPEED FOR PTO  
ENGAGEMENT 250 RPM

MAXIMUM OUTPUT SPEED FOR PTO  
OPERATION 4000 RPM - ALLISON 5TH GEN  
TRANSMISSIONS

QUICKFIT BODY LIGHTING CONNECTOR AT  
END OF FRAME, WITH CAP

ELECTRONIC TRANSMISSION WIRING TO  
CUSTOMER INTERFACE CONNECTOR

CUSTOMER INSTALLED CHELSEA 281 SERIES  
PTO

PTO MOUNTING, LH SIDE OF MAIN  
TRANSMISSION ALLISON

MAGNETIC PLUGS, ENGINE DRAIN,  
TRANSMISSION DRAIN, AXLE(S) FILL AND  
DRAIN

HEAVY DUTY ELECTRONIC TRANSMISSION  
SHIFT CONTROL, COLUMN MOUNTED

TRANSMISSION PROGNOSTICS - ENABLED 2013

WATER TO OIL TRANSMISSION COOLER, IN  
RADIATOR END TANK

TRANSMISSION OIL CHECK AND FILL WITH  
CROSSOVER TO CLEAR LH PTO AND DIRECT  
MOUNT PUMP

ATF-SYNTHETIC AUTOMATIC TRANSMISSION  
FLUID

**Front Axle and Equipment**

DETROIT DA-F-16.0-5 16,000# FL1 71.0 KPI/3.74  
DROP SINGLE FRONT AXLE

MERITOR 16.5X6 Q+ CAST SPIDER CAM FRONT  
BRAKES, DOUBLE ANCHOR, FABRICATED  
SHOES

NON-ASBESTOS FRONT BRAKE LINING

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**Description**

CAST IRON OUTBOARD FRONT BRAKE DRUMS  
FRONT BRAKE DUST SHIELDS  
FRONT OIL SEALS  
VENTED FRONT HUB CAPS WITH WINDOW,  
CENTER AND SIDE PLUGS - OIL  
STANDARD SPINDLE NUTS FOR ALL AXLES  
MERITOR AUTOMATIC FRONT SLACK  
ADJUSTERS  
STANDARD KING PIN BUSHINGS  
TRW TAS-85 POWER STEERING  
POWER STEERING PUMP  
2 QUART SEE THROUGH POWER STEERING  
RESERVOIR  
CURRENT AVAILABLE SYNTHETIC 75W-90  
FRONT AXLE LUBE

**Front Suspension**

16,000# TAPERLEAF FRONT SUSPENSION  
MAINTENANCE FREE RUBBER BUSHINGS -  
FRONT SUSPENSION  
FRONT SHOCK ABSORBERS

**Rear Axle and Equipment**

MERITOR RS-23-160 23,000# R-SERIES SINGLE  
REAR AXLE  
6.43 REAR AXLE RATIO  
IRON REAR AXLE CARRIER WITH STANDARD  
AXLE HOUSING  
MXL 17T MERITOR EXTENDED LUBE MAIN  
DRIVELINE WITH HALF ROUND YOKES  
MERITOR 16.5X7 Q+ CAST SPIDER HEAVY DUTY  
CAM REAR BRAKES, DOUBLE ANCHOR,  
FABRICATED SHOES  
NON-ASBESTOS REAR BRAKE LINING  
BRAKE CAMS AND CHAMBERS ON FORWARD  
SIDE OF DRIVE AXLE(S)  
CONMET CAST IRON REAR BRAKE DRUMS  
REAR BRAKE DUST SHIELDS  
REAR OIL SEALS  
WABCO TRISTOP D LONGSTROKE 1-DRIVE  
AXLE SPRING PARKING CHAMBERS  
MERITOR AUTOMATIC REAR SLACK  
ADJUSTERS  
CURRENT AVAILABLE SYNTHETIC 75W-90 REAR  
AXLE LUBE

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**Description**

STANDARD REAR AXLE BREATHER(S)

**Rear Suspension**

23,000# FLAT LEAF SPRING REAR SUSPENSION  
WITH HELPER AND RADIUS ROD  
SPRING SUSPENSION - 2.25 INCH AXLE  
SPACER  
STANDARD AXLE SEATS IN AXLE CLAMP  
GROUP  
FORE/AFT CONTROL RODS

**Pusher / Tag Equipment**

NO PUSHER/TAG BRAKE DUST SHIELDS

**Brake System**

WABCO 4S/4M ABS  
REINFORCED NYLON, FABRIC BRAID AND WIRE  
BRAID CHASSIS AIR LINES  
FIBER BRAID PARKING BRAKE HOSE  
STANDARD BRAKE SYSTEM VALVES  
STANDARD AIR SYSTEM PRESSURE  
PROTECTION SYSTEM  
STD U.S. FRONT BRAKE VALVE  
RELAY VALVE WITH 5-8 PSI CRACK PRESSURE,  
NO REAR PROPORTIONING VALVE  
BW AD-9SI BRAKE LINE AIR DRYER WITH  
HEATER  
AIR DRYER MOUNTED INBOARD ON LH RAIL  
STEEL AIR TANKS MOUNTED AFT INSIDE  
AND/OR BELOW FRAME JUST FORWARD OF  
REAR SUSPENSION  
BW DV-2 AUTO DRAIN VALVE WITH HEATER -  
WET TANK, PETCOCKS ALL OTHERS

**Trailer Connections**

NO AIR HOSE HANGER

AIR CONNECTIONS TO END OF FRAME WITH  
GLAD HANDS FOR TRUCK AND DUST COVERS

PRIMARY CONNECTOR/RECEPTACLE WIRED  
FOR SEPARATE STOP/TURN, ABS CENTER PIN  
POWERED THROUGH IGNITION

SAE J560 7-WAY PRIMARY TRAILER CABLE  
RECEPTACLE MOUNTED END OF FRAME

**Wheelbase & Frame**

4500MM (177 INCH) WHEELBASE

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**Description**

7/16X3-9/16X11-1/8 INCH STEEL FRAME  
(11.11MMX282.6MM/0.437X11.13 INCH) 120KSI  
TEM TO EVALUATE AND INSTALL FRAME RAIL  
REINFORCEMENT AS NEEDED FOR FRONT  
FRAME MOUNTED EQUIPMENT  
2550MM (100 INCH) REAR FRAME OVERHANG  
FRAME OVERHANG RANGE: 91 INCH TO 100  
INCH  
24 INCH INTEGRAL FRONT FRAME EXTENSION  
CALC'D BACK OF CAB TO REAR SUSP C/L (CA) :  
111.61 in  
CALCULATED EFFECTIVE BACK OF CAB TO  
REAR SUSPENSION C/L (CA) : 108.61 in  
CALC'D FRAME LENGTH - OVERALL : 342.72 in  
CALCULATED FRAME SPACE LH SIDE : 70.36 in  
CALCULATED FRAME SPACE RH SIDE : 78.99 in  
CALC'D SPACE AVAILABLE FOR DECKPLATE :  
0.0 in  
SQUARE END OF FRAME  
FRONT CLOSING CROSSMEMBER  
LIGHTWEIGHT HEAVY DUTY ALUMINUM ENGINE  
CROSSMEMBER  
STANDARD MIDSHIP #1 CROSSMEMBER(S)  
STANDARD REARMOST CROSSMEMBER  
STANDARD SUSPENSION CROSSMEMBER

**Chassis Equipment**

14 INCH PAINTED STEEL BUMPER  
BUMPER MOUNTING FOR SINGLE LICENSE  
PLATE  
NO MUDFLAP BRACKETS  
NO REAR MUDFLAPS  
GRADE 8 THREADED HEX HEADED FRAME  
FASTENERS  
EXTERIOR HARNESSSES WRAPPED IN  
ABRASION TAPE  
CLEAR FRAME RAILS FROM TRANSMISSION  
PTO OPENING TO 36 INCHES BACK OF CAB  
OUTBOARD/INSIDE/BELOW BOTH RAILS

**Fifth Wheel**

NO FIFTH WHEEL

**Fuel Tanks**

70 GALLON/264 LITER ALUMINUM FUEL TANK -  
LH

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**Description**

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25 INCH DIAMETER FUEL TANK(S)  
PLAIN ALUMINUM/PAINTED STEEL  
FUEL/HYDRAULIC TANK(S) WITH PAINTED  
BANDS  
FUEL TANK(S) FORWARD  
PLAIN STEP FINISH  
FUEL TANK CAP(S)  
DETROIT FUEL/WATER SEPARATOR WITH  
WATER IN FUEL SENSOR, HAND PRIMER AND  
12 VOLT PREHEATER"  
EQUIFLO INBOARD FUEL SYSTEM  
HIGH TEMPERATURE REINFORCED NYLON  
FUEL LINE

**Tires**

MICHELIN XZE 12R22.5 16 PLY RADIAL FRONT  
TIRES  
MICHELIN X MULTI ENERGY D 11R22.5 14 PLY  
RADIAL REAR TIRES

**Hubs**

CONMET PRESET PLUS PREMIUM IRON FRONT  
HUBS  
CONMET PRESET PLUS PREMIUM IRON REAR  
HUBS

**Wheels**

ACCURIDE 28828 22.5X8.25 10-HUB PILOT 6.18  
INSET 2-HAND HD STEEL DISC FRONT WHEELS  
ACCURIDE 28828 22.5X8.25 10-HUB PILOT 2-  
HAND HD STEEL DISC REAR WHEELS  
FRONT WHEEL MOUNTING NUTS  
REAR WHEEL MOUNTING NUTS

**Cab Exterior**

108 INCH BBC FLAT ROOF ALUMINUM  
CONVENTIONAL CAB  
AIR CAB MOUNTING  
NONREMOVABLE BUGSCREEN MOUNTED  
BEHIND GRILLE  
SHORT FENDER WITH MUDFLAP  
LH AND RH GRAB HANDLES  
STATIONARY BLACK GRILLE  
BLACK HOOD MOUNTED AIR INTAKE GRILLE  
FIBERGLASS HOOD  
FREIGHTLINER NAME PLATES

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**Description**

TUNNEL/FIREWALL LINER  
SINGLE 14 INCH ROUND HADLEY AIR HORN  
UNDER LH DECK  
SINGLE ELECTRIC HORN  
SINGLE HORN SHIELD  
REAR LICENSE PLATE MOUNT END OF FRAME  
HALOGEN COMPOSITE HEADLAMPS WITH  
BLACK BEZELS  
LED AERODYNAMIC MARKER LIGHTS  
WIRING AND SWITCH FOR CUSTOMER  
FURNISHED SNOW PLOW LAMPS WITH DUAL  
CONNECTIONS AT BUMPER  
DAYTIME RUNNING LIGHTS  
INTEGRAL STOP/TAIL/BACKUP LIGHTS WITH 7  
EXTRA FEET OF WIRE MOUNTED AT END OF  
FRAME  
STANDARD FRONT TURN SIGNAL LAMPS  
DUAL WEST COAST MOLDED-IN COLOR  
HEATED MIRRORS WITH LH AND RH REMOTE  
DOOR MOUNTED MIRRORS  
102 INCH EQUIPMENT WIDTH  
LH AND RH 8 INCH MOLDED-IN COLOR CONVEX  
MIRRORS MOUNTED UNDER PRIMARY  
MIRRORS  
RH AND LH 8 INCH HEATED STAINLESS STEEL  
FENDER MOUNTED CONVEX MIRRORS WITH  
TRIPOD BRACKETS  
STANDARD SIDE/REAR REFLECTORS  
63X14 INCH TINTED REAR WINDOW  
TINTED DOOR GLASS LH AND RH WITH TINTED  
NON-OPERATING WING WINDOWS  
RH AND LH ELECTRIC POWERED WINDOWS  
LOWER RH DOOR WINDOW WITH FRESNEL  
LENS  
1-PIECE BONDED HEATED WIPER PARK SOLAR  
GREEN GLASS WINDSHIELD  
8 LITER (2 GAL) WINDSHIELD WASHER  
RESERVOIR, CAB MOUNTED, WITHOUT FLUID  
LEVEL INDICATOR

**Cab Interior**

RUGGED TRIM PACKAGE  
GRAY & CARBON VINYL INTERIOR "RUGGED"  
CARBON WITH PREMIUM GUNMETAL ACCENT  
(RUGGED)

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**Description**

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MOLDED DOOR PANEL  
MOLDED PLASTIC DOOR PANEL  
BLACK MATS WITH SINGLE INSULATION  
NO DASH MOUNTED ASH TRAYS AND LIGHTER  
FORWARD ROOF MOUNTED CONSOLE  
LH AND RH KICKPLATES  
DIGITAL ALARM CLOCK IN DRIVER DISPLAY  
(2) CUP HOLDERS LH AND RH DASH  
M2/SD DASH  
HEATER, DEFROSTER AND AIR CONDITIONER  
STANDARD HVAC DUCTING WITH SNOW  
SHIELD FOR FRESH AIR INTAKE  
MAIN HVAC CONTROLS WITH RECIRCULATION  
SWITCH  
STANDARD HEATER PLUMBING  
VALEO HEAVY DUTY A/C REFRIGERANT  
COMPRESSOR  
BINARY CONTROL, R-134A  
STANDARD INSULATION  
SOLID-STATE CIRCUIT PROTECTION AND  
FUSES  
12V NEGATIVE GROUND ELECTRICAL SYSTEM  
PREMIUM LED CAB LIGHTING  
NO SECURITY DEVICE  
DOOR LOCKS AND IGNITION SWITCH KEYED  
THE SAME  
KEY QUANTITY OF 2  
LH AND RH ELECTRIC DOOR LOCKS  
NO MATTRESS  
PREMIUM ISRINGHAUSEN HIGH BACK AIR  
SUSPENSION DRIVERS SEAT WITH 2 AIR  
LUMBAR, INTEGRATED CUSHION EXTENSION,  
TILT AND ADJUSTABLE SHOCK  
BASIC ISRI HIGH BACK NON SUSPENSION  
PASSENGER SEAT  
DUAL DRIVER SEAT ARMRESTS, NO  
PASSENGER SEAT ARMRESTS  
LH AND RH INTEGRAL DOOR PANEL ARMRESTS  
BLACK VINYL DRIVER SEAT COVER  
BLACK VINYL PASSENGER SEAT COVER  
HIGH VISIBILITY ORANGE SEAT BELTS  
ADJUSTABLE TILT AND TELESCOPING  
STEERING COLUMN

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**Description**

4-SPOKE 18 INCH (450MM) BLACK STEERING  
WHEEL WITH SWITCHES  
DRIVER AND PASSENGER INTERIOR SUN  
VISORS

**Instruments & Controls**

ELECTRONIC ACCELERATOR CONTROL  
NO INSTRUMENT PANEL-DRIVER  
FULLY CONFIGURABLE CENTER INSTRUMENT  
PANELS  
BRIGHT ARGENT FINISH GAUGE BEZELS  
LOW AIR PRESSURE INDICATOR LIGHT AND  
AUDIBLE ALARM  
DUAL NEEDLE PRIMARY AND SECONDARY AIR  
PRESSURE GAUGE  
INTAKE MOUNTED AIR RESTRICTION  
INDICATOR WITHOUT GRADUATIONS  
ELECTRONIC CRUISE CONTROL WITH  
CONTROLS ON STEERING WHEEL SPOKES  
KEY OPERATED IGNITION SWITCH AND  
INTEGRAL START POSITION; 4 POSITION  
OFF/RUN/START/ACCESSORY  
PREMIUM INSTRUMENT CLUSTER WITH 5.0  
INCH TFT COLOR DISPLAY  
DIGITAL PANEL LAMP DIMMER SWITCH IN  
DRIVER DISPLAY  
HEAVY DUTY ONBOARD DIAGNOSTICS  
INTERFACE CONNECTOR LOCATED BELOW LH  
DASH  
2 INCH ELECTRIC FUEL GAUGE  
PROGRAMMABLE RPM CONTROL -  
ELECTRONIC ENGINE  
QUICKFIT POWERTRAIN INTERFACE  
CONNECTOR UNDER CAB WITH CAPS  
ELECTRICAL ENGINE COOLANT TEMPERATURE  
GAUGE  
ELECTRIC ENGINE OIL PRESSURE GAUGE  
2 INCH TRANSMISSION OIL TEMPERATURE  
GAUGE  
ELECTRONIC OUTSIDE TEMPERATURE  
SENSOR DISPLAY IN DRIVER MESSAGE  
CENTER  
ENGINE AND TRIP HOUR METERS INTEGRAL  
WITHIN DRIVER DISPLAY  
PTO CONTROLS FOR ENHANCED VEHICLE  
ELECTRIC/ELECTRONIC ARCHITECTURE

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**Description**

NO OBSTACLE DETECTION SYSTEM  
NO DR ASSIST SYSTEM  
NO VEHICLE STABILITY ADVISOR OR CONTROL  
NO LANE DEPARTURE WARNING SYSTEM  
NO OVERHEAD INSTRUMENT PANEL  
7" B-PANEL INTERACTIVE TOUCHSCREEN  
DISPLAY RADIO W/ USB-C, APPLE CARPLAY,  
ANDROID AUTO, BLUETOOTH/AM/FM/SXM/WB,  
WITH MICROPHONE  
DASH MOUNTED RADIO  
(2) RADIO SPEAKERS IN CAB  
AM/FM ANTENNA MOUNTED ON FORWARD LH  
ROOF  
POWER AND GROUND WIRING PROVISION  
OVERHEAD  
ROOF/OVERHEAD CONSOLE CB RADIO  
PROVISION  
NO MULTIBAND ANTENNA  
INTEROPERABLE SDAR ANTENNA, SHIP LOOSE  
ELECTRONIC MPH SPEEDOMETER WITH  
SECONDARY KPH SCALE, WITHOUT  
ODOMETER  
STANDARD VEHICLE SPEED SENSOR  
ELECTRONIC 3000 RPM TACHOMETER  
DETROIT CONNECT PLATFORM HARDWARE  
3 YEARS DAIMLER CONNECTIVITY BASE  
PACKAGE ON (FEATURES VARY BY MODEL)  
POWERED BY DETROIT CONNECT ON  
CUMMINS ENGINES  
TMC RP1226 ACCESSORY CONNECTOR  
LOCATED BEHIND PASSENGER SIDE  
REMOVEABLE DASH PANEL  
IGNITION SWITCH CONTROLLED ENGINE STOP  
**TWO EXTRA HARDWIRED SWITCHES IN DASH,  
INPUT POWER, NO OUTPUT WIRING**  
HARDWIRE SWITCH #1, ON/OFF LATCHING, 10  
AMPS BATTERY POWER  
HARDWIRE SWITCH #2, ON/OFF LATCHING, 10  
AMPS BATTERY POWER  
(1) OVERHEAD MOUNTED LANYARD CONTROL  
FOR DRIVER AIR HORN  
STANDARD TRACTOR PROTECTION VALVE  
TRAILER HAND CONTROL BRAKE VALVE  
DIGITAL VOLTAGE DISPLAY INTEGRAL WITH  
DRIVER DISPLAY

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**Description**

SINGLE ELECTRIC WINDSHIELD WIPER MOTOR WITH DELAY WHEN PARK BRAKE SET, TRANSITION TO SLOWEST SPEED  
ROTARY HEADLAMP SWITCH, MARKER LIGHTS/HEADLIGHTS SWITCH WITH PULL OUT FOR OPTIONAL FOG/ROAD LAMPS  
TWO VALVE PARKING BRAKE SYSTEM WITH WARNING INDICATOR  
SELF CANCELING TURN SIGNAL SWITCH WITH DIMMER, HEADLAMP FLASH, WASH/WIPE/INTERMITTENT  
INTEGRAL ELECTRONIC TURN SIGNAL FLASHER WITH 40 AMP (20 AMP PER SIDE) TRAILER LAMP CAPACITY  
NO WRG/SW-OPTL #2, CHAS, AIR

**Design**

PAINT: ONE SOLID COLOR

**Color**

CAB COLOR A: L5994EY HARVESTER RED ELITE EY  
BLACK, HIGH SOLIDS POLYURETHANE CHASSIS PAINT  
POWDER WHITE (N0006EA) FRONT WHEELS/RIMS (PKWHT21, TKWHT21, W, TW)  
POWDER WHITE (N0006EA) REAR WHEELS/RIMS (PKWHT21, TKWHT21, W, TW)  
STANDARD BLACK BUMPER PAINT  
STANDARD E COAT/UNDERCOATING

**Certification / Compliance**

U.S. FMVSS CERTIFICATION, EXCEPT SALES CABS AND GLIDER KITS

**Secondary Factory Options**

CORPORATE PDI CENTER IN-SERVICE ONLY

**Extended Warranty**

TOWING: 1 YEAR/UNLIMITED MILES/KM EXTENDED TOWING COVERAGE \$750 CAP FEX APPLIES

**Prepared for:**  
James Keats  
PALATINE VILLAGE OF  
200 E WOOD ST

PALATINE, IL 60067  
Phone: 847-202-6976

**Prepared by:**  
Don Cooper  
NORTHWEST TRUCKS, INC.  
2120 N RAND ROAD  
PALATINE, IL 60074  
Phone: 800-559-8890

(\*\*\*) All cost increases for major components (Engines, Transmissions, Axles, Front and Rear Tires) and government mandated requirements, tariffs, and raw material surcharges will be passed through and added to factory invoices.

**Prepared for:**  
 James Keats  
 PALATINE VILLAGE OF  
 200 E WOOD ST

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 PALATINE, IL 60074  
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## Q U O T A T I O N

### 108SD PLUS CONVENTIONAL CHASSIS

SET BACK AXLE - TRUCK CUM L9 300 HP @ 2200 RPM; 2200 GOV RPM, 860 LB-FT @ 1200 RPM ALLISON 3500 RDS AUTOMATIC TRANSMISSION WITH PTO PROVISION MERITOR RS-23-160 23,000# R-SERIES SINGLE REAR AXLE 23,000# FLAT LEAF SPRING REAR SUSPENSION WITH HELPER AND RADIUS ROD DETROIT DA-F-16.0-5 16,000# FL1 71.0 KPI/3.74 DROP SINGLE FRONT AXLE	16,000# TAPERLEAF FRONT SUSPENSION 108 INCH BBC FLAT ROOF ALUMINUM CONVENTIONAL CAB 4500MM (177 INCH) WHEELBASE NO FIFTH WHEEL 7/16X3-9/16X11-1/8 INCH STEEL FRAME (11.11MMX282.6MM/0.437X11.13 INCH) 120KSI 2550MM (100 INCH) REAR FRAME OVERHANG TEM TO EVALUATE AND INSTALL FRAME RAIL REINFORCEMENT AS NEEDED FOR FRONT FRAME MOUNTED EQUIPMENT
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		<b>PER UNIT</b>		<b>TOTAL</b>
VEHICLE PRICE	<b>TOTAL # OF UNITS (1)</b>	\$ 100,185	\$	100,185
EXTENDED WARRANTY		\$ 230	\$	230
DEALER INSTALLED OPTIONS		\$ 0	\$	0
<b>CUSTOMER PRICE BEFORE TAX</b>		<b>\$ 100,415</b>	<b>\$</b>	<b>100,415</b>

### TAXES AND FEES

TAXES AND FEES	\$	0	\$	0
OTHER CHARGES	\$	0	\$	0

### TRADE-IN

<b>TRADE-IN ALLOWANCE</b>	\$	(0)	\$	(0)
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<b>BALANCE DUE</b>		<b>(LOCAL CURRENCY) \$</b>	<b>100,415</b>	<b>\$ 100,415</b>
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APPROVAL:

Please indicate your acceptance of this quotation by signing below:

Customer: X \_\_\_\_\_ Date: \_\_\_ / \_\_\_ / \_\_\_.



a brand of aebe schmidt

1051 W 7th St  
Monroe, WI 53566  
Sales Rep: Tim Reynolds  
Ph: 815-275-0223  
www.MonroeTruck.com



J.O. #

Quotation ID: 9KK1001192  
Date: 2/4/2026  
Valid thru: 3/6/2026  
Terms: NET 30  
Quoted by: Kaden King  
Ph/Fax: 608-329-8322 /

Quoted to:

PALATINE, VILLAGE OF (ATTN: )  
148 W ILLINOIS  
PALATINE, IL 60067  
Ph: 847-202-6900 / Fax: 847-358-4242  
Email:

Chassis Information

Year:	Make: FREIGHTLINER	Model: SEVERE DUTY	Chassis Color:	Cab Type:
Single/Dual: DRW	CA:	CT:	Wheelbase:	Engine: DIESEL
			F.O. Number #:	Vin:

Notes:

Monroe Truck Equipment, Inc. is pleased to offer the following quote for your review:

Description	Amount
<p><b>** CHASSIS TO HAVE FACTORY UPFITTER SWITCHES AND TRANS DIPSTICK ON RT SIDE **</b></p> <p><b>** BATTERY BOX MUST BE LOCATED UNDER THE CAB OR IN THE CAB **</b></p> <p><b>** AIR DRYER MUST BE LOCATED INBOARD FRAME RAIL BEHIND CAB **</b></p> <p><b>** AIR TANKS MUST BE INBOARD FRAME RAIL **</b></p> <p><b>** MUST HAVE 21" GROUND CLEARANCE UNOBSTRUCTED UNDER FRAME **</b></p> <p><b>** MUST HAVE 24" GROUND CLEARANCE UNOBSTRUCTED OUTSIDE OF FRAME **</b></p> <p><b>DUMP BODY - 10', 5-7 YARD CAPACITY, CRYSTEEL GLADIATOR</b></p> <ul style="list-style-type: none"> <li>- SIDES: 26", 7GA MILD STEEL</li> <li>- FRONT: 36", 7GA MILD STEEL</li> <li>- REAR : 36", 7GA MILD STEEL</li> <li>- FLOOR: 1/4" AR450 9" RADIUS</li> <li>- WESTERN UNDERSTRUCTURE</li> <li>- CAB SHIELD</li> <li>- (2) SPRING LOADED SHOVEL HOLDERS</li> <li>- AIR TAILGATE RELEASE</li> <li>- COAL CHUTE LOCATED CENTER OF TAILGATE</li> <li>- SAFTEY STEP WALK RAIL BOTH SIDES LIEU OF FLAT RAIL</li> <li>- SLIDE-OUT LADDER &amp; GRAB HANDLE ON RIGHT SIDE OF BODY</li> <li>- REFLECTIVE TAPE ACROSS THE BACK OF THE CAB AND SIDES OF BODY</li> <li>- WHITE SOUND, 92 DB BACK UP ALARM</li> <li>- RECESSED LED S/T/T AND BACKUP LIGHTS WITH SEALED WIRE HARNESS</li> <li>- RUBBER REAR FLAPS BEHIND AND IN FRONT OF REAR TIRES</li> <li>- UNDERBODY CROSSMEMBER ASSEMBLY</li> <li>* SUPPLY AND INSTALL SPILL SHIELD AT THE BACK OF BODY</li> <li>- PAINTED ONE COLOR, SINGLE STAGE RED</li> </ul> <p><b>CRYSTEEL RC750 SUBFRAME HOIST</b></p> <ul style="list-style-type: none"> <li>- 17.2 TON CAPACITY</li> <li>- 2000 P.S.I.</li> <li>- FULLY GREASABLE HINGE AND ROLLERS</li> <li>- DOUBLE ACTING</li> </ul> <p><b>PINTLE MOUNT; 1" PLATE W/ 3/4" D-RINGS</b></p> <ul style="list-style-type: none"> <li>- PH-15 RIGID MOUNT PINTLE HOOK (4 BOLT, 15 TON)</li> <li>- 5 PAIR OF ADJUSTABLE HOLES FOR PINTLE HIEGHT</li> <li>- DRAW-TITE ELECTRIC BRAKE CONTROL</li> <li>- 7 WAY RV STYLE TRAILER PLUG</li> <li>- TRUCK LITE LED 3-BAR</li> <li>- WELDED ON RING FOR BREAKAWAY CABLE</li> <li>* EXTEND AIR LINES AND ADD GLAD HANDS AT REAR OF FRAME *</li> </ul>	



Description	Amount
<p><b>LIGHTS - WHELEN, JUSTICE SUPER LED ILL STROBE SYSTEMS, 72" LIGHT BAR</b></p> <ul style="list-style-type: none"> <li>- 72" JUSTICE LED LIGHT BAR MOUNTED ON ROOF</li> <li>- LED S/T/T MOUNTED IN REAR POST, PINTLE PLATE AND ON TOP OF CAB SHIELD</li> <li>- LED BACK UP LIGHT MOUNTED IN REAR CORNER POST</li> <li>- 2 AMBER AND 1 CLEAR STROBE INSTALLED OUTSIDE THE CORNER POST ON EACH SIDE</li> <li>- (4) L.E.D WORK/SPREADER LIGHTS. TWO ON THE SCRAPER AND TWO ON THE SPREADER</li> <li>- 2-YEAR WARRANTY</li> </ul>	
<p><b>MONROE BEHIND THE CAB FRAME MOUNTED LIQUID DISPENSING SYSTEM</b></p> <ul style="list-style-type: none"> <li>- 120 GALLON POLY TANK</li> <li>- HYDRAULIC 4 GPM MOTOR/PUMP COMBINATION</li> <li>- 204 STAINLESS MOUNTING HARDWARE</li> <li>- BULK FILL KIT, 2"</li> <li>- FLUSH KIT WITH 3 GALLON RESERVOIR</li> </ul>	
<p><b>AERO 10'-13' EASY COVER ASPHALT TARP SYSTEM - MODEL 575</b></p> <ul style="list-style-type: none"> <li>- ELECTRIC MOTOR W/ IN-CAB SWITCH</li> <li>- ALUMINUM HOUSING MOUNTED BEHIND CAB SHIELD</li> <li>- ALUMINUM TARP ARMS</li> </ul>	
<p><b>ELECTRIC HYDRAULICS PACKAGE</b></p> <ul style="list-style-type: none"> <li>- HOT SHIFT PTO WITH SHAFT EXTENSION</li> <li>- TXV92 PUMP</li> <li>- D/A HOIST W/500 PSI DOWNSIDE RELIEF, 40GPM</li> <li>- D/A PLOW, 20 GPM</li> <li>- D/A PLOW ANGLE, 20 GPM</li> <li>- D/A SCRAPER CURL, 20 GPM, W/500 PSI DOWNSIDE RELIEF</li> <li>- AUGER 14GPM</li> <li>- SPINNER 7 GPM</li> <li>- 30 GALLON CAPACITY STAINLESS HYDRAULIC RESERVOIR WITH INTERNAL FILTER</li> <li>- FILLER/BREATHER CAP, LEVEL/TEMP SIGHT GLASS, 3/4" MAGNETIC PLUG,</li> <li>- 60 P.S.I. CONDITION INDICATOR</li> <li>- GAURD WELDED ON BOTH SIDES OF SIGHT GLASS</li> <li>- STAINLESS ENCLOSURE WITH WEATHER TIGHT COVER</li> <li>- HYDRAULIC ENCLOSURE WILL BE MOUNTED ON FRAME RAIL</li> <li>- STAINLESS STEEL HYDRAULIC LINES WITH WHIP HOSES</li> <li>- FORCE FA-5100EX SPREADER CONTROL W/ ULTRA 3 STICK</li> <li>* FLOOR MOUNT STAND FOR ULTRA CONTROL *</li> </ul>	
<p><b>MONROE QUICK LINK HITCH - FOLD FLAT LIFT ARM</b></p> <ul style="list-style-type: none"> <li>- 4" X 10" DOUBLE-ACTING</li> <li>- PLOW LIGHT BRACKET MOUNTED TO FACTORY MIRROR BRACKET ON FENDER</li> <li>- PLOW LIGHTS; ABL; COMPOSITE HOUSING; BLACK</li> <li>(REQUIRES MINIMUM OF 18" FRONT FRAME EXTENSION)</li> </ul>	
<p><b>11' MONROE TORSION TRIP EDGE REVERSIBLE PLOW</b></p> <ul style="list-style-type: none"> <li>- 10 GAUGE ROLL FORMED MOLDBOARD</li> <li>- (6) 1/2" X 4" TAPERED ONE-PIECE FLAME CUT RIBS</li> <li>- 2" X 3" X 3/8" TOP ANGLE</li> <li>- 4" X 4" X 3/4" BOTTOM ANGLE</li> <li>- (6) NON- ADJUSTABLE 3/4" TORSION SPRING ASSEMBLIES FOR A 3-SECTION TRIP EDGE</li> <li>- 5/8" X 6" THREE-PIECE TOP PUNCH CUTTING EDGE</li> <li>- 4" X 4" X 3/8" CROSS-TUBE SUPPORT</li> <li>- 3-1/2" X 3-1/2" X 1/2" SEMI-CIRCLE</li> <li>- (2) 3" X 10" DOUBLE ACTING REVERSE CYLINDERS WITH CUSHION VALVE</li> <li>- BUILT-IN MONROE LEVEL LIFT ASSEMBLY</li> <li>- MOLDBOARD AND PUSHFRAME TO BE 100% CONTINUOUSLY WELDED</li> <li>- MOLDBOARD POWDER COATED ORANGE</li> <li>- PUSH FRAME POWDER COATED BLACK</li> <li>- (2) WRAP-AROUND CURB GUARDS (ONE PER SIDE)</li> <li>- 42" ORANGE CABLE MARKERS (INSTALLED)</li> <li>- QUICK LINK SWIVEL PLATE, PLOW PORTION; 100#</li> <li>- SCREW ADJUSTABLE JACK</li> <li>- 11' RUBBER SNOW DEFLECTOR, 12", S/I INSTALLED</li> <li>- MAIL BOX TRIM (RIGHT SIDE)</li> </ul>	

Description	Amount
<b>MONROE 10' MF-5 MODEL FIXED ANGLE UNDERBODY SCRAPER</b>	
- 1" X 20" MOLDBOARD	
- SINGLE SHOCK ABSORBER	
- (1) 3" ACTUATING CYLINDER	
- FIXED ANGLE MOLDBOARD IN RIGHT OR LEFT-HAND POSITION	
- 400 PSI CUSHION VALVE	
- 1.9/16" HINGE SHAFTS	
- MOUNTING SET SCREWS TO FACE OUTWARD	
- HINGED ANCHOR PLATES	
- (2) WRAP-AROUND CURB GUARDS (ONE MOUNTED ON EACH SIDE)	
- CUT CORNER OFF RIGHT SIDE OF SCRAPER, ADD MESH ON LEFT SIDE TOP MOLDBOARD	
- CARBIDE CUTTING EDGE	
* AUTO REVERSE LIFT	
- POWDER COATED BLACK	
- INSTALLED	

<b>DASH-MOUNTED EXTREME DUTY BACKUP CAMERA SYSTEM</b>	
- SONY BLIND SPOT CAMERA W/ NIGHT VISION, BUILT-IN HEATING SYSTEM	
- ULTRA WIDE VIEWING ANGLE & HIGH SENSITIVITY MICROPHONE	
- WASH AND DRY SYSTEM	
- 7" LED COLOR MONITOR W/ AUTO TRIGGER ACTIVATION, AUTO DIM & 3 CAMERA INPUTS	
* (1) CAMERA AT REAR FOR BACK UP	
* (1) CAMERA ON TOP OF CABSHIELD TO VIEW LOADSPACE	

<b>MONROE UNDER-TAILGATE SPREADER, 96" WIDE, DIRECT DRIVE</b>	
- 7 GA. TROUGH	
- 1/4" END PLATES	
- FULL OPENING TOP AND BOTTOM CLEAN-OUT DOORS	
- 6" AUGER DIAMETER	
- QUICK DETACH MOUNTING BRACKETS	
- BUILT IN EXTENDED SIDE SHIELDS FOR SPREADER (NO INTERNAL)	
- BARE STAINLESS STEEL (NOT PAINTED)	
- SPINNER; LH STAINLESS STEEL FRAME W/ POLY DISC, SELF LEVELING W/O RODS	
- (2) CLEAR WORK LIGHTS ON SPREADER, LED	
- SPRAY BAR KIT; 3/4" STAINLESS STEEL TUBE INSIDE AUGER TROUGH	
- INSTALLED	

Quote Total: \$145,324.00

**\*\* NOTICE: We are closely monitoring the tariff situation very carefully. Aebi Schmidt North America and its Monroe brand manufacture products in the United States, so the direct impact of current tariffs will be moderate. Although we make significant efforts to source components domestically, this is not always feasible. At this time, we cannot predict the potential cost increases that may arise through our supply chain or from further tariffs. We understand that this may raise concerns, and we want to assure you that we are working hard to minimize any impact on our customers and if cost increases need to be applied to existing or future orders, we will discuss these changes with our customers upfront.**

**Additional Options:**

Description	Amount	Add to quote? Yes / No
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**Terms & Conditions**

- Terms are Due Upon Receipt unless prior credit arrangements are made at the time of order.
- Please note if chassis is furnished, it is as a convenience and terms are Net Due on Receipt of Chassis.
- State and Federal taxes will be added where applicable. **Out-of-state municipal entities may be subject to Wisconsin sales tax.**
- Restocking fees may be applicable for cancelled orders.
- MTE is not responsible or liable for equipment that does not meet local/state regulations if those laws are not made known at time of order.

By signing and accepting this quote, the customer agrees to the terms listed above and has confirmed that all chassis information listed above is accurate to chassis specs.

Re-Assign (Required for all pool units): <input type="checkbox"/> Fleet <input type="checkbox"/> Retail	MSO/MCO (ONLY check if legally required): <input type="checkbox"/> MCO <input type="checkbox"/> MSO	
Customer Signature:	Customer P.O. Number:	Date of Acceptance:



# General Terms and Conditions for the Sale of Goods by Subsidiaries of ASH North America, Inc.

## SCOPE AND VALIDITY

- 1.1. These General Terms and Conditions for the Sale of Goods (these "Terms") govern the sale and delivery of all goods and products (the "Products"), and all transactions incidental thereto, by such subsidiary of ASH North America, Inc. identified on the respective Confirmed Order (as defined below) as the seller or supplier ("Seller") to any of its customers (each a "Customer"). The liability of each such subsidiary under these Terms or any Confirmed Order shall be several and not joint. Customer acknowledges and agrees that nothing in these Terms or any Confirmed Order shall be construed as implying joint liability in any case of ASH North America, Inc. or any of its subsidiaries. Each Seller shall be solely responsible for its own acts or omissions under the respective agreement with Customer.
- 1.2. No other terms or conditions shall be of any force or effect unless otherwise specifically agreed upon by Seller in a writing duly executed by an authorized officer of Seller. These Terms supersede any and all prior oral quotations, communications, agreements, or understandings of the parties in respect to the sale and delivery of the Products. The Seller may issue additional Terms and Conditions of Sale for certain products. These shall apply in addition to the present Terms. Any additional or different terms or conditions contained in Customer's Order (as defined below), response to Seller's confirmation, or any other form or document supplied by Customer are hereby expressly rejected and are rendered null, void, and of no effect. These Terms may not be modified, amended, waived, superseded, or rescinded, except by written agreement signed by an authorized officer of Seller. Delivery of the Products by Seller does not constitute acceptance of any of Customer's terms and conditions and do not serve to modify or amend these Terms.
- 1.3. The issuance of an Order (as defined below) by Customer to Seller or any communication or conduct of Customer which confirms an agreement for the delivery of Products by Seller, as well as acceptance in whole or in part by Customer of any delivery of Products by Seller, shall be construed as Customer's acceptance of these Terms.

## 2. OFFERS, ORDERS AND CONFIRMATION

- 2.1. Unless otherwise specified by Seller in writing, all offers made by Seller are not binding and may be revoked by Seller at any time without any liability to Customer.
- 2.2. Customer shall issue to Seller orders for the purchase of Products, in written form via the order process determined by Seller from time to time (each, an "Order"). By issuing an Order to Seller, Customer makes an offer to purchase the Products pursuant to these Terms and the terms set forth on such Order. Provided that the Order contains the same terms as in Seller's corresponding offer, the Order shall be binding on Customer for six (6) weeks after Seller's receipt of such Order.
- 2.3. Seller may refuse an Order for any or no reason. No Order is binding upon Seller until Seller's acceptance of the Order in writing, the issuance of any governmental permit, license, or authority to Seller, as may be required under applicable laws, rules and regulations, and the receipt by Seller of a resale license to be provided by Customer (a "Confirmed Order").
- 2.4. Specifications and other information on drawings, data sheets, pictures, plans, brochures, catalogs, or Seller's website shall not be binding on Seller unless such specifications and information have been agreed to in writing by Seller in a Confirmed Order. Notwithstanding a Confirmed Order, Seller shall have no obligation to deliver Products to Customer or otherwise fulfill any of its obligations set forth in a Confirmed Order if Customer is in breach of any of its obligations hereunder or any Confirmed Order.
- 2.5. Customer may submit to Seller written requests to change the terms of a Confirmed Order (each such request, a "Change Order Request"). Seller may, at its sole discretion, consider such Change Order Request, provided that Seller will have no obligation to perform any Change Order Request unless and until Seller has agreed in writing to adopt such Change Order Request. If Seller elects to consider such a Change Order Request, then Seller shall promptly notify Customer of any adjustment to the applicable purchase price for the Products.
- 2.6. In the event Customer cancels any Confirmed Order for any reason, Customer shall reimburse to Seller all of Seller's costs and expenses associated with or incurred due to such cancellation, including but not limited to the cost of raw materials, labor, and storage if cancellation occurs before Seller's commencement of production. In the event Customer cancels any Confirmed Order for any reason and Seller has started the production of the Product on the respective Confirmed Order, Customer shall pay to Seller the full purchase price.
- 2.7. Each Confirmed Order shall be considered a separate agreement between the parties, and any failure to deliver the Products under any Confirmed Order shall have no consequences for other deliveries of Products.

## 3. PRICES

- 3.1. Unless otherwise agreed to by the parties in the applicable Confirmed Order, the prices of the Products shall be FCA (agreed delivery location on the applicable Confirmed Order), Incoterms 2022.
- 3.2. Unless otherwise agreed by the parties in a Confirmed Order, the price of the Products shall not include transportation, insurance, packaging, and Tooling (as defined below) and other materials used for the manufacturing and delivery, sales or use tax or any other similar applicable federal, state or foreign taxes, duties, levies, or charges in any jurisdiction in connection with the sale or delivery of the Products ("Taxes"). Such Taxes shall be payable by Customer, and if Seller is responsible for the collection thereof, such Taxes shall either be added to the price invoiced or be separately invoiced by Seller to Customer. Any special requests concerning shipping, transportation, and insurance shall be communicated to Seller in a timely manner and subject to Seller's prior written approval. Customer shall bear all costs resulting from such requests. In case of lead delivery times of more than two (2) months, Customer hereby acknowledges and agrees that Seller, may, at its sole discretion, increase or decrease the agreed prices on any Confirmed Order in the event of material price changes in wages, materials, energy or raw material after the date of the Confirmed Order.

## 4. PAYMENT TERMS

- 4.1. Except as set forth in Section 4.2 or unless otherwise agreed in writing by Seller, the purchase price for the Products and all other amounts due under a Confirmed Order shall be due and payable in US dollars within thirty (30) days following the date of Seller's invoice for such Products without any discount, deduction or offset whatsoever. In no event shall any loss, damage, injury or destruction, Force Majeure (as defined below), or any other event beyond Customer's control release Customer from its obligation to make the payments required herein. Payment of all amounts due hereunder shall be made by bank transfer or in any other manner set forth on Seller's invoice. Customer shall be solely responsible for any bank fees, or other fees, incurred due to the wire transfer or any other selected payment method. If Seller agrees to payment by credit card, Seller shall charge an appropriate transaction fee, which the Customer shall also pay.
- 4.2. In the event Seller becomes aware of circumstances or has reason to believe that there are circumstances that may have an adverse effect on Customer's financial condition, Seller may require the Customer to pay the total amount of the purchase price or fees, or a portion thereof prior to the delivery of the Products. Seller may, without any liability to Customer, refuse the delivery of any Product in the event the Customer fails to make the payment as required under this Section 4.2.
- 4.3. Time is of the essence for the payment of all amounts due to Seller under any Confirmed Order. If Customer fails to make payments of any amount when due, Customer shall pay interest to Seller at the rate of one percent (1%) per month or such lesser amount as may be permitted by applicable law starting from the due date until payment to Seller of such amount in full. In addition to the interest, Seller may, at its sole discretion, charge the Customer a flat fee of \$40 for each reminder notice issued to Customer due to late payments. If Customer fails to comply with these Terms or a Confirmed Order, or if Customer becomes insolvent, all balances then due and owing to Seller shall become due immediately, notwithstanding any payment terms agreed by the parties. All costs and expenses incurred by Seller with respect to the collection of overdue payments (including, without limitation, reasonable attorney's fees, expert fees, and other expenses of litigation) shall be borne by Customer. Every payment by Customer shall first be applied to pay for Seller's cost of collection, then interest owed by Customer, and then to the oldest outstanding claim.
- 4.4. Notwithstanding anything in the foregoing Section 4.3 or Section 5, if the parties agreed on installment payments in a Confirmed Order and Customer fails to make any installment payment when due, the remaining balance including accrued interest, and any expenses incurred by Seller shall be due and payable to Seller promptly upon Customer's receipt of written notice of delinquency from Seller.

## 5. SECURITY INTEREST

- 5.1. If Seller extends credit to Customer for the purchase price for any Products (including but not limited to pursuant to Section 4.1.), or any other amounts due to Seller, Customer hereby grants to Seller as security for the timely payment and performance of all Customer's payment obligations to Seller, a first priority security interest (the "Security Interest") in all Products heretofore or in the future delivered to Customer and in the proceeds thereof for as long as such Products shall not have been sold by Customer in the ordinary course of business (the "Collateral"). Seller shall be entitled to file any and all financing, continuation, or similar statements under the Uniform Commercial Code in any jurisdiction and take any and all other action necessary or desirable, in Seller's sole and absolute discretion, to perfect its Security Interest in the Collateral and to establish, continue, preserve, and protect Seller's Security Interest in the Collateral. Customer agrees to take any and all actions and provide Customer with all information necessary to enable Seller to perfect and enforce its Security

Interest in all jurisdictions and vis-à-vis any of Customer's creditors, and hereby irrevocably grants to Seller a power of attorney to execute all necessary statements or documents in Customer's name for the perfection and enforcement of such Security Interest. The Security Interest shall remain in force until payment in full of the entire purchase price for such Products, and any other amounts due to Seller by Customer. Seller may, without notice, change or withdraw extensions of credit at any time.

## 6. OBLIGATIONS OF CUSTOMER

6.1. Customer shall use the Products solely for their intended purpose and pursuant to Seller's instructions, and agrees to use only qualified personnel for the handling of the Products. Customer shall ensure that its customers, employees, agents, and other representatives comply with this Section 6.1. and shall be responsible for their acts and omissions.

## 7. DELIVERY AND ACCEPTANCE

7.1. Unless otherwise agreed in writing by Seller, all deliveries of Products shall be made FCA (agreed delivery location) (Incoterms 2020) and title to and risk of loss for the Products shall pass to Customer upon delivery pursuant to this Section 7.1.

7.2. Any delivery and performance times or dates communicated by or on behalf of Seller are estimates and shall not be binding on Seller. Seller may make partial delivery of Products to be delivered under any Confirmed Order and invoice Customer separately for such partial deliveries or performance. If Customer has not received the Products after six (6) weeks from the estimated delivery date, Customer may make a written request to Seller for delivery. Customer hereby acknowledges and agrees that the actual delivery date of the Products is conditioned upon the complete, accurate and timely delivery of materials from Seller's vendors and suppliers. No delay in delivery of any Products shall relieve Customer of its obligation to accept the delivery or performance thereof and make payments of any amounts due in accordance with these Terms, including but not limited to delays caused governmental restrictions on exports or imports and similar measures.

7.3. Customer's failure to accept the delivery of Products pursuant to a Confirmed Order shall not release or excuse Customer from its obligation to timely pay all amounts due in connection with such Confirmed Order. The Products shall be deemed delivered at the time they have been made available to Customer. If Customer rejects or revokes acceptance of Products, or fails to pay any amounts when due, Seller, in its sole and absolute discretion, may extend the period of delivery of Products by such period as Seller may deem reasonable with such period not exceeding three (3) months from the agreed delivery date, or withhold or cancel delivery of any Products, or cancel any or all Confirmed Orders without any further obligations to Customer whatsoever. In such event, Customer shall be responsible for any and all costs and expenses incurred, or damages or losses suffered by Seller in connection with any such delay notwithstanding any action or inaction by Seller with regard to such delay. Any remaining Products that have not been accepted by Customer within the extended delivery period determined by Seller will be delivered and invoiced by Seller to Customer and Customer agrees to accept such delivery and pay for the purchase price and other amounts payable for the delivered Products.

## 8. EXAMINATION AND CONFORMITY TO ORDER

8.1. Promptly upon receipt of any Products, Customer shall conduct a full and complete inspection of such Products as to any defects and to confirm compliance with all requirements of the applicable Confirmed Order. Customer shall notify Seller in writing of any packaging defects, apparent defects, or non-compliance of such Products with the applicable Confirmed Order that Customer has or could reasonably have discovered during such inspection within seven (7) days from the date of receipt of such Products, and Customer shall notify Seller in writing within three (3) days of the date on which Customer shall first have become aware of any hidden defect or non-compliance which could not reasonably have been discovered during Customer's initial inspection of the Products. Such notification shall include reasonable details (including images) on the alleged defects including lot, batch, or Order numbers.

8.2. If Customer fails to timely notify Seller of any defects or other non-compliance of any Products delivered or Customer (or its customers, employees, agents, or representatives) uses, destroys, or modifies any Products that Customer knows or should have known to be defective or non-compliant without Seller's prior written consent, Customer shall be deemed to have unconditionally accepted such Products and waived all of its claims for breach of warranty or otherwise in respect of such Products.

8.3. Customer may only return the Products to Seller with Seller's prior written approval. If the return has been approved by Seller, Customer shall return the Products to Seller at Customer's sole risk and expense to the destination directed by Seller.

8.4. Complaints of Customer in connection with the shipping or transport shall be directed to the carrier promptly upon receipt of the delivery or the freight documents.

## 9. LIMITED PRODUCT WARRANTY

9.1. Seller warrants to Customer that the Products will be free of defects in material and workmanship and conform with the requirements set forth in the applicable Confirmed Order for a period of twelve (12) months from the date of delivery. (the "Limited Product Warranty").

9.2. Unless expressly agreed to in writing by Seller, Seller makes no warranty that the Products comply with applicable law, regulations, or specifications in any jurisdiction in which the Products may be used, integrated or incorporated. Any governmental or other approvals necessary in connection with the use, integration or incorporation of the Products shall be Customer's sole responsibility.

9.3. The Limited Product Warranty shall be void if the Defect (as defined below) resulted from (a) improper or inadequate use, storage, handling, operation, integration, incorporation, assembly, maintenance, or unauthorized alteration, modification, repair of the Products (including without limitation, the use storage, handling, operation, or integration of the Products contrary to written instructions and/or recommendations of Seller or inadequate training of personnel), (b) changes to construction and materials pursuant to Customer's requests, (c) use of improper tools, resources, or accessories including those but not limited to any third party tools, resources, or accessories that are not approved by Seller or not in accordance with Seller's recommendations, instructions, or directions, (d) acts or omissions of Customer or third parties following delivery of the Product, (e) Customer's failure to properly communicate Seller's instructions and warnings to users of the Products, (f) Customer's, its employees, agents, representatives, customers or any third party's non-compliance with applicable laws, rules and regulation, (g) Force Majeure, or (h) ordinary wear and tear of the Products (e.g., sweep bristles).

9.4. In the event of an alleged breach of the Limited Product Warranty (a "Defect"), Customer shall, at Customer's sole expense, send the Product to Seller. Seller shall conduct the necessary tests on such Product within a reasonable period. If Seller confirms the Defect, Seller shall, at its sole option and discretion, repair or replace the Defective Product. If the repair or replacement of the Defective Product is commercially unreasonable to Seller, Seller may, at its sole discretion, issue a refund to Customer in the amount Seller deems adequate. Such repair, replacement, or refund shall be the sole liability of Seller and the sole remedy of Customer with respect to a Defect. In no event shall any warranty claims for a Defect be made after twelve (12) months from the date of Customer's receipt of the Products. Any Products or parts returned to Seller for removal or repair under this Section 9.4 shall be the property of Seller. Any applicable Limited Product Warranty period shall not start anew with the repair or replacement of the Defective Product (or any portion thereof).

9.5. Except for Limited Product Warranty, SELLER HEREBY EXPRESSLY EXCLUDES AND DISCLAIMS ANY AND ALL OTHER WARRANTIES, WHETHER EXPRESS OR IMPLIED, INCLUDING BUT NOT LIMITED TO THE IMPLIED WARRANTIES OF MERCHANTABILITY, FITNESS FOR A PARTICULAR PURPOSE OR NONINFRINGEMENT. Seller makes no other warranties with respect to the Products, and no person is authorized to make any warranties on behalf of Seller that are inconsistent with the warranties set forth under this Section 9.

## 10. LIMITATION OF LIABILITY

10.1. IN NO EVENT SHALL SELLER BE LIABLE TO CUSTOMER, ITS CUSTOMERS, EMPLOYEES, AGENTS, AND OTHER REPRESENTATIVES FOR ANY INDIRECT, INCIDENTAL, PUNITIVE, SPECIAL OR CONSEQUENTIAL DAMAGES, INCLUDING BUT NOT LIMITED TO, DAMAGES FOR LOSS OF PROFITS, REVENUE, GOODWILL, OR USE, WHETHER IN AN ACTION IN CONTRACT, TORT, STRICT LIABILITY, OR IMPOSED BY STATUTE, OR OTHERWISE, EVEN IF SELLER WAS ADVISED OF THE POSSIBILITY OF SUCH DAMAGES. NOTWITHSTANDING ANY OF THE TERMS CONTAINED HEREIN, SELLER'S LIABILITY FOR ANY CLAIM – WHETHER BASED UPON CONTRACT, TORT, EQUITY, NEGLIGENCE, OR ANY OTHER LEGAL CONCEPT – SHALL IN NO EVENT EXCEED THE PURCHASE PRICE PAID BY THE CUSTOMER FOR THE PRODUCTS, GIVING RISE TO SUCH CLAIM. CUSTOMER HEREBY ACKNOWLEDGES AND AGREES THAT THE PROVISIONS OF THESE TERMS FAIRLY ALLOCATE THE RISKS BETWEEN SELLER AND CUSTOMER, THAT SELLER'S PRICING REFLECTS THIS ALLOCATION OF RISK, AND BUT FOR THIS ALLOCATION AND LIMITATION OF LIABILITY, SELLER WOULD NOT HAVE ENTERED INTO AN AGREEMENT WITH CUSTOMER FOR THE SALE OF THE PRODUCTS.

10.2. Seller shall not be liable for, and Customer assumes responsibility and shall indemnify, defend, and hold Seller harmless for any and all claims, including without limitation claims for personal injury or property damages, resulting from (a) the improper or inadequate use, storage, handling, operation, assembly, integration, incorporation, assembly, maintenance, or unauthorized alteration, modification, or repair of the Products (including without limitation, the use storage, handling, operation, or integration of the Products contrary to written instructions and/or recommendations of Seller or inadequate training of personnel), (b) changes to construction and materials pursuant to Customer's requests, (c) use of improper tools, resources, or accessories including those but not limited to any third party tools, resources, or accessories that are not approved by Seller or not in accordance with Seller's recommendations, instructions, or directions, (d) acts or omissions of Customer or third parties following the delivery of the Products, (e) Customer's failure to properly communicate Seller's instructions and warnings to users of the Products, or (f) Customer's, its employees, agents, representatives, customers or any third party's non-compliance with applicable laws, rules and regulation, (g) Force Majeure, or (h) ordinary wear and tear of the Products (e.g., sweep bristles).

10.3. In jurisdictions that limit or preclude limitations or exclusion of remedies, damages, or liability, such as liability for gross negligence or willful misconduct or do not allow implied warranties to be excluded, the limitation or exclusion of warranties, remedies, damages, or liability set forth in these Terms are intended to apply to the maximum extent permitted by

applicable law, and these Terms shall be deemed amended to comply with such limitations or exclusions. Customer may also have other rights that vary by state, country or other jurisdiction.

#### 11. CONFIDENTIALITY

11.1. "Confidential Information" means: (i) any know-how, trade secrets, and other business or technical information of Seller that is confidential or proprietary or due to its nature or under the circumstances of its disclosure the Customer knows or has reason to know should be treated as confidential or proprietary, including but not limited to quotations, drawings, project documentation, samples and models.

11.2. Confidential Information does not include information that: (i) is or becomes generally known to the public through no fault or breach of these Terms by the Customer; (ii) is rightfully known by the Customer at the time of disclosure without an obligation of confidentiality; (iii) is independently developed by the Customer without use of Seller's Confidential Information; (iv) is rightfully received by the Customer from a third party without restriction on use or disclosure; or (v) is disclosed with Seller's prior written approval.

11.3. Customer shall not use Seller's Confidential Information except as necessary to use the Products and will not disclose such Confidential Information to any third party except to those of its employees, agents, subcontractors, or representatives who have a bona fide need to know such Confidential Information to enable Customer to use the Products; provided that each such employee, agent, subcontractor, and/or representative is/are bound by a written agreement that contains use and nondisclosure restrictions not less stringent than the terms set forth in this Section 11.3. The Customer will employ all reasonable steps to protect Seller's Confidential Information from unauthorized use or disclosure, including, but not limited to, all steps that it takes to protect its own information of like importance. The foregoing obligations will not restrict the Customer from disclosing Seller's Confidential Information: (i) pursuant to the order or requirement of a court, administrative agency, or other governmental body, provided that the Customer gives reasonable notice to Seller to contest such order or requirement; (ii) to its legal or financial advisors; and (iii) as required under applicable securities regulations.

11.4. In the event of a violation or threatened violation of Customer's obligations under this Section 0, Seller shall be entitled to seek equitable relief, including in the form of a restraining order, orders for preliminary or permanent injunction, specific performance and any other relief that may be available from any court, without the requirement to secure or post any bond, or show actual monetary damages in connection with such relief. These remedies shall not be deemed to be exclusive but in addition to all other remedies available under these Terms, at law, or in equity.

#### 12. INTELLECTUAL PROPERTY

Seller reserves the sole and exclusive ownership of the intellectual property rights in the Products (including but not limited to the technology used to manufacture the Products) and any improvements thereof regardless of inventorship or authorship. Customer shall not (and shall cause its employees, agents, representatives and customers to not) reverse engineer, decompile, disassemble, or decode any of Seller's intellectual property embedded or used in any of the Product.

#### 13. FORCE MAJEURE

13.1. Seller shall not be responsible for any failure or delay in its performance under these Terms due to causes beyond its reasonable control, including, but not limited to, disruptions of the public power supply, communications, and transportation infrastructure, governmental measures, malware or hacker attacks, fire, extraordinary weather events, epidemics, pandemics (or any government restrictions implemented as a result thereof), nuclear and chemical accidents, earthquakes, war, terrorist attacks, labor disputes, strikes, lockouts, shortages of or inability to obtain labor, energy, raw materials or supplies, or other acts of God.

#### 14. MISCELLANEOUS

14.1. If any provision contained in these Terms or any Confirmed Order is held by final judgment of a court of competent jurisdiction to be invalid, illegal, or unenforceable, such invalid, illegal, or unenforceable provision shall be severed from the remainder of these Terms or such Confirmed Order, and the remainder of these Terms or such Confirmed Order shall be enforced. In addition, the invalid, illegal, or unenforceable provision shall be deemed to be automatically modified, and, as so modified, to be included in these Terms, such modification being made to the minimum extent necessary to render such provision valid, legal, and enforceable.

14.2. Seller may assign its rights and/or delegate its liabilities under any Confirmed Order at any time. Customer may not assign its rights or delegate its responsibilities under a Confirmed Order without Seller's prior written consent.

14.3. Seller's waiver of any breach or violation of these Terms or the provisions of any Confirmed Order by Customer shall not be construed as a waiver of any other present or future breach or breaches by Customer.

14.4. The parties hereto are independent contractors and nothing in these Terms will be construed as creating a joint venture, partnership, employment, or agency relationship between the parties.

14.5. Notices by a party regarding the exercise of rights and obligations under these Terms must be signed by authorized representatives of such party, and delivered via courier, mail, or e-mail to the other party's address indicated in the applicable Confirmed Order, provided that a notice by e-mail shall only be validly given if receipt thereof is acknowledged in writing by the recipient.

#### 15. ENTIRE AGREEMENT; CONFLICTS.

15.1. These Terms, including the applicable Confirmed Order, constitute the entire and exclusive agreement of the parties regarding the subject matter hereof and supersede any and all prior or contemporaneous agreements, communications, and understandings (both written and oral) regarding such subject matter. In the event of a conflict between the provisions of these Terms and the provisions of a Confirmed Order, the provisions of the Confirmed Order will govern and control. Seller may amend or modify these Terms from time to time. Seller may, at its sole discretion, provide Customer with written notice of any such changes, revisions, amendments, or modifications, provided, however that any such changes, revisions, amendments, or modifications shall become effective without any further action by any party and that they shall not apply to any Confirmed Order prior to the effective date of such changes, revisions, amendments, or modifications.

#### 16. APPLICABLE LAW AND JURISDICTION

16.1. These Terms and the Confirmed Orders shall be governed by and construed in accordance with the laws of the State of Wisconsin without giving effect to any choice or conflict of law provision or rule that would defer to or cause the application of the substantive laws of any jurisdiction other than Wisconsin. The parties hereby expressly exclude the application of the 1980 United Nations Convention on Contracts for the International Sale of Goods.

16.2. Any dispute, controversy, or claim arising out of or relating to these Terms and any Confirmed Order, including but not limited to the execution, performance, or termination thereof or to any issue of liability arising out of the performance of these Terms or any Confirmed Order, which the parties have not been able to settle amicably shall be submitted to the exclusive jurisdiction of the state or federal courts with jurisdiction in the County of Calumet, Wisconsin, provided that notwithstanding the foregoing, Seller shall be entitled to seek specific performance and injunctive relief in any court of competent jurisdiction. Each party hereby waives any and all claims, pleas, or defenses (including without limitation a plea for *forum non conveniens*) that would permit such party to seek the jurisdiction of any courts or arbitration tribunals other than those set forth in the preceding sentence.

16.3. EACH PARTY HEREBY WAIVES, TO THE FULLEST EXTENT PERMITTED BY APPLICABLE LAW, ANY RIGHT IT MAY HAVE TO A TRIAL BY JURY IN ANY LEGAL PROCEEDING DIRECTLY OR INDIRECTLY ARISING OUT OF OR RELATING TO THESE TERMS.

## **Consider a Motion Authorizing the Village Manager to Purchase a Public Works One-Ton Dump Truck**

### **BACKGROUND:**

As part of the Capital Vehicle Replacement Budget for 2026, the Village Council has appropriated \$136,500 in funds for the replacement of a 2013 Public Works one-ton crew cab dump truck. The existing truck (T-409) is recommended for replacement after an inspection, evaluation and cost analysis. The current mileage on the truck is 66,000, but this vehicle has high hours due to the paving, patching, and parkway operations it is primarily assigned. This truck is a front-line truck unit which is also a primary tow vehicle for our asphalt reclaimer/heater.

### **KEY ISSUES:**

- Traditionally, the Village has purchased one-ton trucks through the Suburban Purchasing Cooperative (SPC) contract. At this time, only Ford is available on contract with limited options and special vehicle pricing. Ford has been reliable and the preferred unit due to its aluminum body and reliable engine. Similar trucks are the Chevrolet Silverado and Dodge Ram HD. Neither of these trucks have the order availability of Ford and neither have aluminum cabs. Chevrolet and Dodge seem to focus their heavy-duty sales at the dealer or upfitter level. While the Village has purchased at the dealer level before, it is no longer necessary since production volume is up and dealer level is a substantial price increase.
- For the chassis price, the Ford F-550 is \$67,453 through Currie Motors Fleet of Frankfort, Illinois. Sutton Ford quoted \$68,015 through SPC Contract #227. Currie Motors does not have a current joint-purchase contract, but it would be in the best interest of the Village to accept the proposal from Currie Motors.
- The truck chassis is only the first part of the purchase. The upfitting of a dump body, tool storage, arrow board, and emergency lighting is performed by a truck body company.
- Staff requested quotes from Knapheide Truck Equipment, Monroe Truck, and Henderson Products. Knapheide of McHenry, Illinois provided the lowest pricing.
- For upfitting costs, Knapheide quoted \$23,968.02, Henderson quoted \$27,556.98, and Monroe quoted \$29,559. The best value for a truck with our preferred options is a Ford F-550 from Currie Motors and upfitting by Knapheide for a total of \$91,421.02.
- Additional upfitting costs for a shovel and sprayer holders to be installed in-house will be approximately \$1,000, for a total cost of \$92,421.02.
- The existing unit will be sent to auction.

### **BUDGET IMPACT:**

Funds in the amount of \$136,500 have been appropriated in the 2026 Capital Vehicle Replacement Budget to accommodate this purchase. With the total proposed cost of \$92,421.02, the budgeted savings would be \$44,078.98.

**RECOMMENDATION:**

Staff recommends authorizing the Village Manager to purchase one Ford F-550 chassis one-ton dump truck from Currie Motors in the amount of \$67,453 and a total cost including upfitting not to exceed \$92,421.02.

**ACTION REQUIRED:**

Motion to authorize the Village Manager to purchase one Ford F-550 chassis one-ton dump truck from Currie Motors Fleet of Frankfort, Illinois in the amount of \$67,453 and upfitting for a total cost not to exceed \$92,421.02.

**ATTACHMENTS:**

- 1. 2026 Public Works One-Ton Dump Truck Replacement Memorandum
- 2. Capital Budget Page
- 3. Currie Motors Ford F-550 Chassis Proposal
- 4. Knapheide Upfitting Quote



**MEMORANDUM**

**To:** Matt Barry - Director of Public Works, Dan Neyfeldt – Superintendent, Katie Lapid – Assistant Director

**From:** Jim Keats - Fleet Services Coordinator, Bill Schumann – Streets Coordinator

**Date:** 03/02/2026

**Subject:** Replacement of Public Works One-Ton Crew Cab Dump Truck

**Issue:** As part of the Capital Vehicle Replacement Budget for CY 2026, the Village Council has appropriated \$136,500 in funds for the replacement of a 2013 one-ton crew cab dump truck. The truck (T-409) is recommended for replacement after an inspection, evaluation and cost analysis. The current mileage on the truck is 66,000, but this vehicle idles for the majority of the day for paving, patching, and parkway operations.

This truck is a front-line truck used year-round for paving, asphalt patching, curb work, and parkway restoration. This truck is also a primary tow vehicle for our asphalt reclaimer/heater.

**Analysis:** Traditionally, the Village has purchased one-ton trucks through the Northwest Municipal Conference Suburban Purchasing Cooperative (SPC) contract. At this time, only Ford is available on contract with limited options and special vehicle pricing. The Ford product has been reliable for us and is preferred by Palatine due to its aluminum body and reliable engine choices. Similar trucks are the Chevrolet Silverado and Dodge Ram HD. Neither of these trucks have the order availability of Ford and neither have aluminum cabs. Chevrolet and Dodge seem to focus their heavy-duty sales at the dealer or upfitter level. While Palatine has purchased at the dealer level before, it is no longer necessary since production is up and dealer level is a substantial price increase.

The truck chassis is the first part of the purchase. This upfitting of a dump body, tool storage, arrow board, and emergency lighting is performed by a truck body company. The Fleet and Streets Divisions chose to review the upfitting options available from at least three companies that offer the same setup that we currently have. The majority of the Village trucks have been upfitted by Monroe Truck in Monroe, Wisconsin. This year, staff reached out to Knapheide, Monroe, and Henderson for upfitting needs. The best quote pricing on what we requested was Knapheide in McHenry, Illinois. At this time, every upfitter is backed up due to good availability of truck chassis but a backlog of parts and manpower. Knapheide said they should only need 6-8 weeks to order parts then will take the chassis to build.

**Chassis Comparisons:**

Sutton Ford, Matteson, IL - \$68,015

**Upfitting Comparisons:**

Henderson - \$27,556.98

Monroe – \$29,559.00

**Recommendation:** Staff recommends that the Village Council approve the purchase of one new Ford F-550 chassis from Currie Motors, 10125W Laraway Road, Frankfort, IL 60423 at a cost of **\$67,453**. This price beats the SPC Contract at Sutton Ford by \$562.00

Additionally, Staff recommends that the Village Council accept the upfitting proposal from Knapheide Truck Equipment, 2600 W IL Route 120, McHenry, IL 60051 at a cost of **\$23,968.02**. Staff also recommends \$1,000 be approved for shovel and sprayer holders to be installed by the Fleet Division.

Total budgeted funds are **\$136,500**, and these combined purchases for this asset total **\$92,421.02**, \$44,078.98 below budget.

Upon completion of build and putting new truck in service, the old truck (T-409, 1FD0W5GTXDEB80751) will be cleaned and sent to auction. The Village will use GovDeals.com or America's Auto Auction.

**Attachments:**

**Streets Approval**

**Capital Budget Project:** VE 0003

**Upfitting Quotes From:** Henderson, Knapheide, & Monroe

**Chassis Quotes From:** Currie Motors, Sutton Ford

# Capital Improvement Plan

## Palatine, IL

**Project #** VE 0003  
**Project Name** Public Works Vehicle Replacements

<b>Department</b>	52-Public Works	<b>Type</b>	Equipment
<b>Category</b>	Vehicles & Equipment	<b>Useful Life</b>	10 years
<b>Account #</b>	401-52-75-6070 625		

### Description

CY 2026 Replacements

- \$234,845 - T410 2014 Five-Ton Dump Truck (Replace with same)
- 136,500 - T409 2014 One-Ton Crew Cab Dump Truck (Replace with same)
- 90,000 - T419 2014 Ford F-450 Stake Body Truck (Replace with same)
- 66,150 - T417 2014 Ford F-250 with plow (Replace with same)
- 66,150 - T420 2014 Ford F-250 with plow (Replace with same)
- 66,150 - T483 2020 Ford F-150 (Replace with F-250 with plow)
- 62,940 - T422 2014 Ford E-250 Van (Replace with Ford E-Transit Electric Unit)
- 42,000 - T448 2016 Ford F-150 Extended Cab (Replace with same)

2027 planned purchases include replacement of two Five-Ton Trucks, one Pickup Truck, one Aerial Bucket Truck, one Aerial Bucket/Chipper Box Truck, one Step Van, and one Service Truck.

### Justification

This program provides the planned replacement of necessary Public Works vehicles in order to prevent obsolescence, maintain the functionality of the Department, and enhance operational efficiency. Major items in this category include 5 Ton Dump Trucks which are utilized for 12 years front line and 2 years reserve.

Prior	Expenditures	2026	2027	2028	2029	2030	Total
922,980	Equipment	764,735	1,081,965	982,890	574,980	1,012,020	4,416,590
	<b>Total</b>	<b>764,735</b>	<b>1,081,965</b>	<b>982,890</b>	<b>574,980</b>	<b>1,012,020</b>	<b>4,416,590</b>

Prior	Funding Sources	2026	2027	2028	2029	2030	Total
922,980	401 - Capital Equipment	764,735	1,081,965	982,890	574,980	1,012,020	4,416,590
	<b>Total</b>	<b>764,735</b>	<b>1,081,965</b>	<b>982,890</b>	<b>574,980</b>	<b>1,012,020</b>	<b>4,416,590</b>

Prepared for: , Village of Palatine

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2026 F-550 Chassis 4x2 SD Crew Cab 179" WB DRW XL (W5G)

Price Level: 645

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## Client Proposal

Prepared by:

Nic Cortellini

Office: 815-464-9200

Email: [ncortellini@curriemotors.com](mailto:ncortellini@curriemotors.com)

Quote ID: 2026-Pal12

Date: 03/02/2026



Currie Motors Fleet | 10125 West Laraway Road, Frankfort, IL , 60423

Office: 815-464-9200

**Prepared for:**

Village of Palatine

Prepared by: Nic Cortellini

03/02/2026



Currie Motors Fleet | 10125 West Laraway Road Frankfort IL | 60423

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**2026 F-550 Chassis 4x2 SD Crew Cab 179" WB DRW XL (W5G)**

Price Level: 645 | Quote ID: 2026-Pal12

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## Warranty

### Standard Warranty

*Basic Warranty*

Basic warranty ..... 36 months/36,000 miles

*Powertrain Warranty*

Powertrain warranty ..... 60 months/60,000 miles

*Corrosion Perforation*

Corrosion perforation warranty ..... 60 months/unlimited

*Roadside Assistance Warranty*

Roadside warranty ..... 60 months/60,000 miles

### Additional Warranty

*Diesel Engine Warranty*

Diesel engine warranty ..... 60 months/100,000 miles

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Prices and content availability as shown are subject to change and should be treated as estimates only. Actual base vehicle, package and option pricing may vary from this estimate because of special local pricing, availability or pricing adjustments not reflected in the dealer's computer system. See salesperson for the most current information.

**Prepared for:**

Village of Palatine  
Prepared by: Nic Cortellini  
03/02/2026



Currie Motors Fleet | 10125 West Laraway Road Frankfort IL | 60423

**2026 F-550 Chassis 4x2 SD Crew Cab 179" WB DRW XL (W5G)**

Price Level: 645 | Quote ID: 2026-Pal12

**Major Equipment**

(Based on selected options, shown at right)  
10-speed automatic

- \* Running boards
- \* LT225/70RS19.5 AS BSW front and rear tires
- \* Overdrive transmission
- \* Lock-up transmission
- \* Alternator Amps: 190A
- \* Driveline managed traction control
- \* Dual lead acid battery
- \* Fuel tank capacity: 40.00 gal.
- \* Auxiliary power take-off
- \* 8 inch primary display
- \* AM/FM
- \* SYNC 4 external memory control
- \* Wheelbase: 179.0"
- \* Axle to end of frame: 47.2"
- \* Tire/wheel capacity rear: 15,000 lbs.
- \* Spring rating front: 6,500 lbs.
- \* Trip computer
- \* Heated driver and passenger side door mirrors
- \* DRL preference setting

Exterior: Race Red  
Interior: Medium Dark Slate w/HD Vinyl  
40/20/40 Split Bench Seat

- \* 19.5 x 6-inch front and dual rear argent steel wheels
- \* Front tires LT load rating: G
- \* PTO transmission provision
- \* Transmission electronic control
- \* Stainless steel single exhaust
- \* Battery rating: 750CCA
- \* Battery run down protection
- \* Engine retarder system
- \* Steering wheel mounted audio controls
- \* AM/FM stereo radio
- \* Seek scan
- \* Vehicle body length: 265.2"
- \* Cab to axle: 60.0"
- \* Axle capacity rear: 13,660 lbs.
- \* Axle capacity front: 7,000 lbs.
- \* Firm ride suspension
- \* Power door mirrors
- \* Manual folding door mirrors
- \* Daytime running lights

**As Configured Vehicle**

MSRP

STANDARD VEHICLE PRICE .....	\$59,490.00
Order Code 660A .....	N/C
Transmission: TorqShift 10-Speed Automatic .....	Included
GVWR: 18,000 lbs Payload Package .....	Included
Wheels: 19.5" x 6" Argent Painted Steel .....	Included
HD Vinyl 40/20/40 Split Bench Seat .....	Included
Monotone Paint Application .....	STD
179" Wheelbase .....	STD
Radio: AM/FM Stereo w/MP3 Player .....	Included
Fleet Customer Powertrain Limited Warranty .....	N/C
50-State Emissions System .....	STD
SYNC 4 .....	Included
Ford Connectivity Package (1-Year Included) .....	Included
Race Red .....	\$200.00
Medium Dark Slate w/HD Vinyl 40/20/40 Split Bench Seat	N/C
Engine: 6.7L 4V OHV Power Stroke V8 Turbo Diesel B20 .....	\$10,995.00
4.10 Axle Ratio .....	Included
Dual 68 AH/65 AGM Battery .....	Included

Prices and content availability as shown are subject to change and should be treated as estimates only. Actual base vehicle, package and option pricing may vary from this estimate because of special local pricing, availability or pricing adjustments not reflected in the dealer's computer system. See salesperson for the most current information.

**Prepared for:**

Village of Palatine  
Prepared by: Nic Cortellini  
03/02/2026



Currie Motors Fleet | 10125 West Laraway Road Frankfort IL | 60423

**2026 F-550 Chassis 4x2 SD Crew Cab 179" WB DRW XL (W5G)**

Price Level: 645 | Quote ID: 2026-Pal12

**Major Equipment**

- \* Light tinted windows
- \* Manual climate control
- \* Driver front impact airbag
- \* Passenger front impact airbag
- \* 6 airbags
- \* SecuriLock immobilizer
- \* 60-40 folding rear seats
- \* Fold-up rear seat cushion
- \* Manual rear seat head restraint control
- \* Split-bench rear seat
- \* Driver seat with 4-way directional controls
- \* Height adjustable front seat head restraints
- \* Split-bench front seat
- \* Front seat armrest storage
- \* Manual driver seat fore/aft control
- \* Manual passenger seat fore/aft control
- \* Vinyl front seatback upholstery
- \* 4-wheel disc brakes
- \* Brake assist system
- \* Variable intermittent front windshield wipers
- \* Rear under seat climate control ducts
- \* Seat mounted side impact driver airbag
- \* Seat mounted side impact front passenger airbag
- \* Manual rear child safety door locks
- \* Fixed rear seats
- \* Front facing rear seat
- \* Height adjustable rear seat head restraints
- \* 3 rear seat head restraints
- \* 40-20-40 split-bench front seat
- \* Front passenger seat with 4-way directional controls
- \* Manual front seat head restraint control
- \* Front seat center armrest
- \* Manual reclining driver seat
- \* Manual reclining passenger seat
- \* Vinyl front seat upholstery
- \* Manual driver seat lumbar
- \* 4-wheel antilock (ABS) brakes
- \* Hill Start Assist

**As Configured Vehicle**

MSRP

Tires: 225/70Rx19.5G BSW Traction .....	\$190.00
Front License Plate Bracket .....	N/C
Platform Running Boards .....	\$445.00
Pro Power Onboard - 400W Outlet .....	\$225.00
350 Amp Dual Alternators .....	N/C
Trailer Brake Controller .....	\$300.00
Front Wheel Well Liner (Pre-Installed) .....	\$180.00
Extra Heavy-Service Suspension Package .....	\$125.00
Exterior Backup Alarm (Pre-Installed) .....	\$230.00
Programmable Engine Idle Shutdown Timer .....	\$250.00
Rear View Camera & Prep Kit .....	\$515.00
<hr/>	
SUBTOTAL .....	\$73,145.00
Destination Charge .....	\$2,795.00
<hr/>	
<b>TOTAL .....</b>	<b>\$75,940.00</b>

Prices and content availability as shown are subject to change and should be treated as estimates only. Actual base vehicle, package and option pricing may vary from this estimate because of special local pricing, availability or pricing adjustments not reflected in the dealer's computer system. See salesperson for the most current information.

**Prepared for:**

Village of Palatine

Prepared by: Nic Cortellini

03/02/2026



Currie Motors Fleet | 10125 West Laraway Road Frankfort IL | 60423

2026 F-550 Chassis 4x2 SD Crew Cab 179" WB DRW XL (W5G)

Price Level: 645 | Quote ID: 2026-Pal12

*Fuel Economy*

**City**  
N/A



**Hwy**  
N/A

**Prepared for:**

Village of Palatine

Prepared by: Nic Cortellini

03/02/2026



Currie Motors Fleet | 10125 West Laraway Road Frankfort IL | 60423

**2026 F-550 Chassis 4x2 SD Crew Cab 179" WB DRW XL (W5G)**

Price Level: 645 | Quote ID: 2026-Pal12

**As Configured Vehicle**

Code	Description	MSRP
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**Base Vehicle**

W5G	Base Vehicle Price (W5G)	\$59,490.00
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**Packages**

660A	<b>Order Code 660A</b> <i>Includes:</i> - Transmission: TorqShift 10-Speed Automatic <i>Includes SelectShift, selectable drive modes: normal, tow/haul, eco, slippery roads and trail and transmission power take-off provision.</i> - GVWR: 18,000 lbs Payload Package - Wheels: 19.5" x 6" Argent Painted Steel <i>Hub covers/center ornaments not included.</i> - HD Vinyl 40/20/40 Split Bench Seat <i>Includes center armrest, cupholder, storage and driver's side manual lumbar.</i> - Radio: AM/FM Stereo w/MP3 Player <i>Includes 6 speakers.</i> - SYNC 4 <i>Includes 8" center display, wireless phone connection, cloud connected, AppLink with app catalog, 911 Assist, Apple CarPlay and Android Auto compatibility and digital owner's manual.</i> - Ford Connectivity Package (1-Year Included) <i>Includes unlimited Wi-Fi hotspot. Included for 1-year from warranty start date. Requires activation via Ford app with credit card authorization; customer may cancel at any time. Evolving technology/cellular networks/vehicle capability may limit functionality and prevent operation of connected features. Ford may temporarily slow data speeds if such data usage reaches or exceeds 50GB within a billing cycle or due to network limitations. If a customer uses more than 50% of their data usage in a roaming country during a 60-day period, Ford may remove or limit the customer's data plan.</i>	N/C
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**Powertrain**

99T	<b>Engine: 6.7L 4V OHV Power Stroke</b> <b>V8 Turbo Diesel B20</b> <i>Includes Operator Commanded Regeneration (OCR), Diesel Exhaust Fluid (DEF) tank and manual push-button engine-exhaust braking.</i>  <i>Includes:</i> - 4.10 Axle Ratio - Dual 68 AH/65 AGM Battery	\$10,995.00
44G	<b>Transmission: TorqShift 10-Speed</b> <b>Automatic</b> <i>Includes SelectShift, selectable drive modes: normal, tow/haul, eco, slippery roads and trail and transmission power take-off provision.</i>	Included
X41	<b>4.10 Axle Ratio</b>	Included
STDGV	<b>GVWR: 18,000 lbs Payload Package</b>	Included

**Wheels & Tires**

TGM	<b>Tires: 225/70Rx19.5G BSW Traction</b>	\$190.00
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**Prepared for:**

Village of Palatine

Prepared by: Nic Cortellini

03/02/2026



Currie Motors Fleet | 10125 West Laraway Road Frankfort IL | 60423

**2026 F-550 Chassis 4x2 SD Crew Cab 179" WB DRW XL (W5G)**

Price Level: 645 | Quote ID: 2026-Pal12

**As Configured Vehicle (cont'd)**

Code	Description	MSRP
	<i>Includes 4 traction tires on the rear and 2 A/P tires on the front.</i>	
64Z	Wheels: 19.5" x 6" Argent Painted Steel <i>Hub covers/center ornaments not included.</i>	Included
<b>Seats &amp; Seat Trim</b>		
A	HD Vinyl 40/20/40 Split Bench Seat <i>Includes center armrest, cupholder, storage and driver's side manual lumbar.</i>	Included
<b>Other Options</b>		
PAINT	Monotone Paint Application	STD
179WB	179" Wheelbase	STD
STDRD	Radio: AM/FM Stereo w/MP3 Player <i>Includes 6 speakers.</i>	Included
	<i>Includes:</i>	
	- SYNC 4 <i>Includes 8" center display, wireless phone connection, cloud connected, AppLink with app catalog, 911 Assist, Apple CarPlay and Android Auto compatibility and digital owner's manual.</i>	
	- Ford Connectivity Package (1-Year Included) <i>Includes unlimited Wi-Fi hotspot. Included for 1-year from warranty start date. Requires activation via Ford app with credit card authorization; customer may cancel at any time. Evolving technology/cellular networks/vehicle capability may limit functionality and prevent operation of connected features. Ford may temporarily slow data speeds if such data usage reaches or exceeds 50GB within a billing cycle or due to network limitations. If a customer uses more than 50% of their data usage in a roaming country during a 60-day period, Ford may remove or limit the customer's data plan.</i>	
67X	Extra Heavy-Service Suspension Package <i>Includes pre-selected extra heavy-service front springs (see Order Guide Supplemental Reference for springs/FGAWR of specific vehicle configurations). Recommended only on vehicles which will permanently utilize aftermarket equipment such as heavy-duty winches, brush guards or other apparatus which loads the front axle to the specified Gross Axle Weight Rating (GAWR). Note 1: May result in a deterioration of ride quality. Note 2: Vehicle ride height will increase with the addition of this package.</i>	\$125.00
86K	Programmable Engine Idle Shutdown Timer <i>Selection of this option enables the driver to select a time period between 1 to 30 minutes before the engine will shut off after idling. There will not be an option to override this timing. Customers needing to idle their vehicles for longer periods should not select this option.</i>	\$250.00
86M	Dual 68 AH/65 AGM Battery	Included
67A	350 Amp Dual Alternators <i>Includes 190 Amp + 160 Amp.</i>	N/C
18B	Platform Running Boards	\$445.00

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**Prepared for:**

Village of Palatine

Prepared by: Nic Cortellini

03/02/2026



Currie Motors Fleet | 10125 West Laraway Road Frankfort IL | 60423

**2026 F-550 Chassis 4x2 SD Crew Cab 179" WB DRW XL (W5G)**

Price Level: 645 | Quote ID: 2026-Pal12

**As Configured Vehicle (cont'd)**

Code	Description	MSRP
153	Front License Plate Bracket Standard in states requiring 2 license plates and optional to all others.	N/C
872	Rear View Camera & Prep Kit <i>Pre-installed content includes cab wiring and frame wiring to the rear most cross member. Upfitters kit includes camera with mounting bracket, 20' jumper wire and camera mounting/aiming instructions.</i>	\$515.00
52B	Trailer Brake Controller	\$300.00
43C	Pro Power Onboard - 400W Outlet <i>Includes 1 in-dash mounted outlet.</i>	\$225.00
76C	Exterior Backup Alarm (Pre-Installed)	\$230.00
61L	Front Wheel Well Liner (Pre-Installed)	\$180.00

**Fleet Options**

WARANT	Fleet Customer Powertrain Limited Warranty Requires valid FIN code. <i>Ford is increasing the 5-year 60,000-mile limited powertrain warranty to 5-years, 100,000 miles. Only Fleet purchasers with a valid Fleet Identification Number (FIN code) will receive the extended warranty. When the sale is entered into the sales reporting system with a sales type fleet along with a valid FIN code, the warranty extension will automatically be added to the vehicle. The extension will stay with the vehicle even if it is subsequently sold to a non-fleet customer before the expiration. This extension applies to both gas and diesel powertrains. Dealers can check for the warranty extension on eligible fleet vehicles in OASIS. Please refer to the Warranty and Policy Manual section 3.13.00 Gas Engine Commercial Warranty. This change will also be reflected in the printed Warranty Guided distributed with the purchase of every new vehicle.</i>	N/C
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**Emissions**

425	50-State Emissions System	STD
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**Exterior Color**

PQ_02	Race Red	\$200.00
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**Interior Color**

AS_03	Medium Dark Slate w/HD Vinyl 40/20/40 Split Bench Seat	N/C
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**Upfit Options**

01	License and Title (M-Plates)	\$203.00
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**Prepared for:**

Village of Palatine

Prepared by: Nic Cortellini

03/02/2026



Currie Motors Fleet | 10125 West Laraway Road Frankfort IL | 60423

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**2026 F-550 Chassis 4x2 SD Crew Cab 179" WB DRW XL (W5G)**

Price Level: 645 | Quote ID: 2026-Pal12

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**As Configured Vehicle (cont'd)**

<b>Code</b>	<b>Description</b>	<b>MSRP</b>
SUBTOTAL		\$73,348.00
Destination Charge		\$2,795.00
TOTAL		\$76,143.00

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Prices and content availability as shown are subject to change and should be treated as estimates only. Actual base vehicle, package and option pricing may vary from this estimate because of special local pricing, availability or pricing adjustments not reflected in the dealer's computer system. See salesperson for the most current information.

**Prepared for:**

Village of Palatine

Prepared by: Nic Cortellini

03/02/2026



Currie Motors Fleet | 10125 West Laraway Road Frankfort IL | 60423

2026 F-550 Chassis 4x2 SD Crew Cab 179" WB DRW XL (W5G)

Price Level: 645 | Quote ID: 2026-Pal12

## Pricing Summary - Single Vehicle

	<b>MSRP</b>
<i>Vehicle Pricing</i>	
Base Vehicle Price	\$59,490.00
Options	\$13,455.00
Colors	\$200.00
Upfitting	\$203.00
Fleet Discount	\$0.00
Fuel Charge	\$0.00
Destination Charge	\$2,795.00
<b>Subtotal</b>	<b>\$76,143.00</b>
<i>Discount Adjustments</i>	
Discount Adjustments	-\$8,690.00
<b>Total</b>	<b>\$67,453.00</b>

\_\_\_\_\_  
Customer Signature

\_\_\_\_\_  
Acceptance Date

Prices and content availability as shown are subject to change and should be treated as estimates only. Actual base vehicle, package and option pricing may vary from this estimate because of special local pricing, availability or pricing adjustments not reflected in the dealer's computer system. See salesperson for the most current information.



Seller: Knapheide Truck Equipment Center Chicago  
 2600 W IL ROUTE 120  
 MCHENRY, IL 60051-4563  
 1 (815) 385-2600  
 www.knapheide.com

QUOTE: QU-79-  
 1052597-3  
 Quote Expiration:  
 03/13/2026

**Contact(s): Brett Wise (Outside Sales)**  
 bwise58@knapheide.com

**Brett Wise (Inside Sales)**  
 bwise58@knapheide.com

**Brett Wise**  
 bwise58@knapheide.com

**Customer: Palatine, Village Of**

**ID:** 82609  
**Address:** 200 E WOOD ST

**Phone:** 8477055200  
**Contact:** JIM KEATS

**Terms:** NET 30 DAYS  
**Bid Spec:**

PALATINE, IL 60067-5332

**Description:** 9' Steel Dump Fold-Down Sides/Lighting/Back Pak

**Quote Information:**

**Customer Request Date:**  
**Quote Completed Date:** 03/02/2026  
**Date:** 03/02/2026 15:15 PM CST  
**# of Units:** 1

**Delivery Information:**

**Total Price Includes F.O.B.:**  
**Ship Via:**  
**Ship To:** Palatine, Village Of  
 200 E WOOD ST  
 PALATINE, IL 60067-5332

**Vehicle Information:**

**Make:** Ford  
**Chassis Type:** Chassis Cab  
**Rear Axle Type:** DRW  
**Fuel Type:** Diesel  
**GVWR:** 19500

**Model:** F-550  
**Cab Type:** Crew  
**Drivetrain:** 4x2  
**Transmission Type:** Auto

**Year:** 2026  
**Cab to Axle:** 84  
**Engine Size:** 6.7  
**Wheelbase:** 203.4

Seq.	Description	Quantity	Total
1	KDBDS912-9' Dump Body with 12" High Drop Sides (Ford Gas) 2.42 Cu. Yd. Volume 12" Side Height, 18" Tailgate Height Tapered Top Rail to Prevent Debris Build-up Quick Release, Double Acting, Double Panel Tailgate Double Acting Electric Hoist with Pendant Control Toe Saver Brackets Located on Both Sides of End Rail for Operator Safety 7 Gauge HRCQ Steel Floor with Full Seam Weld Down Center 10 Gauge High Tensile Steel Quarter Cab 12 Gauge High Tensile Steel Sides Trapezoidal, 7" Long Sills Side Board Openings ICC Bumper Included Mud Flaps Included LED Flush Mount Lights with Automotive Wire Harness Factory Supplied Backup Camera Installed if Ordered with Chassis K-Coat Corrosion Protection with Knapheide's Exclusive 12-Stage Electro-Coating Prime Paint System Body Fully Undercoated Finish Painted Red (Single Stage Enamel) --Additional Paint Charges May Apply to Non-Standard Paint Colors		
2	Miscellaneous Paint	1.00	500.00
3	FENDER, FULL RADUIS POLY FITS 18" TO 19-1/2" DUAL WHEEL INSTALLED	1.00	718.00
4	(4) Four Corner Strobe Package, Dump Body (2) Ecco AD3704AC, Amber, Installed in Front Grille (2) Buyers 5626432 Stop / Turn / Tail / Backup / Amber Strobe Light, Installed on Rear Wired to Upfitter Switch in Cab	1.00	805.00
5	LED Light Bar, Federal Signal HL15PC-A Amber with Clear Dome	1.00	414.00

	Permanent Mount 14.7" Long x 9.5" Wide x 2" High Mounted on Tool Box		
6	LED Directional Warning Arrow, Federal Signal 8200SMA16-A Amber 16-head (4-head arrow, 8-head stick), Amber, 51-inch Light Bar Control, Federal Signal SMCONTROL 8-Button Serial Controller with 20' Cable 14 Unique Flash Patterns Mounted on Custom Self Leveling Bracket Installed	1.00	3,078.00
7	Weather Guard Aluminum Underbody Toolbox 631-0-02 for Dump Application Model 631-0-02 is an aluminum diamond plate compact size underbed truck tool box with a storage capacity of 5.4 cu ft. The Clear ARMOR TUF® Powder Coat finish ensures years of dependability. The rotary style, two position latch helps protect against theft and weather. Approx. Product Length (in): 30.13 Approx. Product Width (in): 18 Approx. Product Height (in): 18 * Door opening is 13.5in high, 25.25in wide * Aluminum door and hinge reduces truck box weight and protects against corrosion * Rain gutter and full weather seal keeps moisture out of under bed tool box and your equipment * Stainless Steel D-Handles are easy to grip, even with gloves on, and create a tight door seal * Tool-less quick release doors adjust from 90 degree to 180 degree with QuickClips, no tools required. * Heavy-duty three-point latching system on the underbody truck tool box means valuable supplies will be safe and protected * Aluminum Diamond Plate with Clear ARMOR TUF® Powder Coat finish ensures years of dependability * Limited lifetime warranty ensures unparalleled quality Frame-Mounted to Chassis	2.00	2,200.02
<b>Total does not include any applicable taxes or transportation charges unless specifically noted herein:</b>		<b>Subtotal:</b>	██████████
		<b>Total:</b>	██████████

**The following option(s) may be added:**

	Description	Yes / No	Total
OPT 1	9' Air-Flo Pro-Class Stainless Steel dump body Durable and rust resistant 12 ga. 304 polished stainless steel construction 17" tall single lever quick-release drop sides with side board pockets 23" tall single lever quick-release double-acting tailgate 3/16" Hardox-450 wear-resistant steel floor (painted black) supported by 3" structural channel crossmembers on 12" centers Stainless steel straight-side 1/4 cab protector Scissor sub-frame hoist with body prop - electric/hydraulic operated with in-cab pendant controller - 11.0-ton capacity (2) LED oval recessed auxiliary tail lights in rear posts of dump body Includes electronic back-up alarm Mudflaps with Anti-Sail Brackets Installation of OEM Supplied Back-Up Camera (if ordered with chassis) 2.5" trailer hitch receiver, plate-mounted with safety chain guides 7-way trailer light plug Hitch reducer sleeve (reduces receiver hitch from 2.5" to 2")	<u>Yes / No</u>	16,253.02

Customer PO

Total Price

**Credit Card Policy:** We accept MasterCard, American Express, Visa, and Discover cards for payment.

**Cancellation Policy:** All cancellation requests must be made in writing. Upon any request for cancellation, any costs incurred by Knapheide during the fulfillment of Orders placed pursuant to this Quote shall be paid at 100%. Payments for cancellation are due in full at time of cancellation and/or upon cancellation of installation. Quoted prices are only guaranteed for orders placed as of the date specified on the Quote unless otherwise stated herein.

**Payment Policy:** Payment Terms are due upon receipt of signed quote unless prior credit agreement has been established at the time of order. Payment terms for customers with an established credit account will be Net 30 from date of invoice. Seller has right to assess late charges at 1.5% per month on all invoices that are 60 days or more past due.

**Pricing Policy:** All prices reflect the latest price in U.S. Dollars. Any order placed pursuant to this Quote shall be subject to these Terms and Conditions



contained herein. These Conditions shall serve to exclude all other terms or conditions of purchase or other conflicting terms or conditions which may be issued, provided or referred to by Customer, all of which are hereby disclaimed or rejected, except insofar as any terms are expressly accepted in writing with an Authorized Knapheide Representative's written signature. Pricing quoted applies to chassis make/model originally provided and quantity quoted. Any deviation therefrom may result in price change. In addition, additional costs may be incurred in the process of fulfilling orders placed pursuant to this Quote and Knapheide reserves the right to adjust costs accordingly, including but not limited to, reprogramming fees, etc. Orders are subject to all applicable state, local and federal excise taxes. Applicable taxes will be applied on final billing to customer upon completion of order. Seller must be in possession of the vehicle for this order within 90 days of quote acceptance or the order can be subject to price adjustments due to cost increases for materials, labor, and shop supplies.

**Return Policy:** All sales are final. Purchased parts or products are non-returnable.

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By signing and accepting this quotation, Customer agrees to accept Knapheide Truck Equipment Center Chicago terms and conditions as stated above.

_____	_____	_____	_____
Customer Signature	Print Name	Title	Date
_____	_____	_____	
Dealer Code	Dealership	Location	
_____	If the chassis is customer supplied, Knapheide may require a chassis spec sheet		
VIN			

## **Consider a Motion Authorizing the Village Manager to Purchase a Public Works One-Ton Stake Body Truck**

### **BACKGROUND:**

As part of the Capital Vehicle Replacement Budget for 2026, the Village Council has appropriated \$90,000 in funds for the replacement of a 2014 Public Works one-ton stake body dump truck. The existing truck (T-419) is recommended for replacement after an inspection, evaluation and cost analysis. The current mileage on the truck is 55,000. The vehicle is driven frequently for mulch, topsoil, limb cleanup, garbage removal, and general large bulk item movement that requires a flat bed or lift gate. This vehicle is also used for special event operations every year.

### **KEY ISSUES:**

- Traditionally, the Village has purchased one-ton trucks through the Suburban Purchasing Cooperative (SPC) contract. At this time, only Ford is available on contract with limited options and special vehicle pricing. Ford has been reliable and the preferred unit due to its aluminum body and reliable engine. Ford is also extending the powertrain warranty to 100,000 miles for fleet customers. Similar trucks are the Chevrolet Silverado and Dodge Ram HD. Neither of these trucks have the order availability of Ford and neither have aluminum cabs. Chevrolet and Dodge seem to focus their heavy-duty sales at the dealer or upfitter level. While the Village has purchased at the dealer level before, it is no longer necessary since production is up and dealer level is a substantial price increase. This truck is also a specialized build and much more economical to custom build.
- For the chassis price, the Ford F-550 is \$55,713 through Currie Motors Fleet of Frankfort, Illinois. Sutton Ford quoted \$56,067 through SPC Contract #227. Currie Motors does not have a current joint-purchase contract, but it would be in the best interest of the Village to accept the proposal from Currie Motors.
- The truck chassis is only the first part of the purchase. The upfitting of a flat dump body, dump through liftgate, tool storage, arrow board, and emergency lighting is performed by a truck body company.
- Staff requested quotes from Knapheide Truck Equipment, Monroe Truck, and Henderson Products. Knapheide of McHenry, Illinois provided the lowest pricing.
- For upfitting costs, Knapheide quoted \$26,486, Monroe quoted \$31,120, and Henderson did not provide a quote. The best value for a truck with our preferred options is a Ford F-550 from Currie Motors and upfitting by Knapheide for a total of \$82,199.
- Additional upfitting costs for a shovel, rake, and saw holders to be installed in-house will be approximately \$1,000, for a total cost of \$83,199.
- The existing unit will be sent to auction.

**BUDGET IMPACT:**

Funds in the amount of \$90,000 have been appropriated in the 2026 Capital Vehicle Replacement Budget to accommodate this purchase. With the total proposed cost of \$83,199, the budgeted savings would be \$6,801.

**RECOMMENDATION:**

Staff recommends authorizing the Village Manager to purchase one Ford F-550 chassis one-ton stake body dump truck from Currie Motors in the amount of \$55,713 and a total cost including upfitting not to exceed \$83,199.

**ACTION REQUIRED:**

Motion to authorize the Village Manager to purchase one Ford F-550 chassis one-ton stake body dump truck from Currie Motors Fleet of Frankfort, Illinois in the amount of \$55,713 and upfitting for a total cost not to exceed \$83,199.

**ATTACHMENTS:**

1. 2026 Public Works Stake Body Dump Truck Replacement Memorandum
2. Capital Budget Page
3. Currie Motors Ford F-550 Chassis Proposal
4. Knapheide Upfitting Quote



**MEMORANDUM**

**To:** Matt Barry - Director of Public Works, Dan Neyfeldt – Superintendent, Katie Lapid – Assistant Director

**From:** Jim Keats - Fleet Services Coordinator, Steve Davia – Forestry Coordinator

**Date:** 03/03/2026

**Subject:** Replacement of Public Works Forestry One-Ton Stake Body Dump Truck

**Issue:** As part of the Capital Vehicle Replacement Budget for CY 2026, the Village Council has appropriated \$90,000 in funds for the replacement of a 2014 one-ton stake body dump truck. The truck (T-419) is recommended for replacement after an inspection, evaluation and cost analysis. The current mileage on the truck is 55,000. The vehicle is driven every day for mulch, topsoil, limb cleanup, garbage removal, and general large bulk item movement that requires a flat bed or lift gate. This vehicle is also used for special event operations every year.

**Analysis:** Traditionally, the Village has purchased one-ton trucks through the Northwest Municipal Conference Suburban Purchasing Cooperative (SPC) contract. At this time, only Ford is available on contract with limited options and special vehicle pricing. The Ford product has been reliable for us and is preferred by Palatine due to its aluminum body and reliable engine choices. Ford is also extending the powertrain warranty to 100,000 miles for fleet customers. Similar trucks are the Chevrolet Silverado and Dodge Ram HD. Neither of these trucks have the order availability of Ford and neither have aluminum cabs. Chevrolet and Dodge seem to focus their heavy-duty sales at the dealer or upfitter level. While Palatine has purchased at the dealer level before, it is no longer necessary since production is up and dealer level is a substantial price increase. This truck is also a specialized build and much more economical to build from scratch.

The truck chassis is the first part of the purchase. This truck requires upfitting of a flat dump body, dump through liftgate, tool storage, arrow board and emergency lighting. The Fleet and Forestry Divisions chose to review the upfitting options available from three companies that offer the same setup that we currently have. The majority of the Village trucks have been upfitted by Monroe Truck in Monroe, Wisconsin. This year, staff reached out to Knapheide, Monroe, and Henderson for upfitting needs. Monroe and Knapheide submitted quotes. Henderson said they cannot order stake bodies at this time, so they chose not to bid. The best quote pricing on what we requested was Knapheide in McHenry, Illinois. Knapheide was lower than Monroe by \$4,634.00. At this time, every upfitter is backed up due to good availability of truck chassis but a backlog of parts and manpower. Knapheide said they should only need 6-8 weeks to order parts then will take our chassis to build.

**Chassis Comparisons:**

Sutton Ford, Matteson, IL - \$57,067

**Upfitting Comparisons:**

Henderson – No deals on stake body, Did not quote

Monroe – \$31,120

**Recommendation:** Staff recommends that the Village Council approve the purchase of one new Ford F-550 chassis from Currie Motors, 10125W Laraway Road, Frankfort, IL 60423 at a cost of **\$55,713**. This price beats the SPC Contract at Sutton Ford by \$354.00.

Additionally, Staff recommends that the Village Council accept the upfitting proposal from Knapheide Truck Equipment, 2600 W IL Route 120, McHenry, IL 60051 at a cost of **\$26,486**. Staff also recommends **\$1,000** be approved for shovel, rake, and saw holders to be installed by the Fleet Division.

Total budgeted funds are **\$90,000**, and these combined purchases for this asset total **\$83,199**, \$6,801 below budget.

Upon completion of build and putting new truck in service, the old truck (T-419, 1FDUF4GY8EEB67263) will be cleaned and sent to auction. The Village will use GovDeals.com or America's Auto Auction.

**Attachments:**

**Streets Approval**

**Capital Budget Project:** VE 0003

**Upfitting Quotes From:** Knapheide, Monroe

**Chassis Quotes From:** Currie Motors, Sutton Ford

# Capital Improvement Plan

## Palatine, IL

**Project #** VE 0003  
**Project Name** Public Works Vehicle Replacements

<b>Department</b>	52-Public Works	<b>Type</b>	Equipment
<b>Category</b>	Vehicles & Equipment	<b>Useful Life</b>	10 years
<b>Account #</b>	401-52-75-6070 625		

### Description

CY 2026 Replacements

- \$234,845 - T410 2014 Five-Ton Dump Truck (Replace with same)
- 136,500 - T409 2014 One-Ton Crew Cab Dump Truck (Replace with same)
- 90,000 - T419 2014 Ford F-450 Stake Body Truck (Replace with same)
- 66,150 - T417 2014 Ford F-250 with plow (Replace with same)
- 66,150 - T420 2014 Ford F-250 with plow (Replace with same)
- 66,150 - T483 2020 Ford F-150 (Replace with F-250 with plow)
- 62,940 - T422 2014 Ford E-250 Van (Replace with Ford E-Transit Electric Unit)
- 42,000 - T448 2016 Ford F-150 Extended Cab (Replace with same)

2027 planned purchases include replacement of two Five-Ton Trucks, one Pickup Truck, one Aerial Bucket Truck, one Aerial Bucket/Chipper Box Truck, one Step Van, and one Service Truck.

### Justification

This program provides the planned replacement of necessary Public Works vehicles in order to prevent obsolescence, maintain the functionality of the Department, and enhance operational efficiency. Major items in this category include 5 Ton Dump Trucks which are utilized for 12 years front line and 2 years reserve.

Prior	Expenditures	2026	2027	2028	2029	2030	Total
922,980	Equipment	764,735	1,081,965	982,890	574,980	1,012,020	4,416,590
	<b>Total</b>	<b>764,735</b>	<b>1,081,965</b>	<b>982,890</b>	<b>574,980</b>	<b>1,012,020</b>	<b>4,416,590</b>

Prior	Funding Sources	2026	2027	2028	2029	2030	Total
922,980	401 - Capital Equipment	764,735	1,081,965	982,890	574,980	1,012,020	4,416,590
	<b>Total</b>	<b>764,735</b>	<b>1,081,965</b>	<b>982,890</b>	<b>574,980</b>	<b>1,012,020</b>	<b>4,416,590</b>

Prepared for: , Village of Palatine

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2026 F-550 Chassis 4x2 SD Regular Cab 169" WB DRW XL (F5G)

Price Level: 645

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## Client Proposal

Prepared by:

Nic Cortellini

Office: 815-464-9200

Email: [ncortellini@curriemotors.com](mailto:ncortellini@curriemotors.com)

Quote ID: 2026-Pal14

Date: 03/02/2026



Currie Motors Fleet | 10125 West Laraway Road, Frankfort, IL , 60423

Office: 815-464-9200

**Prepared for:**

Village of Palatine

Prepared by: Nic Cortellini

03/02/2026



Currie Motors Fleet | 10125 West Laraway Road Frankfort IL | 60423

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**2026 F-550 Chassis 4x2 SD Regular Cab 169" WB DRW XL (F5G)**

Price Level: 645 | Quote ID: 2026-Pal14

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## Warranty

### Standard Warranty

*Basic Warranty*

Basic warranty ..... 36 months/36,000 miles

*Powertrain Warranty*

Powertrain warranty ..... 60 months/60,000 miles

*Corrosion Perforation*

Corrosion perforation warranty ..... 60 months/unlimited

*Roadside Assistance Warranty*

Roadside warranty ..... 60 months/60,000 miles

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**Prepared for:**

Village of Palatine  
Prepared by: Nic Cortellini  
03/02/2026



Currie Motors Fleet | 10125 West Laraway Road Frankfort IL | 60423

**2026 F-550 Chassis 4x2 SD Regular Cab 169" WB DRW XL (F5G)**

Price Level: 645 | Quote ID: 2026-Pal14

**Major Equipment**

(Based on selected options, shown at right)  
10-speed automatic

- \* Running boards
- \* LT225/70RS19.5 AS BSW front and rear tires
- \* Overdrive transmission
- \* Lock-up transmission
- \* Alternator Amps: 250A
- \* Driveline managed traction control
- \* Dual lead acid battery
- \* Injection Type: sequential MPI
- \* Auxiliary power take-off
- \* 8 inch primary display
- \* AM/FM
- \* SYNC 4 external memory control
- \* Wheelbase: 169.0"
- \* Axle to end of frame: 79.6"
- \* Tire/wheel capacity rear: 15,000 lbs.
- \* Spring rating front: 6,000 lbs.
- \* Trip computer
- \* Heated driver and passenger side door mirrors
- \* DRL preference setting

Exterior: Race Red  
Interior: Medium Dark Slate w/HD Vinyl  
40/20/40 Split Bench Seat

- \* 19.5 x 6-inch front and dual rear argent steel wheels
- \* Front tires LT load rating: G
- \* PTO transmission provision
- \* Transmission electronic control
- \* Stainless steel single exhaust
- \* Battery rating: 750CCA
- \* Battery run down protection
- \* Fuel tank capacity: 40.00 gal.
- \* Steering wheel mounted audio controls
- \* AM/FM stereo radio
- \* Seek scan
- \* Vehicle body length: 287.2"
- \* Cab to axle: 84.0"
- \* Axle capacity rear: 13,660 lbs.
- \* Axle capacity front: 7,000 lbs.
- \* Firm ride suspension
- \* Power door mirrors
- \* Manual folding door mirrors
- \* Daytime running lights

**As Configured Vehicle**

MSRP

STANDARD VEHICLE PRICE .....	\$56,895.00
Order Code 660A .....	N/C
Engine: 7.3L 2V DEVCT NA PFI V8 Gas .....	Included
Transmission: TorqShift 10-Speed Automatic .....	Included
4.88 Axle Ratio .....	Included
GVWR: 18,000 lbs Payload Package .....	Included
Wheels: 19.5" x 6" Argent Painted Steel .....	Included
HD Vinyl 40/20/40 Split Bench Seat .....	Included
Monotone Paint Application .....	STD
169" Wheelbase .....	STD
Radio: AM/FM Stereo w/MP3 Player .....	Included
Fleet Customer Powertrain Limited Warranty .....	N/C
50-State Emissions System .....	STD
SYNC 4 .....	Included
Ford Connectivity Package (1-Year Included) .....	Included
Race Red .....	\$200.00
Medium Dark Slate w/HD Vinyl 40/20/40 Split Bench Seat	N/C
Tires: 225/70Rx19.5G BSW Traction .....	\$190.00
Platform Running Boards .....	\$320.00

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**Prepared for:**

Village of Palatine  
Prepared by: Nic Cortellini  
03/02/2026



Currie Motors Fleet | 10125 West Laraway Road Frankfort IL | 60423

**2026 F-550 Chassis 4x2 SD Regular Cab 169" WB DRW XL (F5G)**

Price Level: 645 | Quote ID: 2026-Pal14

**Major Equipment**

- \* Light tinted windows
- \* Manual climate control
- \* Seat mounted side impact driver airbag
- \* Seat mounted side impact front passenger airbag
- \* SecuriLock immobilizer
- \* Driver seat with 4-way directional controls
- \* Height adjustable front seat head restraints
- \* Split-bench front seat
- \* Front seat armrest storage
- \* Manual driver seat fore/aft control
- \* Manual passenger seat fore/aft control
- \* Vinyl front seatback upholstery
- \* 4-wheel disc brakes
- \* Brake assist system
- \* Variable intermittent front windshield wipers
- \* Driver front impact airbag
- \* Cancellable front passenger air bag
- \* 6 airbags
- \* 40-20-40 split-bench front seat
- \* Front passenger seat with 4-way directional controls
- \* Manual front seat head restraint control
- \* Front seat center armrest
- \* Manual reclining driver seat
- \* Manual reclining passenger seat
- \* Vinyl front seat upholstery
- \* Manual driver seat lumbar
- \* 4-wheel antilock (ABS) brakes
- \* Hill Start Assist

**As Configured Vehicle**

MSRP

Pro Power Onboard - 400W Outlet .....	\$225.00
410 Amp Dual Alternators .....	\$215.00
Dual 68 AH/65 AGM Battery .....	Included
Spare Tire & Wheel .....	\$350.00
6-Ton Hydraulic Jack .....	Included
Trailer Brake Controller .....	\$300.00
Front Wheel Well Liner (Pre-Installed) .....	\$180.00
Aft-Axle Frame Extension .....	\$115.00
Extra Heavy-Service Suspension Package .....	\$125.00
Exterior Backup Alarm (Pre-Installed) .....	\$230.00
Programmable Engine Idle Shutdown Timer .....	\$250.00
Rear View Camera & Prep Kit .....	\$515.00

SUBTOTAL .....	\$60,110.00
Destination Charge .....	\$2,795.00
<b>TOTAL .....</b>	<b>\$62,905.00</b>

**Fuel Economy**

**City**  
N/A



**Hwy**  
N/A

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**Prepared for:**

Village of Palatine

Prepared by: Nic Cortellini

03/02/2026



Currie Motors Fleet | 10125 West Laraway Road Frankfort IL | 60423

**2026 F-550 Chassis 4x2 SD Regular Cab 169" WB DRW XL (F5G)**

Price Level: 645 | Quote ID: 2026-Pal14

**As Configured Vehicle**

Code	Description	MSRP
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**Base Vehicle**

F5G	Base Vehicle Price (F5G)	\$56,895.00
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**Packages**

660A	<b>Order Code 660A</b> <i>Includes:</i> - Engine: 7.3L 2V DEVCT NA PFI V8 Gas - Transmission: TorqShift 10-Speed Automatic <i>Includes SelectShift, selectable drive modes: normal, tow/haul, eco, slippery roads and trail and transmission power take-off provision.</i> - 4.88 Axle Ratio - GVWR: 18,000 lbs Payload Package - Wheels: 19.5" x 6" Argent Painted Steel <i>Hub covers/center ornaments not included.</i> - HD Vinyl 40/20/40 Split Bench Seat <i>Includes center armrest, cupholder, storage and driver's side manual lumbar.</i> - Radio: AM/FM Stereo w/MP3 Player <i>Includes 4 speakers.</i> - SYNC 4 <i>Includes 8" center display, wireless phone connection, cloud connected, AppLink with app catalog, 911 Assist, Apple CarPlay and Android Auto compatibility and digital owner's manual.</i> - Ford Connectivity Package (1-Year Included) <i>Includes unlimited Wi-Fi hotspot. Included for 1-year from warranty start date. Requires activation via Ford app with credit card authorization; customer may cancel at any time. Evolving technology/cellular networks/vehicle capability may limit functionality and prevent operation of connected features. Ford may temporarily slow data speeds if such data usage reaches or exceeds 50GB within a billing cycle or due to network limitations. If a customer uses more than 50% of their data usage in a roaming country during a 60-day period, Ford may remove or limit the customer's data plan.</i>	N/C
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**Powertrain**

99N	Engine: 7.3L 2V DEVCT NA PFI V8 Gas	Included
44G	Transmission: TorqShift 10-Speed Automatic <i>Includes SelectShift, selectable drive modes: normal, tow/haul, eco, slippery roads and trail and transmission power take-off provision.</i>	Included
X48	4.88 Axle Ratio	Included
STDGV	GVWR: 18,000 lbs Payload Package	Included

**Wheels & Tires**

TGM	Tires: 225/70R19.5G BSW Traction <i>Includes 4 traction tires on the rear and 2 A/P tires on the front.</i>	\$190.00
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**Prepared for:**

Village of Palatine

Prepared by: Nic Cortellini

03/02/2026



Currie Motors Fleet | 10125 West Laraway Road Frankfort IL | 60423

**2026 F-550 Chassis 4x2 SD Regular Cab 169" WB DRW XL (F5G)**

Price Level: 645 | Quote ID: 2026-Pal14

**As Configured Vehicle (cont'd)**

Code	Description	MSRP
64Z	Wheels: 19.5" x 6" Argent Painted Steel <i>Hub covers/center ornaments not included.</i>	Included
512	Spare Tire & Wheel  Required in Rhode Island. <i>Excludes carrier.</i>  <i>Includes:</i> - 6-Ton Hydraulic Jack	\$350.00

**Seats & Seat Trim**

A	HD Vinyl 40/20/40 Split Bench Seat <i>Includes center armrest, cupholder, storage and driver's side manual lumbar.</i>	Included
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**Other Options**

PAINT	Monotone Paint Application	STD
169WB	169" Wheelbase	STD
STDRD	Radio: AM/FM Stereo w/MP3 Player <i>Includes 4 speakers.</i>  <i>Includes:</i> - SYNC 4 <i>Includes 8" center display, wireless phone connection, cloud connected, AppLink with app catalog, 911 Assist, Apple CarPlay and Android Auto compatibility and digital owner's manual.</i> - Ford Connectivity Package (1-Year Included) <i>Includes unlimited Wi-Fi hotspot. Included for 1-year from warranty start date. Requires activation via Ford app with credit card authorization; customer may cancel at any time. Evolving technology/cellular networks/vehicle capability may limit functionality and prevent operation of connected features. Ford may temporarily slow data speeds if such data usage reaches or exceeds 50GB within a billing cycle or due to network limitations. If a customer uses more than 50% of their data usage in a roaming country during a 60-day period, Ford may remove or limit the customer's data plan.</i>	Included
67X	Extra Heavy-Service Suspension Package <i>Includes pre-selected extra heavy-service front springs (see Order Guide Supplemental Reference for springs/FGAWR of specific vehicle configurations). Recommended only on vehicles which will permanently utilize aftermarket equipment such as heavy-duty winches, brush guards or other apparatus which loads the front axle to the specified Gross Axle Weight Rating (GAWR). Note 1: May result in a deterioration of ride quality. Note 2: Vehicle ride height will increase with the addition of this package.</i>	\$125.00
63C	Aft-Axle Frame Extension <i>32.4" aft-of-axle frame extension increases AF dimension to 79.6".</i>	\$115.00
86K	Programmable Engine Idle Shutdown Timer	\$250.00

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**Prepared for:**

Village of Palatine

Prepared by: Nic Cortellini

03/02/2026



Currie Motors Fleet | 10125 West Laraway Road Frankfort IL | 60423

**2026 F-550 Chassis 4x2 SD Regular Cab 169" WB DRW XL (F5G)**

Price Level: 645 | Quote ID: 2026-Pal14

**As Configured Vehicle (cont'd)**

Code	Description	MSRP
	<i>Selection of this option enables the driver to select a time period between 1 to 30 minutes before the engine will shut off after idling. There will not be an option to override this timing. Customers needing to idle their vehicles for longer periods should not select this option.</i>	
61J	6-Ton Hydraulic Jack	Included
86M	Dual 68 AH/65 AGM Battery	Included
67B	410 Amp Dual Alternators <i>Includes 250 Amp + 160 Amp.</i>	\$215.00
18B	Platform Running Boards	\$320.00
872	Rear View Camera & Prep Kit <i>Pre-installed content includes cab wiring and frame wiring to the rear most cross member. Upfitters kit includes camera with mounting bracket, 20' jumper wire and camera mounting/aiming instructions.</i>	\$515.00
52B	Trailer Brake Controller	\$300.00
43C	Pro Power Onboard - 400W Outlet <i>Includes 1 in-dash mounted outlet.</i>	\$225.00
	<i>Includes: - Dual 68 AH/65 AGM Battery</i>	
76C	Exterior Backup Alarm (Pre-Installed)	\$230.00
61L	Front Wheel Well Liner (Pre-Installed)	\$180.00

**Fleet Options**

WARANT	Fleet Customer Powertrain Limited Warranty	N/C
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Requires valid FIN code.

*Ford is increasing the 5-year 60,000-mile limited powertrain warranty to 5-years, 100,000 miles. Only Fleet purchasers with a valid Fleet Identification Number (FIN code) will receive the extended warranty. When the sale is entered into the sales reporting system with a sales type fleet along with a valid FIN code, the warranty extension will automatically be added to the vehicle. The extension will stay with the vehicle even if it is subsequently sold to a non-fleet customer before the expiration. This extension applies to both gas and diesel powertrains. Dealers can check for the warranty extension on eligible fleet vehicles in OASIS. Please refer to the Warranty and Policy Manual section 3.13.00 Gas Engine Commercial Warranty. This change will also be reflected in the printed Warranty Guided distributed with the purchase of every new vehicle.*

**Emissions**

425	50-State Emissions System	STD
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**Exterior Color**

PQ_02	Race Red	\$200.00
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**Prepared for:**

Village of Palatine

Prepared by: Nic Cortellini

03/02/2026



Currie Motors Fleet | 10125 West Laraway Road Frankfort IL | 60423

**2026 F-550 Chassis 4x2 SD Regular Cab 169" WB DRW XL (F5G)**

Price Level: 645 | Quote ID: 2026-Pal14

**As Configured Vehicle (cont'd)**

Code	Description	MSRP
<b>Interior Color</b>		
AS_03	Medium Dark Slate w/HD Vinyl 40/20/40 Split Bench Seat	N/C
<b>Upfit Options</b>		
01	License and Title (M-Plates)	\$203.00
<b>SUBTOTAL</b>		<b>\$60,313.00</b>
Destination Charge		<b>\$2,795.00</b>
<b>TOTAL</b>		<b>\$63,108.00</b>

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**Prepared for:**

Village of Palatine

Prepared by: Nic Cortellini

03/02/2026



Currie Motors Fleet | 10125 West Laraway Road Frankfort IL | 60423

---

**2026 F-550 Chassis 4x2 SD Regular Cab 169" WB DRW XL (F5G)**

Price Level: 645 | Quote ID: 2026-Pal14

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## Pricing Summary - Single Vehicle

	<b>MSRP</b>
<i>Vehicle Pricing</i>	
Base Vehicle Price	\$56,895.00
Options	\$3,015.00
Colors	\$200.00
Upfitting	\$203.00
Fleet Discount	\$0.00
Fuel Charge	\$0.00
Destination Charge	\$2,795.00
<b>Subtotal</b>	<b>\$63,108.00</b>
<i>Discount Adjustments</i>	
Discount Adjustments	-\$7,395.00
<b>Total</b>	<b>\$55,713.00</b>

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Customer Signature

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Acceptance Date

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Seller: Knapheide Truck Equipment Center Chicago  
 2600 W IL ROUTE 120  
 MCHENRY, IL 60051-4563  
 1 (815) 385-2600  
 www.knapheide.com

**QUOTE: QU-79-1053262-1**  
**Quote Expiration: 03/14/2026**

**Contact(s): Brett Wise (Outside Sales)**  
 bwise58@knapheide.com

**Brett Wise (Inside Sales)**  
 bwise58@knapheide.com

**Brett Wise**  
 bwise58@knapheide.com

**Customer: Palatine, Village Of**

**ID:** 82609  
**Address:** 200 E WOOD ST

**Phone:** 8477055200  
**Contact:** JIM KEATS

**Terms:** NET 30 DAYS  
**Bid Spec:**

PALATINE, IL 60067-5332

**Description:** PVMX9/Tool Box/Liftgate/Hoist/Lighting

**Quote Information:**

**Customer Request Date:**  
**Quote Completed Date:** 02/12/2026  
**Date:** 02/12/2026 15:48 PM CST  
**# of Units:** 1

**Delivery Information:**

**Total Price Includes F.O.B.:**  
**Ship Via:**  
**Ship To:** Palatine, Village Of  
 200 E WOOD ST  
 PALATINE, IL 60067-5332

**Vehicle Information:**

**Make:** Ford  
**Chassis Type:** Chassis Cab  
**Rear Axle Type:** DRW  
**Fuel Type:** Gas  
**GVWR:** 19500

**Model:** F-550  
**Cab Type:** Regular  
**Drivetrain:** 4x2  
**Transmission Type:** Auto

**Year:** 2026  
**Cab to Axle:** 84  
**Engine Size:** 7.3  
**Wheelbase:** 169

Seq.	Description	Quantity	Total
1	PVMX-95 9' Value Master Platform - (Ford) Includes: 40" High Drop-in Bulkhead (BH4094) High Strength, Formed Steel (50,000 PSI) on Side Rails, End Rails, and Cross Sills LED Flush Mount Lights with Automotive Wire Harness Clearance and Marker Lights Mud Flaps Included ICC Bumper Included Factory Supplied Backup Camera Installed, if Ordered with Chassis Body Fully Undercoated K-Coat Corrosion Protection with Knapheide's Exclusive 12-Stage Electro-Coating Prime Paint System Finish Painted Black (Single Stage Enamel) 40" high steel stake racks Sub-Frame Hoist Smooth Steel Floor Installed	1.00	12,097.05
2	Maxon 83"X 33" 6" DUMP LIFT GATE 83"X 33" 6" DUMP LIFT GATE LED Light Kit Installed	1.00	5,195.95
3	Diamond Tread Aluminum Backpack Truck Tool Box Series with Offset Floor Installed	1.00	4,133.00
4	FENDER, FULL RADUIS POLY FITS 18" TO 19-1/2" DUAL WHEEL INSTALLED	1.00	718.00
5	(4) Four Corner Surface Mount Strobe Package Ecco ED3704AC, Amber / Clear (2) Installed in Front Grille (2) Installed on Rear Wired to Upfitter Switch in Cab	1.00	850.00
6	LED Light Bar, Federal Signal HL15PC-A Amber with Clear Dome	1.00	414.00



	Permanent Mount 14.7" Long x 9.5" Wide x 2" High Mounted on Tool Box		
7	LED Directional Warning Arrow, Federal Signal 8200SMA16-A Amber 16-head (4-head arrow, 8-head stick), Amber, 51-inch Light Bar Control, Federal Signal SMCONTROL 8-Button Serial Controller with 20' Cable 14 Unique Flash Patterns Mounted on Custom Bracket Installed	1.00	3,078.00
<b>Total does not include any applicable taxes or transportation charges unless specifically noted herein:</b>		<b>Subtotal:</b>	<b>\$26,486.00</b>
		<b>Total:</b>	<b>\$26,486.00</b>

Customer PO

Total Price

**Credit Card Policy:** We accept MasterCard, American Express, Visa, and Discover cards for payment.

**Cancellation Policy:** All cancellation requests must be made in writing. Upon any request for cancellation, any costs incurred by Knapheide during the fulfillment of Orders placed pursuant to this Quote shall be paid at 100%. Payments for cancellation are due in full at time of cancellation and/or upon cancellation of installation. Quoted prices are only guaranteed for orders placed as of the date specified on the Quote unless otherwise stated herein.

**Payment Policy:** Payment Terms are due upon receipt of signed quote unless prior credit agreement has been established at the time of order. Payment terms for customers with an established credit account will be Net 30 from date of invoice. Seller has right to assess late charges at 1.5% per month on all invoices that are 60 days or more past due.

**Pricing Policy:** All prices reflect the latest price in U.S. Dollars. Any order placed pursuant to this Quote shall be subject to these Terms and Conditions contained herein. These Conditions shall serve to exclude all other terms or conditions of purchase or other conflicting terms or conditions which may be issued, provided or referred to by Customer, all of which are hereby disclaimed or rejected, except insofar as any terms are expressly accepted in writing with an Authorized Knapheide Representative's written signature. Pricing quoted applies to chassis make/model originally provided and quantity quoted. Any deviation therefrom may result in price change. In addition, additional costs may be incurred in the process of fulfilling orders placed pursuant to this Quote and Knapheide reserves the right to adjust costs accordingly, including but not limited to, reprogramming fees, etc. Orders are subject to all applicable state, local and federal excise taxes. Applicable taxes will be applied on final billing to customer upon completion of order. Seller must be in possession of the vehicle for this order within 90 days of quote acceptance or the order can be subject to price adjustments due to cost increases for materials, labor, and shop supplies.

**Return Policy:** All sales are final. Purchased parts or products are non-returnable.

By signing and accepting this quotation, Customer agrees to accept Knapheide Truck Equipment Center Chicago terms and conditions as stated above.

Customer Signature

Print Name

Title

Date

Dealer Code

Dealership

Location

VIN

If the chassis is customer supplied, Knapheide may require a chassis spec sheet

## **Consider a Motion Authorizing the Village Manager to Purchase Three Public Works Three-Quarter-Ton Pickup Trucks**

### **BACKGROUND:**

As part of the Capital Vehicle Replacement Budget for 2026, the Village Council has appropriated \$198,450 in funds for the replacement of three Public Works three-quarter-ton pickup trucks. The existing pickups are T-417, a 2014 Ford F-250 with 72,000 miles; T-420, a 2014 F-250 with 70,000 miles; and T-483, a 2020 Ford F-150 with 32,000 miles. T-417 and T-420 trucks are at a point where they are becoming high in maintenance expenses and will be sold at auction. One truck (T-483) is 6 years old with 32,000 miles and will be added to the hand down program. These trucks are used every day and are responsible for numerous public works tasks including emergency incident responses, water/sewer service repairs, plow operations, and forestry work. It is crucial for these trucks to be reliable and efficient.

### **KEY ISSUES:**

- Staff researched available options for replacement pickup trucks. At this time, there are three choices for three-quarter-ton trucks: the Ford F-250, the Chevrolet Silverado 2500, and the Dodge Ram 2500.
- Based on cost and specification comparisons, the Ford F-250 is the best option. The Chevrolet Silverado is available through the Northwest Municipal Conference Suburban Purchasing Cooperative (SPC) for \$48,762.98. With limited production and even more limited order bank openings, Dodge opted not to offer municipal, state, or Sourcewell pricing this year. The Dodge Ram is available for \$56,455. The Ford F-250 is available through the SPC for \$48,946. While the Chevrolet Silverado is slightly less expensive, it has fewer options and Chevrolet also requires front suspension modification to hold a plow.
- Staff requested quotes for upfitting of plows, liftgates, toolboxes, and emergency lighting from Master Truck & Trailer, Knapheide Truck Equipment, and Monroe Truck. Master Truck of Waukegan, Illinois provided the lowest pricing.
- For upfitting costs, Master Truck quoted \$47,002.78 for all three units, Knapheide quoted \$47,301, and Monroe quoted \$63,030. The best value for a truck with our preferred options is a Ford F-250 from Sutton Ford and upfitting by Master Truck for a total of \$193,840.78.

### **BUDGET IMPACT:**

Funds in the amount of \$198,450 have been appropriated in the 2026 Capital Vehicle Replacement Budget to accommodate these purchases. With the total proposed cost of \$193,840.78, the budgeted savings would be \$4,609.22.

### **RECOMMENDATION:**

Staff recommends authorizing the Village Manager to purchase three 2026 Ford F-250 three-quarter-ton pickup trucks from Sutton Ford in the amount of \$146,838 and upfitting from Master Truck in the amount of \$47,002.78, for a total cost not to exceed \$193,840.78.

**ACTION REQUIRED:**

Motion to authorize the Village Manager to purchase three 2026 Ford F-250 three-quarter-ton pickup trucks through the Suburban Purchasing Cooperative Contract #221 from Sutton Ford, Incorporated of Matteson, Illinois in the amount of \$146,838 and upfitting from Master Truck & Trailer, LLC of Waukegan, Illinois in the amount of \$47,002.78, for a total cost not to exceed \$193,840.78.

**ATTACHMENTS:**

- 1. 2026 Public Works Pickup Truck Replacement Memorandum
- 2. Capital Budget Page
- 3. Sutton Ford Quote
- 4. Master Truck Upfitting Quotes



**MEMORANDUM**

**To:** Matt Barry, Director of Public Works, Katie Lapid Assistant Director of Public Works  
**From:** Jim Keats, Fleet Services Coordinator  
Steve Davia, Forestry Coordinator, Jay Kernan, Utilities Coordinator  
**Date:** 03/04/2026  
**Subject:** Capital Replacement of Three Public Works ¾ Ton Pickup Trucks

**Issue:** As part of the Capital Vehicle Replacement Budget for CY 2026, the Village Council has appropriated \$198,450 in funds for the replacement of three Public Works ¾-ton pickup trucks. The existing pickups are T-417, a 2014 Ford F-250 with 72,000 miles; T-420, a 2014 F-250 with 70,000 miles; and T-483, a 2020 Ford F-150 with 32,000 miles. T-417 and T-420 trucks are at a point where they are becoming high in maintenance expenses and will be sold at auction. One truck (T-483) is 6 years old with 32,000 miles and will be added to the hand down program. These trucks are used every day and are responsible for numerous public works tasks including rotating on-call incident responses, water/sewer service repairs, plow operations, and forestry work. It is crucial for these trucks to be reliable and efficient.

**Analysis:** With the help of the Fleet, Forestry, and Utilities Divisions, research has been performed to collect any data and availability of replacement pickup trucks. At this time, there are three companies that make ¾ ton trucks. These companies are Ford, Chevrolet, and Dodge. With limited production and even more limited order bank openings, Dodge opted to not offer municipal, state, or Sourcewell pricing this year. Chevrolet's Silverado 2500 is on the Northwest Municipal Conference Suburban Purchasing Cooperative (SPC) contract, but the pricing is equal to Ford with fewer options. Chevrolet also requires front suspension modification to hold a plow. Ford is on the SPC contract and Sourcewell with a full line of pickups and options.

The Ford product meets the same performance, warranty, price, and specification request as the other two companies plus this year offers a 100,000 mile powertrain warranty for fleet customers. These vehicles will be built for Palatine and delivered to Public Works. Trucks being replaced will be sent to auction when new trucks are complete and one truck will replace a higher mileage vehicle like in kind.

The truck chassis is the first part of the purchase. The upfitting of plows, liftgates, toolboxes, and emergency lighting is performed by a truck body company. The Fleet, Forestry, and Utilities Divisions chose to review the upfitting options available from three companies that offer the same setup that we currently have. The majority of the Village trucks have been upfitted by Monroe Truck in Monroe, Wisconsin. This year, staff reached out to Knapheide, Monroe, and Master Truck & Trailer for upfitting needs. The best quote pricing on what we requested was Master Truck & Trailer in Waukegan, Illinois.

**Truck Comparisons:**

2026 Chevrolet Silverado 2500 4x4 - \$48,762.98 (Currie Motors Contract #218)

2026 Dodge Ram 2500 Tradesman 4x4 - \$56,455 (No Contract)

**Upfitting Comparisons:**

Knapheide - \$47,301 (total for three trucks)

Monroe Truck - \$63,030 (total for three trucks)

**Recommendation:** Staff recommends the Village Council approve the purchase of three 2026 Ford F-250 Super Duty ¾-ton pickup trucks on SPC Contract #221 from Sutton Ford, Incorporated, 21315 Central Ave., Matteson, IL 60443 at a cost of **\$146,838**.

Staff also recommends that the Village Council accept the upfitting proposals from Master Truck & Trailer, 2980 W Wadsworth Rd, Waukegan, IL 60087 for a total of **\$47,002.78**.

Total budgeted funds are **\$198,450**, and these combined purchases total **\$193,840.78**, \$4,610.18 below budget.

**Attachments:** VE 0003, Ford order form, Sutton quote, MTT quote, Coordinator approvals.

# Capital Improvement Plan

## Palatine, IL

**Project #** VE 0003  
**Project Name** Public Works Vehicle Replacements

**Department** 52-Public Works **Type** Equipment  
**Category** Vehicles & Equipment **Useful Life** 10 years  
**Account #** 401-52-75-6070 625

### Description

CY 2026 Replacements

- \$234,845 - T410 2014 Five-Ton Dump Truck (Replace with same)
- 136,500 - T409 2014 One-Ton Crew Cab Dump Truck (Replace with same)
- 90,000 - T419 2014 Ford F-450 Stake Body Truck (Replace with same)
- 66,150 - T417 2014 Ford F-250 with plow (Replace with same)
- 66,150 - T420 2014 Ford F-250 with plow (Replace with same)
- 66,150 - T483 2020 Ford F-150 (Replace with F-250 with plow)
- 62,940 - T422 2014 Ford E-250 Van (Replace with Ford E-Transit Electric Unit)
- 42,000 - T448 2016 Ford F-150 Extended Cab (Replace with same)

2027 planned purchases include replacement of two Five-Ton Trucks, one Pickup Truck, one Aerial Bucket Truck, one Aerial Bucket/Chipper Box Truck, one Step Van, and one Service Truck.

### Justification

This program provides the planned replacement of necessary Public Works vehicles in order to prevent obsolescence, maintain the functionality of the Department, and enhance operational efficiency. Major items in this category include 5 Ton Dump Trucks which are utilized for 12 years front line and 2 years reserve.

Prior	Expenditures	2026	2027	2028	2029	2030	Total
922,980	Equipment	764,735	1,081,965	982,890	574,980	1,012,020	4,416,590
	<b>Total</b>	<b>764,735</b>	<b>1,081,965</b>	<b>982,890</b>	<b>574,980</b>	<b>1,012,020</b>	<b>4,416,590</b>

Prior	Funding Sources	2026	2027	2028	2029	2030	Total
922,980	401 - Capital Equipment	764,735	1,081,965	982,890	574,980	1,012,020	4,416,590
	<b>Total</b>	<b>764,735</b>	<b>1,081,965</b>	<b>982,890</b>	<b>574,980</b>	<b>1,012,020</b>	<b>4,416,590</b>



COMMERCIAL & FLEET

SUTTON FORD INC.

21315 CENTRAL AVE.
MATTESON IL 60443

QUOTE

Friday, March 6, 2026

DATE

PURCHASER'S NAME

VILLAGE OF PALATINE

STREET ADDRESS

200 E WOOD ST

CITY

PALATINE

STATE

IL

ZIP

60067

BUS PHONE

847-705-5200

PLEASE ENTER MY ORDER FOR THE FOLLOWING

NEW [checked]

USED [ ]

SUV [ ]

TRUCK [checked]

CAR [ ]

Table with columns: YEAR, MAKE, MODEL, BODY TYPE, COLOR, TRIM, STOCK NO., VIN NO., MILES, SALES REP, and various fees. Includes subtotals for trade-in and fleet sales information.

Purchaser agrees that this Order includes all of terms and conditions on both the face and reverse side hereof, that this Order cancels and supersedes any price agreement and as of the date hereof comprises the complete and exclusive statement of the terms of the agreement relating to the subject matters covered hereby THIS ORDER IS NOT A BINDING CONTRACT.

ACCEPTED BY:

PURCHASER'S SIGNATURE

DATE

3/6/2026

ACCEPTED BY:

Scott Ourednik

DEALER OR HIS AUTHORIZED REPRESENTATIVE

DATE

3/6/2026

# Estimate

## Master Truck & Trailer, LLC

Hours Mon - Fri 7:00- 5:30  
 2980 W. Wadsworth Rd  
 Waukegan, IL 60087  
 Phone: 847-672-4703 Trailer shop 847-672-6072  
 Email: Office@MTLLC.Net

Order #	Date
S132191	03/10/2026



Bill To:
Village Of Palatine Dept. Of Public Works 148 West Illinois Avenue Palatine, IL 60067

Ship To:
Village Of Palatine Dept. Of Public Works 148 West Illinois Avenue Palatine, IL 60067

Customer: Village Of Palatine Dept. Of Public Works

Contact: Village Of Palatine Dept. Of P

**Notes:** 2026 Ford Super Duty F250 Truck #T-566

Boss RT3 Super Duty 8.0  
 Maxon Lift Gate C2-54-1342-EA38G

Sales Rep	Payment Terms	FOB Point	Carrier	Ship Service	Date Scheduled
John	NET 30-4	Origin	Delivery		03/05/2026

Item #	Type	Number	Description	Unit Price	Qty Ordered	Total Price
1	Sale	Repair Order	Repair Order	\$0.00	1 ea	\$ 0.00
2	Kit	MTT Plow Boss Super Duty Straight Blade Plow Kit	Boss Super Duty Straight Blade Plow Kit	\$7,954.20	1 ea	\$ 7,954.20
3	Sale	STB03167-Boss	Blade Crate 8' Straight Blade Super Duty	\$0.00	1 ea	\$ 0.00
4	Sale	STB15020B-Boss	Plow Box Straight Blade RT3 SH2 Super	\$0.00	1 ea	\$ 0.00
5	Sale	STB09602-Boss	Control, Hand Held, Smart Touch 2, Straight Blade	\$0.00	1 ea	\$ 0.00
6	Sale	1307020-Sams	Plow Fluid	\$0.00	2 Qrt	\$ 0.00
7	Sale	LTA10200-Boss	Frame Mount Ford 17 F250 / F350	\$0.00	1 ea	\$ 0.00
8	Sale	MSC25012-Boss	Wiring Kit, RT3, SH2 12V Ford F250-500 2023+	\$0.00	1 ea	\$ 0.00
9	Sale	MUNICIPAL DISCOUNT	Municipal Discount	(\$589.20)	1 ea	-\$ 589.20
10	Sale	Labor	Labor Install	\$115.00	7 hr	\$ 805.00
11	Sale	Labor	Labor assemble	\$115.00	1.5 hr	\$ 172.50
12	Sale	MSC01565-Boss	Rubber Snow Deflector Kit For Plow From 7'6" - 9'2" Striaght Or V-Plows)	\$381.09	1 ea	\$ 381.09
13	Sale	Labor	Labor install	\$115.00	0.75 hr	\$ 86.25
14	Sale	Labor	Labor install	\$115.00	0.35 hr	\$ 40.25
15	Sale	10900-Brack	Headache Rack; Safety Rack; Mesh; Powder Coated; Black; Steel; Requires Installation Kit	\$279.95	1 ea	\$ 279.95
16	Sale	30221TB31-Brack	Head Ache Rack Mounting Kit 31" Tool Box	\$119.95	1 ea	\$ 119.95

# Estimate

## Master Truck & Trailer, LLC

Hours Mon - Fri 7:00- 5:30  
 2980 W. Wadsworth Rd  
 Waukegan, IL 60087  
 Phone: 847-672-4703 Trailer shop 847-672-6072  
 Email: Office@MTLLC.Net

Order #	Date
S132191	03/10/2026



Item #	Type	Number	Description	Unit Price	Qty Ordered	Total Price
17	Sale	Labor	Labor install	\$115.00	1 hr	\$ 115.00
18	Sale	91002ECCO-MTT	Mini-Lightbar Bracket For Back Rack-- painted black for 15" Mini Lightbar	\$120.95	1 ea	\$ 120.95
19	Sale	5587A-Ecco	LED Minibar: Reflex, 15", Zero Optic Dome, 12-24VDC, 18 Flash Patterns, Amber	\$290.95	1 ea	\$ 290.95
20	Sale	DT06-6S-Term	Plug Connector DT series	\$9.89	1 ea	\$ 9.89
21	Sale	0460-215-16141-Term	Solid Pin Terminal	\$2.09	6 ea	\$ 12.54
22	Sale	W6S-Term	Secondary Lock	\$1.19	1 ea	\$ 1.19
23	Sale	DT04-6P-Term	Receptacle DT-series	\$9.99	1 ea	\$ 9.99
24	Sale	0462-209-16141-Term	16-14 Ga. Deutsch Socket Terminal	\$2.39	6 ea	\$ 14.34
25	Sale	W6P-Term	Secondary Lock	\$1.19	1 ea	\$ 1.19
26	Sale	03228-Deka	3 Wire Gray Jacked 16/3 Gauge Black Green White per foot	\$0.69	30 ea	\$ 20.70
27	Sale	Labor	Labor Install	\$115.00	2.5 hr	\$ 287.50
28	Sale	1492117-BP	4 INCH WIDE SQUARE LED FLOOD LIGHT, Five LEDs provide 1050 lumens of light, Backed with a 5 year warranty.	\$43.29	2 ea	\$ 86.58
29	Sale	03201-Deka	16/2 Gray Jacketed Duplex Wire White / Black Per Foot	\$0.69	30 ft	\$ 20.70
30	Sale	Labor	Labor Install	\$115.00	1.5 hr	\$ 172.50
31	Sale	415060-LUV	Grip Step 7" X 60" Black Aluminum Running Boards (No Brackets)	\$329.90	1 ea	\$ 329.90
32	Sale	401730-LUV	Running Board Brackets HD Rocker Mount	\$161.90	1 ea	\$ 161.90
33	Sale	Labor	Labor Install	\$115.00	1.25 hr	\$ 143.75
34	Sale	1739445-Buyer	18x27x71 Inch Textured Matte Black Diamond Tread Aluminum Crossover Truck Box	\$1,195.95	1 ea	\$ 1,195.95
35	Sale	Labor	Labor Install	\$115.00	0.35 hr	\$ 40.25
36	Sale	C2-54-1342 EA38G-Maxon	1300lb capacity. 38" deep two piece aluminum platform. Direct fit gate. Galvanized finish on all steel componets. 150A circuit breaker protection. Standard smart toggle control.	\$3,671.90	1 ea	\$ 3,671.90
37	Shipping	Freight in Charge	Freight in Charge shipping on lift gate	\$210.00	1 ea	\$ 210.00

# Estimate

## Master Truck & Trailer, LLC

Hours Mon - Fri 7:00- 5:30  
 2980 W. Wadsworth Rd  
 Waukegan, IL 60087  
 Phone: 847-672-4703 Trailer shop 847-672-6072  
 Email: Office@MTLLC.Net

Order #	Date
<b>S132191</b>	03/10/2026



Item #	Type	Number	Description	Unit Price	Qty Ordered	Total Price
38	Sale	Welding Labor	Welding and Fabrication Labor fab up lower brackets for lift gate	\$145.00	1 hr	\$ 145.00
39	Sale	Labor	Labor Install	\$115.00	4.5 hr	\$ 517.50
40	Sale	misc	Misc misc hardware and steel	\$55.00	1 ea	\$ 55.00
41	Sale	4410541VIM-Wtech	Floor Liner; FloorLiner™ HP; Black; Molded Fit With Underside Nibs; With Channels And Reservoir To Direct And Hold Fluids With Embossed WeatherTech Logo; Thermoplastic Elastomer (TPE) Injection Molded Material; 2 Piece	\$138.95	1 ea	\$ 138.95
42	Sale	Shop	Shop Supplies	\$29.95	1 ea	\$ 29.95
43	Sale	Welding Supplies	Welding and Fab Supplies	\$12.95	1 ea	\$ 12.95
44	Sale	Shop Fee	Shop Fee	\$3.95	1 ea	\$ 3.95

<b>Subtotal:</b>	<b>\$17,070.96</b>
<b>Sales Tax:</b>	<b>\$0.00</b>
<b>Total:</b>	<b>\$17,070.96</b>

Approval: \_\_\_\_\_ Date: \_\_\_\_\_

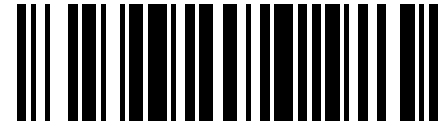
A finance charge of 2% per month will be added to all invoices past due. No merchandise returns without original invoice. All returns are subject to a 10% restocking fee. No refunds or exchanges electrical.

# Sales Order

## Master Truck & Trailer, LLC

Hours Mon - Fri 7:00- 5:30  
 2980 W. Wadsworth Rd  
 Waukegan, IL 60087  
 Phone: 847-672-4703 Trailer shop 847-672-6072  
 Email: Office@MTLLC.Net

Order #	Date
<b>S132691</b>	03/10/2026



Bill To:
Village Of Palatine Dept. Of Public Works 148 West Illinois Avenue Palatine, IL 60067

Ship To:
Village Of Palatine Dept. Of Public Works 148 West Illinois Avenue Palatine, IL 60067

Customer: Village Of Palatine Dept. Of Public Works

Contact: Village Of Palatine Dept. Of P

**Notes:** 2026 Ford Super Duty F250 Truck #T-567

Boss RT3 Super Duty 8.0

Sales Rep	Payment Terms	FOB Point	Carrier	Ship Service	Date Scheduled
John	NET 30-4	Origin	Delivery		03/05/2026

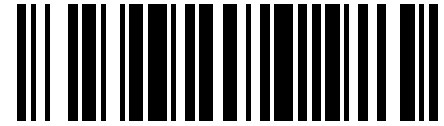
Item #	Type	Number	Description	Unit Price	Qty Ordered	Total Price
1	Sale	Repair Order	Repair Order	\$0.00	1 ea	\$ 0.00
2	Kit	MTT Plow Boss Super Duty Straight Blade Plow Kit	Boss Super Duty Straight Blade Plow Kit	\$7,954.20	1 ea	\$ 7,954.20
3	Sale	STB03167-Boss	Blade Crate 8' Straight Blade Super Duty	\$0.00	1 ea	\$ 0.00
4	Sale	STB15020B-Boss	Plow Box Straight Blade RT3 SH2 Super	\$0.00	1 ea	\$ 0.00
5	Sale	STB09602-Boss	Control, Hand Held, Smart Touch 2, Straight Blade	\$0.00	1 ea	\$ 0.00
6	Sale	1307020-Sams	Plow Fluid	\$0.00	2 Qrt	\$ 0.00
7	Sale	LTA10200-Boss	Frame Mount Ford 17 F250 / F350	\$0.00	1 ea	\$ 0.00
8	Sale	MSC25012-Boss	Wiring Kit, RT3, SH2 12V Ford F250-500 2023+	\$0.00	1 ea	\$ 0.00
9	Sale	MUNICIPAL DISCOUNT	Municipal Discount	(\$589.20)	1 ea	-\$ 589.20
10	Sale	Labor	Labor Install	\$115.00	7 hr	\$ 805.00
11	Sale	Labor	Labor assemble	\$115.00	1.5 hr	\$ 172.50
12	Sale	MSC01565-Boss	Rubber Snow Deflector Kit For Plow From 7'6" - 9'2" Striaight Or V-Plows)	\$381.09	1 ea	\$ 381.09
13	Sale	Labor	Labor install	\$115.00	0.75 hr	\$ 86.25
14	Sale	STB03395-Boss	Curb Guard Kit, Driver Side, Straight Blade	\$205.99	1 ea	\$ 205.99
15	Sale	STB03394-Boss	Curb Guard Kit, Passenger Side, Straight Blade	\$205.99	1 ea	\$ 205.99
16	Sale	Labor	Labor install	\$115.00	0.35 hr	\$ 40.25

# Sales Order

## Master Truck & Trailer, LLC

Hours Mon - Fri 7:00- 5:30  
 2980 W. Wadsworth Rd  
 Waukegan, IL 60087  
 Phone: 847-672-4703 Trailer shop 847-672-6072  
 Email: Office@MTLLC.Net

Order #	Date
S132691	03/10/2026



Item #	Type	Number	Description	Unit Price	Qty Ordered	Total Price
17	Sale	10900-Brack	Headache Rack; Safety Rack; Mesh; Powder Coated; Black; Steel; Requires Installation Kit	\$279.95	1 ea	\$ 279.95
18	Sale	30222-Brack	Headache Rack Mounting Kit; For Backrack Racks; Black; Cannot Be Used With Cross Bed Tool Box; Compatible With Tonneau Cover Adapter Brackets; No Drilling Required	\$119.95	1 ea	\$ 119.95
19	Sale	Labor	Labor install	\$115.00	1 hr	\$ 115.00
20	Sale	91002ECCO-MTT	Mini-Lightbar Bracket For Back Rack--painted black for 15" Mini Lightbar	\$120.95	1 ea	\$ 120.95
21	Sale	5587A-Ecco	LED Minibar: Reflex, 15", Zero Optic Dome, 12-24VDC, 18 Flash Patterns, Amber	\$290.95	1 ea	\$ 290.95
22	Sale	DT06-6S-Term	Plug Connector DT series	\$9.89	1 ea	\$ 9.89
23	Sale	0460-215-16141-Term	Solid Pin Terminal	\$2.09	6 ea	\$ 12.54
24	Sale	W6S-Term	Secondary Lock	\$1.19	1 ea	\$ 1.19
25	Sale	DT04-6P-Term	Receptacle DT-series	\$9.99	1 ea	\$ 9.99
26	Sale	0462-209-16141-Term	16-14 Ga. Deutsch Socket Terminal	\$2.39	6 ea	\$ 14.34
27	Sale	W6P-Term	Secondary Lock	\$1.19	1 ea	\$ 1.19
28	Sale	03228-Deka	3 Wire Gray Jacked 16/3 Gauge Black Green White per foot	\$0.69	30 ea	\$ 20.70
29	Sale	Labor	Labor Install	\$115.00	2.5 hr	\$ 287.50
30	Sale	1492117-BP	4 INCH WIDE SQUARE LED FLOOD LIGHT, Five LEDs provide 1050 lumens of light, Backed with a 5 year warranty.	\$43.29	2 ea	\$ 86.58
31	Sale	03201-Deka	16/2 Gray Jacketed Duplex Wire White / Black Per Foot	\$0.69	30 ft	\$ 20.70
32	Sale	Labor	Labor Install	\$115.00	1.5 hr	\$ 172.50
33	Sale	415060-LUV	Grip Step 7" X 60" Black Aluminum Running Boards (No Brackets)	\$329.90	1 ea	\$ 329.90
34	Sale	401730-LUV	Running Board Brackets HD Rocker Mount	\$161.90	1 ea	\$ 161.90
35	Sale	Labor	Labor Install	\$115.00	1.25 hr	\$ 143.75
36	Sale	1739445-Buyer	18x27x71 Inch Textured Matte Black Diamond Tread Aluminum Crossover Truck Box	\$1,195.95	1 ea	\$ 1,195.95
37	Sale	Labor	Labor Install	\$115.00	0.35 hr	\$ 40.25

# Sales Order

## Master Truck & Trailer, LLC

Hours Mon - Fri 7:00- 5:30  
 2980 W. Wadsworth Rd  
 Waukegan, IL 60087  
 Phone: 847-672-4703 Trailer shop 847-672-6072  
 Email: Office@MTLLC.Net

Order #	Date
<b>S132691</b>	03/10/2026



Item #	Type	Number	Description	Unit Price	Qty Ordered	Total Price
38	Sale	4410541VIM-Wtech	Floor Liner; FloorLiner™ HP; Black; Molded Fit With Underside Nibs; With Channels And Reservoir To Direct And Hold Fluids With Embossed WeatherTech Logo; Thermoplastic Elastomer (TPE) Injection Molded Material; 2 Piece	\$138.95	1 ea	\$ 138.95
39	Sale	Shop	Shop Supplies	\$29.95	1 ea	\$ 29.95
40	Sale	Shop Fee	Shop Fee	\$3.95	1 ea	\$ 3.95

<b>Subtotal:</b>	<b>\$12,870.59</b>
<b>Sales Tax:</b>	<b>\$0.00</b>
<b>Total:</b>	<b>\$12,870.59</b>

Approval: \_\_\_\_\_ Date: \_\_\_\_\_

A finance charge of 2% per month will be added to all invoices past due. No merchandise returns without original invoice. All returns are subject to a 10% restocking fee. No refunds or exchanges electrical.

# Estimate

## Master Truck & Trailer, LLC

Hours Mon - Fri 7:00- 5:30  
 2980 W. Wadsworth Rd  
 Waukegan, IL 60087  
 Phone: 847-672-4703 Trailer shop 847-672-6072  
 Email: Office@MTLLC.Net

Order #	Date
S132692	03/10/2026



Bill To:
Village Of Palatine Dept. Of Public Works 148 West Illinois Avenue Palatine, IL 60067

Ship To:
Village Of Palatine Dept. Of Public Works 148 West Illinois Avenue Palatine, IL 60067

Customer: Village Of Palatine Dept. Of Public Works

Contact: Village Of Palatine Dept. Of P

**Notes:** 2026 Ford Super Duty F250 Truck #T-568

Boss RT3 Super Duty 8.0  
 Maxon Lift Gate C2-54-1342-EA38G

Sales Rep	Payment Terms	FOB Point	Carrier	Ship Service	Date Scheduled
John	NET 30-4	Origin	Delivery		03/05/2026

Item #	Type	Number	Description	Unit Price	Qty Ordered	Total Price
1	Sale	Repair Order	Repair Order	\$0.00	1 ea	\$ 0.00
2	Kit	MTT Plow Boss Super Duty Straight Blade Plow Kit	Boss Super Duty Straight Blade Plow Kit	\$7,954.20	1 ea	\$ 7,954.20
3	Sale	STB03167-Boss	Blade Crate 8' Straight Blade Super Duty	\$0.00	1 ea	\$ 0.00
4	Sale	STB15020B-Boss	Plow Box Straight Blade RT3 SH2 Super	\$0.00	1 ea	\$ 0.00
5	Sale	STB09602-Boss	Control, Hand Held, Smart Touch 2, Straight Blade	\$0.00	1 ea	\$ 0.00
6	Sale	1307020-Sams	Plow Fluid	\$0.00	2 Qrt	\$ 0.00
7	Sale	LTA10200-Boss	Frame Mount Ford 17 F250 / F350	\$0.00	1 ea	\$ 0.00
8	Sale	MSC25012-Boss	Wiring Kit, RT3, SH2 12V Ford F250-500 2023+	\$0.00	1 ea	\$ 0.00
9	Sale	MUNICIPAL DISCOUNT	Municipal Discount	(\$589.20)	1 ea	-\$ 589.20
10	Sale	Labor	Labor Install	\$115.00	7 hr	\$ 805.00
11	Sale	Labor	Labor assemble	\$115.00	1.5 hr	\$ 172.50
12	Sale	MSC01565-Boss	Rubber Snow Deflector Kit For Plow From 7'6" - 9'2" Striaight Or V-Plows)	\$381.09	1 ea	\$ 381.09
13	Sale	Labor	Labor install	\$115.00	0.75 hr	\$ 86.25
14	Sale	STB03395-Boss	Curb Guard Kit, Driver Side, Straight Blade	\$205.99	1 ea	\$ 205.99
15	Sale	STB03394-Boss	Curb Guard Kit, Passenger Side, Straight Blade	\$205.99	1 ea	\$ 205.99
16	Sale	Labor	Labor install	\$115.00	0.35 hr	\$ 40.25

# Estimate

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 Email: Office@MTLLC.Net

Order #	Date
S132692	03/10/2026



Item #	Type	Number	Description	Unit Price	Qty Ordered	Total Price
17	Sale	30222-Brack	Headache Rack Mounting Kit; For Backrack Racks; Black; Cannot Be Used With Cross Bed Tool Box; Compatible With Tonneau Cover Adapter Brackets; No Drilling Required	\$119.95	1 ea	\$ 119.95
18	Sale	Labor	Labor install	\$115.00	1 hr	\$ 115.00
19	Sale	91002ECCO-MTT	Mini-Lightbar Bracket For Back Rack--painted black for 15" Mini Lightbar	\$120.95	1 ea	\$ 120.95
20	Sale	5587A-Ecco	LED Minibar: Reflex, 15", Zero Optic Dome, 12-24VDC, 18 Flash Patterns, Amber	\$290.95	1 ea	\$ 290.95
21	Sale	DT06-6S-Term	Plug Connector DT series	\$9.89	1 ea	\$ 9.89
22	Sale	0460-215-16141-Term	Solid Pin Terminal	\$2.09	6 ea	\$ 12.54
23	Sale	W6S-Term	Secondary Lock	\$1.19	1 ea	\$ 1.19
24	Sale	DT04-6P-Term	Receptacle DT-series	\$9.99	1 ea	\$ 9.99
25	Sale	0462-209-16141-Term	16-14 Ga. Deutsch Socket Terminal	\$2.39	6 ea	\$ 14.34
26	Sale	W6P-Term	Secondary Lock	\$1.19	1 ea	\$ 1.19
27	Sale	03228-Deka	3 Wire Gray Jacketed 16/3 Gauge Black Green White per foot	\$0.69	30 ea	\$ 20.70
28	Sale	Labor	Labor Install	\$115.00	2.5 hr	\$ 287.50
29	Sale	1492117-BP	4 INCH WIDE SQUARE LED FLOOD LIGHT, Five LEDs provide 1050 lumens of light, Backed with a 5 year warranty.	\$43.29	2 ea	\$ 86.58
30	Sale	03201-Deka	16/2 Gray Jacketed Duplex Wire White / Black Per Foot	\$0.69	30 ft	\$ 20.70
31	Sale	Labor	Labor Install	\$115.00	1.5 hr	\$ 172.50
32	Sale	415060-LUV	Grip Step 7" X 60" Black Aluminum Running Boards (No Brackets)	\$329.90	1 ea	\$ 329.90
33	Sale	401730-LUV	Running Board Brackets HD Rocker Mount	\$161.90	1 ea	\$ 161.90
34	Sale	Labor	Labor Install	\$115.00	1.25 hr	\$ 143.75
35	Sale	Labor	Labor Install	\$115.00	0.35 hr	\$ 40.25
36	Sale	C2-54-1342 EA38G-Maxon	1300lb capacity. 38" deep two piece aluminum platform. Direct fit gate. Galvanized finish on all steel componets. 150A circuit breaker protection. Standard smart toggle control.	\$3,671.90	1 ea	\$ 3,671.90

# Estimate

## Master Truck & Trailer, LLC

Hours Mon - Fri 7:00- 5:30  
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 Waukegan, IL 60087  
 Phone: 847-672-4703 Trailer shop 847-672-6072  
 Email: Office@MTLLC.Net

Order #	Date
<b>S132692</b>	03/10/2026



Item #	Type	Number	Description	Unit Price	Qty Ordered	Total Price
37	Shipping	Freight in Charge	Freight in Charge shipping on lift gate	\$210.00	1 ea	\$ 210.00
38	Sale	Welding Labor	Welding and Fabrication Labor fab up lower brackets for lift gate	\$145.00	1 hr	\$ 145.00
39	Sale	Labor	Labor Install	\$115.00	4.5 hr	\$ 517.50
40	Sale	1722551-Buyers	16x13x72 Textured Matte Black Diamond Tread Aluminum Topsider Truck Box	\$744.85	1 ea	\$ 744.85
41	Sale	Labor	Labor Install	\$115.00	1 hr	\$ 115.00
42	Sale	5626090-BP	60 Inch 90-LED Strip Light With 3M™ Adhesive Back - Clear And Warm	\$59.59	1 ea	\$ 59.59
43	Sale	03201-Deka	16/2 Gray Jacketed Duplex Wire White / Black Per Foot	\$0.69	25 ft	\$ 17.25
44	Sale	Labor	Labor install	\$115.00	1.5 hr	\$ 172.50
45	Sale	4410541VIM-Wtech	Floor Liner; FloorLiner™ HP; Black; Molded Fit With Underside Nibs; With Channels And Reservoir To Direct And Hold Fluids With Embossed WeatherTech Logo; Thermoplastic Elastomer (TPE) Injection Molded Material; 2 Piece	\$138.95	1 ea	\$ 138.95
46	Sale	Welding Supplies	Welding and Fab Supplies	\$12.95	1 ea	\$ 12.95
47	Sale	Shop	Shop Supplies	\$29.95	1 ea	\$ 29.95
48	Sale	Shop Fee	Shop Fee	\$3.95	1 ea	\$ 3.95

<b>Subtotal:</b>	<b>\$17,061.23</b>
<b>Sales Tax:</b>	<b>\$0.00</b>
<b>Total:</b>	<b>\$17,061.23</b>

Approval: \_\_\_\_\_ Date: \_\_\_\_\_

A finance charge of 2% per month will be added to all invoices past due. No merchandise returns without original invoice. All returns are subject to a 10% restocking fee. No refunds or exchanges electrical.

## Consider a Motion Authorizing the Village Manager to Purchase a Fire Administration Vehicle

### BACKGROUND:

As part of the Capital Vehicle Replacement Budget for 2026, the Village Council has appropriated \$62,000 for the replacement of one deputy fire chief vehicle. The existing vehicle (T-497) is a 2021 Dodge Ram 1500 with 37,000 miles and will be handed down within the fleet for an additional seven years of service. This truck is at the point where it is still reliable and physically clean, which makes it a viable candidate to replace the current training chief car, which has been repurposed twice and will be sold. The deputy fire chief vehicle is used for primary transport of the deputy chief as well as emergency response to incidents inside and outside Palatine. This vehicle is also used as a backup to the fire chief vehicle and battalion chief vehicle. It is crucial for this truck to be reliable and efficient.

### KEY ISSUES:

- Staff compared suitable replacement vehicles. At this time, the Village has a substantial number of pickup trucks, and smaller vehicles will be needed as hand-downs over the next five-year cycle. The Fire Department confirmed that a SUV would be a suitable replacement. A SUV accommodates their needs and will also save the Village in purchase funds and fuel usage compared to a pickup truck.
- Staff researched available options for replacement SUVs. At this time, there are three choices for suitable SUVs: the Ford Police Interceptor Utility, the Ford Explorer Active, and the Dodge Durango Pursuit.
- Based on cost comparisons, the Ford Explorer Active is the lowest cost. The hybrid and V6 Ford Police Interceptor Utility are both available through Bob Ridings for \$45,868. The Dodge Durango Pursuit is available through Sunnyside Company for \$40,179. The Ford Explorer Active is available through the Suburban Purchasing Cooperative (SPC) for \$40,027 and directly through Bob Ridings for \$39,753.
- The cost of this vehicle is \$39,753, which includes various options. Upfitting costs for emergency equipment will be \$8,500, for a total cost of \$48,253.

### BUDGET IMPACT:

Funds in the amount of \$62,000 have been appropriated in the 2026 Capital Vehicle Replacement Budget to accommodate this purchase. With the total proposed cost of \$48,253, the budgeted savings would be \$13,747.

### RECOMMENDATION:

Staff recommends authorizing the Village Manager to purchase one 2026 Ford Explorer

Active SUV from Bob Ridings Fleet Sales in the amount of \$39,753 and a total cost including upfitting not to exceed \$48,253.

**ACTION REQUIRED:**

Motion to authorize the Village Manager to purchase one 2026 Ford Explorer Active SUV from Bob Ridings Fleet Sales of Taylorville, Illinois in the amount of \$39,753 and upfitting for a total cost not to exceed \$48,253.

**ATTACHMENTS:**

1. 2026 Deputy Fire Chief Replacement Memorandum
2. Capital Budget Page
3. Bob Ridings Quote



**MEMORANDUM**

**To:** Matt Barry - Director of Public Works, Katie Lapid – Assistant Director of Public Works  
**From:** Jim Keats - Fleet Services Coordinator  
**Date:** 02/11/2026  
**Subject:** Capital Replacement of Deputy Fire Chief Vehicle

**Issue:** As part of the Capital Vehicle Replacement Budget for CY 2026, the Village Council has appropriated \$62,000 for the replacement of one deputy fire chief vehicle. The existing vehicle, T-497, a 2021 Ram with 37,000 miles, has reliably served as a deputy fire chief vehicle and will be handed down to the division training chief for an additional seven years of service. This truck is at the point where it is still reliable and physically clean which makes it a viable candidate to replace the current training chief car, which has been repurposed twice and will be sold. The deputy fire chief vehicle is used for primary transport of the deputy chief as well as emergency response to incidents inside and outside Palatine. This vehicle is also used as a backup to the fire chief vehicle and battalion chief vehicle. It is crucial for this truck to be reliable and efficient.

**Analysis:** With the help of the Fleet Division and Fire Department, research has been performed to collect any data and availability of a suitable replacement vehicle. First and foremost, is the style of the vehicle. At this time, the Village has a substantial number of pickup trucks and a wave a smaller vehicles will be needed as hand-downs over the next five-year cycle. The Fire Department confirmed that a SUV would be a suitable replacement. A SUV accommodates their needs and will also save the Village in purchase funds and fuel usage compared to a pickup truck.

There are two companies that make a suitable SUV: Ford and Dodge. Both companies offer co-op pricing. Fords are available on the Suburban Purchasing Cooperative. Dodges are available on the Southwest Conference of Mayors and the McHenry County Municipal Bid. Both brands were able to meet our specifications and match necessary options. Research and analysis was performed. Ford makes the Police Interceptor Utility in hybrid and non-hybrid models. Ford also offers a standard Explorer SUV. Dodge makes the Durango with two choices of engine. Maintenance cost research and conversations with other municipalities led us to choosing the Ford Explorer Active. This is the most fiscally responsible and economical choice for 2026 offerings. The Ford product meets the performance, warranty, and specifications required by the Fleet Division and Fire Department. This vehicle will be built for Palatine and delivered to Public Works.

The cost for the deputy fire chief SUV is \$39,753 with various options. Budgeted funds are \$62,000, leaving a balance of \$22,247. \$8,500 of the remaining balance will be used for outfitting the vehicle with emergency equipment by AVP in Volo, Illinois and by Fleet Division staff. The total cost for the SUV with upfitting is \$48,253, leaving an overall surplus of \$13,747.

**Comparisons:**

- 2026 Ford Police Interceptor Utility Hybrid - \$45,868 (Ridings - Zero Cost Hybrid until March)
- 2026 Ford Police Interceptor Utility V6 - \$45,868 (Ridings)
- 2026 Dodge Durango Pursuit V6 - \$40,179 (Sunnyside Company)
- 2026 Ford Explorer Active - \$40,027 (SPC Contract)

2026 Ford Explorer Active - \$39,753 (Ridings)

**Recommendation:** Staff recommends the Village Council approve the purchase of one 2026 Ford Explorer Active SUV from Bob Ridings Fleet Sales, 931 Springfield Rd, Taylorville, IL 62568 at a cost of **\$39,753.00**. Staff also recommends approval of **\$8,500.00** for emergency equipment upfitting by AVP Outfitting, 26575 Commerce Dr, Volo, IL 60073 and the Village of Palatine Fleet Division, for a total outlay of **\$48,253.00**.

**Attached:**

Capital Budget Project VE 0001, Ridings Quote, Chief Approval

2026 thru 2030

# Capital Improvement Plan

Palatine, IL

**Project #** VE 0001  
**Project Name** Fire Dept Vehicle Replacements

**Department** 44-Fire **Type** Equipment  
**Category** Vehicles & Equipment **Useful Life** 10 years  
**Account #** 401-44-75-6070 625

## Description

CY 2026

\$62,000 - T497 2021 Dodge Ram 1500 (Deputy Chief) (Replace with Dodge Ram or Equal)

CY 2027

\$315,000 - T449 2015 Braun Chief XL Ambulance (Remount on Ford Chassis)

61,625 - T449 Equipment (Cot, Load System, Stair Chair)

52,900 - T515 2022 Dodge Ram 1500 (Deputy Chief)(Replace with Dodge Durango or Equal)

CY 2028

\$78,680 - T462 2018 Ford Expedition (Battalion Chief)(Replace with full size SUV or Pickup)

CY 2029

\$1,309,525 - T389 2011 Crimson Pumper (Replace with Pierce Engine or equal)

409,375 - T460 2017 Ford F-550 Ambulance (Remount on Ford Chassis)

CY 2030

\$73,800 - T558 2025 Dodge Durango (Chief) (Replace with Dodge Ram or Equal)

## Justification

This program provides the planned replacement of necessary Fire Department vehicles in order to prevent obsolescence, maintain the functionality of the Department, and enhance operational efficiency.

Prior	Expenditures	2026	2027	2028	2029	2030	Total
1,155,590	Equipment	62,000	429,525	78,680	1,718,900	73,800	2,362,905
	<b>Total</b>	<b>62,000</b>	<b>429,525</b>	<b>78,680</b>	<b>1,718,900</b>	<b>73,800</b>	<b>2,362,905</b>

Prior	Funding Sources	2026	2027	2028	2029	2030	Total
1,155,590	401 - Capital Equipment	62,000	429,525	78,680	1,718,900	73,800	2,362,905
	<b>Total</b>	<b>62,000</b>	<b>429,525</b>	<b>78,680</b>	<b>1,718,900</b>	<b>73,800</b>	<b>2,362,905</b>

**Bob Ridings Fleet Sales**  
**Todd Crews, Fleet Sales Mgr.**  
**931 Springfield Rd**  
**Taylorville IL 62568**

Ph. 217-824-2207

Email toddfleet@aol.com

Fax 217-824-4252

Monday, March 09, 2026

JIM KEATS  
VILLAGE OF PALATINE  
148 W ILLINOIS ST  
PALATINE, IL 60067

Thank you for your inquiry about our Fleet Sales Program, please accept this letter to outline our bid. We are pleased you are again considering us for your new Durango and we can order it as follows. Note delivery is estimated in 90-120 days after your order, **ORDER DUE BY 3-30-26 or INQUIRE**, contact me with any questions and thanks,

- 1 2026 Ford Explorer Active 4dr 4x4 Utility 4x4 (K8D)**  
Includes all Active Standard Equipment, Package 100A  
(99H) 2.3 Litre EcoBoost 4 Cyl w/300hp, 10spd Automatic w/Rotary Dial Selector  
P255/65R18 All Season Tires w/Silver Aluminum Wheels, NO SPARE Tire (includes inflator kit)  
Front & Rear Air & Heat w/3 Zone Controls Front & Side Airbags  
4 Wheel Anti-Lock Brakes AdvanceTrac Stability Control System  
Power Windows/Locks/Mirrors/Keyless Remote w/2 Keys Cruise Control & Tilt Wheel  
Rear Liftgate w/Fixed Glass, Wiper & Defroster Privacy Glass Side & Rear Windows  
Front Bucket Seats, 2<sup>nd</sup> Row Split Bench, 3<sup>rd</sup> Row Folding (Stows in Floor)  
**NOW STANDARD Class III Trailer Pkg w/Hitch**  
**Power Driver Seat Intelligent Entry w/Pushbutton Start**  
**12" Touchscreen Control w/AM/FM Stereo w/Bluetooth, Rearview Camera**  
ALSO Ford Co-Pilot 360 Assist+ with Adaptive Cruise Control w/Stop & Go, Lane Centering,  
Auto High Beam Headlamps, BLIS Blind Spot System w/Cross Traffic Alert, Evasive Steering Assist,  
Intersection Assist, Lane-Keeping Alert & Assist & Driver Alert, Pre-Collision Assist w/Auto Emergency  
Braking, Forward Collision Warning w/Dynamic Brake Support, Pedestrian Detection, Rear Cross Traffic  
Braking, Reverse Sensing System & Reverse Brake Assist  
NOTE includes GPS Navigation with free access for 1 year then subscription required.  
Includes Apple Carplay and Android Auto which allow cell phone GPS on screen  
**(UM) Black Ext, (8H) Dk Gray Cloth Interior, Carpeted Floor w/Mats**  
BASE COST \$38,545.00  
ADD (76U) Compact Spare Tire & Jack \$375.00  
(17U) 40/20/40 2<sup>nd</sup> Row Seat  
(16A) All Weather Floor Liners \$150.00  
Deliver to your Location  
Document Fee \$367.00  
New Title & Passenger Lic \$316.00  
**YOUR COST, P/O # Pending \$39,753.00**

NOTE if this outline is incorrect in any way please call me IMMEDIATELY to correct it.  
Please contact me with any questions and thanks for your business!

Sincerely,

Todd Crews  
Fleet Sales Manager

## **Consider a Motion Authorizing the Village Manger to Purchase a Public Works Mobile Column Lift Set**

### **BACKGROUND:**

As part of the Capital Equipment Replacement Budget for 2026, the Village Council has appropriated \$60,000 in funds for the addition of a set of mobile column lifts. These lifts are used daily to raise trucks up and allow mechanics to work on the underside of trucks. They are sold in sets of four lifts, one for each whole position of a two-axle truck. The current post column lifts are Stertil Koni ST-1085-2FWA and the Village has enough to lift two heavy-duty vehicles. These lifts would be used to repair and maintain all public works divisional vehicles as well as fire apparatus. They are considered “mobile” in that they can be moved and set up in any location and can be moved to a variety of bays.

### **KEY ISSUES:**

- The lifts are typically sold in groups of four, but can be linked together into groups of up to twenty if needed for trucks with many axles. The current fleet of Village trucks includes some fire and dump trucks with three axles, which require six of these lifts to be linked together.
- Staff began its search for a like-in-kind post column lifts through current vendors and local dealers. Stertil Koni, Challenger, and Rotary were researched. Staff determined that identical Stertil Koni ST-1085-2FWA lifts best fit the needs and budget of the Village. Rotary and Challenger are reputable brands, but will not sync with our current wireless lifts in cases of triple-axle vehicle service or if a lift goes down due to battery or mechanical failure. The existing lifts have been trouble-free and easy to maintain over the years.
- There is a Sourcewell joint-purchase contract for these lifts. Staff requested a quote from the distributor, SLE Technologies, Incorporated of Maxwell, Indiana. The total cost is \$59,285.

### **BUDGET IMPACT:**

Funds in the amount of \$60,000 have been appropriated in the 2026 Capital Equipment Replacement Budget to accommodate this purchase. With the total proposed cost of \$59,285, the budgeted savings would be \$715.

### **RECOMMENDATION:**

Staff recommends authorizing the Village Manager to purchase one set of Stertil Koni mobile column lifts through the Sourcewell contract from SLE Technologies in the amount of \$59,285.

### **ACTION REQUIRED:**

Motion to authorize the Village Manager to purchase one set of Steril Koni mobile column lifts through the Sourcewell Contract #121223-SKI from SLE Technologies, Incorporated of Maxwell, Indiana in the amount of \$59,285.

**ATTACHMENTS:**

- 1. 2026 Mobile Column Lifts Purchase Memorandum
- 2. Capital Budget Page
- 3. SLE Technologies Proposal

**MEMORANDUM**

**To:** Matt Barry, Director of Public Works  
Katie Lapid, Assistant Public Works Director

**From:** Jim Keats, Fleet Services Coordinator  
Dan Neyfeldt, Public Works Superintendent

**Date:** March 10, 2026

**Subject:** Addition of Public Works Mobile Column Lifts

**Issue:** As part of the Capital Equipment Replacement Budget for CY 2026, the Village Council has appropriated **\$60,000** in funds for the addition of a set of mobile post column lifts. These lifts are used daily to raise trucks up and allow mechanics to work on the underside of trucks. They are sold in sets of four lifts, one for each wheel position of a two-axle truck. The current post column lifts are Stertil Koni ST-1085-2FWA. The Fleet Division currently has enough to lift two heavy-duty vehicles. These lifts would be used to repair and maintain all public works divisional vehicles as well as fire apparatus. They are considered “mobile” in that they can be moved and set up in any location and can be moved to a variety of bays. The fleet plan is to utilize these lifts mainly in bay 5 east to achieve the ability to service another heavy-duty vehicle. Bay 5 east currently does not have a lift of any kind.

**Analysis:** The lifts are typically sold in groups of four, but can be linked together into groups of up to twenty if needed for trucks with many axles. The current fleet of Village trucks includes some fire and dump trucks with three axles, which require six of these lifts to be linked together.



Staff began its search for a like-in-kind post column lifts through current vendors and local dealers. Stertil Koni, Challenger, and Rotary were researched. The Fleet Division found that identical Stertil Koni ST-1085-2FWA lifts best fit the needs and budget of Palatine. Rotary and Challenger are reputable brands, but will not sync with our current wireless lifts in cases of triple-axle vehicle service or if a lift goes down

due to battery or mechanical failure. The Stertil Koni product has been trouble-free and easy to maintain over the past six years. Stertil Koni is highly regarded by the municipal industry and has a history of low failure and easy to deal with customer service. Staff prefers the high quality and that all Fleet employees are already trained in safety and operation of said lifts.

**Recommendation:** Staff recommends the Village Council approve the purchase of one set of four Stertil Koni ST-1085-2FWA wireless mobile post column lifts through Sourcewell Contract #121223-SKI from SLE Technologies, Inc., 212 N Main St, Maxwell, IN 46154 for a cost of **\$59,285**. Delivery and setup is included with this quote. Budgeted funds are \$60,000, which will leave a savings of \$715.

**Attachments:** SLE Quote, Sourcewell Contract, VE0004

# Capital Improvement Plan

## Palatine, IL

**Project #** VE 0004  
**Project Name** Public Works Equipment Replacements

**Department** 52-Public Works **Type** Equipment  
**Category** Vehicles & Equipment **Useful Life** 10 years  
**Account #** 401-52-75-6070 625

### Description

CY 2026 Replacements

- \$60,000 - Truck Mobile Column Lift (4)
- 35,000 - E111 2006 Forklift (Replace with same)
- 11,475 - E204 2011 12' Snow Pusher (Replace with same)

2027 Planned Purchases include replacement of one surveying total station, one end loader, two generators, one air compressor, one trailer, one chipper, one A/C refrigerant machine, one asphalt paver machine, and one asphalt paver trailer.

### Justification

This program provides the planned replacement of necessary Public Works operating equipment in order to prevent obsolescence, maintain the functionality of the Department, and enhance operational efficiency.

Prior	Expenditures	2026	2027	2028	2029	2030	Total
626,850	Equipment	106,475	1,151,750	625,000	951,070	37,405	2,871,700
	<b>Total</b>	<b>106,475</b>	<b>1,151,750</b>	<b>625,000</b>	<b>951,070</b>	<b>37,405</b>	<b>2,871,700</b>

Prior	Funding Sources	2026	2027	2028	2029	2030	Total
626,850	401 - Capital Equipment	106,475	1,151,750	625,000	951,070	37,405	2,871,700
	<b>Total</b>	<b>106,475</b>	<b>1,151,750</b>	<b>625,000</b>	<b>951,070</b>	<b>37,405</b>	<b>2,871,700</b>



## Consider a Motion to Approve the Rebuild of the Backup Generator Engine at the Police Headquarters

### BACKGROUND:

The generator at the Police Headquarters (G-026) is a 2011 Cummins Model GTA28 725 kilowatt natural gas generator. It provides emergency backup power to the entire building. The engine needs to be rebuilt as it has several cracked cylinder heads and broken valvetrain components, which is preventing it from starting.

### KEY ISSUES:

- This generator was originally scheduled to be replaced in 2037. The exact cause of the breakdown is unknown, but likely due to either an extreme rush of below zero air during a test run or the engine overheating and stress cracks became severe enough to inhibit proper compression and temperature control.
- Staff recommends rebuilding through Industrial Engine Company due to their familiarity with the engine and their involvement in diagnosing the repair need.
- The engine will be reassembled with rebuilt cylinder heads and associated parts and all safety shutdown components will be tested.

### BUDGET IMPACT:

The repair of this standby generator is not a budgeted item. Staff recommends utilizing capital equipment savings generated with recent vehicle orders in an amount of \$60,395 to primarily fund this unscheduled but urgent need. The remaining \$24,750.25 could be funded from the Police Headquarters building annual capital maintenance program. Replacing the generator in its entirety would be an estimated \$500,000 to \$600,000 for a similar unit, plus labor costs for installation.

### RECOMMENDATION:

Staff recommends approving the rebuild of the Police Headquarters generator engine by Industrial Engine Company in the total amount not to exceed \$85,145.25.

### ACTION REQUIRED:

Motion to approve the rebuild of the Police Headquarters generator engine by Industrial Engine Company in the total amount not to exceed \$85,145.25.

### ATTACHMENTS:

None

## Consider a Motion Authorizing the Village Manager to Enter Into Contracts for the Demolition of 21 W. Railroad Avenue

### BACKGROUND:

The Village recently acquired 21 West Railroad Avenue. The structure on the property is not in a condition appropriate for reuse and demolition is recommended. There are property maintenance conditions which would not be conducive to holding the property as-is. Demolition would occur this spring and allow the property to be restored to turf until a more permanent use or condition can be selected.

### KEY ISSUES:

- Shortly after acquisition of the property, staff hired Geo-Logic Associates to perform a universal waste assessment as asbestos-containing materials were suspected. Asbestos was identified in places, specifically roof shingles, which make pre-demolition abatement of this special waste difficult given the condition of the structure.
- Staff recommends an approach where abatement occurs as part of the demolition process.
- This requires certain regulatory notifications, containment setup, removal, disposal, and clearance coordination to support demolition while in progress and regulatory closure.
- It is recommended that Geo-Logic be hired to maintain regulatory compliance, minimize potential exposure risks, and work directly with a demolition contractor. Their costs to coordinate turnkey abatement services associated with the demolition are \$40,995.
- Strategic Demolition and Excavation has been selected as the preferred demolition vendor based on their ability to work uniquely with in-process abatement. Their demolition cost is \$39,200.

### BUDGET IMPACT:

\$75,000 was budgeted from the Downtown TIF District for this work. The additional funds needed to accommodate this work are recommended to come from other Downtown TIF projects. The Village recently identified over \$50,000 in budget savings associated with our cost sharing of environmental issues at the CLU building which can support this work.

### RECOMMENDATION:

It is recommended the Village Manager be authorized to enter into contracts for demolition of 21 West Railroad Avenue with Geo-Logic Associates and Strategic Demolition and Excavation in a total cost of \$80,195.

**ACTION REQUIRED:**

Motion to authorize the Village Manager to enter into contracts for demolition of 21 West Railroad Avenue with Geo-Logic Associates and Strategic Demolition and Excavation in a total cost of \$80,195.

**ATTACHMENTS:**

1. GLA CO1\_VOP\_Railroad Ave\_ACM Abatement
2. Scan2026-01-19\_142637

February 5, 2026

Mr. Matt Barry  
Director of Public Work  
Village of Palatine  
200 East Wood Street  
Palatine, Illinois 60067

**Subject: Change Order for Asbestos Containing Materials Abatement  
21 West Railroad Avenue, Palatine, Illinois 60067  
GLA Proposal No. IL25.1117.PR**

Geo-Logic Associates (GLA) is pleased to provide the Village of Palatine (Village) with this change order to provide environmental services for the property located at 21 West Railroad Avenue, Palatine, Illinois (the site). The following describes the proposed scope of work, associated fees, and anticipated schedule.

GLA's pre-demolition Building Materials Assessment (BMA) revealed the presence of asbestos-containing materials (ACM) associated with the site building. This change order outlines the scope of services, regulatory compliance framework, and approach for safely removing and disposing of identified ACM in accordance with applicable federal, State of Illinois, and Cook County requirements.

GLA proposes to provide turnkey ACM abatement services, including regulatory notifications, containment setup, removal, disposal, and clearance coordination, to support subsequent demolition activities. The identified ACM must be properly removed prior to disturbance to maintain regulatory compliance and minimize potential exposure risks.

### **SCOPE OF WORK**

GLA will provide the services described below. All work will be performed in accordance with applicable regulations, including U.S. EPA NESHAP (40 CFR Part 61, Subpart M), OSHA Asbestos Standards (29 CFR 1926.1101 and 1910.1001), Illinois EPA asbestos regulations (35 Ill. Adm. Code Part 142), and Illinois Department of Public Health licensing requirements, as well as applicable Cook County and local municipal requirements. All abatement personnel will be properly licensed, trained, and medically monitored.

## Task 1 – Pre-Abatement Activities

Prior to commencing any asbestos abatement work, GLA will complete all required regulatory notifications and obtain all necessary permit in full compliance with applicable federal, state, and local regulations. These pre-abatement activities include the following:

- IEPA Asbestos Project Notification: GLA shall prepare and submit the *Demolition/Renovation/Asbestos Project Notification Form* to the Illinois Environmental Protection Agency (IEPA) in accordance with the IEPA asbestos regulations and the National Emission Standards for Hazardous Air Pollutants (NESHAP). The notification will include all required project details, including scope of work, estimated quantities of regulated ACM, project schedule, and contractor information. ***The IEPA notification and associated fees must be submitted no less than 10 working days prior to the commencement of regulated asbestos abatement activities.*** Documentation of submission, including proof of payment and IEPA acknowledgement, shall be provided to the Village prior to mobilization.
- Cook County Asbestos Abatement Permit: In addition to the state notification, GLA shall apply for and obtain an *Asbestos Abatement Permit* from the Cook County Department of Environment and Sustainability through the Cook County Electronic Permit Processing Portal. ***Asbestos abatement projects in Cook County require a permit application to be filed at least 10 working days before the start of work, including payment of applicable filing and inspection fees.*** The permit application will be submitted electronically via the County's portal in accordance with current Cook County requirements, and shall include all supporting documents and project information necessary for permit issuance. GLA will be responsible for resolving any deficiencies identified during the permit review process and for securing final permit approval before beginning abatement activities.

## Task 2 – Abatement Operations

Asbestos abatement of Category II Non-Friable asbestos-containing materials (ACMs) will be conducted by an Illinois Department of Public Health (IDPH) licensed contractor. The scope of work includes the removal and disposal of the exterior cementitious siding from all exterior surfaces of the building, removal of shingled awning with asbestos-containing tar, and the removal of approximately 10 linear feet of miscellaneous glue from the 2nd Floor.

All asbestos abatement work will be conducted within a regulated work area. The abatement work will be completed in accordance with National Emission Standards for Hazardous Air Pollutants (NESHAP) regulations prior to the demolition of the building by others. The work will be completed under one mobilization. All work will be performed by union laborers licensed by the IDPH. All asbestos waste will be disposed of at an EPA-permitted landfill. Any non-asbestos building debris resulting from asbestos abatement activities will remain on-site for disposal by the demolition contractor.

### **Task 3 – Waste Transportation and Disposal**

All asbestos-containing waste will be packaged and labeled in accordance with regulatory requirements and transported from the site by a licensed asbestos waste hauler. Disposal will occur at an approved asbestos landfill. Waste shipment records will be maintained and provided to the Village as part of the project closeout documentation.

### **Task 4 – Post-Abatement Activities**

Upon completion of removal activities, abated areas will undergo a visual inspection to confirm satisfactory completion of work. Third-party clearance air monitoring will also be performed. Following successful clearance, containment systems will be dismantled and removed, and affected areas will be returned in a condition suitable for subsequent project phases. A final documentation package, including waste manifests and a completion summary, will be provided.

### **Task 5 – Project Management**

GLA will provide dedicated project management services throughout the duration of the ACM abatement project. John P. Low, P.G. will serve as the primary point of contact for the Village and will be responsible for overall coordination, scheduling, and quality control. Project management services will include coordination with the Village and other project stakeholders, confirmation of site access and sequencing, oversight of regulatory notifications, and management of subcontractors such as a third-party air monitoring firm.

The Project Manager will monitor field activities for conformance with regulatory requirements and project specifications, and facilitate resolution of any unforeseen conditions encountered during the work. Regular communication will be maintained with the Village regarding project status, schedule, and any changes in scope. Upon completion of field activities, the Project Manager will compile and deliver the final project documentation package, including waste manifests, clearance results, and a completion summary.

### **ASSUMPTIONS**

This proposal is based on information obtained during the initial assessment and assumes normal working hours, unobstructed access to affected areas, and that no additional ACM beyond what has been identified will be encountered. Structural demolition, repair or replacement of finishes following abatement, and remediation of non-asbestos environmental conditions are excluded unless otherwise authorized. Any unforeseen conditions or additional ACM will be addressed through a written change order.

The following items are expected to be performed by others, and costs for each are not included within this change order:

- Site security,
- Removal of roofing materials,
- Access to the site, and
- Access to water, as needed.

## SCHEDULE

Abatement activities will commence approximately ten business days following securing the Cook County permit and acceptance of the IEPA notification. Field activities are anticipated to require approximately three days, depending on final quantities, site access, and clearance requirements. A detailed schedule will be provided upon authorization to proceed.

## ESTIMATED BUDGET and PROPOSAL ACCEPTANCE

A budget of **\$40,995** is recommended for the services described herein. Deviations from the scope, if they occur, will be discussed and approved in writing prior to implementing. The Village will be charged only for services and materials used at the unit rates listed in the GLA 2026 Fee Schedule attached to the Client Professional Services Agreement (Agreement) that was executed on December 17, 2025.

A further breakdown of estimated costs per task is provided below:

Task	GLA Labor	GLA ODCs	GLA Subs	Total
Task 1 - Pre-Abatement Activities	\$285	\$0	\$0	\$285
Task 2/3 - Abatement Operations & Waste Transportation and Disposal	\$3,750	\$425	\$35,400	\$39,575
Task 4 – Post Abatement Activities	\$285	\$0	\$0	\$285
Task 5 – Project Management	\$850	\$0	\$0	\$850
Total:	\$5,170	\$425	\$35,400	<b>\$40,995</b>

GLA will complete the services described on a time-and-materials basis, in accordance with the terms and conditions provided in the Agreement. If this change order is acceptable, please execute below and return to GLA as authorization to proceed.

GLA is a client-oriented consulting firm. We are, therefore, receptive to your needs regarding proposal modifications when they do not compromise the quality of our professional services. Furthermore, we are receptive to your review and comments regarding the proposed environmental services and would welcome the opportunity to discuss our strategy and rationale, if needed.

Thank you for the continued opportunity to provide environmental services to the Village. If you have any questions regarding this proposal, please contact me at 907-351-2781 or via e-mail at jlow@geo-logic.com.

Sincerely,  
**Geo-Logic Associates**



John P Low, P.G.  
Principal Geologist

**CLIENT: VILLAGE OF PALATINE**

Signature: \_\_\_\_\_

By: Reid T. Ottesen

It's: Village Manager

**CLIENT INFORMATION**

Date: 01/19/26  
Client Name: Village Of Palatine To: Adam Begale  
Address: 148 W. Illinois Ave Palatine, IL 60067-6816  
Phone Number: (847) 705-5200  
Email: abegale@palatine.il.us

**PROJECT INFORMATION**

Project Name: 21 W Railroad  
Project Address: 21 W Railroad  
Project Number:

**PROJECT OVERVIEW**

Strategic Demolition & Excavation proposes to provide all heavy equipment, labor, tools, materials, hauling, and supervision necessary to complete the project described herein in accordance with the Scope of Work and General Conditions herein.

**SCOPE OF WORK**

Demolition & Debris removal of the existing building located at 21 W Railroad Ave.  
Remove all Footings, Slabs & Foundations.  
Backfill Basement & voids with clean fill and top 6 inches to be covered with 6 inches of Topsoil.

Alternate A: Use brick from foundation on site for Backfill. Machine will track down & minimize brick for backfill. Credit = (\$ 1,750.00)

Alternate B: Use clean fill to backfill remaining basement & voids without 6 inches Pulverized Topsoil  
Credit = (\$ 1,800.00)

**PAYMENT TERMS**

Written Amount: Total: Thirty-Nine Thousand Two Hundred and 00/100  
Alternate A: Thirty-Seven Thousand Four Hundred Fifty and 00/100  
Alternate B: Thirty-Seven Thousand Four Hundred and 00/100

Numeric Amount: Total : \$39,200.00 Alternate A = \$ 37,450.00 Alternate B = \$37,400.00

### **SERVICES TO BE PROVIDED BY OTHERS**

- Asbestos survey as required for permit unless included in scope
- Salvage and transportation of owner-claimed items unless listed in Scope
- Storm Water Pollution Prevention, silt fence, or erosion control
- Vibration monitoring or pre-construction surveys
- Utility transformer relocation or specialty utility equipment
- Owner to close utility accounts and provide meter numbers
- Water and sewer service disconnection unless expressly included

### **GENERAL CONDITIONS**

1. Payment and Performance Bonds are not included.
2. Proposal assumes one mobilization; extras billed accordingly.
3. This proposal becomes an exhibit to the executed contract.
4. No environmental testing or remediation included unless specified.
5. No hazardous waste removal included.
6. Building must be completely empty of garbage and personal items before demolition.
7. No fence installation or removal included.
8. No tree removal included.
9. Utility disconnection fees are excluded except one gas service unless otherwise stated.
10. Permit fees excluded.
11. No work outside the property boundaries.
12. No engineering or protection of adjacent buildings included.
13. No site restoration included unless listed in Scope.
14. Dewatering and pumping excluded.
15. Shoring or bracing excluded.
16. Contractor holds harmless the Owner/Architect/GC except for proven negligence.
17. Proposal is binding upon acceptance.
18. Contractor may use any safe and industry-accepted demolition method.

**GENERAL CONDITIONS (CONTINUED)**

19. Proposal assumes no change in building condition after date of proposal.
20. Contractor not responsible for adequacy of plans/specifications provided by others.
21. Only written scope items are included.
22. Extra work requires signed approval; markup applies.
23. Owner warrants authority to enter into this Agreement.
24. Contractor may rescind if structure is damaged prior to start.
25. Contractor not liable for delays due to weather, strikes, or events beyond control.
26. Proposal assumes structure is not bonded to adjacent buildings.
27. Party wall conditions not included unless specified.
28. Engineering for party wall protection billed extra.
29. Owner responsible for attorney or collection fees.
30. Late payments accrue interest as permitted by law.
31. Contractor not responsible for hazardous or special waste.
32. Contractor not responsible for unknown subsurface conditions.
33. Contractor not responsible for damage caused by heavy equipment access.
34. Foundation removal adjacent to sidewalks/utilities may be limited.
35. Delays caused by other trades or access issues billed extra.
36. Cancellation requires payment of all costs incurred plus overhead and profit.

**PAYMENT SCHEDULE**

Down Payment: 0

Balance Upon Completion: Full Contract Amount

**ACCEPTANCE**

Signature of this Agreement represents approval of all terms and authorization to proceed.

**CLIENT ACCEPTANCE**

Signature:

Printed Name:

Title:

Date:

**CONTRACTOR ACCEPTANCE**

Strategic Demolition & Excavation

Signature: *Michael Di Silvio*

Printed Name: *Michael Di Silvio*

Title: *President*

Date: *01/19/26*

## Village of Palatine

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Village Clerk

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Mayor

Warrant # 6 having been approved by the Village Council on 03-16-26 hereby authorizes the Treasurer to deposit funds from the accounts indicated below

		Check/ACH Disbursements	Electronic (EFT/W-T) Disbursements	Manual Checks	UB Refunds Processed	Fund Expense
General Fund	100	798,470.69	25,359.59	-	-	823,830.28
State Equitable Sharing Fund	222	5,520.00	-	-	-	5,520.00
Downtown TIF Fund	233	(2,025.00)	-	-	-	(2,025.00)
Rand Corridor TIF Fund	234	500.00	-	-	-	500.00
Capital Equipment Fund	401	-	901.74	-	-	901.74
Capital Improvements Fund	402	3,550.41	-	-	-	3,550.41
Water Fund	605	291,361.65	3,439.06	-	2,384.94	297,185.65
Sewer Fund	610	2,403.86	935.88	-	-	3,339.74
Refuse Fund	615	91,693.23	280,899.45	-	-	372,592.68
Parking Fund	620	8,514.62	462.30	-	-	8,976.92
Fleet Services Fund	710	59,018.83	2,234.55	-	-	61,253.38
<b>Total Report</b>		<b>1,259,008.29</b>	<b>314,232.57</b>	-	<b>2,384.94</b>	<b>1,575,625.80</b>

Invoice Number	Invoice Description	Status	Held Reason	Invoice Date	Due Date	G/L Date	Received Date	Payment Date	Invoice Net Amount	
<b>Vendor 5391 - 360 Hazardous Cleanup, LLC</b>										
1792	Jail Cell Cleanup	Open		02/26/2026	03/16/2026	03/09/2026			175.00	
							Vendor 5391 - 360 Hazardous Cleanup, LLC Totals	Invoices	1	<u>\$175.00</u>
<b>Vendor 1299 - A-Appraisals</b>										
PRV26-07	COMMUNITY DEVELOPMENT COMMERCIAL COMPS FOR RAND ROAD,	Open		03/06/2026	04/05/2026	03/06/2026			500.00	
							Vendor 1299 - A-Appraisals Totals	Invoices	1	<u>\$500.00</u>
<b>Vendor 1553 - Acme Truck &amp; Brake Supply</b>										
01_516997	Parts - T-373	Open		02/19/2026	03/21/2026	02/19/2026			259.90	
01_518063	Parts - T-412	Open		02/25/2026	03/27/2026	02/25/2026			37.19	
							Vendor 1553 - Acme Truck & Brake Supply Totals	Invoices	2	<u>\$297.09</u>
<b>Vendor 5416 - Advance Auto Parts</b>										
6432535262089	Credit Memo	Open		02/01/2026	03/19/2026	02/19/2026			(109.02)	
6432604836138	Parts - T-515	Open		02/17/2026	03/19/2026	02/19/2026			309.86	
6432604864000	Parts - T-485	Open		02/17/2026	03/19/2026	02/19/2026			189.96	
6432605036212	Parts - STOCK	Open		02/19/2026	03/21/2026	02/19/2026			110.89	
6432605564220	Parts - Stock	Open		02/24/2026	03/26/2026	02/25/2026			293.34	
6432605564225	Parts - Stock	Open		02/24/2026	03/26/2026	02/25/2026			89.16	
6432605764319	Parts - PT-225	Open		02/26/2026	03/28/2026	03/09/2026			320.65	
6432606136491	Parts - STOCK	Open		03/02/2026	04/01/2026	03/09/2026			431.37	
6432606464559	Parts - STOCK	Open		03/05/2026	04/04/2026	03/09/2026			838.16	
6432606464560	Parts - T-469	Open		03/05/2026	04/04/2026	03/09/2026			12.25	
							Vendor 5416 - Advance Auto Parts Totals	Invoices	10	<u>\$2,486.62</u>
<b>Vendor 4746 - Advanced Tree Care</b>										
44823	2026 Parkway Tree Trimming Program DPW- 2661-Area 1	Open		02/19/2026	03/21/2026	02/20/2026			38,555.27	
44824	2026 Parkway Tree Trimming Program DPW- 2661-Area 2	Open		02/19/2026	03/21/2026	02/20/2026			5,372.00	
44825	2026 Parkway Tree Trimming Program DPW- 2661-Area 3	Open		02/19/2026	03/21/2026	02/20/2026			19,439.37	
44830	2026 Parkway Tree Trimming Program DPW- 2661-Area 4	Open		02/21/2026	03/23/2026	02/23/2026			11,462.94	
44831	2026 Parkway Tree Trimming Program DPW- 2661-Area 5	Open		02/21/2026	03/23/2026	02/23/2026			18,220.29	



# Warrant #6

Invoice Due Date Range 01/01/26 - 04/07/26  
 Report By Vendor - Invoice  
 Summary Listing

Invoice Number	Invoice Description	Status	Held Reason	Invoice Date	Due Date	G/L Date	Received Date	Payment Date	Invoice Net Amount
44832	2026 Parkway Tree Trimming Program DPW-2661-Area 6	Open		02/21/2026	03/23/2026	02/23/2026			13,847.46
44845	2026 Parkway Tree Trimming Program DPW-2661	Open		02/25/2026	03/27/2026	03/09/2026			20,824.29
44846	2026 Parkway Tree Trimming Program DPW-2661	Open		02/25/2026	03/27/2026	03/09/2026			36,032.20
Vendor <b>4746 - Advanced Tree Care</b> Totals							Invoices	8	<u>\$163,753.82</u>
Vendor <b>5350 - Airespring Inc</b>									
206104968	Phone and Internet Service	Open		03/01/2026	03/14/2026	02/27/2026			1,905.49
Vendor <b>5350 - Airespring Inc</b> Totals							Invoices	1	<u>\$1,905.49</u>
Vendor <b>2611 - Al Warren Oil Co</b>									
W1824983	Motor Fuel	Open		03/03/2026	04/02/2026	02/25/2026			15,129.33
W1824984	Motor Fuel	Open		03/03/2026	04/02/2026	02/25/2026			2,737.93
Vendor <b>2611 - Al Warren Oil Co</b> Totals							Invoices	2	<u>\$17,867.26</u>
Vendor <b>2718 - Alexander Chemical Corporation</b>									
105331	Water Treatment Chemical Rental Fee	Open		02/25/2026	03/27/2026	03/06/2026			364.50
Vendor <b>2718 - Alexander Chemical Corporation</b> Totals							Invoices	1	<u>\$364.50</u>
Vendor <b>3060 - Allegra Print &amp; Imaging</b>									
107410	PZ postcards	Open		02/23/2026	03/24/2026	02/17/2026			153.05
Vendor <b>3060 - Allegra Print &amp; Imaging</b> Totals							Invoices	1	<u>\$153.05</u>
Vendor <b>2496 - Altorfer Industries, Inc</b>									
P56C0078936	Parts - STOCK	Open		02/25/2026	03/27/2026	03/09/2026			258.11
Vendor <b>2496 - Altorfer Industries, Inc</b> Totals							Invoices	1	<u>\$258.11</u>
Vendor <b>3448 - Anderson Glass Tinting</b>									
944112	Squad Window Tinting	Open		02/17/2026	03/16/2026	03/09/2026			220.00
Vendor <b>3448 - Anderson Glass Tinting</b> Totals							Invoices	1	<u>\$220.00</u>
Vendor <b>4450 - Approved Tree Care &amp; Landscape Service Inc</b>									
21178	Tree Removal-244 N. Hale	Open		03/06/2026	04/05/2026	03/11/2026			1,400.00
Vendor <b>4450 - Approved Tree Care &amp; Landscape Service Inc</b> Totals							Invoices	1	<u>\$1,400.00</u>
Vendor <b>5021 - Arlington Heights Ford LLC</b>									
173770H	Parts - T-511	Open		02/16/2026	03/18/2026	02/19/2026			574.81
174106H	Parts - T-489	Open		02/19/2026	03/21/2026	02/19/2026			4.22
216409	Repairs - T-459	Open		02/20/2026	03/22/2026	02/25/2026			249.95
174544H	Parts - STOCK	Open		03/02/2026	04/01/2026	03/09/2026			344.14

Invoice Number	Invoice Description	Status	Held Reason	Invoice Date	Due Date	G/L Date	Received Date	Payment Date	Invoice Net Amount
215976	Repairs - T-488	Open		03/02/2026	04/01/2026	03/09/2026			5,824.58
174645H	Parts - T-495	Open		03/03/2026	04/02/2026	03/09/2026			3.28
174708H	Parts - T-495	Open		03/04/2026	04/03/2026	03/09/2026			25.96
Vendor <b>5021 - Arlington Heights Ford LLC</b> Totals							Invoices	7	<u>\$7,026.94</u>
Vendor <b>3058 - Matt D Barry</b>									
2026-00000227	Wellness 2026 - Healthy Lifestyle Challenge Winner	Open		03/10/2026	03/10/2026	03/10/2026			150.00
Vendor <b>3058 - Matt D Barry</b> Totals							Invoices	1	<u>\$150.00</u>
Vendor <b>1101 - Beverly Materials LLC</b>									
331504	Wash Stone-WMB Restoration Repair	Open		02/21/2026	03/23/2026	02/18/2026			1,765.18
331685	Wash Stone & Limestone-WMB Restoration Repair	Open		02/28/2026	03/02/2026	03/06/2026			1,752.94
Vendor <b>1101 - Beverly Materials LLC</b> Totals							Invoices	2	<u>\$3,518.12</u>
Vendor <b>5746 - Daniel Bon Durant</b>									
DBD012526	CompTia A+ Core 1 exam	Open		01/25/2026	01/25/2026	03/09/2026			185.50
DBD030726	CompTIA A+ Study Content	Open		03/07/2026	03/07/2026	03/09/2026			30.00
Vendor <b>5746 - Daniel Bon Durant</b> Totals							Invoices	2	<u>\$215.50</u>
Vendor <b>2243 - Bristol Hose &amp; Fitting</b>									
3601178	Parts - Stock	Open		02/24/2026	03/26/2026	02/25/2026			494.84
Vendor <b>2243 - Bristol Hose &amp; Fitting</b> Totals							Invoices	1	<u>\$494.84</u>
Vendor <b>4850 - Builders Asphalt, Llc</b>									
184332	UPM Cold Patch	Open		02/18/2026	03/20/2026	02/17/2026			2,369.50
Vendor <b>4850 - Builders Asphalt, Llc</b> Totals							Invoices	1	<u>\$2,369.50</u>
Vendor <b>2650 - Case Lots</b>									
6564	Antibac Hand Soap,Black Can Liners,Multifold Towels,Laundry Det	Open		02/18/2026	03/20/2026	02/18/2026			1,059.60
Vendor <b>2650 - Case Lots</b> Totals							Invoices	1	<u>\$1,059.60</u>
Vendor <b>5218 - Casey Automotive</b>									
CM44897	Credit Memo	Open		01/06/2026	03/22/2026	02/25/2026			(3.29)
430392	Repairs - T-485	Open		02/16/2026	03/18/2026	02/19/2026			1,322.58
430550	Repairs - C-369	Open		02/20/2026	03/22/2026	02/25/2026			69.48
Vendor <b>5218 - Casey Automotive</b> Totals							Invoices	3	<u>\$1,388.77</u>
Vendor <b>2732 - CDW Government Inc</b>									
AI1QS8Y	ADOBE LICENSE	Open		02/16/2026	03/18/2026	02/27/2026			88.00
Vendor <b>2732 - CDW Government Inc</b> Totals							Invoices	1	<u>\$88.00</u>



# Warrant #6

Invoice Due Date Range 01/01/26 - 04/07/26  
 Report By Vendor - Invoice  
 Summary Listing

Invoice Number	Invoice Description	Status	Held Reason	Invoice Date	Due Date	G/L Date	Received Date	Payment Date	Invoice Net Amount
<b>Vendor 4968 - Cellebrite Inc</b>									
INVUS296152	Inseyets Pro Subscription Fees (03/05/26 - 03/04/27)	Open		03/04/2026	03/16/2026	03/09/2026			10,740.00
INVUS296157	Inseyets Pro Subscription Fees (03/05/26 - 03/04/27)	Open		03/04/2026	03/16/2026	03/09/2026			5,520.00
<b>Vendor 4968 - Cellebrite Inc Totals</b>							Invoices	2	\$16,260.00
<b>Vendor 2555 - Chicago Parts &amp; Sound</b>									
40V0106605	Parts - T-459	Open		02/19/2026	03/21/2026	02/19/2026			194.46
40V0108981	Parts - T-494	Open		02/26/2026	03/28/2026	02/25/2026			73.42
40V0109352	Parts - T-494	Open		02/27/2026	03/29/2026	02/25/2026			139.38
<b>Vendor 2555 - Chicago Parts &amp; Sound Totals</b>							Invoices	3	\$407.26
<b>Vendor 3050 - Cintas #22</b>									
4260314992	CSF Carpets	Open		02/20/2026	03/22/2026	02/18/2026			160.00
4260315014	Uniform Cleaning	Open		02/20/2026	03/22/2026	02/18/2026			160.06
4260315022	Shop Rags	Open		02/20/2026	03/22/2026	02/18/2026			18.07
4260536558	Village Hall Carpets	Open		02/23/2026	03/25/2026	03/03/2026			155.79
4261032559	Uniform Cleaning	Open		02/26/2026	03/28/2026	03/03/2026			137.34
4261032583	Shop Rags	Open		02/26/2026	03/28/2026	03/03/2026			18.07
4261887437	Shop Rags	Open		03/06/2026	04/05/2026	03/03/2026			18.07
4261887492	CSF Carpets	Open		03/06/2026	04/05/2026	03/03/2026			160.00
4261887530	Uniform Cleaning	Open		03/06/2026	04/05/2026	03/03/2026			190.80
<b>Vendor 3050 - Cintas #22 Totals</b>							Invoices	9	\$1,018.20
<b>Vendor 4568 - CivicPlus</b>									
361751	Code Recodification Payment	Open		01/31/2026	03/02/2026	03/05/2026			5,305.24
363335	Civic Agenda, Annual Maintenance, Social Archiving	Open		03/01/2026	03/31/2026	02/17/2026			22,235.06
<b>Vendor 4568 - CivicPlus Totals</b>							Invoices	2	\$27,540.30
<b>Vendor 4199 - Clark Baird Smith LLP</b>									
3525	2026 CBS (February 2026) Legal Expenses - services rendered	Open		02/28/2026	03/09/2026	03/09/2026			2,581.25
<b>Vendor 4199 - Clark Baird Smith LLP Totals</b>							Invoices	1	\$2,581.25
<b>Vendor 1488 - CNS Tire Supply</b>									
28015	Parts - PT-256	Open		01/26/2026	03/01/2026	03/09/2026			134.50
28059	Parts - PT-225	Open		02/26/2026	03/28/2026	03/09/2026			921.54
<b>Vendor 1488 - CNS Tire Supply Totals</b>							Invoices	2	\$1,056.04
<b>Vendor 3033 - Comcast Cable</b>									
CC 03-26 A	Backup Internet Connections	Open		02/16/2026	03/16/2026	02/27/2026			42.99



# Warrant #6

Invoice Due Date Range 01/01/26 - 04/07/26  
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Invoice Number	Invoice Description	Status	Held Reason	Invoice Date	Due Date	G/L Date	Received Date	Payment Date	Invoice Net Amount	
PW 03-26 B	Backup Internet Connections	Open		02/24/2026	03/24/2026	02/27/2026			6.93	
CC 03-26 B	Backup Internet Connections	Open		02/25/2026	03/25/2026	02/27/2026			59.70	
PD 03-26	Backup Internet Connections	Open		02/25/2026	03/25/2026	02/27/2026			326.36	
FD83 03-26	Backup Internet Connections	Open		03/04/2026	04/03/2026	02/27/2026			86.39	
							Vendor <b>3033 - Comcast Cable</b> Totals	Invoices	5	<u>\$522.37</u>
Vendor <b>2980 - Commonwealth Edison</b>										
4271086000 2/26	Electricity-0 N Rand Rd N Winslowe Dr/Camera	Open		02/17/2026	03/19/2026	03/03/2026			20.70	
6000574000 2/26	Electricity-0 N Rand Rd E Lilly Ln/Camera	Open		02/17/2026	03/19/2026	03/03/2026			20.70	
8997338111 2/26	Electricity-0 N Rand Rd N Williams Dr/Camera	Open		02/17/2026	03/19/2026	03/03/2026			23.34	
5874509000 2/26	Electricity-135 W. Michigan Ave Heat Meter	Open		02/20/2026	03/22/2026	03/03/2026			738.10	
5892617000 2/26	Electricity-Middleton Pond Aerator	Open		02/20/2026	03/22/2026	03/03/2026			43.01	
5298556000 2/26	Electricity-0 N Rand Rd N Capri Dr/Camera	Open		02/24/2026	03/26/2026	03/03/2026			22.74	
							Vendor <b>2980 - Commonwealth Edison</b> Totals	Invoices	6	<u>\$868.59</u>
Vendor <b>5604 - Compassion Funeral Service, Inc</b>										
2600692	Body Transport to Cook County Medical Examiners Ofc (26-000788)	Open		01/31/2026	02/15/2026	03/09/2026			345.50	
2601258	Body Transport to Cook County Medical Examiners Ofc (26-001477)	Open		02/27/2026	03/14/2026	03/09/2026			347.00	
2601343	Body Transport to Cook County Medical Examiners Ofc (26-001569)	Open		03/04/2026	03/19/2026	03/09/2026			364.50	
2601375	Body Transport to Cook County Medical Examiners Ofc (26-001620)	Open		03/06/2026	03/21/2026	03/09/2026			350.00	
							Vendor <b>5604 - Compassion Funeral Service, Inc</b> Totals	Invoices	4	<u>\$1,407.00</u>
Vendor <b>3706 - Constellation NewEnergy Inc</b>										
72380884101	Electricity-884 E. Lilly Lane Rose and Lilly Lift Station	Open		02/16/2026	03/18/2026	03/04/2026			455.50	
72380906501	Electricity-700 N. North Court RT/25 Street Lighting	Open		02/16/2026	03/18/2026	03/03/2026			80.78	
72380916401	Electricity-1199 W. Northwest Highway	Open		02/16/2026	03/18/2026	03/04/2026			3,040.59	
72388316901	Countryside Pump Station Electricity-0 N. Smith St/1 N Cherrywood Dr. Street Lighting	Open		02/17/2026	03/19/2026	03/03/2026			8,087.97	

Invoice Number	Invoice Description	Status	Held Reason	Invoice Date	Due Date	G/L Date	Received Date	Payment Date	Invoice Net Amount
72388335401	Electricity-251 W. Colfax Street RT/25 Parking Lot Lighting	Open		02/17/2026	03/19/2026	03/03/2026			19.11
72388343001	Electricity-47 W. Slade Street RT/25 Street Lighting	Open		02/17/2026	03/19/2026	03/03/2026			56.53
72388445901	Electricity-0 N. Smith St/King George Ct RT/23 Street Lighting	Open		02/17/2026	03/19/2026	03/03/2026			7,084.82
72388455101	Electricity-0 W. Rohlwing Road RT/25 Street Lighting	Open		02/17/2026	03/19/2026	03/03/2026			196.29
72395060801	Electricity-2399 N. Dee Lane Deer Park Booster Station	Open		02/18/2026	03/20/2026	03/04/2026			321.85
72395077901	Electricity-2175 N. Coach Road Long Grove Well 15	Open		02/18/2026	03/20/2026	03/04/2026			43.55
72395095901	Electricity-0 Haleys Hill Court Dunhaven Woods Lift Station	Open		02/18/2026	03/20/2026	03/04/2026			229.09
72395103001	Electricity-1501 N. Hicks Road Hicks and Dundee Pump Station	Open		02/18/2026	03/20/2026	03/04/2026			720.55
72395119701	Electricity-2175 N. Coach Road Long Grove Pump Station	Open		02/18/2026	03/20/2026	03/04/2026			188.31
72402789001	Electricity-1465 E. Evergreen Drive Randville Lift Station	Open		02/19/2026	03/21/2026	03/04/2026			1,003.47
72402801801	Electricity-137 W. Wood Street Unit 2 Train Station	Open		02/19/2026	03/21/2026	03/03/2026			405.87
72402808801	Electricity-Heron Drive Well 10 Pump Station	Open		02/19/2026	03/21/2026	03/04/2026			9,657.68
72402811001	Electricity-1 N. Plum Grove Rd. Rotary Plaza Sign	Open		02/19/2026	03/21/2026	03/03/2026			54.25
72402812301	Electricity-251 W. Colfax Street Parking Deck	Open		02/19/2026	03/21/2026	03/03/2026			4,927.63
72402841001	Electricity-1484 N. Oak Street Pepper Tree Lift Station	Open		02/19/2026	03/21/2026	03/04/2026			357.82
72402858501	Electricity-429 N. Hicks Road Holiday Lighting	Open		02/19/2026	03/21/2026	03/03/2026			38.01
72402876201	Electricity-550 N. Smith Street Well 7 Pump Station	Open		02/19/2026	03/21/2026	03/04/2026			618.45
72402884101	Electricity-803 W. Panorama Drive Deer Grove Lift Station	Open		02/19/2026	03/21/2026	03/04/2026			272.50
72402899601	Electricity-137 W. Wood Street Unit 3 Conscious Cup	Open		02/19/2026	03/21/2026	03/03/2026			188.75
72402918201	Electricity-1381 N. Rohlwing Road North Supply Pump Station	Open		02/19/2026	03/21/2026	03/04/2026			3,835.04



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Invoice Number	Invoice Description	Status	Held Reason	Invoice Date	Due Date	G/L Date	Received Date	Payment Date	Invoice Net Amount			
72402918401	Electricity-137 W. Wood Street Unit 1 Parking Lot Lights	Open		02/19/2026	03/21/2026	03/03/2026			511.57			
72402931101	Electricity-0 N. Hicks Pl./1 W. Northwest Hwy. Holiday Lighting	Open		02/19/2026	03/21/2026	03/03/2026			62.90			
72411616101	Electricity-560 S. Hale Street Storm Water Lift Station	Open		02/20/2026	03/22/2026	03/04/2026			52.95			
72411625101	Electricity-50 N. Brockway Street Parking Lot Lighting	Open		02/20/2026	03/22/2026	03/03/2026			92.41			
72411635601	Electricity-519 S. Consumers Ave Arlington Crest Lift Station	Open		02/20/2026	03/22/2026	03/04/2026			229.78			
72411654601	Electricity-Palatine and Oak Street Lighting	Open		02/20/2026	03/22/2026	03/03/2026			109.25			
72411657601	Electricity-0 Benton and Wilmette Wilmette Lift Station	Open		02/20/2026	03/22/2026	03/04/2026			84.23			
72411660501	Electricity-Palatine and Bothwell Street Lighting	Open		02/20/2026	03/22/2026	03/03/2026			232.45			
72411661201	Electricity-1830 N. Baldwin Road Kasuba Lift Station	Open		02/20/2026	03/22/2026	03/04/2026			1,205.75			
72411665001	Electricity-Dundee Rd and Park Place Traffic Signal	Open		02/20/2026	03/22/2026	03/03/2026			64.45			
72411665701	Electricity-0 Kenilworth and Elizabeth Winston Tank	Open		02/20/2026	03/22/2026	03/04/2026			62.99			
72411666201	Electricity-0 N. Smith Street Union Pacific Box	Open		02/20/2026	03/22/2026	03/03/2026			235.71			
72420159501	Electricity-149 W. Michigan Avenue South Supply Pump Station	Open		02/23/2026	03/25/2026	03/04/2026			8,828.63			
72420160101	Electricity-826 W. Exner Court Pond Aerator	Open		02/23/2026	03/25/2026	03/04/2026			65.46			
72420164301	Electricity-914 W. Lukas Avenue Square D Lift Station	Open		02/23/2026	03/25/2026	03/04/2026			132.35			
72420169901	Electricity-1279 W. Palatine Road Entrance Sign	Open		02/23/2026	03/25/2026	03/03/2026			20.68			
72420172701	Electricity-1525-35 S. Roselle Road Shires Lift Station	Open		02/23/2026	03/25/2026	03/04/2026			602.19			
72420198501	Electricity-1100 W. Illinois Av. Well 5	Open		02/23/2026	03/25/2026	03/04/2026			314.07			
72420202801	Electricity-0 Harper Well 6	Open		02/23/2026	03/25/2026	03/04/2026			399.76			
							Vendor	<b>3706 - Constellation NewEnergy Inc</b>	Totals	Invoices	43	<u>\$55,191.99</u>
Vendor	<b>2981 - Continental Weather Service</b>											
196980	Monthly Weather Forecasting-March 2026	Open		03/01/2026	03/31/2026	03/06/2026						150.00



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Vendor <b>2981 - Continental Weather Service</b> Totals						Invoices	1		\$150.00
Vendor <b>4103 - Cook County Sheriff's Police Training Academy</b>									
26-1	Police Academy Recruit Tuition Fee x6	Open		02/10/2026	03/11/2026	03/09/2026			21,450.00
Vendor <b>4103 - Cook County Sheriff's Police Training Academy</b> Totals						Invoices	1		\$21,450.00
Vendor <b>2773 - Core &amp; Main LP</b>									
Y571726	Meters	Open		02/24/2026	03/26/2026	03/06/2026			1,450.00
Y578730	Repair Sleeve	Open		02/24/2026	03/26/2026	03/06/2026			535.00
Y567592	Water Meter Internal Battery Replacement, Touchpad & Battery Pack	Open		02/24/2026	03/26/2026	03/10/2026			10,195.00
Vendor <b>2773 - Core &amp; Main LP</b> Totals						Invoices	3		\$12,180.00
Vendor <b>5732 - CUES, Inc</b>									
970063185	GraniteNet Sewer Televising Software Annual Fee	Open		02/19/2026	03/21/2026	02/20/2026			1,590.00
Vendor <b>5732 - CUES, Inc</b> Totals						Invoices	1		\$1,590.00
Vendor <b>4918 - DACRA Tech LLC</b>									
2026-02-089	Municipal Enforcement Software Monthly Service & Citation Fee's	Open		02/28/2026	02/28/2026	03/09/2026			4,374.24
Vendor <b>4918 - DACRA Tech LLC</b> Totals						Invoices	1		\$4,374.24
Vendor <b>5406 - DeKind Computer Consultants</b>									
44108-1	Payment for missing NijiaOne	Open		02/27/2026	02/27/2026	02/27/2026			1,468.48
44631	March Invoice	Open		03/02/2026	03/02/2026	03/02/2026			23,068.48
Vendor <b>5406 - DeKind Computer Consultants</b> Totals						Invoices	2		\$24,536.96
Vendor <b>1929 - Delta Sonic Car Wash Systems</b>									
INV-0034607	Car Wash	Open		02/27/2026	03/29/2026	02/25/2026			228.78
Vendor <b>1929 - Delta Sonic Car Wash Systems</b> Totals						Invoices	1		\$228.78
Vendor <b>5625 - DH Pace Company, Inc</b>									
SVC/264-873943	Cold Storage North Door Repair	Open		02/24/2026	03/26/2026	03/06/2026			650.50
SVC/264-873945	Cold Storage Middle Door Repair	Open		02/24/2026	03/26/2026	03/06/2026			347.90
Vendor <b>5625 - DH Pace Company, Inc</b> Totals						Invoices	2		\$998.40
Vendor <b>4781 - Document Imaging Services, LLC</b>									
3760	Toner	Open		02/19/2026	03/21/2026	02/17/2026			1,490.00
Vendor <b>4781 - Document Imaging Services, LLC</b> Totals						Invoices	1		\$1,490.00



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<b>Vendor 1728 - Doland Engineering, LLC</b>									
26-11247	February 2026 Engineering Plan Review Services	Open		02/28/2026	03/30/2026	03/09/2026			2,300.00
26-11255	February 2026 Site Development Permit Inspection Fees	Open		02/28/2026	03/30/2026	03/09/2026			639.00
26-11258	Euclid Avenue Right-of-Way Surveying	Open		02/28/2026	03/30/2026	03/09/2026			1,400.00
<b>Vendor 1728 - Doland Engineering, LLC Totals</b>							Invoices	3	\$4,339.00
<b>Vendor 1647 - Drivetrain Service &amp; Components</b>									
365270	Credit Memo	Open		02/27/2026	03/29/2026	03/09/2026			(37.69)
365310	Parts - T-454	Open		02/27/2026	03/29/2026	03/09/2026			170.08
<b>Vendor 1647 - Drivetrain Service &amp; Components Totals</b>							Invoices	2	\$132.39
<b>Vendor 2786 - EJ Equipment Inc</b>									
P19572	Parts - T-454	Open		03/04/2026	04/03/2026	03/09/2026			887.69
<b>Vendor 2786 - EJ Equipment Inc Totals</b>							Invoices	1	\$887.69
<b>Vendor 2114 - EJ USA, Inc</b>									
110260011251	Hydrant Repair O-Rings	Open		02/25/2026	03/27/2026	03/06/2026			48.36
<b>Vendor 2114 - EJ USA, Inc Totals</b>							Invoices	1	\$48.36
<b>Vendor 3841 - FBI National Academy Associates Inc</b>									
595000	2026 Membership Dues (Hester)	Open		02/13/2026	03/14/2026	03/09/2026			145.00
<b>Vendor 3841 - FBI National Academy Associates Inc Totals</b>							Invoices	1	\$145.00
<b>Vendor 2195 - FMP</b>									
162-226997	Parts - STOCK	Open		02/19/2026	03/21/2026	02/19/2026			236.16
162-227023	Parts - STOCK	Open		02/19/2026	03/21/2026	02/19/2026			84.42
50-6580564	Parts - T-459	Open		02/19/2026	03/21/2026	02/19/2026			165.80
50-6581737	Lubricants & Additives - Stock	Open		02/19/2026	03/21/2026	02/25/2026			679.20
162-227071	Parts - T-448	Open		02/20/2026	03/22/2026	02/19/2026			17.70
162-227198	Parts - T-500	Open		02/23/2026	03/25/2026	02/25/2026			15.10
50-6588864	Lubricants & Additives - Stock	Open		02/23/2026	03/25/2026	02/25/2026			159.60
162-227511	Parts - Stock	Open		02/26/2026	03/28/2026	02/25/2026			138.00
50-6595976	Lubricants & Additives - STOCK	Open		02/26/2026	03/28/2026	03/09/2026			679.20
50-6599008	Parts - Stock	Open		02/27/2026	03/29/2026	02/25/2026			415.55
50-6605581	Parts - T-495	Open		03/03/2026	04/02/2026	03/09/2026			177.00
50-6608917	Parts - C-368	Open		03/04/2026	04/03/2026	03/09/2026			870.68
<b>Vendor 2195 - FMP Totals</b>							Invoices	12	\$3,638.41



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<b>Vendor 1621 - Fox Valley Fire &amp; Safety</b>									
IN00839507	Fire Extinguisher Service	Open		02/23/2026	03/22/2026	02/24/2026			163.55
IN00839508	Fire Extinguisher Service	Open		02/23/2026	03/22/2026	02/24/2026			314.45
IN00839509	Fire Extinguisher Service	Open		02/23/2026	03/22/2026	02/24/2026			75.00
Vendor 1621 - Fox Valley Fire & Safety Totals							Invoices	3	<u>\$553.00</u>
<b>Vendor 5073 - FulLife Safety LLC</b>									
73416	Boots-Agner & Cvetan	Open		02/18/2026	03/20/2026	03/06/2026			263.70
73450	Lime Jacket-Hansen	Open		03/02/2026	04/01/2026	03/06/2026			125.68
Vendor 5073 - FulLife Safety LLC Totals							Invoices	2	<u>\$389.38</u>
<b>Vendor 5745 - Global Development and Construction Corp</b>									
HRDRPW3042026	Hydrant Meter Deposit Refund	Open		03/04/2026	03/18/2026	03/04/2026			1,013.31
Vendor 5745 - Global Development and Construction Corp Totals							Invoices	1	<u>\$1,013.31</u>
<b>Vendor 2281 - Grainger</b>									
9832254602	Bearing-Police HQ	Open		03/06/2026	04/05/2026	03/05/2026			64.79
9832254610	Bearing-Police HQ	Open		03/06/2026	04/05/2026	03/05/2026			64.79
Vendor 2281 - Grainger Totals							Invoices	2	<u>\$129.58</u>
<b>Vendor 1173 - Graybar Electric Company, Inc.</b>									
9352230788	Building Wire	Open		02/27/2026	03/29/2026	03/05/2026			622.74
Vendor 1173 - Graybar Electric Company, Inc. Totals							Invoices	1	<u>\$622.74</u>
<b>Vendor 3116 - Bryan C Haupt</b>									
PWTRBH022426	Tool Reimbursement	Open		02/24/2026	03/11/2026	02/25/2026			174.89
PWBRBH030726	Boot Reimbursement	Open		03/07/2026	03/11/2026	02/25/2026			107.40
Vendor 3116 - Bryan C Haupt Totals							Invoices	2	<u>\$282.29</u>
<b>Vendor 5046 - Hoosier Fire Equipment Inc</b>									
125308	Parts - T-389	Open		02/18/2026	03/20/2026	02/19/2026			390.10
Vendor 5046 - Hoosier Fire Equipment Inc Totals							Invoices	1	<u>\$390.10</u>
<b>Vendor 4591 - IL Department of Innovation &amp; Technology</b>									
T2613879	Custom Bandwidth	Open		02/17/2026	03/19/2026	02/17/2026			1,010.00
Vendor 4591 - IL Department of Innovation & Technology Totals							Invoices	1	<u>\$1,010.00</u>
<b>Vendor 5293 - Illinois Department of Healthcare and Family Svcs</b>									
GEMTFY26Q2-196	GEMT Payment 2025 Q4	Open		02/27/2026	03/10/2026	02/27/2026			330,666.53
Vendor 5293 - Illinois Department of Healthcare and Family Svcs Totals							Invoices	1	<u>\$330,666.53</u>
<b>Vendor 2822 - Illinois Secretary Of State</b>									
PWVM T-565	New Vehicle Title & Plates - T-565	Open		02/01/2026	03/03/2026	03/05/2026			165.00



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Vendor <b>2822 - Illinois Secretary Of State</b> Totals						Invoices	1		\$165.00
Vendor <b>1604 - Illinois State Police</b>									
20260103601	Fingerprinting for Employment (3601-Jan)	Open		02/01/2026	03/18/2026	03/09/2026			108.00
20260104348	Background Check	Open		02/19/2026	03/18/2026	03/09/2026			27.00
Vendor <b>1604 - Illinois State Police</b> Totals						Invoices	2		\$135.00
Vendor <b>5474 - Imagetec LP</b>									
503763624	Copier Usage	Open		02/05/2026	03/23/2026	02/27/2026			787.64
Vendor <b>5474 - Imagetec LP</b> Totals						Invoices	1		\$787.64
Vendor <b>1596 - Imaging Essentials, Inc</b>									
CONTINV015887	KIP & PLOTTER MAINTENANCE	Open		02/27/2026	03/29/2026	02/27/2026			752.00
CONTINV015888	KIP & PLOTTER MAINTENANCE	Open		02/27/2026	03/29/2026	02/27/2026			752.00
Vendor <b>1596 - Imaging Essentials, Inc</b> Totals						Invoices	2		\$1,504.00
Vendor <b>5706 - Industrial Engine Company LLC</b>									
2135	Repairs-G026	Open		02/19/2026	03/21/2026	03/05/2026			8,958.20
Vendor <b>5706 - Industrial Engine Company LLC</b> Totals						Invoices	1		\$8,958.20
Vendor <b>4951 - Interstate Batteries of North Chicago</b>									
23056584	Parts - STOCK	Open		02/17/2026	03/19/2026	02/18/2026			284.36
23056789	Parts - STOCK	Open		03/03/2026	04/02/2026	03/09/2026			533.40
Vendor <b>4951 - Interstate Batteries of North Chicago</b> Totals						Invoices	2		\$817.76
Vendor <b>2992 - James Messineo</b>									
JM FEB 2026	Administrative Adjudication	Open		02/24/2026	03/12/2026	02/26/2026			660.00
Vendor <b>2992 - James Messineo</b> Totals						Invoices	1		\$660.00
Vendor <b>2695 - JG Uniforms Inc</b>									
158621	Misc Uniform/Equipment Items/Vest Carriers (New Hires)	Open		02/12/2026	03/13/2026	03/09/2026			36.00
158919	Misc Uniform/Equipment Items/Vest Carriers (M. Chlosta)	Open		02/24/2026	03/23/2026	03/09/2026			230.00
Vendor <b>2695 - JG Uniforms Inc</b> Totals						Invoices	2		\$266.00
Vendor <b>5501 - Joe Johnson Equipment LLC dba Standard Equipment</b>									
P08911	Parts - E-222	Open		02/19/2026	03/21/2026	02/19/2026			462.84
P09066	Parts - E-222	Open		02/26/2026	03/28/2026	03/05/2026			1,106.45
Vendor <b>5501 - Joe Johnson Equipment LLC dba Standard Equipment</b> Totals						Invoices	2		\$1,569.29
Vendor <b>1635 - Joseph D. Foreman &amp; Company</b>									



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337125	8" Mueller Gate Valve	Open		02/28/2026	03/02/2026	03/06/2026			2,363.71	
337139	Hydrant Wrench, Manhole Hook, Hydrant Stem O-Rings	Open		02/28/2026	03/02/2026	03/06/2026			756.00	
Vendor <b>1635 - Joseph D. Foreman &amp; Company</b> Totals								Invoices	2	<u>\$3,119.71</u>
Vendor <b>2268 - Journal &amp; Topics Newspapers</b>										
195995	legal notice 763 N Franklin	Open		02/18/2026	03/19/2026	03/02/2026			64.69	
195996	legal notice 606 E Kenilworth	Open		02/18/2026	03/19/2026	03/02/2026			67.50	
Vendor <b>2268 - Journal &amp; Topics Newspapers</b> Totals								Invoices	2	<u>\$132.19</u>
Vendor <b>2594 - Kenneth J Kogut &amp; Associates</b>										
KJK3-2-26SF	2027-2029 Electricity RFP Consulting Services- SelectedFacilities	Open		03/02/2026	04/01/2026	03/10/2026			1,450.00	
KJK3-2-26SL	2027-2029 Electricity RFP Consulting Services-Street Lighting	Open		03/02/2026	04/01/2026	03/10/2026			1,450.00	
Vendor <b>2594 - Kenneth J Kogut &amp; Associates</b> Totals								Invoices	2	<u>\$2,900.00</u>
Vendor <b>3357 - KONE Inc</b>										
1159089369	Service Call-251 W. Colfax St. Tower 2-#2	Open		02/18/2026	03/20/2026	02/18/2026			1,382.49	
Vendor <b>3357 - KONE Inc</b> Totals								Invoices	1	<u>\$1,382.49</u>
Vendor <b>5137 - Lakeshore Recycling Systems, LLC</b>										
V937950	Waste Disposal	Open		02/28/2026	03/30/2026	03/06/2026			3,095.70	
Vendor <b>5137 - Lakeshore Recycling Systems, LLC</b> Totals								Invoices	1	<u>\$3,095.70</u>
Vendor <b>3324 - Language Testing International Inc</b>										
L107266-IN	2026 Language Testing - Voronchak	Open		03/08/2026	04/07/2026	03/10/2026			124.00	
Vendor <b>3324 - Language Testing International Inc</b> Totals								Invoices	1	<u>\$124.00</u>
Vendor <b>5698 - Ludwig Speaks, LLC</b>										
1189	Professional Coaching Sessions	Open		02/18/2026	03/20/2026	02/17/2026			350.00	
Vendor <b>5698 - Ludwig Speaks, LLC</b> Totals								Invoices	1	<u>\$350.00</u>
Vendor <b>5128 - M.J. Taylor Law, LLC</b>										
MJT FEB 2026	Village Prosecution Legal Services	Open		02/27/2026	03/13/2026	03/02/2026			3,800.00	
Vendor <b>5128 - M.J. Taylor Law, LLC</b> Totals								Invoices	1	<u>\$3,800.00</u>
Vendor <b>4957 - MacQueen Equipment, LLC</b>										
P37903	Parts - STOCK	Open		03/02/2026	04/01/2026	03/09/2026			68.89	
P37912	Parts - T-533	Open		03/02/2026	04/01/2026	03/09/2026			328.07	



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Vendor <b>4957 - MacQueen Equipment, LLC</b> Totals							Invoices	2	\$396.96
Vendor <b>2756 - Mc Master Carr Supply Co.</b>									
60360473	Credit Memo	Open		02/24/2026	03/26/2026	03/06/2026			(79.15)
60433418	North Supply Hatch Repair	Open		02/24/2026	03/26/2026	03/06/2026			461.60
60585758	North Supply Hatch Repair	Open		02/26/2026	03/28/2026	03/06/2026			56.23
61000299	North Supply Hatch Repair	Open		03/05/2026	04/04/2026	03/06/2026			518.42
60252698	Parts - Stock	Open		02/20/2026	03/22/2026	02/25/2026			47.71
60360469	Credit Memo	Open		02/24/2026	03/26/2026	03/09/2026			(175.99)
60655860	Parts - STOCK	Open		02/27/2026	03/29/2026	03/09/2026			65.82
Vendor <b>2756 - Mc Master Carr Supply Co.</b> Totals							Invoices	7	\$894.64
Vendor <b>4945 - Michael A Meehan</b>									
PWBRMM022526	Boot Reimbursement	Open		02/25/2026	03/11/2026	03/03/2026			225.00
Vendor <b>4945 - Michael A Meehan</b> Totals							Invoices	1	\$225.00
Vendor <b>1118 - Mid American Water Of Wauconda Inc</b>									
290059W	6" MJ RW Valve & 6" DI Megalug Pack w/ SS Bolts	Open		02/17/2026	03/19/2026	02/18/2026			1,568.48
290124W	Repair Clamps	Open		02/19/2026	03/21/2026	03/06/2026			575.32
290208W	Gasket Material	Open		02/25/2026	03/27/2026	03/06/2026			209.25
Vendor <b>1118 - Mid American Water Of Wauconda Inc</b> Totals							Invoices	3	\$2,353.05
Vendor <b>1856 - Monroe Truck Equipment</b>									
5517539	Parts - T-381	Open		02/11/2026	03/13/2026	03/05/2026			3,910.40
Vendor <b>1856 - Monroe Truck Equipment</b> Totals							Invoices	1	\$3,910.40
Vendor <b>5118 - Municipal GIS Partners, Inc</b>									
8991	March Invoice	Open		03/02/2026	03/02/2026	03/02/2026			16,622.35
Vendor <b>5118 - Municipal GIS Partners, Inc</b> Totals							Invoices	1	\$16,622.35
Vendor <b>5743 - My Funnel Truck LLC</b>									
030426Refund1	Refund - Street Fest 2025	Open		03/04/2026	04/01/2026	03/04/2026			100.00
Vendor <b>5743 - My Funnel Truck LLC</b> Totals							Invoices	1	\$100.00
Vendor <b>5599 - Napa Auto Parts</b>									
496470	Parts - E-637	Open		01/16/2026	03/01/2026	03/09/2026			7.46
499484	Parts - PT-097	Open		02/18/2026	03/20/2026	02/19/2026			15.73
499519	Parts - PT-241	Open		02/18/2026	03/20/2026	02/19/2026			30.95
499533	Parts - Parts - T-373	Open		02/18/2026	03/20/2026	03/05/2026			134.20
499571	Parts - E-639	Open		02/19/2026	03/21/2026	02/19/2026			23.06
499580	Parts - T-459	Open		02/19/2026	03/21/2026	02/19/2026			10.23
499667	Credit Memo	Open		02/19/2026	03/20/2026	03/05/2026			(134.20)
499965	Parts - PT-225	Open		02/23/2026	03/20/2026	03/05/2026			66.37
500016	Parts - E-211	Open		02/24/2026	03/26/2026	03/05/2026			16.34



# Warrant #6

Invoice Due Date Range 01/01/26 - 04/07/26  
 Report By Vendor - Invoice  
 Summary Listing

Invoice Number	Invoice Description	Status	Held Reason	Invoice Date	Due Date	G/L Date	Received Date	Payment Date	Invoice Net Amount
500017	Parts - PT-210	Open		02/24/2026	03/26/2026	03/05/2026			21.19
500039	Parts - PT-210	Open		02/24/2026	03/26/2026	03/05/2026			195.25
500044	Credit Memo	Open		02/24/2026	03/26/2026	03/05/2026			(18.00)
500127	Parts - PT-225	Open		02/25/2026	03/27/2026	03/05/2026			9.90
500188	Parts - Stock	Open		02/25/2026	03/27/2026	02/25/2026			103.92
500463	Parts - Stock	Open		02/27/2026	03/29/2026	02/25/2026			119.64
500855	Parts - T-468	Open		03/04/2026	04/03/2026	03/09/2026			289.98
Vendor <b>5599 - Napa Auto Parts</b> Totals						Invoices	16		\$892.02
Vendor <b>2616 - Nicor Gas</b>									
37917400006-2/26	Natural Gas-914 W. Lukas Avenue Square D Lift Station	Open		02/18/2026	03/20/2026	03/05/2026			64.67
55424779829-2/26	Natural Gas-1545-47 Shires Court Lift Station	Open		02/19/2026	03/21/2026	03/05/2026			65.84
19505219626-2/26	Natural Gas-251 W. Colfax Street Parking Deck	Open		02/24/2026	03/26/2026	03/05/2026			187.08
46007255576-2/26	Natural Gas-804 W. Panorama Drive Deer Grove Lift Station	Open		02/24/2026	03/26/2026	03/05/2026			68.76
70018165616-2/26	Natural Gas-432 W. Haleys Hill Court Dunhaven Woods Lift Station	Open		02/24/2026	03/26/2026	03/05/2026			68.07
83980510966-2/26	Natural Gas-550 N. Smith Street Well 7 Generator	Open		02/24/2026	03/26/2026	03/05/2026			63.08
25623386239-2/26	Natural Gas-1484 N. Oak Street Pepper Tree Lift Station	Open		02/25/2026	03/27/2026	03/05/2026			64.13
66457600006-2/26	Natural Gas-555 E. Dundee Road Hicks and Dundee Pump Station	Open		02/25/2026	03/27/2026	03/05/2026			376.69
68017400000-2/26	Natural Gas-137 W. Wood Street Train Station	Open		02/25/2026	03/27/2026	03/05/2026			675.52
88271305703-2/26	Natural Gas-1465 E. Evergreen Drive Randville Lift Station	Open		02/26/2026	03/28/2026	03/05/2026			197.86
36756460568-2/26	Natural Gas-884 E. Lilly Lane Rose and Lilly Lift Station	Open		02/27/2026	03/29/2026	03/05/2026			187.36
88097600006 2/26	Natural Gas-2175 N. Coach Road Long Grove Pump Station	Open		02/27/2026	03/29/2026	03/05/2026			301.56
Vendor <b>2616 - Nicor Gas</b> Totals						Invoices	12		\$2,320.62
Vendor <b>4231 - North Central Emergency Vehicles</b>									
0047167	Parts - T-460	Open		02/18/2026	03/20/2026	02/25/2026			72.08
Vendor <b>4231 - North Central Emergency Vehicles</b> Totals						Invoices	1		\$72.08



# Warrant #6

Invoice Due Date Range 01/01/26 - 04/07/26  
 Report By Vendor - Invoice  
 Summary Listing

Invoice Number	Invoice Description	Status	Held Reason	Invoice Date	Due Date	G/L Date	Received Date	Payment Date	Invoice Net Amount	
Vendor <b>1413 - Northwest Central Dispatch Syst</b>										
9933	2026 Monthly Member Assessment Fee's (April)	Open		03/01/2026	03/31/2026	03/09/2026			41,827.63	
							Vendor <b>1413 - Northwest Central Dispatch Syst</b> Totals	Invoices	1	<u>\$41,827.63</u>
Vendor <b>3002 - Northwest Community Hospital-OEHS</b>										
39013	Physicals/DOT Screening	Open		03/01/2026	03/31/2026	03/03/2026			250.00	
							Vendor <b>3002 - Northwest Community Hospital-OEHS</b> Totals	Invoices	1	<u>\$250.00</u>
Vendor <b>1060 - NPELRA</b>										
23538	2026 Collective Bargaining Simulation x2	Open		02/26/2026	03/16/2026	03/09/2026			920.00	
							Vendor <b>1060 - NPELRA</b> Totals	Invoices	1	<u>\$920.00</u>
Vendor <b>3285 - Oakwood Homes, Inc</b>										
02/26/26	Recapture Refund ORD # O-111-08	Open		02/26/2026	02/26/2026	02/26/2026			9,915.99	
							Vendor <b>3285 - Oakwood Homes, Inc</b> Totals	Invoices	1	<u>\$9,915.99</u>
Vendor <b>5203 - ODP Business Solutions, LLC</b>										
40986117	Shared Office Supplies and Paper	Open		02/28/2026	03/30/2026	03/10/2026			129.34	
							Vendor <b>5203 - ODP Business Solutions, LLC</b> Totals	Invoices	1	<u>\$129.34</u>
Vendor <b>5742 - Olympic Engineering P.C.</b>										
2026-00000203	refund permit 19961-2025 1280 Winnetka	Open		03/02/2026	03/02/2026	03/02/2026			757.00	
							Vendor <b>5742 - Olympic Engineering P.C.</b> Totals	Invoices	1	<u>\$757.00</u>
Vendor <b>1214 - On Time Embroidery Inc.</b>										
149552	Clothing	Open		02/19/2026	03/18/2026	02/24/2026			14.00	
149949	Clothing	Open		02/19/2026	03/18/2026	02/24/2026			72.00	
150267	Clothing	Open		02/19/2026	03/18/2026	02/24/2026			202.00	
150527	Clothing	Open		02/19/2026	03/18/2026	02/24/2026			45.00	
150618	Clothing	Open		02/19/2026	03/18/2026	02/24/2026			170.00	
150721	Clothing	Open		02/19/2026	03/18/2026	02/24/2026			72.00	
150722	Clothing	Open		02/19/2026	03/18/2026	02/24/2026			282.00	
150850	Clothing	Open		02/19/2026	03/18/2026	02/24/2026			320.00	
							Vendor <b>1214 - On Time Embroidery Inc.</b> Totals	Invoices	8	<u>\$1,177.00</u>
Vendor <b>2572 - Paddock Publications, Inc</b>										
368960	Legal Notice Ad# 2416354	Open		03/02/2026	03/02/2026	03/02/2026			148.50	
							Vendor <b>2572 - Paddock Publications, Inc</b> Totals	Invoices	1	<u>\$148.50</u>
Vendor <b>1583 - Palatine Park District</b>										
26-1137	Coffee Machine Rental	Open		03/04/2026	04/03/2026	03/03/2026			24.99	



# Warrant #6

Invoice Due Date Range 01/01/26 - 04/07/26  
 Report By Vendor - Invoice  
 Summary Listing

Invoice Number	Invoice Description	Status	Held Reason	Invoice Date	Due Date	G/L Date	Received Date	Payment Date	Invoice Net Amount
			Vendor <b>1583 - Palatine Park District</b> Totals				Invoices	1	\$24.99
Vendor <b>4834 - Palumbo Management LLC</b>									
S-INV035547	Spoils Removal	Open		02/16/2026	03/18/2026	02/17/2026			2,440.00
S-INV035868	Spoils Removal	Open		02/23/2026	03/25/2026	02/17/2026			570.00
S-INV036001	Spoils Removal	Open		03/02/2026	04/01/2026	03/06/2026			650.00
			Vendor <b>4834 - Palumbo Management LLC</b> Totals				Invoices	3	\$3,660.00
Vendor <b>1784 - Parent Petroleum</b>									
1801860	Lubricants & Additives - Stock	Open		02/26/2026	03/28/2026	02/25/2026			1,347.50
			Vendor <b>1784 - Parent Petroleum</b> Totals				Invoices	1	\$1,347.50
Vendor <b>5403 - Park Consulting Group, Inc</b>									
1257	Tyler Tech EPL - Temp Food Permit Custom Reports - Jan 2026	Open		01/31/2026	03/02/2026	03/02/2026			3,000.00
			Vendor <b>5403 - Park Consulting Group, Inc</b> Totals				Invoices	1	\$3,000.00
Vendor <b>5466 - Peerless Enterprises, LLC</b>									
143932	Preventive Maintenance Renewal for PD Entrance Gate	Open		02/11/2026	03/12/2026	03/09/2026			1,400.00
			Vendor <b>5466 - Peerless Enterprises, LLC</b> Totals				Invoices	1	\$1,400.00
Vendor <b>2954 - Quadient Leasing USA, Inc</b>									
Q2246391	VILLAGE WIDE POSTAGE MACHINE LEASE	Open		03/01/2026	04/01/2026	03/09/2026			1,114.44
			Vendor <b>2954 - Quadient Leasing USA, Inc</b> Totals				Invoices	1	\$1,114.44
Vendor <b>1944 - Quill LLC</b>									
47895829	office supplies	Open		02/23/2026	03/25/2026	03/02/2026			45.96
			Vendor <b>1944 - Quill LLC</b> Totals				Invoices	1	\$45.96
Vendor <b>4300 - Ray O'Herron Co, Inc</b>									
2465091	Blue Training Guns (Academy Recruits)	Open		03/04/2026	04/03/2026	03/09/2026			163.17
			Vendor <b>4300 - Ray O'Herron Co, Inc</b> Totals				Invoices	1	\$163.17
Vendor <b>5741 - Abigail Redlinger</b>									
2026-00000202	Tuition Reimbursement - Abigail Redlinger	Open		03/02/2026	03/02/2026	03/02/2026			891.00
			Vendor <b>5741 - Abigail Redlinger</b> Totals				Invoices	1	\$891.00
Vendor <b>3701 - Rhomar Industries Inc</b>									
109814	Asphalt Emulsifier	Open		03/06/2026	04/05/2026	03/11/2026			3,550.41



# Warrant #6

Invoice Due Date Range 01/01/26 - 04/07/26  
 Report By Vendor - Invoice  
 Summary Listing

Invoice Number	Invoice Description	Status	Held Reason	Invoice Date	Due Date	G/L Date	Received Date	Payment Date	Invoice Net Amount
			Vendor <b>3701 - Rhomar Industries Inc</b> Totals				Invoices	1	\$3,550.41
Vendor <b>4019 - Rush Truck Centers</b>									
3044987503	Parts - T-385	Open		02/16/2026	03/18/2026	02/17/2026			2,130.35
			Vendor <b>4019 - Rush Truck Centers</b> Totals				Invoices	1	\$2,130.35
Vendor <b>2673 - Schain Banks Kenny &amp; Schwartz</b>									
#00184	Schain Legal Services	Open		03/06/2026	03/23/2026	03/11/2026			18,676.00
			Vendor <b>2673 - Schain Banks Kenny &amp; Schwartz</b> Totals				Invoices	1	\$18,676.00
Vendor <b>5537 - Sikich CPA LLC</b>									
121341	Annual Financial Audit	Open		01/23/2026	03/24/2026	02/24/2026			9,000.00
			Vendor <b>5537 - Sikich CPA LLC</b> Totals				Invoices	1	\$9,000.00
Vendor <b>4308 - Solid Waste Agency of Northern Cook County</b>									
8062	Refuse Service - April	Open		03/01/2026	03/24/2026	02/20/2026			91,693.23
			Vendor <b>4308 - Solid Waste Agency of Northern Cook County</b> Totals				Invoices	1	\$91,693.23
Vendor <b>4966 - T-Mobile</b>									
L2603050234	Cellular Phone Tracking/Tower Dump (25-007239)	Open		03/05/2026	03/16/2026	03/09/2026			150.00
			Vendor <b>4966 - T-Mobile</b> Totals				Invoices	1	\$150.00
Vendor <b>2111 - Terminal Supply Co</b>									
92549-00	Parts - STOCK	Open		02/25/2026	03/27/2026	03/05/2026			129.31
			Vendor <b>2111 - Terminal Supply Co</b> Totals				Invoices	1	\$129.31
Vendor <b>2491 - Terminix-Anderson</b>									
92951131	Pest Control Services February 2026-CSF	Open		03/03/2026	04/02/2026	03/05/2026			88.20
			Vendor <b>2491 - Terminix-Anderson</b> Totals				Invoices	1	\$88.20
Vendor <b>1199 - Thompson Elevator Inspection Service Inc</b>									
26-0380	1243 E Baldwin Ln	Open		02/18/2026	03/19/2026	02/17/2026			150.00
			Vendor <b>1199 - Thompson Elevator Inspection Service Inc</b> Totals				Invoices	1	\$150.00
Vendor <b>4058 - TransUnion Risk and Alternative Data Solutions Inc</b>									
71751-202601-1	Online Investigative Search Engine (01/01/26 - 01/31/26)	Open		02/01/2026	03/15/2026	03/09/2026			307.20
			Vendor <b>4058 - TransUnion Risk and Alternative Data Solutions Inc</b> Totals				Invoices	1	\$307.20
Vendor <b>3364 - Trittech Forensics</b>									
01283738	Evidence Unit Supplies	Open		02/13/2026	03/14/2026	03/09/2026			351.71
01286991	Evidence Unit Supplies	Open		02/20/2026	03/20/2026	03/09/2026			40.90



# Warrant #6

Invoice Due Date Range 01/01/26 - 04/07/26  
 Report By Vendor - Invoice  
 Summary Listing

Invoice Number	Invoice Description	Status	Held Reason	Invoice Date	Due Date	G/L Date	Received Date	Payment Date	Invoice Net Amount
			Vendor <b>3364 - Tritech Forensics</b> Totals				Invoices	2	\$392.61
Vendor <b>4403 - Tyler Technologies Inc</b>									
CI100-00259613	NWS Annual Maintenance	Open		02/18/2026	03/18/2026	03/11/2026			91,672.41
			Vendor <b>4403 - Tyler Technologies Inc</b> Totals				Invoices	1	\$91,672.41
Vendor <b>5327 - USSI Rentals, Inc</b>									
0000528-IN	Parts - T-405	Open		02/28/2026	03/02/2026	03/09/2026			382.89
			Vendor <b>5327 - USSI Rentals, Inc</b> Totals				Invoices	1	\$382.89
Vendor <b>3156 - Utility Service Co, Inc</b>									
644156	South Supply 1 North Reservoir Water Tank Maintenance SemiAnnual	Open		03/01/2026	03/31/2026	03/06/2026			130,008.00
644189	Hicks & Dundee Ground Storage Water Tank Maintenance Semi Annual	Open		03/01/2026	03/31/2026	03/06/2026			47,085.50
644446	South Supply 2 South Reservoir Water Tank Maintenance SemiAnnual	Open		03/01/2026	03/31/2026	03/06/2026			12,500.00
			Vendor <b>3156 - Utility Service Co, Inc</b> Totals				Invoices	3	\$189,593.50
Vendor <b>5547 - Verizon</b>									
310000076974	PW Telematics Program Monthly Service Fee - February	Open		03/02/2026	04/01/2026	03/05/2026			319.00
			Vendor <b>5547 - Verizon</b> Totals				Invoices	1	\$319.00
Vendor <b>5186 - Verizon Wireless - VSAT</b>									
9022422209	Cellular Phone Tracking/Tower Dump (25-007239)	Open		12/31/2025	03/16/2026	03/09/2026			165.00
			Vendor <b>5186 - Verizon Wireless - VSAT</b> Totals				Invoices	1	\$165.00
Vendor <b>4824 - Vestis First Aid</b>									
ORD4-016280	First Aid Cabinet Supplies	Open		02/17/2026	03/19/2026	03/09/2026			98.72
			Vendor <b>4824 - Vestis First Aid</b> Totals				Invoices	1	\$98.72
Vendor <b>3020 - Village of Palatine Petty Cash</b>									
2026-00000229	Jauch - IAEI Meeting Exp 2/25/2026	Open		03/11/2026	03/11/2026	03/11/2026			30.00
PWPCJM03092026	Malik-Notary Public Application	Open		03/09/2026	03/12/2026	03/10/2026			16.00
			Vendor <b>3020 - Village of Palatine Petty Cash</b> Totals				Invoices	2	\$46.00
Vendor <b>3209 - Warehouse Direct</b>									
6098374-0	Roll Towel, Toilet Tissue	Open		02/19/2026	03/21/2026	02/18/2026			580.20



# Warrant #6

Invoice Due Date Range 01/01/26 - 04/07/26  
 Report By Vendor - Invoice  
 Summary Listing

Invoice Number	Invoice Description	Status	Held Reason	Invoice Date	Due Date	G/L Date	Received Date	Payment Date	Invoice Net Amount
			Vendor <b>3209 - Warehouse Direct</b> Totals			Invoices	1		\$580.20
Vendor <b>1901 - Wurth Usa Inc</b>									
98778449	Parts - M-999 & PT-999	Open		03/02/2026	04/01/2026	03/09/2026			137.15
			Vendor <b>1901 - Wurth Usa Inc</b> Totals			Invoices	1		\$137.15
Vendor <b>3185 - Ziebell Water Service Products Inc</b>									
271856-000	3/4 PKJT x CT Adapter	Open		02/19/2026	03/21/2026	03/06/2026			148.00
			Vendor <b>3185 - Ziebell Water Service Products Inc</b> Totals			Invoices	1		\$148.00
Vendor <b>4049 - Zip's Truck Equipment Inc</b>									
SO357683	Parts - T-459	Open		02/20/2026	03/22/2026	03/05/2026			531.99
SO357685	Parts - T-459	Open		02/20/2026	03/22/2026	03/05/2026			531.99
			Vendor <b>4049 - Zip's Truck Equipment Inc</b> Totals			Invoices	2		\$1,063.98
Vendor <b>Mary Anne Schneider</b>									
2026-00000226	50/50 Parkway Tree Refund	Open		02/25/2026	03/10/2026	03/10/2026			132.00
			Vendor <b>Mary Anne Schneider</b> Totals			Invoices	1		\$132.00
Vendor <b>Jin Zongzhu</b>									
PAF24-05651	Ambulance Fee Refund	Open		03/11/2026	03/11/2026	03/11/2026			284.14
			Vendor <b>Jin Zongzhu</b> Totals			Invoices	1		\$284.14
			Grand Totals			Invoices	298		\$1,259,008.29



# Warrant #6 EFT #1

Payment Date Range 03/06/26 - 03/06/26  
 Report By Vendor - Invoice  
 Summary Listing

Invoice Number	Invoice Description	Status	Held Reason	Invoice Date	Due Date	G/L Date	Received Date	Payment Date	Invoice Net Amount
Vendor <b>2048 - Quadient Finance USA, Inc</b> BH3811363542	Village Wide Postage for Postage Machine	Paid by EFT #17160		03/06/2026	03/06/2026	03/06/2026		03/06/2026	3,000.00
		Vendor <b>2048 - Quadient Finance USA, Inc</b> Totals				Invoices	1		<u>\$3,000.00</u>
		Grand Totals				Invoices	1		<u><u>\$3,000.00</u></u>



# Warrant #6 EFT #2

Payment Date Range 03/11/26 - 03/11/26  
 Report By Vendor - Invoice  
 Summary Listing

Invoice Number	Invoice Description	Status	Held Reason	Invoice Date	Due Date	G/L Date	Received Date	Payment Date	Invoice Net Amount
Vendor <b>4466 - JP Morgan Chase Bank Commercial Card</b>									
HSV-022526-1	RECOGNIZE PROFESSIONAL PICKERINGTON	Paid by EFT #17335		02/25/2026	03/11/2026	03/11/2026		03/11/2026	997.00
LO-022526-1	LOCAL GOVERNMENT EDUCA GREEN BAY WI	Paid by EFT #17294		02/25/2026	03/11/2026	03/11/2026		03/11/2026	299.00
LO-022526-2	AMAZON MKTPL*PL73D5M13 SEATTLE WA	Paid by EFT #17295		02/25/2026	03/11/2026	03/11/2026		03/11/2026	9.92
LO-022526-3	JERSEY MIKES ONLINE UC MANASQUAN NJ	Paid by EFT #17296		02/25/2026	03/11/2026	03/11/2026		03/11/2026	139.58
RTO-022526-1	AMAZON.COM*LN6QB3V53	Paid by EFT #17329		02/25/2026	03/11/2026	03/11/2026		03/11/2026	30.68
RTO-022526-2	SPRINGHILL SUITES SPRINGFIELD IL	Paid by EFT #17330		02/25/2026	03/11/2026	03/11/2026		03/11/2026	269.10
RTO-022526-3	SPRINGHILL SUITES SPRINGFIELD IL	Paid by EFT #17331		02/25/2026	03/11/2026	03/11/2026		03/11/2026	269.10
ADB-022526-1	GFOA	Paid by EFT #17297		02/25/2026	03/11/2026	03/11/2026		03/11/2026	1,000.00
ADB-022526-2	ILGFOA	Paid by EFT #17298		02/25/2026	03/11/2026	03/11/2026		03/11/2026	250.00
ADB-022526-3	Emmett's	Paid by EFT #17299		02/25/2026	03/11/2026	03/11/2026		03/11/2026	49.29
FIN-022526-1	Groot Industries	Paid by EFT #17161		02/25/2026	03/11/2026	03/11/2026		03/11/2026	280,899.45
FIN-022526-2	Amazon	Paid by EFT #17162		02/25/2026	03/11/2026	03/11/2026		03/11/2026	6.99
FIN-022526-3	Amazon	Paid by EFT #17163		02/25/2026	03/11/2026	03/11/2026		03/11/2026	31.34
FIN-022526-4	Federal Express	Paid by EFT #17164		02/25/2026	03/11/2026	03/11/2026		03/11/2026	90.25
MPP-022526-1	JOBMATCH - APPLICANT PRO	Paid by EFT #17208		02/25/2026	03/11/2026	03/11/2026		03/11/2026	1,272.00
MPP-022526-2	AMAZON MKTP	Paid by EFT #17209		02/25/2026	03/11/2026	03/11/2026		03/11/2026	143.93
MPP-022526-3	Amazon MKTPL	Paid by EFT #17210		02/25/2026	03/11/2026	03/11/2026		03/11/2026	199.97
JHH-022526-1	EXTREME * EXTREME CONNE MORRISVILLE NC	Paid by EFT #17300		02/25/2026	03/11/2026	03/11/2026		03/11/2026	2,898.00
JHH-022526-2	AFP*GMIS ILLINOIS WESTMONT IL	Paid by EFT #17301		02/25/2026	03/11/2026	03/11/2026		03/11/2026	200.00
JHH-022526-3	SOUTHWEST 5262130276616 DALLAS TX	Paid by EFT #17302		02/25/2026	03/11/2026	03/11/2026		03/11/2026	316.80
LAS-022526-1	DNH*GODADDY 480-505-8855 AZ	Paid by EFT #17316		02/25/2026	03/11/2026	03/11/2026		03/11/2026	44.38
LAS-022526-10	CDW GOVT #AIGE5N 800-808-4239 IL	Paid by EFT #17325		02/25/2026	03/11/2026	03/11/2026		03/11/2026	51.73
LAS-022526-11	AMAZON MKTPL *198MQ9LR3 SEATTLE WA	Paid by EFT #17326		02/25/2026	03/11/2026	03/11/2026		03/11/2026	165.78
LAS-022526-12	AMAZON MKTPL *B98W18XP2 SEATTLE WA	Paid by EFT #17327		02/25/2026	03/11/2026	03/11/2026		03/11/2026	19.99
LAS-022526-2	EBAY O*02-14177-55857 SAN JOSE CA	Paid by EFT #17317		02/25/2026	03/11/2026	03/11/2026		03/11/2026	99.98
LAS-022526-3	AMAZON.COM*GF9LS6FJ3 SEATTLE WA	Paid by EFT #17318		02/25/2026	03/11/2026	03/11/2026		03/11/2026	50.34
LAS-022526-4	AMAZON MKTPL *ZO8AI5243 SEATTLE WA	Paid by EFT #17319		02/25/2026	03/11/2026	03/11/2026		03/11/2026	593.94



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LAS-022526-5	AMAZON.COM*JD9T14A63 SEATTLE WA	Paid by EFT #17320		02/25/2026	03/11/2026	03/11/2026		03/11/2026	9.99
LAS-022526-6	AFP*GMIS ILLINOIS WESTMONT IL	Paid by EFT #17321		02/25/2026	03/11/2026	03/11/2026		03/11/2026	250.00
LAS-022526-7	AMAZON.COM*U97F20M33 SEATTLE WA	Paid by EFT #17322		02/25/2026	03/11/2026	03/11/2026		03/11/2026	54.93
LAS-022526-8	AMAZON MTPL*9I7ZW0TU3 SEATTLE WA	Paid by EFT #17323		02/25/2026	03/11/2026	03/11/2026		03/11/2026	48.25
LAS-022526-9	CDW GOVT #AH93U6T 800-808-4239 IL	Paid by EFT #17324		02/25/2026	03/11/2026	03/11/2026		03/11/2026	50.82
RLM-022526-1	GOOGLE WORKSPACE_PALAT MOUNTAIN VIEW CA	Paid by EFT #17205		02/25/2026	03/11/2026	03/11/2026		03/11/2026	84.00
RLM-022526-2	MSFT * E0300YTSC4 MSFT AZURE WA	Paid by EFT #17206		02/25/2026	03/11/2026	03/11/2026		03/11/2026	590.77
RLM-022526-3	OPEN AI *CHATGPT SUBSCR SAN FRANCISCO CA	Paid by EFT #17207		02/25/2026	03/11/2026	03/11/2026		03/11/2026	20.00
ATR-022526-1	FSP IACE Skokie IL	Paid by EFT #17246		02/25/2026	03/11/2026	03/11/2026		03/11/2026	30.00
ATR-022526-2	FSP IACE Skokie IL	Paid by EFT #17247		02/25/2026	03/11/2026	03/11/2026		03/11/2026	57.00
ATR-022526-3	FSP IACE Skokie IL	Paid by EFT #17248		02/25/2026	03/11/2026	03/11/2026		03/11/2026	57.00
ATR-022526-4	FSP IACE Skokie IL	Paid by EFT #17249		02/25/2026	03/11/2026	03/11/2026		03/11/2026	57.00
ATR-022526-5	Illinois Environmental Mapleton IL	Paid by EFT #17250		02/25/2026	03/11/2026	03/11/2026		03/11/2026	75.00
ATR-022526-6	Illinois Environmental Mapleton IL	Paid by EFT #17251		02/25/2026	03/11/2026	03/11/2026		03/11/2026	75.00
ATR-022526-7	FSP IACE Skokie IL	Paid by EFT #17252		02/25/2026	03/11/2026	03/11/2026		03/11/2026	(30.00)
DLA-022526-1	IL Prof License Fee Springfield IL	Paid by EFT #17243		02/25/2026	03/11/2026	03/11/2026		03/11/2026	153.38
DLA-022526-2	IL Prof License Fee Springfield IL	Paid by EFT #17244		02/25/2026	03/11/2026	03/11/2026		03/11/2026	153.38
DLA-022526-3	IL Prof License Fee Springfield IL	Paid by EFT #17245		02/25/2026	03/11/2026	03/11/2026		03/11/2026	153.38
MWJ-022526-1	INT'L CODE COUNCIL INC COUNTRY CLUB IL	Paid by EFT #17350		02/25/2026	03/11/2026	03/11/2026		03/11/2026	105.00
MWJ-022526-2	NWBOCA SCHAUMBURG IL	Paid by EFT #17351		02/25/2026	03/11/2026	03/11/2026		03/11/2026	65.00
ARC-022526-1	Mariano's	Paid by EFT #17305		02/25/2026	03/11/2026	03/11/2026		03/11/2026	42.95
ARC-022526-2	Mariano's	Paid by EFT #17306		02/25/2026	03/11/2026	03/11/2026		03/11/2026	39.64
ARC-022526-3	Jersey Mikes	Paid by EFT #17307		02/25/2026	03/11/2026	03/11/2026		03/11/2026	112.35
BJG-022526-1	Capital Region Airport	Paid by EFT #17328		02/25/2026	03/11/2026	03/11/2026		03/11/2026	45.00
GBG-022526-1	Rooted & Rising	Paid by EFT #17170		02/25/2026	03/11/2026	03/11/2026		03/11/2026	33.85
GBG-022526-2	CACI 17th Annual Conference	Paid by EFT #17177		02/25/2026	03/11/2026	03/11/2026		03/11/2026	550.00
GBG-022526-3	IL Division INTL	Paid by EFT #17171		02/25/2026	03/11/2026	03/11/2026		03/11/2026	25.00
GBG-022526-4	IL Division INTL	Paid by EFT #17172		02/25/2026	03/11/2026	03/11/2026		03/11/2026	25.00
GBG-022526-5	IL Division INTL	Paid by EFT #17173		02/25/2026	03/11/2026	03/11/2026		03/11/2026	25.00



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GBG-022526-6	IL Division INTL	Paid by EFT #17174		02/25/2026	03/11/2026	03/11/2026		03/11/2026	275.00
GBG-022526-7	IL Division INTL	Paid by EFT #17175		02/25/2026	03/11/2026	03/11/2026		03/11/2026	275.00
GBG-022526-8	IL Division INTL	Paid by EFT #17176		02/25/2026	03/11/2026	03/11/2026		03/11/2026	275.00
PAC-022526-1	Amazon Marketplace	Paid by EFT #17236		02/25/2026	03/11/2026	03/11/2026		03/11/2026	199.90
PAC-022526-2	Ray O'Herron Co	Paid by EFT #17237		02/25/2026	03/11/2026	03/11/2026		03/11/2026	1,442.31
PAC-022526-3	Amazon Marketplace	Paid by EFT #17238		02/25/2026	03/11/2026	03/11/2026		03/11/2026	39.18
PAC-022526-4	Amazon Marketplace	Paid by EFT #17239		02/25/2026	03/11/2026	03/11/2026		03/11/2026	179.95
WEN-022526-1	Raising Canes	Paid by EFT #17334		02/25/2026	03/11/2026	03/11/2026		03/11/2026	187.26
CJZ-022526-1	Menards	Paid by EFT #17290		02/25/2026	03/11/2026	03/11/2026		03/11/2026	87.90
CJZ-022526-2	Menards	Paid by EFT #17291		02/25/2026	03/11/2026	03/11/2026		03/11/2026	89.99
JJA-022526-1	IL Fire Inspectors	Paid by EFT #17332		02/25/2026	03/11/2026	03/11/2026		03/11/2026	360.15
JJA-022526-2	NWBOCA	Paid by EFT #17333		02/25/2026	03/11/2026	03/11/2026		03/11/2026	30.00
KV-022526-1	GRIF Hockey	Paid by EFT #17292		02/25/2026	03/11/2026	03/11/2026		03/11/2026	465.00
KV-022526-2	Kwik Trip	Paid by EFT #17293		02/25/2026	03/11/2026	03/11/2026		03/11/2026	30.80
RRK-022526-1	Jones & Bartlett	Paid by EFT #17202		02/25/2026	03/11/2026	03/11/2026		03/11/2026	173.26
RRK-022526-2	Super 8 Motels	Paid by EFT #17203		02/25/2026	03/11/2026	03/11/2026		03/11/2026	427.50
RRK-022526-3	Super 8 Motels	Paid by EFT #17204		02/25/2026	03/11/2026	03/11/2026		03/11/2026	427.50
SEM-022526-1	Amazon	Paid by EFT #17336		02/25/2026	03/11/2026	03/11/2026		03/11/2026	25.99
SEM-022526-10	Zip Specialties	Paid by EFT #17345		02/25/2026	03/11/2026	03/11/2026		03/11/2026	169.00
SEM-022526-11	American Heart Shop	Paid by EFT #17346		02/25/2026	03/11/2026	03/11/2026		03/11/2026	700.00
SEM-022526-12	Amazon	Paid by EFT #17347		02/25/2026	03/11/2026	03/11/2026		03/11/2026	9.98
SEM-022526-13	Home Depot	Paid by EFT #17348		02/25/2026	03/11/2026	03/11/2026		03/11/2026	120.94
SEM-022526-14	Amazon	Paid by EFT #17349		02/25/2026	03/11/2026	03/11/2026		03/11/2026	22.99
SEM-022526-2	Amazon	Paid by EFT #17337		02/25/2026	03/11/2026	03/11/2026		03/11/2026	29.99
SEM-022526-3	Amazon	Paid by EFT #17338		02/25/2026	03/11/2026	03/11/2026		03/11/2026	75.00
SEM-022526-4	Amazon	Paid by EFT #17339		02/25/2026	03/11/2026	03/11/2026		03/11/2026	23.99
SEM-022526-5	Amazon	Paid by EFT #17340		02/25/2026	03/11/2026	03/11/2026		03/11/2026	15.19
SEM-022526-6	Amazon	Paid by EFT #17341		02/25/2026	03/11/2026	03/11/2026		03/11/2026	34.95
SEM-022526-7	Amazon	Paid by EFT #17342		02/25/2026	03/11/2026	03/11/2026		03/11/2026	(75.00)
SEM-022526-8	Amazon	Paid by EFT #17343		02/25/2026	03/11/2026	03/11/2026		03/11/2026	42.99
SEM-022526-9	Amazon	Paid by EFT #17344		02/25/2026	03/11/2026	03/11/2026		03/11/2026	168.30
AJB-022526-1	1000Bulbs.com	Paid by EFT #17254		02/25/2026	03/11/2026	03/11/2026		03/11/2026	30.68
AJB-022526-10	Grainger	Paid by EFT #17263		02/25/2026	03/11/2026	03/11/2026		03/11/2026	187.98
AJB-022526-11	1000Bulbs.com	Paid by EFT #17264		02/25/2026	03/11/2026	03/11/2026		03/11/2026	221.78
AJB-022526-2	Grainger	Paid by EFT #17255		02/25/2026	03/11/2026	03/11/2026		03/11/2026	136.08
AJB-022526-3	Supplyhouse.com	Paid by EFT #17256		02/25/2026	03/11/2026	03/11/2026		03/11/2026	67.06
AJB-022526-4	Supplyhouse.com	Paid by EFT #17257		02/25/2026	03/11/2026	03/11/2026		03/11/2026	141.62
AJB-022526-5	1000Bulbs.com	Paid by EFT #17258		02/25/2026	03/11/2026	03/11/2026		03/11/2026	221.81
AJB-022526-6	Grainger	Paid by EFT #17259		02/25/2026	03/11/2026	03/11/2026		03/11/2026	130.20
AJB-022526-7	Zoro Tools Inc.	Paid by EFT #17260		02/25/2026	03/11/2026	03/11/2026		03/11/2026	174.38
AJB-022526-8	Zoro Tools Inc.	Paid by EFT #17261		02/25/2026	03/11/2026	03/11/2026		03/11/2026	245.88
AJB-022526-9	Grainger	Paid by EFT #17262		02/25/2026	03/11/2026	03/11/2026		03/11/2026	125.06



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GSR-022526-1	IAFSM	Paid by EFT #17253		02/25/2026	03/11/2026	03/11/2026		03/11/2026	1,575.00
JEK-022526-1	Carhartt	Paid by EFT #17281		02/25/2026	03/11/2026	03/11/2026		03/11/2026	(47.94)
JEK-022526-2	Carhartt	Paid by EFT #17282		02/25/2026	03/11/2026	03/11/2026		03/11/2026	230.94
JEK-022526-3	Carhartt	Paid by EFT #17283		02/25/2026	03/11/2026	03/11/2026		03/11/2026	(20.97)
JM-022526-1	Amazon Marketplace	Paid by EFT #17178		02/25/2026	03/11/2026	03/11/2026		03/11/2026	(9.79)
JM-022526-10	Homedepot.com	Paid by EFT #17187		02/25/2026	03/11/2026	03/11/2026		03/11/2026	78.57
JM-022526-11	Amazon.com	Paid by EFT #17188		02/25/2026	03/11/2026	03/11/2026		03/11/2026	327.84
JM-022526-12	In *Backflow Solutions	Paid by EFT #17189		02/25/2026	03/11/2026	03/11/2026		03/11/2026	495.00
JM-022526-13	Homedepot.com	Paid by EFT #17190		02/25/2026	03/11/2026	03/11/2026		03/11/2026	163.80
JM-022526-14	Amazon Marketplace	Paid by EFT #17191		02/25/2026	03/11/2026	03/11/2026		03/11/2026	180.00
JM-022526-15	Amazon Marketplace	Paid by EFT #17192		02/25/2026	03/11/2026	03/11/2026		03/11/2026	22.34
JM-022526-16	Amazon Marketplace	Paid by EFT #17193		02/25/2026	03/11/2026	03/11/2026		03/11/2026	5.78
JM-022526-17	Amazon.com	Paid by EFT #17194		02/25/2026	03/11/2026	03/11/2026		03/11/2026	9.87
JM-022526-18	Amazon.com	Paid by EFT #17195		02/25/2026	03/11/2026	03/11/2026		03/11/2026	119.99
JM-022526-19	Amazon Marketplace	Paid by EFT #17196		02/25/2026	03/11/2026	03/11/2026		03/11/2026	27.99
JM-022526-2	Amer Assoc Notaries	Paid by EFT #17179		02/25/2026	03/11/2026	03/11/2026		03/11/2026	99.20
JM-022526-20	Amazon Marketplace	Paid by EFT #17197		02/25/2026	03/11/2026	03/11/2026		03/11/2026	119.88
JM-022526-21	Amazon Marketplace	Paid by EFT #17198		02/25/2026	03/11/2026	03/11/2026		03/11/2026	49.95
JM-022526-22	UPS*Billing Center	Paid by EFT #17199		02/25/2026	03/11/2026	03/11/2026		03/11/2026	40.77
JM-022526-23	Einstein Bros-Online	Paid by EFT #17200		02/25/2026	03/11/2026	03/11/2026		03/11/2026	79.57
JM-022526-24	UPS*Billing Center	Paid by EFT #17201		02/25/2026	03/11/2026	03/11/2026		03/11/2026	25.50
JM-022526-3	Amazon Marketplace	Paid by EFT #17180		02/25/2026	03/11/2026	03/11/2026		03/11/2026	83.80
JM-022526-4	Amazon Marketplace	Paid by EFT #17181		02/25/2026	03/11/2026	03/11/2026		03/11/2026	17.54
JM-022526-5	Supplyhouse.com	Paid by EFT #17182		02/25/2026	03/11/2026	03/11/2026		03/11/2026	1,283.36
JM-022526-6	Amazon.com	Paid by EFT #17183		02/25/2026	03/11/2026	03/11/2026		03/11/2026	11.80
JM-022526-7	Amazon.com	Paid by EFT #17184		02/25/2026	03/11/2026	03/11/2026		03/11/2026	29.91
JM-022526-8	Amazon.com	Paid by EFT #17185		02/25/2026	03/11/2026	03/11/2026		03/11/2026	33.76
JM-022526-9	Amazon Marketplace	Paid by EFT #17186		02/25/2026	03/11/2026	03/11/2026		03/11/2026	59.97
JRK-022526-1	Grainger	Paid by EFT #17284		02/25/2026	03/11/2026	03/11/2026		03/11/2026	122.88
JRK-022526-2	Grainger	Paid by EFT #17285		02/25/2026	03/11/2026	03/11/2026		03/11/2026	18.98
JRK-022526-3	Grainger	Paid by EFT #17286		02/25/2026	03/11/2026	03/11/2026		03/11/2026	203.05
JRK-022526-4	Home Depot	Paid by EFT #17287		02/25/2026	03/11/2026	03/11/2026		03/11/2026	7.89
JRK-022526-5	SP CODEKREW KINGTON LND	Paid by EFT #17288		02/25/2026	03/11/2026	03/11/2026		03/11/2026	(999.00)
JRK-022526-6	Rainstorm	Paid by EFT #17289		02/25/2026	03/11/2026	03/11/2026		03/11/2026	491.59
KCH-022526-1	Home Depot	Paid by EFT #17303		02/25/2026	03/11/2026	03/11/2026		03/11/2026	277.62
KCH-022526-2	Home Depot	Paid by EFT #17304		02/25/2026	03/11/2026	03/11/2026		03/11/2026	18.10
KML-022526-1	Pelra	Paid by EFT #17313		02/25/2026	03/11/2026	03/11/2026		03/11/2026	(975.00)
KML-022526-2	Spunky Dunkers Donuts	Paid by EFT #17314		02/25/2026	03/11/2026	03/11/2026		03/11/2026	145.17
KML-022526-3	Jewel Osco	Paid by EFT #17315		02/25/2026	03/11/2026	03/11/2026		03/11/2026	25.13
MDB-022526-1	Optimal Distribution	Paid by EFT #17165		02/25/2026	03/11/2026	03/11/2026		03/11/2026	1,709.13
MDB-022526-2	Wally's Pontiac	Paid by EFT #17166		02/25/2026	03/11/2026	03/11/2026		03/11/2026	51.26



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 Report By Vendor - Invoice  
 Summary Listing

Invoice Number	Invoice Description	Status	Held Reason	Invoice Date	Due Date	G/L Date	Received Date	Payment Date	Invoice Net Amount
MIH-022526-1	Mutual Ace Palatine	Paid by EFT #17308		02/25/2026	03/11/2026	03/11/2026		03/11/2026	1.55
MIH-022526-2	Batteries Plus	Paid by EFT #17309		02/25/2026	03/11/2026	03/11/2026		03/11/2026	27.90
MIH-022526-3	Batteries Plus	Paid by EFT #17310		02/25/2026	03/11/2026	03/11/2026		03/11/2026	12.90
MIH-022526-4	Home Depot	Paid by EFT #17311		02/25/2026	03/11/2026	03/11/2026		03/11/2026	40.96
MIH-022526-5	Mutual Ace Palatine	Paid by EFT #17312		02/25/2026	03/11/2026	03/11/2026		03/11/2026	13.45
MJK-022526-1	Home Depot	Paid by EFT #17235		02/25/2026	03/11/2026	03/11/2026		03/11/2026	222.12
MWK-022526-1	Grainger	Paid by EFT #17211		02/25/2026	03/11/2026	03/11/2026		03/11/2026	113.22
MWK-022526-10	Grainger	Paid by EFT #17219		02/25/2026	03/11/2026	03/11/2026		03/11/2026	(53.66)
MWK-022526-11	Grainger	Paid by EFT #17220		02/25/2026	03/11/2026	03/11/2026		03/11/2026	(6.26)
MWK-022526-12	Grainger	Paid by EFT #17221		02/25/2026	03/11/2026	03/11/2026		03/11/2026	(36.10)
MWK-022526-13	Grainger	Paid by EFT #17222		02/25/2026	03/11/2026	03/11/2026		03/11/2026	(53.73)
MWK-022526-14	Grainger	Paid by EFT #17223		02/25/2026	03/11/2026	03/11/2026		03/11/2026	(8.34)
MWK-022526-15	Grainger	Paid by EFT #17224		02/25/2026	03/11/2026	03/11/2026		03/11/2026	(31.36)
MWK-022526-16	Grainger	Paid by EFT #17225		02/25/2026	03/11/2026	03/11/2026		03/11/2026	(56.92)
MWK-022526-17	Grainger	Paid by EFT #17226		02/25/2026	03/11/2026	03/11/2026		03/11/2026	406.08
MWK-022526-18	Grainger	Paid by EFT #17227		02/25/2026	03/11/2026	03/11/2026		03/11/2026	36.71
MWK-022526-19	TEquipment	Paid by EFT #17228		02/25/2026	03/11/2026	03/11/2026		03/11/2026	279.01
MWK-022526-2	Grainger	Paid by EFT #17212		02/25/2026	03/11/2026	03/11/2026		03/11/2026	99.70
MWK-022526-20	Grainger	Paid by EFT #17216		02/25/2026	03/11/2026	03/11/2026		03/11/2026	19.94
MWK-022526-21	Grainger	Paid by EFT #17229		02/25/2026	03/11/2026	03/11/2026		03/11/2026	343.56
MWK-022526-22	Austin Hardware	Paid by EFT #17230		02/25/2026	03/11/2026	03/11/2026		03/11/2026	41.13
MWK-022526-23	Grainger	Paid by EFT #17231		02/25/2026	03/11/2026	03/11/2026		03/11/2026	14.10
MWK-022526-24	Wheeler	Paid by EFT #17232		02/25/2026	03/11/2026	03/11/2026		03/11/2026	268.63
MWK-022526-3	Grainger	Paid by EFT #17213		02/25/2026	03/11/2026	03/11/2026		03/11/2026	85.24
MWK-022526-4	Grainger	Paid by EFT #17214		02/25/2026	03/11/2026	03/11/2026		03/11/2026	5.63
MWK-022526-5	Grainger	Paid by EFT #17215		02/25/2026	03/11/2026	03/11/2026		03/11/2026	77.14
MWK-022526-6	Grainger	Paid by EFT #17233		02/25/2026	03/11/2026	03/11/2026		03/11/2026	44.34
MWK-022526-7	Ebay	Paid by EFT #17234		02/25/2026	03/11/2026	03/11/2026		03/11/2026	19.94
MWK-022526-8	Grainger	Paid by EFT #17217		02/25/2026	03/11/2026	03/11/2026		03/11/2026	66.04
MWK-022526-9	Grainger	Paid by EFT #17218		02/25/2026	03/11/2026	03/11/2026		03/11/2026	(8.96)
RLK-022526-1	Mutual Ace Palatine	Paid by EFT #17240		02/25/2026	03/11/2026	03/11/2026		03/11/2026	223.98
RLK-022526-2	Mutual Ace Palatine	Paid by EFT #17241		02/25/2026	03/11/2026	03/11/2026		03/11/2026	5.26
RLK-022526-3	Home Depot	Paid by EFT #17242		02/25/2026	03/11/2026	03/11/2026		03/11/2026	75.14
SAD-022526-1	Martin One Source	Paid by EFT #17167		02/25/2026	03/11/2026	03/11/2026		03/11/2026	33.00
SAD-022526-2	Home Depot	Paid by EFT #17168		02/25/2026	03/11/2026	03/11/2026		03/11/2026	60.90
SAD-022526-3	ISA	Paid by EFT #17169		02/25/2026	03/11/2026	03/11/2026		03/11/2026	190.00
SC-022526-1	Menards	Paid by EFT #17277		02/25/2026	03/11/2026	03/11/2026		03/11/2026	203.40
SC-022526-10	Home Depot	Paid by EFT #17270		02/25/2026	03/11/2026	03/11/2026		03/11/2026	29.47
SC-022526-11	Home Depot	Paid by EFT #17271		02/25/2026	03/11/2026	03/11/2026		03/11/2026	48.68
SC-022526-12	Home Depot	Paid by EFT #17272		02/25/2026	03/11/2026	03/11/2026		03/11/2026	34.24
SC-022526-13	Menards	Paid by EFT #17273		02/25/2026	03/11/2026	03/11/2026		03/11/2026	179.39
SC-022526-14	Menards	Paid by EFT #17274		02/25/2026	03/11/2026	03/11/2026		03/11/2026	22.99



## Warrant #6 EFT #2

Payment Date Range 03/11/26 - 03/11/26  
Report By Vendor - Invoice  
Summary Listing

Invoice Number	Invoice Description	Status	Held Reason	Invoice Date	Due Date	G/L Date	Received Date	Payment Date	Invoice Net Amount
SC-022526-15	Menards	Paid by EFT #17275		02/25/2026	03/11/2026	03/11/2026		03/11/2026	74.99
SC-022526-16	Menards	Paid by EFT #17276		02/25/2026	03/11/2026	03/11/2026		03/11/2026	110.90
SC-022526-2	Home Depot	Paid by EFT #17278		02/25/2026	03/11/2026	03/11/2026		03/11/2026	73.86
SC-022526-3	Menards	Paid by EFT #17279		02/25/2026	03/11/2026	03/11/2026		03/11/2026	(116.61)
SC-022526-4	Menards	Paid by EFT #17280		02/25/2026	03/11/2026	03/11/2026		03/11/2026	67.93
SC-022526-5	Home Depot	Paid by EFT #17265		02/25/2026	03/11/2026	03/11/2026		03/11/2026	97.46
SC-022526-6	Home Depot	Paid by EFT #17266		02/25/2026	03/11/2026	03/11/2026		03/11/2026	42.90
SC-022526-7	Berland's Inc.	Paid by EFT #17267		02/25/2026	03/11/2026	03/11/2026		03/11/2026	204.99
SC-022526-8	Home Depot	Paid by EFT #17268		02/25/2026	03/11/2026	03/11/2026		03/11/2026	18.82
SC-022526-9	Mutual Ace Palatine	Paid by EFT #17269		02/25/2026	03/11/2026	03/11/2026		03/11/2026	6.92
Vendor <b>4466 - JP Morgan Chase Bank Commercial Card</b> Totals						Invoices	191		\$311,232.57
Grand Totals						Invoices	191		\$311,232.57

Village of Palatine  
**Payment Batch Register**

Bank Account: AP - Accounts Payable ZBA

Batch Date: 03/02/2026

Type	Date	Number	Source	Payee Name	EFT Bank/Account	Transaction Amount
<b>Bank Account:</b> AP - Accounts Payable ZBA						
Check	03/02/2026	269660	Utility Management Refund	WICKED QUICK CAR WASH LLC		2,384.94
			Account Type	Account Number	Transaction Date	Transaction Type
			Commercial	545350001-003	02/20/2026	Refund
AP Accounts Payable ZBA Totals:				Transactions: 1		\$2,384.94
	Checks:	1		\$2,384.94		

## **Consider an Ordinance Granting a Variation for the Expansion of a Stoop at 606 E. Kenilworth Avenue**

### **BACKGROUND:**

The Petitioner is requesting to expand an existing stoop, in a required side yard abutting a street, to a dimension of 12 feet wide. Therefore, the Petitioner is requesting approval of the following:

**Variation to permit a 12-foot-wide stoop in the required side yard abutting a street, instead of the maximum 9-foot width for stoops as a permitted obstruction.**

### **KEY ISSUES:**

- The Subject Property, zoned R-2 Single-Family and approximately 11,175 square feet in size, contains a single-family home and related improvements.
- The Petitioner is requesting to expand the existing 9-foot-wide stoop to a width of 12 feet. The applicant's motive for the request is to use the expanded patio for outdoor seating and to accommodate mobility needs. The request does not increase the depth of the stoop into the side yard abutting Kenilworth Avenue. The stoop will maintain its existing depth of 5 feet.
- As indicated in Section 10.01(d)(1)(l) of the Zoning Ordinance, stoops are permitted in required side yards abutting a street as a permitted obstruction — with maximum dimensions of 9 feet wide and 5 feet deep.
- Per the review of the petition, Staff analyzed other stoops in the nearby area and observed other examples of properties having stoops wider than 9 feet, which were also located in required yards.

### **BUDGET IMPACT:**

N/A

### **RECOMMENDATION:**

Public Hearing: Planning & Zoning Commission (PZC) meeting on March 10, 2026.

Residents testifying: None.

Vote: The PZC voted unanimously to approve the Variation and Staff concurs.

### **ACTION REQUIRED:**

Motion to approve an ordinance granting the expansion of a stoop at the Subject Property.

**ATTACHMENTS:**

None

## **Consider an Ordinance Approving a Special Use Transfer to Permit the Continued Operation of the Grocery Store at 1266 E. Dundee Road**

### **BACKGROUND:**

The current Special Use for the Asian Market was originally approved in 2004. Shengmalong Market Company is now seeking to acquire the business and requesting approval of the following:

**Transfer of Special Use #O-06-04 to permit the continued operation of the Asian Market grocery store at 1266 E. Dundee Road.**

### **KEY ISSUES:**

- The Subject Property, zoned B-2 General Business, is in an existing tenant space within the shopping center. The Special Use for a grocery store was initially approved in 2004 and most recently transferred in 2012.
- The proposed business hours are Sunday – Thursday 10 AM – 8 PM and Friday – Saturday 10 AM – 9 PM. The proposed hours would decrease from the original hours approved (Monday – Saturday 9 AM - 9 PM and Sunday 9 AM - 10 PM).
- Any additional changes to the floor plan or business operations would require additional Village review.

### **BUDGET IMPACT:**

N/A

### **RECOMMENDATION:**

Staff recommends approval of the Special Use Transfer at 1266 E. Dundee Road.

### **ACTION REQUIRED:**

A motion to approve the Special Use Transfer of Ordinance #O-06-054 to Shengmalong Market Company to permit the continued operation of the Asian Market grocery store at 1266 E. Dundee Road.

### **ATTACHMENTS:**

None

## Consider a Resolution Granting a Preliminary and Final Plat of Subdivision to Re-Subdivide the Property at 763 N. Franklin Avenue from Three Existing Lots to Two Lots

### BACKGROUND:

The Subject Property, zoned R-2 Single-Family Residential and containing approximately 34,104 square feet (0.78 acres), consists of three existing platted lots. The Petitioner is requesting approval to re-subdivide the property from the three existing lots into two lots:

1. Preliminary and Final Plat of Subdivision (Re-Subdivision) for 2 single-family residential lots.

### KEY ISSUES:

#### *Zoning and Site Design*

- The Petitioner is requesting subdivision approval to reconfigure the 3 existing single-family residential lots into 2 lots. The proposed site plan would maintain the existing home on the northern lot, with the southern lot to remain vacant at this time. Both lots exceed the minimum requirements for the R-2 standards:

	<b>Lot Size (R-2 = 9,000 sq. ft.)</b>	<b>Lot Width (R-2 = 75 feet)</b>	<b>Lot Depth (R-2=110' required)</b>
<b>Lot 1</b>	19,334 sq. ft.	102.04'	189.47'
<b>Lot 2</b>	14,753 sq. ft.	77.86'	189.47'

- The existing home would meet all the corresponding setback and bulk requirements, excepting for the legally non-conforming required side yard setback (north), which is 5.66 feet (the current R-2 requirement is 10 feet) and the northwest corner of the home, which maintains a 29-foot front yard setback (the current R-2 requirement is 30 feet). These setbacks are unaffected by the proposed subdivision.

#### *Engineering*

- The existing home is serviced by municipal sewer and water. There is also a sanitary sewer and water line along the Franklin Avenue right-of-way, which would accommodate any future residential construction on the proposed southern lot.

**BUDGET IMPACT:**

N/A

**RECOMMENDATION:**

Public Hearing: Planning & Zoning Commission (PZC) meeting on March 10, 2026.

Residents testifying: Three: Questions about what uses could be constructed on the vacant lot and confirmation regarding the underlying zoning and engineering requirements to build upon the vacant lot.

Vote: The PZC voted unanimously to approve the Plat of Subdivision and Staff concurs.

**ACTION REQUIRED:**

A motion to approve a resolution granting a Preliminary and Final Plat of Subdivision to permit 2 lots at 763 N. Franklin Avenue.

**ATTACHMENTS:**

None

## **Consider an Ordinance Granting a Minor Amendment to the Slade Street Crossing Planned Development Regarding the Allowable Fencing Type, Maximum Height, and Permitted Locations, Including an Amendment to the Slade Street Crossing Declarations**

### **BACKGROUND:**

The Subject Property was approved as a 5-lot single-family residential development in 2024. Since its approval, four home sites are complete and have all received Certificates of Occupancy. Through the development's review process, fencing for any of the individual home sites was not specifically contemplated or addressed within the Planned Development. Therefore, the Petitioner is requesting approval of the following:

**A Minor Planned Development Amendment to specify the permitted fence type, the maximum permitted height, and permitted locations.**

### **KEY ISSUES:**

- When the Slade Street Crossing Planned Development was initially reviewed and approved, the development did not establish fencing criteria for the 5-lot subdivision. The developer is requesting a Minor Planned Development Amendment, in order to create the fencing criteria allowed within the Subdivision. The criteria will include the permitted fencing type, maximum allowable height, and permitted locations within the development.
- Staff notes that the requested amendment only establishes allowable fencing parameters for what would be permitted fencing by Code. This amendment will ensure that there is uniform material, maximum permitted height (which aligns to the maximum height for residential properties in the zoning district), and permitted locations are established, all of which conform to the permitted parameters within the zoning ordinance.
- The requested fencing locations include interior side yard fencing for Lot 5, which would not extend into the front yards along Slade Street, nor impact the driveway aprons to the garages or shared access driveway. The fencing would be a cedar shadowbox style fence, with a maximum height of 6 feet.
- Additionally, cedar shadowbox fencing, not exceeding 6 feet in height and 10 linear feet would also be permitted between the patios or Lots 4-5.

### **BUDGET IMPACT:**

N/A

### **RECOMMENDATION:**

Staff recommends approval of the ordinance granting the Slade Street Crossing Minor Planned Development Amendment.

**ACTION REQUIRED:**

Motion to approve an ordinance granting a Minor Amendment to the Planned Development to establish the allowable fencing type, maximum height, and permitted locations within the Slade Street Station Planned Development.

**ATTACHMENTS:**

None

## **Consider an Ordinance Granting a Minor Amendment to the Olms Corner Planned Development Regarding the Allowable Fencing Type, Maximum Height, and Permitted Locations, Including an Amendment to the Olms Corner Subdivision Declarations**

### **BACKGROUND:**

The Olms Corner Planned Development was approved in 2023 for a 3-lot single-family development. At present, two homes are complete and occupied, with the construction of the third lot limited to the completion of the foundation.

### **KEY ISSUES:**

- When the Olms Corner Planned Development was initially reviewed and approved, the development did not establish fencing criteria for the 3 home sites. As homes were completed and sold to the new owners, the developer is requesting a Minor Planned Development Amendment, in order to create the fencing criteria within the Subdivision. The criteria will include the permitted fencing type, maximum allowable height, and permitted locations within the development.
- Staff notes that the requested amendment only establishes the allowable fencing parameters that are consistent with what is permitted fencing by Code. This amendment will ensure that there is a uniform material, maximum permitted height (which aligns to the maximum height for residential properties in the zoning district), and permitted locations, all of which conform to the permitted parameters within the zoning ordinance.
- The requested fencing locations include interior fencing on the north side of Lot 1, which would not extend into the front yard along Brockway Street, nor impact the driveway apron to the garage or shared access driveway. For Lot 3 (corner lot at Colfax/Brockway), the requested amendment would allow the fencing material of an open picket-style fence, not to exceed 4 feet in height. Although a 4-foot picket-fence is permitted, the fencing would be required to be set back 3 feet, as this lot is positioned back-to-back with the lot directly to the east.

### **BUDGET IMPACT:**

N/A

### **RECOMMENDATION:**

Staff recommends approval of an ordinance granting the Minor Planned Development Amendment for the Olms Corner Planned Development.

### **ACTION REQUIRED:**

A motion to approve the Minor Amendment to the Planned Development Ordinance for

the Olms Corner Planned Development.

**ATTACHMENTS:**

None

## **Consider an Ordinance Authorizing the Village Manager to Execute an Amended and Restated Solid Waste Services Agreement Between The Village of Palatine and Groot Industries, Inc.**

### **BACKGROUND:**

Residential solid waste collection and hauling is provided throughout the Village of Palatine through a contract with Groot Industries. The current contract is due to expire on December 31, 2026. At the end of 2025, the Village Council authorized the Village Manager to either negotiate an amended contract with Groot or pursue a Request for Proposal process. Staff has undertaken an extensive review of not only our current contract, but many recent contracts throughout the Chicago market for communities that have gone through a RFP process as well as many that have negotiated extensions.

### **KEY ISSUES:**

Based on a comprehensive review and discussions with our current vendor, staff is recommending an amended and restated contract with Groot. After reviewing recent contracts in other communities, scope of services offered and customer service satisfaction, staff believes that the contract with Groot will provide the strongest economic benefit, avoid disruption and continue to provide our residents with outstanding customer service.

- **Pricing** — The contract reflects a multifaceted approach to the cost for waste collection and hauling services that will allow the Village to keep the current monthly costs for single-family/townhome properties, assuming no change in law, constant over the next five years. Multi-family properties will have a rate freeze in their first year of the new contract.
- **Food Scrap Program** — The agreement has added a provision for the contractor to provide a food scrap program for the residents. At no additional cost, residents can place food scraps in a landscape waste bag and have weekly collection from April through the second collection in December. On a subscription basis, a resident would receive a collection toter that will allow for year-round food scrap disposal as well as double as a landscape waste collection toter. The program is \$150 per year for the first three years of the agreement. This is lower than the cost of what most private contractors are charging for the food scrap only service. To require the food scrap collection on all residents would result in an increase to the monthly rate for everyone of approximately \$7 or a 33% increase. Staff does not recommend a mandatory collection as we believe the 8-month free alternative is a benefit for many, and staff is concerned over increased compliance issues if homes must store three toters.
- **Contractor Performance and Insurance** — Contractors Bond increased from \$250,000 to \$2,000,000, they will maintain a \$25,000,000 umbrella policy, and language was added regarding spill prevention and remediation, accident

reporting, street damage prevention, and collection during residential road construction projects.

- **Refuse Cart Changeout** — All residents will be provided a cart change out at no cost from May 1 to 31, annually. This will allow residents to manage their cart size annually at no charge and is a new provision of the contract. Any requested cart change out between June 1 and April 30 will result in a cart change-out fee.
- **White Goods and Electronic Waste Collection** — These services will still be provided at \$20.00 in year 1 of the contract with nominal increases layered in over the term of the contract. Often Groot would come out for a scheduled collection to find the item already removed. We anticipate that many items will be placed at the curb for scrapers prior to calling for a collection.

The contract would have an initial term of eight (8) years with renewal options. In 2031, the Village will be in a position to determine whether to continue their membership with the Solid Waste Agency of Northern Cook County (SWANCC). If the Village were to terminate membership, the pricing in the contract would, at worst, remain what is published. There is a chance that savings could be achieved due to a shorter haul distance for refuse.

**BUDGET IMPACT:**

The Refuse Fund is an Enterprise Fund and the cost of solid waste collection is charged to the home owner, thus the budget impact is neutral.

**RECOMMENDATION:**

Staff recommends approval of an ordinance authorizing the Village Manager to execute an amended and restated solid waste services agreement with Groot Industries.

**ACTION REQUIRED:**

A motion to approve the ordinance authorizing the Village Manager to execute an amended and restated solid waste services agreement with Groot Industries.

**ATTACHMENTS:**

None

## **Consider an Ordinance Authorizing the Village Manager to Execute a Renewed Intergovernmental Agreement Between the Village of Palatine and the Inverness Fire Protection District**

### **BACKGROUND:**

The Village of Palatine and the Inverness Fire Protection District have a long-standing intergovernmental agreement, in which Palatine provides first responder fire and EMS services to agreed-upon areas of unincorporated Cook County that are in the Inverness Fire Protection District. The last agreement expired April 14, 2024, and the new agreement has been revised and was approved by the Inverness Fire Protection Board on February 9, 2026.

### **KEY ISSUES:**

- The Village of Palatine and Inverness have operated within an intergovernmental agreement for agreed-upon services since 2000. The intergovernmental agreement expired in 2024, thus a new agreement is needed.
- The term of the new agreement is from March 16, 2026 to March 15, 2031.
- Under this agreement, the Village will continue to provide first responder fire and EMS services to agreed-upon areas of unincorporated Cook County that is in the Inverness Fire Protection District. The District will provide mutual aid to the Village of Palatine, as well as an annual payment to the Village.
- The terms of the agreement remain unchanged except for a change in the methodology for annual increases, moving from a portion of property tax receipts to a 3% escalator every year based on the 2025 dollar amount for the life of the agreement term.

### **BUDGET IMPACT:**

\$801,788.05 for 2026 with 3% escalator per year thereafter.

### **RECOMMENDATION:**

Staff recommends approval of a Renewed Intergovernmental Agreement between the Village of Palatine and the Inverness Fire Protection District.

### **ACTION REQUIRED:**

Approval of an ordinance authorizing the Village Manager to execute a renewed Intergovernmental Agreement between the Village of Palatine and the Inverness Fire Protection District.

### **ATTACHMENTS:**

None

## Consider a Motion Authorizing the Village Manager to Execute a Change Order for the Improvement of Fire Station 82 and 85

### BACKGROUND:

Dating back to 2022, the Village commissioned architectural services to address building maintenance needs and make necessary improvements at Fire Station 82 and Fire Station 85. Program objectives included relocating Fire Administrative operations from Colfax Street to Hicks Road, replacing declining building elements, repairing site conditions which had deteriorated, and repurposing vacated office space to conference and fitness space.

Needs exceeded the original available resources and some elements originally part of the plan were held in abeyance. The Village was successful in securing additional grant funding for the Salt Creek Improvement, which freed up America Rescue Plan Act funds to be used for improvements needed.

### KEY ISSUES:

- For Fire Station 82, the proposed change order includes parking lot maintenance, exterior stair replacement, building lighting replacement in the original building, door replacement, and bay floor improvements.
- For Fire Station 85, the proposed change order includes parking lot maintenance, bay floor plumbing replacement, replacement of potable water feeds, electrical system replacement, and garage door replacements.
- Fixed and pre-agreed upon costs in the proposed change order are \$877,695. Similar to the base contract for this work, a contingency is proposed. The recommended contingency is \$165,010. This contingency would be used to address unforeseen circumstances when improving existing space.
- Should available contingencies remain as risk diminishes during the prosecution of work, remaining identified work including irrigation, planting, and retaining wall repair at Fire Station 82 could proceed.

### BUDGET IMPACT:

American Rescue Plan Act Funds in an amount of \$1,000,000 and Village Capital Improvement Funds in Program BF-22, Fire Station Improvements, in an amount of \$370,000 are available to support this work.

### RECOMMENDATION:

Staff recommends the Village Manager be authorized to execute a Change Order for the improvement of Fire Station 82 and 85 in an amount of \$1,042,705.

### ACTION REQUIRED:

Motion to authorize the Village Manager to execute a Change Order for Fire Station 82 and 85 improvements in an amount not to exceed \$1,042,705.

**ATTACHMENTS:**

None

## **Consider a Motion Authorizing the Village Manager to Execute an Architectural Services Supplement for Fire Station 82 and Fire Station 85 Improvements**

### **BACKGROUND:**

In 2022, the Village hired FGMA Architects to perform a building condition assessment and develop schematic designs to address building maintenance needs at Fire Station 82 and 85. Their initial scope included an addition at Fire Station 82 and preliminary plans for fully addressing the two campuses' needs. As needs exceeded the initial budget, some of the initially identified and planned work was held back from the initial contact due to expected costs. Needs remain and costs can be addressed from other project savings and grants secured.

### **KEY ISSUES:**

- FGMA Architects was involved in the initial study, detailed design, and construction services to date.
- A supplement is recommended due to the ability to now complete more of the initial targeted scope of work, which was suspended from the initial effort.
- With the expansion of construction efforts, there is a need for more detailed plans, permitting efforts, and construction administration services.

### **BUDGET IMPACT:**

American Rescue Plan Act Funds in an amount of \$1,000,000 and Village Capital Improvement Funds in Program BF-22, Fire Station Improvements, in an amount of \$370,000 are available to support this work.

### **RECOMMENDATION:**

Staff recommends the Village Manager be authorized to execute an Architectural Services Supplement with FGMA Architects for Fire Station 82 and Fire Station 85 improvements in an amount not to exceed \$70,950.

### **ACTION REQUIRED:**

Motion to authorize the Village Manager to execute an Architectural Services Supplement with FGMA Architects for Fire Station 82 and Fire Station 85 improvements in an amount not to exceed \$70,950.

### **ATTACHMENTS:**

None

## Consider a Motion Authorizing the Village Manager to Purchase a Public Works Cargo Van

### BACKGROUND:

As part of the Capital Vehicle Replacement Budget for 2026, the Village Council has appropriated \$62,940 in funds for the replacement of a Public Works cargo van. The existing van (T-422) is a 2014 Ford E-250 with 32,000 miles. The van is 12 years old and on its second assignment for water meter work by the Utilities Division. With its age, it is becoming increasingly costly to maintain. Staff proposes to dispose of T-422 and replace it with a zero-emission vehicle. This front-line van serves as a mobile workshop and carries necessary repair parts and supplies. The van is equipped with shelving units to carry tools, parts, and equipment. It also has power for 120-volt tools, and emergency lighting for safety when parked at job sites.

### KEY ISSUES:

- The van proposed to be purchased is an all-electric battery-powered vehicle. The current van is a gasoline motor-driven vehicle. A gasoline-powered van, while being \$538 less to purchase, consumes a substantially higher amount of fuel and has higher maintenance costs that would long surpass the electric upcharge. Fuel alone on current public works vans ranges from \$6,400 to \$29,500 over a 12-year span. An electric van is well suited for the distance and work it is responsible for. Being electric also increases our strides to be a green village by offering yet another zero-emission Public Works vehicle. Palatine's adding of electric and hybrid vehicles, which produce significantly lower emissions than traditional gasoline vehicles and lower maintenance costs, will continue to reduce our carbon footprint.
- Staff researched available models and at this time the only manufacturers that offer an all-electric van are Ford, Rivian, and GM/Britedrop. The Rivian and Britedrop units are large walk-in vans and have yet to have convenient dealer networks or co-op buying options. The Ford E-Transit is not only available and serviced by Ford, but is also available through the Suburban Purchasing Cooperative joint-purchase bid.
- Battery life would not be a concern. The van is typically driven from job site to job site and may be stationary for a few hours while meters are serviced. It will be plugged in at night to recharge back to 100%.
- The cost of this vehicle is \$57,601, which includes various options. Upfitting costs for shelves, cabinets, and emergency lights will be approximately \$4,000, for a total cost of \$61,601.
- The existing unit will be sent to auction.

### BUDGET IMPACT:

Funds in the amount of \$62,940 have been appropriated in the 2026 Capital Vehicle Replacement Budget to accommodate this purchase. With the total proposed cost of \$61,601, the budgeted savings would be \$1,339.

**RECOMMENDATION:**

Staff recommends authorizing the Village Manager to purchase one 2026 Ford E-Transit van through the Suburban Purchasing Cooperative from Currie Motors in the amount of \$57,601 and a total cost including upfitting not to exceed \$61,601.

**ACTION REQUIRED:**

Motion to authorize the Village Manager to purchase one 2026 Ford E-Transit van through the Suburban Purchasing Cooperative Contract #207 from Currie Motors Fleet of Frankfort, Illinois in the amount of \$57,601 and upfitting for a total cost not to exceed \$61,601.

**ATTACHMENTS:**

None

## **Consider a Motion Authorizing the Village Manager to Purchase a Public Works Locate Truck**

### **BACKGROUND:**

As part of the Capital Vehicle Replacement Budget for 2026, the Village Council has appropriated \$42,000 in funds for the replacement of a Public Works locate pickup truck. The existing truck (T-448) is a 2016 Ford F-150 with 73,000 miles. The truck is 10 years old and is designated to locating tasks by the Utilities Division. With its age and miles, it is becoming increasingly costly to maintain. Staff proposes to dispose of T-448 and replace it with an in-kind unit with an economical engine.

### **KEY ISSUES:**

- Staff researched the possibility of downsizing to a compact pickup truck. Ford and Chevrolet make compact trucks. A compact truck would be a viable option, but there are some drawbacks. They are not available with any kind of idle reduction system and the existing equipment on the locate truck could not be reused. This would add approximately \$2,325 in bed accessories, thus bringing a compact truck within \$4,000 of a full-size truck.
- Staff researched available options for replacement full-size trucks. Ford, Ram, and Chevrolet make full-size trucks. Co-op pricing is available on half-ton Ford F-150 pickups. Chevrolet only offers a crew cab and Ram is not on any co-op pricing. The base model F-150 is well suited for the distance and work it is responsible for. The fuel efficient EcoBoost engine with start/stop technology and programmable idle restriction reduces emissions in a Public Works vehicle.
- The cost for this vehicle is \$40,032, which includes various options. Upfitting costs for a back-rack, toolbox, and emergency lighting will be approximately \$1,968, for a total cost of \$42,000.
- The existing unit will be sent to auction.

### **BUDGET IMPACT:**

Funds in the amount of \$42,000 have been appropriated in the 2026 Capital Vehicle Replacement Budget to accommodate this purchase.

### **RECOMMENDATION:**

Staff recommends authorizing the Village Manager to purchase one 2026 Ford F-150 XL pickup truck through the Suburban Purchasing Cooperative from Currie Motors in the amount of \$40,032 and a total cost including upfitting not to exceed \$42,000.

### **ACTION REQUIRED:**

Motion to authorize the Village Manager to purchase one 2026 Ford F-150 XL pickup truck through the Suburban Purchasing Cooperative Contract #232 from Currie Motors

Fleet of Frankfort, Illinois in the amount of \$40,032 and upfitting for a total cost not to exceed \$42,000.

**ATTACHMENTS:**

None

## **Consider a Motion Authorizing the Village Manager to Purchase a Public Works Five-Ton Dump Truck**

### **BACKGROUND:**

As part of the Capital Vehicle Replacement Budget for 2026, the Village Council has appropriated \$234,845 in funds for the replacement of a 2014 Public Works heavy-duty single-axle five-ton dump truck. The existing truck (T-410) is recommended for replacement after an inspection, evaluation, and cost analysis. The current meter on the truck is 3,647 hours which translates into 109,410 equivalent miles using the municipal industry standard conversion of 30 miles per engine hour. This is a front-line truck used year-round for snow and ice control, asphalt patching, leaf collection, and utilities hauling duties. This truck is also now a primary water main break vehicle.

### **KEY ISSUES:**

- Traditionally, the Village has purchased heavy-duty trucks through the Illinois State joint-purchase contract. At this time, there are no contracts for a heavy-duty truck cab/chassis, but our local Freightliner dealer continues to beat any Class 7/8 vehicle pricing. They were also lower than the Sourcewell (formerly NJPA) and State contract pricing this year.
- Freightliner has been reliable and the preferred unit due to its aluminum cab structure and Cummins engine. Similar trucks are the International 7400 Workstar and the Kenworth T380/T480. Neither of these trucks have the order availability of Freightliner and neither have aluminum cabs. The Kenworth is also \$20,000 to 30,000 more expensive.
- For the chassis price, the Freightliner 108SD Plus is \$100,415 through the local dealer, Northwest Trucks of Palatine, Illinois. Trans Chicago quoted \$101,028 and Truck Country quoted \$103,876. Northwest Trucks does not have a current joint-purchase contract, but it would be in the best interest of the Village to accept the proposal from Northwest Trucks.
- The truck chassis is only the first part of the purchase. The upfitting of plows, spreader, dump body, and emergency lighting is performed by a truck body company. Freightliner will deliver our cab/chassis directly to the upfitter.
- Staff reviewed the upfitting options available from three companies that offer the same plow hitch as on our existing trucks. The majority of the Village trucks have been upfitted by Monroe Truck of Monroe, Wisconsin. Staff's main concern is that the plows and spreaders be interchangeable. If a plow is damaged and needs major repairs, the driver can hook up to the spare plow and continue to work without downtime.
- Another option is a tarp system. With our increase in paving operations, trips to the asphalt plant have dramatically increased. To increase productivity and safety, Staff is proposing an arm-style tarp system. Tarp systems are not only the norm among paving and hauling trucks in our country, but also have several

advantages:

- The tarp can be deployed from the cab or ground level. The driver does not need to climb on to the bed sides to manually arrange a tarp, thus reducing the risk of falling.
- Tarp systems provide insulation for hot asphalt also providing a higher quality of paved surface upon application.
- The final option is air brake lines in the rear of the truck. This option would accommodate future trailers that require air brakes due to weight.
- Staff requested upfitting quotes from Lindco Equipment, Monroe Truck, Henderson Products, and Bonnell Industries. Monroe Truck of Monroe, Wisconsin provided the lowest pricing and there is also a Sourcewell joint-purchase contract available through Monroe.
- For upfitting costs, Monroe quoted \$145,324, Henderson quoted \$157,175.16, Lindco quoted \$162,460, and Bonnell did not provide a quote. The best value for a truck with our preferred options is a Freightliner 108SD Plus from Northwest Trucks and upfitting by Monroe for a total of \$245,739.
- The addition of the rear air brake lines and current steel costs creates a budget shortfall of \$10,894, but this option would provide required towing capability.
- The existing unit will be sent to auction.

**BUDGET IMPACT:**

Funds in the amount of \$234,845 have been appropriated in the 2026 Capital Vehicle Replacement Budget to accommodate this purchase. There is a shortfall of \$10,894, but savings of \$44,078 from the proposed purchase of a new one-ton dump truck will cover the overage.

**RECOMMENDATION:**

Staff recommends authorizing the Village Manager to purchase one Freightliner 108SD Plus single-axle chassis five-ton dump truck from Northwest Trucks in the amount of \$100,415 and upfitting through the Sourcewell Contract from Monroe Truck in the amount of \$145,324, for a total cost not to exceed \$245,739.

**ACTION REQUIRED:**

Motion to authorize the Village Manager to purchase one Freightliner 108SD Plus single-axle chassis five-ton dump truck from Northwest Trucks, Incorporated of Palatine, Illinois in the amount of \$100,415 and upfitting through the Sourcewell Contract #062222-AEB-1 from Monroe Truck of Monroe, Wisconsin in the amount of \$145,324, for a total cost not to exceed \$245,739.

**ATTACHMENTS:**

None

## Consider a Motion Authorizing the Village Manager to Purchase a Public Works One-Ton Dump Truck

### BACKGROUND:

As part of the Capital Vehicle Replacement Budget for 2026, the Village Council has appropriated \$136,500 in funds for the replacement of a 2013 Public Works one-ton crew cab dump truck. The existing truck (T-409) is recommended for replacement after an inspection, evaluation and cost analysis. The current mileage on the truck is 66,000, but this vehicle has high hours due to the paving, patching, and parkway operations it is primarily assigned. This truck is a front-line truck unit which is also a primary tow vehicle for our asphalt reclaimer/heater.

### KEY ISSUES:

- Traditionally, the Village has purchased one-ton trucks through the Suburban Purchasing Cooperative (SPC) contract. At this time, only Ford is available on contract with limited options and special vehicle pricing. Ford has been reliable and the preferred unit due to its aluminum body and reliable engine. Similar trucks are the Chevrolet Silverado and Dodge Ram HD. Neither of these trucks have the order availability of Ford and neither have aluminum cabs. Chevrolet and Dodge seem to focus their heavy-duty sales at the dealer or upfitter level. While the Village has purchased at the dealer level before, it is no longer necessary since production volume is up and dealer level is a substantial price increase.
- For the chassis price, the Ford F-550 is \$67,453 through Currie Motors Fleet of Frankfort, Illinois. Sutton Ford quoted \$68,015 through SPC Contract #227. Currie Motors does not have a current joint-purchase contract, but it would be in the best interest of the Village to accept the proposal from Currie Motors.
- The truck chassis is only the first part of the purchase. The upfitting of a dump body, tool storage, arrow board, and emergency lighting is performed by a truck body company.
- Staff requested quotes from Knapheide Truck Equipment, Monroe Truck, and Henderson Products. Knapheide of McHenry, Illinois provided the lowest pricing.
- For upfitting costs, Knapheide quoted \$23,968.02, Henderson quoted \$27,556.98, and Monroe quoted \$29,559. The best value for a truck with our preferred options is a Ford F-550 from Currie Motors and upfitting by Knapheide for a total of \$91,421.02.
- Additional upfitting costs for a shovel and sprayer holders to be installed in-house will be approximately \$1,000, for a total cost of \$92,421.02.
- The existing unit will be sent to auction.

### BUDGET IMPACT:

Funds in the amount of \$136,500 have been appropriated in the 2026 Capital Vehicle Replacement Budget to accommodate this purchase. With the total proposed cost of \$92,421.02, the budgeted savings would be \$44,078.98.

**RECOMMENDATION:**

Staff recommends authorizing the Village Manager to purchase one Ford F-550 chassis one-ton dump truck from Currie Motors in the amount of \$67,453 and a total cost including upfitting not to exceed \$92,421.02.

**ACTION REQUIRED:**

Motion to authorize the Village Manager to purchase one Ford F-550 chassis one-ton dump truck from Currie Motors Fleet of Frankfort, Illinois in the amount of \$67,453 and upfitting for a total cost not to exceed \$92,421.02.

**ATTACHMENTS:**

None

## Consider a Motion Authorizing the Village Manager to Purchase a Public Works One-Ton Stake Body Truck

### BACKGROUND:

As part of the Capital Vehicle Replacement Budget for 2026, the Village Council has appropriated \$90,000 in funds for the replacement of a 2014 Public Works one-ton stake body dump truck. The existing truck (T-419) is recommended for replacement after an inspection, evaluation and cost analysis. The current mileage on the truck is 55,000. The vehicle is driven frequently for mulch, topsoil, limb cleanup, garbage removal, and general large bulk item movement that requires a flat bed or lift gate. This vehicle is also used for special event operations every year.

### KEY ISSUES:

- Traditionally, the Village has purchased one-ton trucks through the Suburban Purchasing Cooperative (SPC) contract. At this time, only Ford is available on contract with limited options and special vehicle pricing. Ford has been reliable and the preferred unit due to its aluminum body and reliable engine. Ford is also extending the powertrain warranty to 100,000 miles for fleet customers. Similar trucks are the Chevrolet Silverado and Dodge Ram HD. Neither of these trucks have the order availability of Ford and neither have aluminum cabs. Chevrolet and Dodge seem to focus their heavy-duty sales at the dealer or upfitter level. While the Village has purchased at the dealer level before, it is no longer necessary since production is up and dealer level is a substantial price increase. This truck is also a specialized build and much more economical to custom build.
- For the chassis price, the Ford F-550 is \$55,713 through Currie Motors Fleet of Frankfort, Illinois. Sutton Ford quoted \$56,067 through SPC Contract #227. Currie Motors does not have a current joint-purchase contract, but it would be in the best interest of the Village to accept the proposal from Currie Motors.
- The truck chassis is only the first part of the purchase. The upfitting of a flat dump body, dump through liftgate, tool storage, arrow board, and emergency lighting is performed by a truck body company.
- Staff requested quotes from Knapheide Truck Equipment, Monroe Truck, and Henderson Products. Knapheide of McHenry, Illinois provided the lowest pricing.
- For upfitting costs, Knapheide quoted \$26,486, Monroe quoted \$31,120, and Henderson did not provide a quote. The best value for a truck with our preferred options is a Ford F-550 from Currie Motors and upfitting by Knapheide for a total of \$82,199.
- Additional upfitting costs for a shovel, rake, and saw holders to be installed in-house will be approximately \$1,000, for a total cost of \$83,199.
- The existing unit will be sent to auction.

**BUDGET IMPACT:**

Funds in the amount of \$90,000 have been appropriated in the 2026 Capital Vehicle Replacement Budget to accommodate this purchase. With the total proposed cost of \$83,199, the budgeted savings would be \$6,801.

**RECOMMENDATION:**

Staff recommends authorizing the Village Manager to purchase one Ford F-550 chassis one-ton stake body dump truck from Currie Motors in the amount of \$55,713 and a total cost including upfitting not to exceed \$83,199.

**ACTION REQUIRED:**

Motion to authorize the Village Manager to purchase one Ford F-550 chassis one-ton stake body dump truck from Currie Motors Fleet of Frankfort, Illinois in the amount of \$55,713 and upfitting for a total cost not to exceed \$83,199.

**ATTACHMENTS:**

None

## **Consider a Motion Authorizing the Village Manager to Purchase Three Public Works Three-Quarter-Ton Pickup Trucks**

### **BACKGROUND:**

As part of the Capital Vehicle Replacement Budget for 2026, the Village Council has appropriated \$198,450 in funds for the replacement of three Public Works three-quarter-ton pickup trucks. The existing pickups are T-417, a 2014 Ford F-250 with 72,000 miles; T-420, a 2014 F-250 with 70,000 miles; and T-483, a 2020 Ford F-150 with 32,000 miles. T-417 and T-420 trucks are at a point where they are becoming high in maintenance expenses and will be sold at auction. One truck (T-483) is 6 years old with 32,000 miles and will be added to the hand down program. These trucks are used every day and are responsible for numerous public works tasks including emergency incident responses, water/sewer service repairs, plow operations, and forestry work. It is crucial for these trucks to be reliable and efficient.

### **KEY ISSUES:**

- Staff researched available options for replacement pickup trucks. At this time, there are three choices for three-quarter-ton trucks: the Ford F-250, the Chevrolet Silverado 2500, and the Dodge Ram 2500.
- Based on cost and specification comparisons, the Ford F-250 is the best option. The Chevrolet Silverado is available through the Northwest Municipal Conference Suburban Purchasing Cooperative (SPC) for \$48,762.98. With limited production and even more limited order bank openings, Dodge opted not to offer municipal, state, or Sourcewell pricing this year. The Dodge Ram is available for \$56,455. The Ford F-250 is available through the SPC for \$48,946. While the Chevrolet Silverado is slightly less expensive, it has fewer options and Chevrolet also requires front suspension modification to hold a plow.
- Staff requested quotes for upfitting of plows, liftgates, toolboxes, and emergency lighting from Master Truck & Trailer, Knapheide Truck Equipment, and Monroe Truck. Master Truck of Waukegan, Illinois provided the lowest pricing.
- For upfitting costs, Master Truck quoted \$47,002.78 for all three units, Knapheide quoted \$47,301, and Monroe quoted \$63,030. The best value for a truck with our preferred options is a Ford F-250 from Sutton Ford and upfitting by Master Truck for a total of \$193,840.78.

### **BUDGET IMPACT:**

Funds in the amount of \$198,450 have been appropriated in the 2026 Capital Vehicle Replacement Budget to accommodate these purchases. With the total proposed cost of \$193,840.78, the budgeted savings would be \$4,609.22.

### **RECOMMENDATION:**

Staff recommends authorizing the Village Manager to purchase three 2026 Ford F-250 three-quarter-ton pickup trucks from Sutton Ford in the amount of \$146,838 and upfitting from Master Truck in the amount of \$47,002.78, for a total cost not to exceed \$193,840.78.

**ACTION REQUIRED:**

Motion to authorize the Village Manager to purchase three 2026 Ford F-250 three-quarter-ton pickup trucks through the Suburban Purchasing Cooperative Contract #221 from Sutton Ford, Incorporated of Matteson, Illinois in the amount of \$146,838 and upfitting from Master Truck & Trailer, LLC of Waukegan, Illinois in the amount of \$47,002.78, for a total cost not to exceed \$193,840.78.

**ATTACHMENTS:**

None

## Consider a Motion Authorizing the Village Manager to Purchase a Fire Administration Vehicle

### BACKGROUND:

As part of the Capital Vehicle Replacement Budget for 2026, the Village Council has appropriated \$62,000 for the replacement of one deputy fire chief vehicle. The existing vehicle (T-497) is a 2021 Dodge Ram 1500 with 37,000 miles and will be handed down within the fleet for an additional seven years of service. This truck is at the point where it is still reliable and physically clean, which makes it a viable candidate to replace the current training chief car, which has been repurposed twice and will be sold. The deputy fire chief vehicle is used for primary transport of the deputy chief as well as emergency response to incidents inside and outside Palatine. This vehicle is also used as a backup to the fire chief vehicle and battalion chief vehicle. It is crucial for this truck to be reliable and efficient.

### KEY ISSUES:

- Staff compared suitable replacement vehicles. At this time, the Village has a substantial number of pickup trucks, and smaller vehicles will be needed as hand-downs over the next five-year cycle. The Fire Department confirmed that a SUV would be a suitable replacement. A SUV accommodates their needs and will also save the Village in purchase funds and fuel usage compared to a pickup truck.
- Staff researched available options for replacement SUVs. At this time, there are three choices for suitable SUVs: the Ford Police Interceptor Utility, the Ford Explorer Active, and the Dodge Durango Pursuit.
- Based on cost comparisons, the Ford Explorer Active is the lowest cost. The hybrid and V6 Ford Police Interceptor Utility are both available through Bob Ridings for \$45,868. The Dodge Durango Pursuit is available through Sunnyside Company for \$40,179. The Ford Explorer Active is available through the Suburban Purchasing Cooperative (SPC) for \$40,027 and directly through Bob Ridings for \$39,753.
- The cost of this vehicle is \$39,753, which includes various options. Upfitting costs for emergency equipment will be \$8,500, for a total cost of \$48,253.

### BUDGET IMPACT:

Funds in the amount of \$62,000 have been appropriated in the 2026 Capital Vehicle Replacement Budget to accommodate this purchase. With the total proposed cost of \$48,253, the budgeted savings would be \$13,747.

### RECOMMENDATION:

Staff recommends authorizing the Village Manager to purchase one 2026 Ford Explorer

Active SUV from Bob Ridings Fleet Sales in the amount of \$39,753 and a total cost including upfitting not to exceed \$48,253.

**ACTION REQUIRED:**

Motion to authorize the Village Manager to purchase one 2026 Ford Explorer Active SUV from Bob Ridings Fleet Sales of Taylorville, Illinois in the amount of \$39,753 and upfitting for a total cost not to exceed \$48,253.

**ATTACHMENTS:**

None

## Consider a Motion Authorizing the Village Manger to Purchase a Public Works Mobile Column Lift Set

### BACKGROUND:

As part of the Capital Equipment Replacement Budget for 2026, the Village Council has appropriated \$60,000 in funds for the addition of a set of mobile column lifts. These lifts are used daily to raise trucks up and allow mechanics to work on the underside of trucks. They are sold in sets of four lifts, one for each whole position of a two-axle truck. The current post column lifts are Stertil Koni ST-1085-2FWA and the Village has enough to lift two heavy-duty vehicles. These lifts would be used to repair and maintain all public works divisional vehicles as well as fire apparatus. They are considered “mobile” in that they can be moved and set up in any location and can be moved to a variety of bays.

### KEY ISSUES:

- The lifts are typically sold in groups of four, but can be linked together into groups of up to twenty if needed for trucks with many axles. The current fleet of Village trucks includes some fire and dump trucks with three axles, which require six of these lifts to be linked together.
- Staff began its search for a like-in-kind post column lifts through current vendors and local dealers. Stertil Koni, Challenger, and Rotary were researched. Staff determined that identical Stertil Koni ST-1085-2FWA lifts best fit the needs and budget of the Village. Rotary and Challenger are reputable brands, but will not sync with our current wireless lifts in cases of triple-axle vehicle service or if a lift goes down due to battery or mechanical failure. The existing lifts have been trouble-free and easy to maintain over the years.
- There is a Sourcewell joint-purchase contract for these lifts. Staff requested a quote from the distributor, SLE Technologies, Incorporated of Maxwell, Indiana. The total cost is \$59,285.

### BUDGET IMPACT:

Funds in the amount of \$60,000 have been appropriated in the 2026 Capital Equipment Replacement Budget to accommodate this purchase. With the total proposed cost of \$59,285, the budgeted savings would be \$715.

### RECOMMENDATION:

Staff recommends authorizing the Village Manager to purchase one set of Stertil Koni mobile column lifts through the Sourcewell contract from SLE Technologies in the amount of \$59,285.

### ACTION REQUIRED:

Motion to authorize the Village Manager to purchase one set of Steril Koni mobile column lifts through the Sourcewell Contract #121223-SKI from SLE Technologies, Incorporated of Maxwell, Indiana in the amount of \$59,285.

**ATTACHMENTS:**

None

## Consider a Motion to Approve the Rebuild of the Backup Generator Engine at the Police Headquarters

### BACKGROUND:

The generator at the Police Headquarters (G-026) is a 2011 Cummins Model GTA28 725 kilowatt natural gas generator. It provides emergency backup power to the entire building. The engine needs to be rebuilt as it has several cracked cylinder heads and broken valvetrain components, which is preventing it from starting.

### KEY ISSUES:

- This generator was originally scheduled to be replaced in 2037. The exact cause of the breakdown is unknown, but likely due to either an extreme rush of below zero air during a test run or the engine overheating and stress cracks became severe enough to inhibit proper compression and temperature control.
- Staff recommends rebuilding through Industrial Engine Company due to their familiarity with the engine and their involvement in diagnosing the repair need.
- The engine will be reassembled with rebuilt cylinder heads and associated parts and all safety shutdown components will be tested.

### BUDGET IMPACT:

The repair of this standby generator is not a budgeted item. Staff recommends utilizing capital equipment savings generated with recent vehicle orders in an amount of \$60,395 to primarily fund this unscheduled but urgent need. The remaining \$24,750.25 could be funded from the Police Headquarters building annual capital maintenance program. Replacing the generator in its entirety would be an estimated \$500,000 to \$600,000 for a similar unit, plus labor costs for installation.

### RECOMMENDATION:

Staff recommends approving the rebuild of the Police Headquarters generator engine by Industrial Engine Company in the total amount not to exceed \$85,145.25.

### ACTION REQUIRED:

Motion to approve the rebuild of the Police Headquarters generator engine by Industrial Engine Company in the total amount not to exceed \$85,145.25.

### ATTACHMENTS:

None

## Consider a Motion Authorizing the Village Manager to Enter Into Contracts for the Demolition of 21 W. Railroad Avenue

### BACKGROUND:

The Village recently acquired 21 West Railroad Avenue. The structure on the property is not in a condition appropriate for reuse and demolition is recommended. There are property maintenance conditions which would not be conducive to holding the property as-is. Demolition would occur this spring and allow the property to be restored to turf until a more permanent use or condition can be selected.

### KEY ISSUES:

- Shortly after acquisition of the property, staff hired Geo-Logic Associates to perform a universal waste assessment as asbestos-containing materials were suspected. Asbestos was identified in places, specifically roof shingles, which make pre-demolition abatement of this special waste difficult given the condition of the structure.
- Staff recommends an approach where abatement occurs as part of the demolition process.
- This requires certain regulatory notifications, containment setup, removal, disposal, and clearance coordination to support demolition while in progress and regulatory closure.
- It is recommended that Geo-Logic be hired to maintain regulatory compliance, minimize potential exposure risks, and work directly with a demolition contractor. Their costs to coordinate turnkey abatement services associated with the demolition are \$40,995.
- Strategic Demolition and Excavation has been selected as the preferred demolition vendor based on their ability to work uniquely with in-process abatement. Their demolition cost is \$39,200.

### BUDGET IMPACT:

\$75,000 was budgeted from the Downtown TIF District for this work. The additional funds needed to accommodate this work are recommended to come from other Downtown TIF projects. The Village recently identified over \$50,000 in budget savings associated with our cost sharing of environmental issues at the CLU building which can support this work.

### RECOMMENDATION:

It is recommended the Village Manager be authorized to enter into contracts for demolition of 21 West Railroad Avenue with Geo-Logic Associates and Strategic Demolition and Excavation in a total cost of \$80,195.

**ACTION REQUIRED:**

Motion to authorize the Village Manager to enter into contracts for demolition of 21 West Railroad Avenue with Geo-Logic Associates and Strategic Demolition and Excavation in a total cost of \$80,195.

**ATTACHMENTS:**

None

# Consider an Ordinance Declaring Surplus Revenue In the Village of Palatine Downtown TIF District Special Tax Allocation Fund

**BACKGROUND:**

The Village established the Downtown TIF District in 1999. In 2021, the Village sought and received legislative approval from the General Assembly to extend the TIF District to complete projects and improvements previously identified. Additionally, as part of seeking the extension, the Village entered into an IGA with our local taxing bodies which outlined the parameters of extending the Downtown TIF District through 2033.

**KEY ISSUES:**

The Village had significant infrastructure projects that remained unfinished in the Downtown TIF District as it was set to expire in 2022. The Village approached the taxing bodies with a plan to extend the life of the district until 2033. The proposal allowed the Village to retain 100% of the increment from extension year 1 and 2, while declaring 100 percent of the increment of years 3 through 12 as a TIF Surplus.

The Village will declare two TIF Surpluses annually for the Downtown TIF District in June and January for each tax levy year. This is the second distribution for the 2024 tax levy year, and it has been delayed due to Cook County delaying the distribution of property taxes for the second installment of the tax levy year 2024 collected in 2025. The Village collected, from June 10, 2025 through March 9, 2026, \$4,242,889.09 of increment from the Downtown TIF. Staff recommends the declaration of surplus for distribution to the affected taxing districts.

Upon formal approval, these funds will be sent to Cook County, which will then distribute the funds to the appropriate taxing agencies based on their pro rata share of the total tax rate. After receiving the surplus funds, the County’s distribution process is estimated to take approximately 30–60 days. The estimated distribution by agency is as follows:

<b>Agency</b>	<b>Amount</b>
District 15	\$ 1,605,509.23
District 211	\$ 1,189,281.81
Village	\$ 422,591.75
Park District	\$ 280,454.97
Cook County	\$ 198,991.50
Harper College	\$ 178,625.63
Library	\$ 152,744.01
Township	\$ 47,096.07
Other Agencies	\$ 167,594.12
TOTAL	\$ 4,242,889.09

**BUDGET IMPACT:**

Provision for a Surplus was included in the CY 2025 Adopted Budget.

**RECOMMENDATION:**

Staff recommends approval of an Ordinance Declaring Surplus Revenue in the Village of Palatine Downtown TIF District Special Tax Allocation Fund.

**ACTION REQUIRED:**

Motion to approve An Ordinance Declaring Surplus Revenue in the Village of Palatine Downtown TIF District Special Tax Allocation Fund.

**ATTACHMENTS:**

- 1. CY 2026 TIF Surplus Downtown Ord

**ORDINANCE NO. O - \_\_\_\_\_ - 26**

**AN ORDINANCE DECLARING SURPLUS REVENUE IN THE VILLAGE OF PALATINE DOWNTOWN TIF DISTRICT SPECIAL TAX ALLOCATION FUND**

**WHEREAS**, the Village of Palatine on December 13, 1999, adopted ordinances creating the Downtown TIF District, designating a redevelopment project area, and approving a redevelopment plan and redevelopment project; and

**WHEREAS**, the Village of Palatine extended the life of the Downtown TIF District in 2022 in accordance with the provisions of the Illinois Tax Increment Allocation Redevelopment Act, 65 ILCS 5/11-74.4-1 et seq, (the “TIF Act”); and

**WHEREAS**, the Village of Palatine has retained the increment received from the Downtown TIF District for tax levy year 2022 and 2023 pursuant to the intergovernmental agreements with Local Taxing Bodies; and

**WHEREAS**, the Village of Palatine will distribute the increment received from the Downtown TIF District for tax levy year 2024, pursuant to the intergovernmental agreements with Local Taxing Bodies, in two installments in June 2025 and January 2026; and

**WHEREAS**, the Village of Palatine was not distributed the second installment of the increment from the Downtown TIF District for tax levy year 2024, in calendar year 2025, therefore delaying the Village of Palatine in making the January 2026 distribution to Local Taxing Bodies until March of 2026; and

**WHEREAS**, the Village of Palatine Finance Director has determined and reported that as of March 10, 2026, the Downtown TIF District’s Special Tax Allocation Fund includes a surplus of \$4,242,889.09 that may be paid to Cook County for distribution to taxing districts in the redevelopment project area in accordance with the provisions of the

Illinois Tax Increment Allocation Redevelopment Act, 65 ILCS 5/11-74.4-1 et seq, (the “TIF Act”); and

**WHEREAS**, the Village of Palatine will distribute the increment received from the Downtown TIF District for tax levy year 2024, pursuant to the intergovernmental agreements with Local Taxing Bodies, received from June 10, 2025 thru March 9, 2026 without verifying the tax levy years from which the distributions were derived as the County of Cook could not make that information available; and

**WHEREAS**, the Village of Palatine will, once detailed information is provided by the County of Cook, deduct any ineligible surplus received from the Downtown TIF District for any tax levy year prior to 2024, pursuant to the intergovernmental agreements with Local Taxing Bodies, that was distributed herein, in a future distribution and substantiate the deduction with the information provided from the County of Cook; and

**WHEREAS**, the Mayor and Village Council of the Village of Palatine hereby find and determine that it is appropriate to declare a surplus in the amount of \$4,242,889.09 and to cause that surplus to be distributed to the taxing districts as provided in the TIF Act;

**NOW THEREFORE, BE IT ORDAINED**, by the Mayor and Council of the Village of Palatine, Cook County, Illinois, as follows:

**SECTION 1:** The foregoing recitals are incorporated to this Ordinance as the findings of the Mayor and Village Council.

**SECTION 2:** The Mayor and Village Council, pursuant to Sections 7 and 9 of the TIF Act and other applicable authority, hereby declare a surplus of funds in the Downtown

TIF District Special Tax Allocation Fund of the amount of \$4,242,889.09 to be distributed to taxing districts in the redevelopment project area.

**SECTION 3:** The Village of Palatine Finance Director is hereby authorized and directed to pay funds from the Downtown TIF District Special Tax Allocation Fund in the amount of \$4,242,889.09 to the Cook County Treasurer for distribution to the taxing districts in the redevelopment project area in accordance with the provisions of the TIF Act. The Village of Palatine Finance Director is also authorized and directed to file a certified copy of this Ordinance with the Cook County Treasurer.

**SECTION 4:** This Ordinance shall be in full force and effect from and after its adoption as provided by law.

PASSED: This 16<sup>th</sup> day of March 2026

AYES: \_\_\_\_\_ NAYS: \_\_\_\_\_ ABSENT: \_\_\_\_\_ PASS: \_\_\_\_\_

APPROVED by me this 16<sup>th</sup> day of March 2026

ATTESTED and FILED in the  
Office of the Village Clerk this  
16<sup>th</sup> day of March 2026

\_\_\_\_\_  
Mayor of the Village of Palatine

\_\_\_\_\_  
Village Clerk