



## PLANNING AND ZONING COMMISSION

APRIL 28, 2026 AT 7:00 PM

VILLAGE HALL - COUNCIL CHAMBERS  
200 E. WOOD STREET  
PALATINE, IL 60067-5339  
(847) 359-9050 [www.palatine.il.us](http://www.palatine.il.us)

## AGENDA

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### REGULAR MEETING

7:00 PM

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#### I. CALL TO ORDER

#### II. ROLL CALL

#### III. APPROVAL OF MINUTES

- A. 04-14-2026 PZC Minutes

#### IV. PUBLIC HEARING

- A. 951 S. Benton Street - Plat of Subdivision for Lot 2; Special Use for FIII in a Floodplain, with the required compensatory storage; Special Use for a yard in the floodplain.
- B. 2240 -2266 N Rand Road and 2296 N Rand Road.
  - 1. Final Planned Development to permit a logistics and distribution use, with accessory office uses; and
  - 2. Final Plat of Subdivision to allow for the consolidation of 6 existing lots into one consolidated lot; and
  - 3. Rezoning from Planned Development to B-5 Highway Business District at 2296 N Rand Road.
- C. 560 S. Hicks Road - Special Use to Permit a use that will provide for the transfer, storage, and treatment of general construction materials, demolition debris, and wood waste and accessory permitted office uses.
- D. 630 S Hicks Road - Special Use Amendment Special Use Amendment to Special Use # O-39-05, which allows the transfer, storage, and treatment of general construction materials, demolition debris, and wood waste to allow for the storage, distribution, and general cleaning of portable toilets on the Subject Property.

#### V. PUBLIC COMMENT

**VI. COMMUNICATIONS**

**VII. ADJOURNMENT**



**PLANNING AND ZONING COMMISSION**

**APRIL 14, 2026 AT 7:00 PM**

VILLAGE HALL - COUNCIL CHAMBERS  
200 E. WOOD STREET  
PALATINE, IL 60067-5339  
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**MINUTES**

**REGULAR MEETING**

**7:00 PM**

**I. CALL TO ORDER**

Chairman Wood called the meeting to order at 7:05PM

**II. ROLL CALL**

**III. APPROVAL OF MINUTES**

**A. 03-24-2026 PZC Minutes**

Commissioner Friedman moved to approved the minutes, Commissioner Kolososki seconded the motion. Motion approved by Voice Vote

<b>RESULT:</b>	<b>APPROVED BY VOICE VOTE</b>
<b>MOVER:</b>	Friedman
<b>SECONDER:</b>	Kolososki
<b>AYES:</b>	Jan Wood, Cindy Roth Wurster, Tim Schubert, Eric Friedman, Patrick Noonan, Rodney Bettenhausen, Robert Kolososki
<b>NAYES:</b>	None

**IV. PUBLIC HEARING**

**A. 1306 W. Hill Street**

1. Special use to permit a fence in a front yard at the subject property.

**SU-000251-2026 – 1305 W Hill St - District #1**

Notice was published in the Journal & Topics on March 26<sup>th</sup>, 2026 and mailed to the owners of the surrounding properties.

**Petitioner's Exhibits:**

1. Special Use Application
2. Proof of Ownership

3. Site Plan
4. Plat of Survey
5. Fence Elevation
6. Public Notice

**Background:**

Mr. Auer provides background on the request. The petitioner is proposing to construct a 5.5-foot-tall solid vinyl fence within the front yard, set back 20 feet from the lot line along N. Grove Avenue. The property is zoned R-1, which requires a 40-foot setback for fences located in the front yard. A Special Use approval is required for any fencing in a residential front yard.

**Sworn in petitioner:**

Jozef Staszal, 1306 W. Hill Street, property owner, states he is proposing to replace an existing wood fence with a composite (vinyl) fence. He describes the design as a more modern, European-style fence and believes it will enhance the appearance of the property. He notes that he is a contractor and will be installing the fence himself.

Chairman Wood asks about the color of the fence.

Mr. Staszal states it will be a charcoal gray color.

Commissioner Kolosowski asks if landscaping will be provided along the fence.

Mr. Staszal confirms that landscaping will be added. He also notes there is an existing shed in the corner, and the fence will run straight behind it for alignment.

Chairman Wood asks if neighbors have expressed any concerns.

Mr. Staszal states there have been no issues and that he is simply following Village requirements.

Mr. Staszal further explains the need for the fence, noting privacy concerns, the presence of dogs, and the size of the yard, which includes an easement and septic area. He also mentions plans to plant fruit trees.

Commissioner Roth-Wurster asks whether the fence is being replaced in the same location.

Mr. Staszal states it will generally follow the same alignment, with approximately a 4-foot adjustment near Grove Avenue.

Commissioner Friedman asks about the plat, lot lines, and potential impacts to existing landscaping.

Mr. Staszal confirms the plantings are his and notes that he has already cleared the area, including removal of a shed and overgrown vegetation.

Mr. Auer explains that fences located in the front yard are contemplated as a Special Use. He notes that the subject property is a corner lot, and per zoning code, the shorter lot line is considered the front lot line regardless of home orientation.

The proposed fence is generally compatible with the surrounding area. Staff evaluated the surrounding area and noted that several existing fences do not conform to current R-1 standards, as many were installed prior to annexation in 2005. A 4-foot chain-link fence previously existed near the proposed location. Staff also notes that the presence of a parkway along Grove Avenue reduces potential visual impacts on neighboring properties.

**Staff Recommendation:**

The Petitioner is requesting approval to construct a 5.5-foot-tall fence at the subject property, set back 20 feet from the lot line abutting N. Grove Avenue. Staff evaluated the surrounding area to determine local design qualities. Upon review, many existing fences are set back at a distance that is not compliant with the R-1 zoning district standards. Historically, a 4-foot chain-link fence has been located near the position of the proposed fence. Last, Staff believes the parkway along Grove Avenue reduces the potential impacts upon neighboring properties. Therefore, Staff is recommending action at the discretion of the Planning and Zoning Commission, subject to the following conditions:

1. The Special Use shall substantially conform to the Site Plan and Elevations submitted by Jozef Staszal, petitioner, except as such plans may be changed to conform to the Village's Codes and Ordinances.

**There were no further questions. The public hearing was closed.**

**Commissioner Noonan Made a motion to approve subject staff's conditions; seconded by Commissioner Bettenhausen**

**DISCUSSION:**

Commissioner Kolososki states the proposal is an improvement to the site and that the updated, modern fence design will be a positive addition.

Chairman Wood notes that while the fence is technically located in the front yard, the presence of the parkway reduces its impact. She states that a chain-link fence previously existed in this location and that the proposed composite fence will be an upgrade. She adds that the selected color will blend well with the surroundings and that the standards have been met.

Commissioner Roth-Wurster states the request meets the standards and is consistent with the neighborhood, noting that many properties in the area include privacy fencing. She adds that the additional parkway space creates an open feel and that the proposed fence will enhance the property while providing privacy.

**Chairman Wood summarized that this request has met the standards and was unanimously approved by a vote of 7-0. This item will tentatively go to Village Council on Monday April 20<sup>th</sup>, 2026.**

<b>RESULT:</b>	<b>MOTION APPROVED BY ROLL CALL</b>
<b>MOVER:</b>	Noonan
<b>SECONDER:</b>	Bettenhausen

<b>AYES:</b>	Jan Wood, Cindy Roth Wurster, Tim Schubert, Eric Friedman, Patrick Noonan, Rodney Bettenhausen, Robert Kolososki
<b>NAYES:</b>	None

B. 574 W. Colfax Street

1. Special Use amendment to modify the floor plan and business plan for an existing unique use at the subject property.

**SU-000252-2026 574 W Colfax – District #6**

Notice was published in the Journal & Topics on March 26<sup>th</sup>, 2026 and mailed to the owners of the surrounding properties.

**Petitioner's Exhibits:**

1. Special Use Application
2. Plat of Survey
3. Business Plan Addendum
4. Floor Plan
5. O-052-24 - 574 W. Colfax - SU
6. Public Notice

**Background:**

Mr. Auer provided background on the request, noting that the petitioner is seeking an amendment to the previously approved Special Use to allow an increase in the number of tattoo artists from one to a total of five. The business would continue to operate within the existing tenant space, including previously unused office space. He stated that all artists would be employees of the business and that the hours of operation would remain unchanged.

Mr. Auer noted that the expansion may result in a slight increase in parking demand; however, the site remains compliant with Village parking requirements. He identified available parking areas and stated that staff does not anticipate the demand exceeding the site's capacity.

**Sworn in petitioner:**

Luke Kozlowski – White Eagle Tattoo – 475 W Colfax

Mr. Kozlowski stated he previously appeared before the Commission in Summer 2024 for approval to open the tattoo business at this location, which was conditioned on being a single-artist operation. He explained that he is now seeking to utilize additional space within the unit to allow for additional tattoo artists.

Chairman Wood asked whether the additional artists would be renting chairs.

Mr. Kozlowski stated they would not be renting chairs. He explained that he has a

separate LLC for the business and has established a DBA for White Eagle Tattoo, with all artists employed under that entity.

Chairman Wood asked whether there have been any issues since the business began operating.

Mr. Kozlowski stated there have been no issues. He noted that business has been strong, with existing clients continuing to travel from his previous location, including by Metra, and that he has also established a new local client base. He stated operations have run smoothly and expressed a desire to expand, contingent upon Village approval.

Commissioner Kolososki asked whether the restroom is ADA accessible.

Mr. Kozlowski confirmed that the restroom is ADA compliant.

Chairman Wood asked staff whether there have been any reported issues since the business began operating.

Mr. Auer stated there have been no reported adverse conditions.

**Staff Recommendation:**

The Petitioner is requesting an increase in the number of staff and service stations for an existing tattoo business. The proposed expansion will occupy an existing vacant space. Based upon the modified business plan and proposed expansion of artists, it does not appear that the studios will generate adverse parking conditions. Given the Page 33 of 110 focused work provided, the operations serve a lower client quantity, per day, and therefore, Staff does not anticipate a significant parking demand from the Amendment. The subject property is compliant with current parking regulations. Therefore, Staff recommends approval of the proposed amendment, subject to the following conditions:

1. The business shall substantially conform to the floor plan and business plan for White Eagle Tattoo, submitted 03/02/26, except as such plans may be changed to conform to Village Codes and Ordinances.
2. Except as specifically modified by this Ordinance, all conditions of Ordinance #O-52-24, as amended, shall remain in effect.

**There were no further questions. The public hearing was closed.**

**Commissioner Schubert Made a motion to approve subject staff's conditions; seconded by Commissioner Roth-Wurster**

**DISCUSSION:**

Commissioner Schubert stated it is positive to see the business growing and noted that the petitioner appears to be operating in good faith.

Commissioner Roth-Wurster stated the request meets the applicable standards and that no issues have been identified. She expressed support for the expansion and was pleased to see the business grow.

**Chairman Wood summarized that this request has met the standards and was unanimously approved by a vote of 7-0. This item will tentatively go to Village**

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**Council on Monday April 20<sup>th</sup>, 2026.**

<b>RESULT:</b>	<b>MOTION APPROVED BY ROLL CALL</b>
<b>MOVER:</b>	Schubert
<b>SECONDER:</b>	Roth-Wurster
<b>AYES:</b>	Jan Wood, Cindy Roth Wurster, Tim Schubert, Eric Friedman, Patrick Noonan, Rodney Bettenhausen, Robert Kolososki
<b>NAYES:</b>	None

C. 117 W. Slade Street, Unit 200

1. Special Use to permit a unique use at the subject property.

**SU-000248-2026 117 W. Slade St – District #6**

Notice was published in the Journal & Topics on March 26<sup>th</sup>, 2026 and mailed to the owners of the surrounding properties.

**Petitioner's Exhibits:**

1. Special Use Application
2. Business Plan
3. Floor Plan
4. Plat of Survey
5. Public Notice

**Background:**

Mr. Auer provided background on the request for a Special Use to allow a golf simulator business with accessory food and liquor service at the subject property.

**Sworn in petitioner:**

Phil Volini - Loft 19 Golf Club LLC – 117 W Slade Street, Unit 200

Mr. Volini stated that in November he and his partner identified the subject property as an opportunity to utilize an underused space within the building. He noted that the building currently includes existing businesses such as Madcats, which offers live music and food, as well as other tenants including a photography business and a local soccer-related organization.

He explained that the second-floor loft space attracted them due to its layout and location within downtown Palatine. After meeting with Village staff and the Fire Department, they determined the space would be suitable for a golf simulator lounge. He described the concept as a community-driven business that would introduce additional activity to the area.

Mr. Volini stated the business would include golf simulator bays, proposing three bays, although it may be reduced to two due to ceiling height constraints. He noted that the business would operate at a lower volume with a focus on reservations and structured use of the space.

He stated the business would seek a beer and wine license as an accessory use. Food would be made available through partnerships with local restaurants, including Madcats, Tap House, and other nearby establishments. He emphasized that the intent is to support surrounding businesses rather than provide full food service on-site.

Chairman Wood asked whether the business would offer private lessons, leagues, or be open to the general public.

Mr. Volini stated that the simulators would be available to the public through reservations and that leagues may be offered on a limited basis, such as one day per week.

Chairman Wood asked whether other forms of entertainment, such as billiards, would be offered.

Mr. Volini stated the focus would remain on golf-related activities, potentially including a small putting area, along with a bar seating area. No additional games are proposed.

Chairman Wood asked about staffing.

Mr. Volini stated that he and his partner both hold BASSET certifications and would staff the business appropriately to support operations.

Commissioner Bettenhausen asked how many patrons would be present at any given time.

Mr. Volini stated that use would be controlled through reservations, with each bay scheduled for specific time slots, which would limit the number of patrons at any one time.

Commissioner Bettenhausen asked whether spectators would be permitted and whether outside food could be brought in.

Mr. Volini stated that large numbers of spectators are not anticipated and that the intent is for patrons to utilize food options provided through local restaurant partnerships rather than bringing in outside food.

Chairman Wood asked whether the public could enter the space without a reservation.

Mr. Volini stated that walk-ins would be welcome to view the space and learn about the business, and staff would be available to assist and provide information, though simulator use would be reservation-based.

Commissioner Kolososki asked about the size and number of simulator screens.

Mr. Volini stated there would be two to three simulator bays, each with screens

approximately 8 feet high and 12 to 14 feet wide. He noted the simulators would offer a variety of courses and interactive games suitable for different skill levels.

Commissioner Schubert asked about the proposed signage.

Mr. Volini stated they would install signage consistent with Palatine Station standards and utilize the existing awning area.

Commissioner Roth-Wurster asked about the location of the main entrance and inquired about a secondary entrance, noting it appears to function as an emergency exit.

Mr. Volini confirmed that is correct.

Mr. Auer provided additional information, stating the tenant space is approximately 2,800 square feet and would accommodate two to three simulator bays. He explained that the business plan requires food to be available in order to obtain a liquor license, though it is not required that patrons purchase food. He noted that food may be provided through outside vendors, pending agreements with local restaurants. Mr. Auer further explained that bar service would be limited to the simulator bay areas and stated that the proposed use is not expected to create adverse parking conditions.

Chairman Wood asked about hours of operation and whether food must be ordered from the identified partner restaurants.

Mr. Auer stated that staff is seeking formal agreements between the petitioner and participating restaurants to clarify food service arrangements. He further stated that the proposed hours of operation are Sunday through Thursday from 8:00 a.m. to 10:00 p.m., and Friday and Saturday from 8:00 a.m. to 11:30 p.m.

Commissioner Schubert asked whether the business would be allowed to use coolers or warming equipment for food and beverages.

Mr. Auer stated that such items would be subject to review by Environmental Health and are not included as part of the current business plan.

**Staff Recommendation:**

The Petitioner is seeking approval for a Special Use to operate a golf simulator business at the subject property. The proposed business model operates with a low count of patrons and staff. All play is scheduled in advance via reservation software. Staff anticipates that the proposed business model will not produce adverse conditions upon the surrounding properties. Therefore, Staff recommends approval of the proposed business, subject to the following conditions:

1. The business shall substantially conform to the floor plan and business plan, submitted 02/27/2026, except as such plans may be changed to conform to Village Codes and Ordinances.

**There were no further questions. The public hearing was closed.**

**Commissioner Noonan Made a motion to approve subject staff's conditions; seconded by Commissioner Roth-Wurster**

**DISCUSSION:**

Commissioner Noonan stated the proposal represents a good use of the space. Commissioner Roth-Wurster stated she is familiar with the building and believes the space is well-suited for the proposed use. She noted the business plan is well-thought-out, supports surrounding restaurants, and meets the required standards. She expressed support for the project.

Chairman Wood stated she does not identify any health, safety, or welfare concerns. She commented positively on the building, particularly the loft space, and stated the proposal would be a strong addition to the property. She noted the benefit of a local business owner contributing to the downtown area and stated parking is not expected to be an issue. She expressed support for the request.

**Chairman Wood summarized that this request has met the standards and was unanimously approved by a vote of 7-0. This item will tentatively go to Village Council on Monday April 20<sup>th</sup>, 2026.**

<b>RESULT:</b>	<b>MOTION APPROVED BY ROLL CALL</b>
<b>MOVER:</b>	Noonan
<b>SECONDER:</b>	Roth-Wurster
<b>AYES:</b>	Jan Wood, Cindy Roth Wurster, Tim Schubert, Eric Friedman, Patrick Noonan, Rodney Bettenhausen, Robert Kolososki
<b>NAYES:</b>	None

D. 811 N. Quentin Road

1. Special Use to permit a dog grooming facility as a unique use at the subject property.

**SU-000250-2026 – 811 N Quentin Rd – District #1**

Notice was published in the Journal & Topics on March 26<sup>th</sup>, 2026 and mailed to the owners of the surrounding properties.

**Petitioner's Exhibits:**

1. Special Use Application
2. Business Plan
3. Floor Plan
4. Plat of Survey
5. Public Notice

**Background:**

Mr. Auer provides background and states the petitioner is requesting approval to operate a dog grooming business providing traditional grooming services. The Zoning Ordinance does not specifically identify dog grooming as a permitted or special use within the B-2 zoning district; therefore, the proposed business requires approval as a Special Use for a unique use.

**Sworn in petitioner:**

Darcy Keegan, Darcy's Dog Spa LLC – 811 N Quentin Road

Ms. Keegan states she has worked in the dog grooming industry her entire life and that her mother has also worked in the business. She explains her goal is to bring a clean, safe dog spa to Palatine where pets can be groomed, including haircuts and nail care, in a comfortable environment.

Chairman Wood asks how dog waste removal will be handled.

Ms. Keegan states that dog waste will be placed in provided dog waste bags and disposed of in a shared dumpster with weekly pickup. She notes that cleanliness will be maintained at all times and any accidents will be cleaned immediately.

Commissioner Roth-Wurster asks whether the three full-time employees include Ms. Keegan.

Ms. Keegan confirms that it does, and states she would initially operate the business with her mother.

Chairman Wood expresses concern regarding potential odor impacts to adjacent tenants, particularly restaurants. He compares the proposal to dog daycare facilities and notes concerns about noise and smell affecting neighboring businesses.

Ms. Keegan responds that dogs will be picked up within approximately 30 minutes after grooming completion. She states that no more than three to four dogs will be groomed at any time, with grooming sessions lasting approximately 3–4 hours each.

Chairman Wood asks whether she has spoken with neighboring businesses, including the adjacent taco restaurant.

Ms. Keegan states she has not spoken with that business but has spoken with the owner of Daisy's Ice Cream Parlor, who expressed no concerns.

Commissioner Kolososki asks about late pickups and whether there will be a holding area.

Ms. Keegan states that dogs will be placed in cages after grooming for safety while waiting for pickup.

Commissioner Kolososki asks whether there will be a customer waiting area.

Ms. Keegan states customers will not be encouraged to remain during grooming and are not expected to stay on-site.

Chairman Wood asks about flooring materials intended to control odor.

Ms. Keegan explains that the flooring will be a commercial basketball/volleyball-style product that is anti-microbial, non-porous, and waterproof. She states that kennel-grade cleaning products such as Pine-Sol and other antibacterial cleaners will be used.

Commissioner Schubert asks about the maximum number of dogs at one time.

Ms. Keegan responds that the maximum would be approximately four dogs at any

given time, depending on staffing.

Mr. Auer provides additional information, noting the tenant space is approximately 1,200 square feet. The business is proposed to operate with three full-time employees and serve an estimated 14 pets per day. The floor plan includes a reception area, grooming area, and washing area. Proposed hours of operation are Monday through Friday, 7:00 a.m. to 4:00 p.m.

He further notes that pets will not be taken to the rear of the property, helping to avoid odor impacts on nearby businesses and residences. There will be no outdoor dog walking. He adds that similar uses, including veterinary offices, have previously been reviewed, and concerns regarding proximity to restaurants were considered in prior decisions. The proposed hours are not expected to conflict with restaurant dining times.

Mr. Auer states that parking is consistent with surrounding uses and that the site is over-parked by approximately 30 spaces. Staff has no concerns regarding parking. He notes that, based on the qualities of the proposed business operation, the request meets the requirements for a Special Use.

Commissioner Friedman asks about potential odor and noise impacts and whether any additional mitigation measures are proposed for shared tenant walls between adjoining spaces.

Mr. Auer responds that no specific mitigation measures are proposed at this time, and that the proposed hours of operation should not adversely affect adjacent tenants.

#### **Public Comment**

Doreen Rende, 709 E. Juniper, speaks in support of the request. She states she is a dog owner and regularly uses grooming services. She notes that odors are not noticeable at the grooming facilities she has used and that pet owners are generally responsible for waste cleanup using bags and proper disposal. She expresses support for the proposed business and is pleased to have a groomer located nearby. Dr. Peter Lysakowski, 706 W. Illinois, Palatine, sworn in, stated he is a veterinarian and business owner at an animal hospital located at 1824 Rand Road.

He spoke in support of the proposed business.

Dr. Lysakowski stated he has professional experience with animals, noise and odor control. He believes the proposed grooming business would be a good fit for the area. He noted that grooming businesses in general tend to be boutique operations focused on attention to detail, professionalism, and animal care, and expressed confidence that the operator will run a responsible and well-managed facility. He added that he would support a lower-volume operation that can better meet the needs of animals in a calm environment. He also referenced his Fear Free certification, stating that the proposed facility approach aligns with best practices for reducing stress in animals and ensuring a safe and comfortable experience.

#### **Staff Recommendation:**

The Petitioner is requesting to operate a dog grooming business at the subject property. The proposed business plan incorporates procedures to mitigate odor impacts upon the surrounding properties. The retail center contains a surplus of parking. The business plan requires scheduling for all appointments and establishes pick-up timing. These measures should ensure that noise concerns should not be an

issue for the proposed use. Accounting for these components, Staff believes that the proposed business operation meets the standards of the Special Use Ordinance. Therefore, Staff recommends approval of the proposed Special Use, subject to the following conditions:

1. The business shall substantially conform to the floor plan and business plan, submitted 03/02/2026, except as such plans may be changed to conform to Village Codes and Ordinances.

**There were no further questions. The public hearing was closed.**

**Commissioner Roth-Wurster Made a motion to approve subject staff's conditions; seconded by Commissioner Noonan**

**DISCUSSION:**

Commissioner Roth-Wurster stated that the standards have been met. She noted this is a family-run business and expressed no concerns regarding noise or odor. She added that while there may be an initial odor, it should not be noticeable after grooming and compared the operation to a hair salon where hair dryers may be heard but are not disruptive. She referenced Dr. "Doctor Pete" and stated his comments provided confidence in the integrity and operation of the business.

Commissioner Kolososki asked about the schedule and noted that the plans do not include specific wall construction details for sound control.

Commissioner Roth-Wurster responded that additional soundproofing was not necessary, reiterating that the use is more comparable to a salon environment with limited noise from grooming equipment.

Commissioner Friedman expressed concern regarding the use of cages, noting that small dogs may bark while confined and that cages placed against shared retail walls may create noise issues. He stated that while there are concerns, the use is still an appropriate fit for the location.

Chairman Wood stated that the petitioner presented the proposal well and acknowledged the effort put into the business plan. However, she expressed concerns regarding potential noise and odor impacts given the tight proximity to neighboring restaurants. She stated she was not fully convinced the use is appropriate for the location and would err on the side of caution.

Commissioner Noonan noted that in previous similar cases, the Village has implemented a six-month review period to evaluate impacts on neighboring businesses. He suggested adding a condition requiring a six-month operational review to assess noise and odor impacts.

Commissioner Schubert stated that this business model is different from a typical dog daycare, noting the low volume (maximum four dogs at a time) and appointment-based structure. He expressed support for the proposal and felt it is appropriate for the location.

Chairman Wood reiterated support for a six-month review of operations.

Mr. Auer confirmed that business operations could be reviewed after six months if included as a condition of approval.

Commissioner Roth-Wurster added that the operating hours of 7:00 a.m. to 4:00 p.m.

align with surrounding businesses and noted that the appointment-only structure further limits impact.

Commissioner Noonan stated support for adding a six-month review condition.

**Motion**

Commissioner Noonan moved to approve the Special Use subject to staff conditions and the addition of a six-month operational review condition. The motion was seconded (as noted) and carried on a vote of the Commission.

Approval was granted subject to two conditions, including the standard staff condition and the added six-month review of business operations.

Bottom of Form

**Chairman Wood summarized that this request has met the standards and was unanimously approved by a vote of 7-0. This item will tentatively go to Village Council on Monday April 20<sup>th</sup>, 2026.**

<b>RESULT:</b>	<b>MOTION APPROVED BY ROLL CALL</b>
<b>MOVER:</b>	Roth-Wurster
<b>SECONDER:</b>	Noonan
<b>AYES:</b>	Jan Wood, Cindy Roth Wurster, Tim Schubert, Eric Friedman, Patrick Noonan, Rodney Bettenhausen, Robert Kolososki
<b>NAYES:</b>	None

- E. Text Amendments to the Village of Palatine Zoning Ordinance, Appendix A - Article 6 (Home Occupations), Article 10 (Residential Districts), and Article 11 (Business Districts).

**TEXT AMENDMENTS 2026-892**

Notice was published in the Journal & Topics on March 26<sup>th</sup>, 2026 and mailed to the owners of the surrounding properties.

**Petitioner's Exhibits:**

1. **Article 6 Amendments**
2. **Article 10 Amendments**
3. **Article 11 Amendments**

**Background:**

Mr. Auer explains that zoning ordinances are periodically reviewed to address updates, unforeseen issues, and to ensure the code remains consistent and responsive to changing conditions.

- **Article 6:** Adds massage use as a prohibited home occupation.

- **Article 10:** Revises residential district standards by removing the 10% rear yard allowance for permitted obstructions in rear yard areas and adjusts side yard abutting street setbacks in the R-1A and R-1B zoning districts from 35 feet to 30 feet.
- **Article 11:** Updates antiquated language, replacing “automobile laundries” with “car washes.”

Commissioner Friedman seeks clarification regarding whether the proposed setback changes apply to front or side yards, noting that orientation would remain consistent regardless of how the structure is positioned on the lot. Mr. Auer confirms the interpretation and explains that the standards would apply consistently regardless of home orientation.

**There were no further questions. The public hearing was closed.**

**Commissioner Noonan Made a motion to approve subject staff’s conditions; seconded by Commissioner Kolososki**

**Staff Recommendation:**

Approval of text amendments as outlined.

**DISCUSSION:**

Commissioner Friedman asked whether suggested edits would be incorporated.

Mr. Auer stated that the edits would not be incorporated at this time.

Commissioner Roth-Wurster stated that the recommendations were good improvements.

Chairman Wood agreed, stating the clarifications strengthen the ordinance.

**Chairman Wood summarized that this request has met the standards and was unanimously approved by a vote of 7-0 . This item will tentatively go to Village Council in the month of May.**

<b>RESULT:</b>	<b>MOTION APPROVED BY ROLL CALL</b>
<b>MOVER:</b>	Noonan
<b>SECONDER:</b>	Kolososki
<b>AYES:</b>	Jan Wood, Cindy Roth Wurster, Tim Schubert, Eric Friedman, Patrick Noonan, Rodney Bettenhausen, Robert Kolososki
<b>NAYES:</b>	None

**V. PUBLIC COMMENT**

No one came forward

**VI. COMMUNICATIONS**

The Ukranian Youth Center was approved by the Village Council on 4/13/26

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The townhouse request at Quentin & Dundee was approved by Village Council on 4/13/26

**VII. ADJOURNMENT**

<b>RESULT:</b>	<b>APPROVED TO ADJOURN AT 8:45PM - VOICE VOTE</b>
<b>MOVER:</b>	Noonan
<b>SECONDER:</b>	Kolososki
<b>AYES:</b>	Jan Wood, Cindy Roth Wurster, Tim Schubert, Eric Friedman, Patrick Noonan, Rodney Bettenhausen, Robert Kolososki
<b>NAYES:</b>	None

## 951 S. Benton Street

### STAFF REPORT:

**TO:** Palatine Planning and Zoning Commission  
Jan Wood, Chair

**FROM:** Ben Vyverberg

**PETITIONER:** Robert Feltes, property owner

**PLAN NUMBER:** SU-000202-2025

### **BACKGROUND:**

- The subject property was subdivided and approved for 2 single-family residential homes to be constructed on approved building pads in 2009 and 2010. Lot 1 was developed with a 2-story single-family home and Lot 2 was approved for a similar building pad at that time. Due to the surrounding presence of the floodplain on these lots, there are several forms of relief required to allow for the construction of the homes. Per the Subdivision Ordinance, any fill in the floodplain requires both Special Use review and the required compensatory storage at 110% of the amount of any fill to offset any impact to the floodplain. Additionally, any yard in the floodplain requires Special Use review to ensure that there is both an engineering review for the proposed and a Public Hearing, with Village Council review. The approval of the building pad and required relief was also approved for Lot 2 for a similarly sized 2-story home as was built on Lot 1. The owner/developer of Lot 2, is proposing to construct a single-story ranch home on Lot 2 and is there seeking to amend the size of the building pad and the required relief therein. Therefore, the Petitioner is requesting the following:

**Final Plat of Subdivision for Lot 2 of Benton Street Subdivision. The proposed would amend the permitted building envelope for Lot 2, which was approved as part of the Benton Street Subdivision, to allow for a ranch-style home to be constructed, instead of the initially identified 2-story home;**

**A Special Use for a yard in the floodplain for Lot 2; and**

**A Special Use to permit the filling of land in the floodplain for Lot 2**

## **KEY ISSUES:**

- The Subject Lot, except for the previously approved building pad, remains entirely ensconced in the floodplain and covered within a drainage easement. When Lot 1 was developed, the building pads were outside the floodplain for both lots were reviewed and approved for the required zoning relief. Nevertheless, only Lot 1 was developed and a new single-family home was constructed upon it. Although the zoning relief and engineering plans were approved for Lot 2, it was not developed and no engineering work was completed on Lot 2. The current property owner intends to develop the lot with a single-story ranch-style home, which will require a building pad with differing wider and deeper dimensions.
- Therefore, new special uses for fill in a floodplain and yard in a floodplain are required for the proposed home on Lot 2. Additionally, as the subdivision was approved with a specific building pad for Lot 2, the proposed building pad for the ranch home will also require approval. The revised building pad would comply with all the minimum required R-1 setback requirements. The proposed building pad is 70 feet by 70 feet, with a 10-foot by 25-foot addition on the north side of the property to accommodate a 3rd car for the garage.
- As was the condition when the subdivision was approved, S. Benton Street terminated in front of the home at 947 S. Benton Street, but the unimproved Benton Street right-of-way continues past Lot 2. Lot 2 will be serviced by a driveway through the right-of-way for access to the home. In addition to the S. Benton Street right-of-way, the unimproved northern 33-foot right-of-way for Willmette Road is directly south of Lot 2. This right-of-way will remain unimproved and is not part of the development of Lot 2.
- With the development of Lot 1 and as a component of the engineering plans, the storm sewer (21-inch) was extended along the frontages of both lots. As a required condition of the 2009 special uses, the efficacy of the storm sewers was required to be tested after the occurrence of a minimum 2.5-inch rain event (or other significant rain event deemed sufficient by the Village Engineer, for a 24-hour period to ensure its functional operation. Since the development of Lot 1 and the completion of the storm sewer, there have not been any flooding or drainage issues noted or reported to the Village of Palatine.
- The engineering plans provide the required 110% compensatory storage for the additional fill in the floodplain associated with the alterations to the building pad. The required Special Use for yard in a floodplain is also a reflection of the modifications to the building pad and the change from the 2008 approval.
- The Village Engineer has reviewed the proposed engineering plans and materials and has conditionally accepted their content.

**STANDARDS FOR SPECIAL USE:** Since this Petition is not for a use publicly operated or traditionally affected with the public interest, those standards under Section 14.05 D (2) and (3) are applicable. Specifically, the Petitioners must show that the

Special Use, if granted, is so designed, located, and proposed to be operated that the public health, safety, and welfare will be protected and will not cause substantial injury to the value of other property in the neighborhood in which it is located. The Petitioners have attempted to address the required standards.

**STAFF RECOMMENDATION:**

The subject lots were subdivided and approved for 2 single-family residential building pads in 2009 and 2010. Lot 1 was developed with a 2-story single-family home and Lot 2 was approved for a similar building pad at that time. Due to the existing presence of the surrounding floodplain on these lots, only one new single-family home was constructed on the northerly lot (947 S. Benton Street) in 2009. As part of the Benton Street Subdivision's approval, the required public improvements for both lots were completed. The Benton Street Subdivision included the installed 21-inch storm sewer, which was completed in 2009/2010. Since that time, there have not been any additional flooding concerns raised to the Village of has the Village Engineer observed such instances. Nevertheless, Staff maintains its neutral recommendations made when the initial relief was requested, due to the encumbrances upon the property. Therefore, Staff recommends action at the discretion of the Planning and Zoning Commission. If the Planning and Zoning Commission recommends approval, Staff recommends the following conditions:

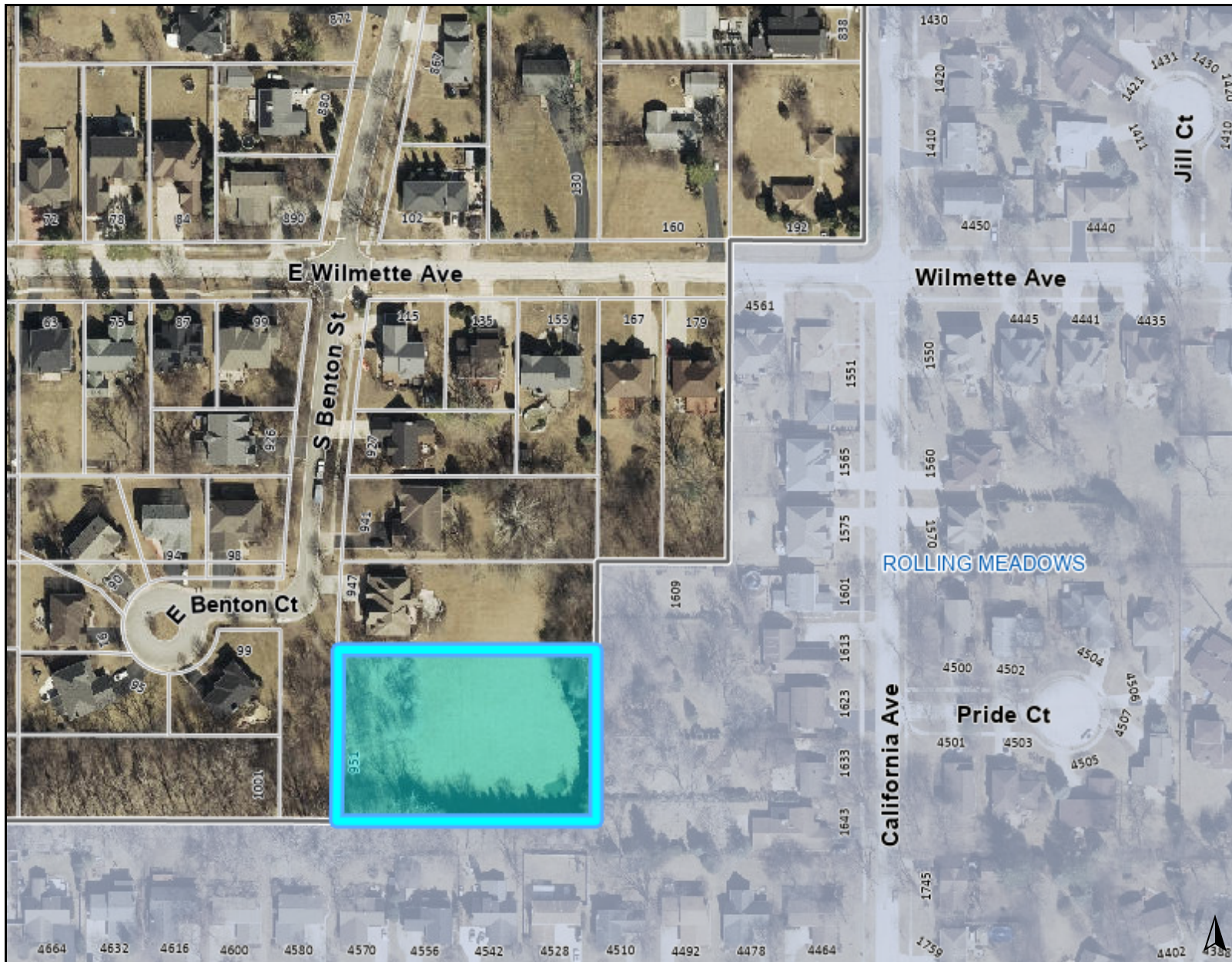
1. The Special Uses for fill in the floodplain and a yard in the floodplain shall substantially conform to the modified geometric site plan for Lot 2 shall substantially conform to the engineering plans and materials submitted by Daniel Grecco, PE, except, as such plans shall be modified to conform to Village Codes and Ordinance.
2. The existing overland flow patterns must be maintained and no alterations which divert runoff onto adjacent properties will be permitted.
3. The use of sump pump and downspout extensions is prohibited.
4. A restrictive covenant for Lot 2 shall be recorded with Cook County in a manner acceptable to the Village Attorney and shall explicitly identify the restrictions on structures and uses of the property indicating that no additional structures are permitted on the property. This restriction would include, but is not limited to, sheds, garages, gazebos, or any other proposed accessory structures.
5. A license agreement shall be required to accommodate the driveway for Lot 2 in the right-of-way, prior to the issuance of a certificate of occupancy for the home.

**ATTACHMENTS:**

1. Aerial Map
2. Site Plan
3. Legacy Site Plan
4. Project Narrative
5. Plat of Survey
6. Plat of Resubdivision
7. Special Use Application
8. O-17-09

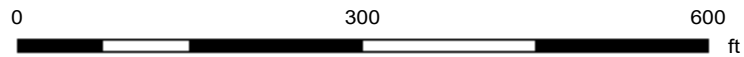
9. O-101-10
10. R-131-08
11. Deed restriction
12. Public Notice

**GIS Consortium** | **951 S. Benton Street - Lot 2 (Benton Street Subdivision)**



**Legend**

**Notes**

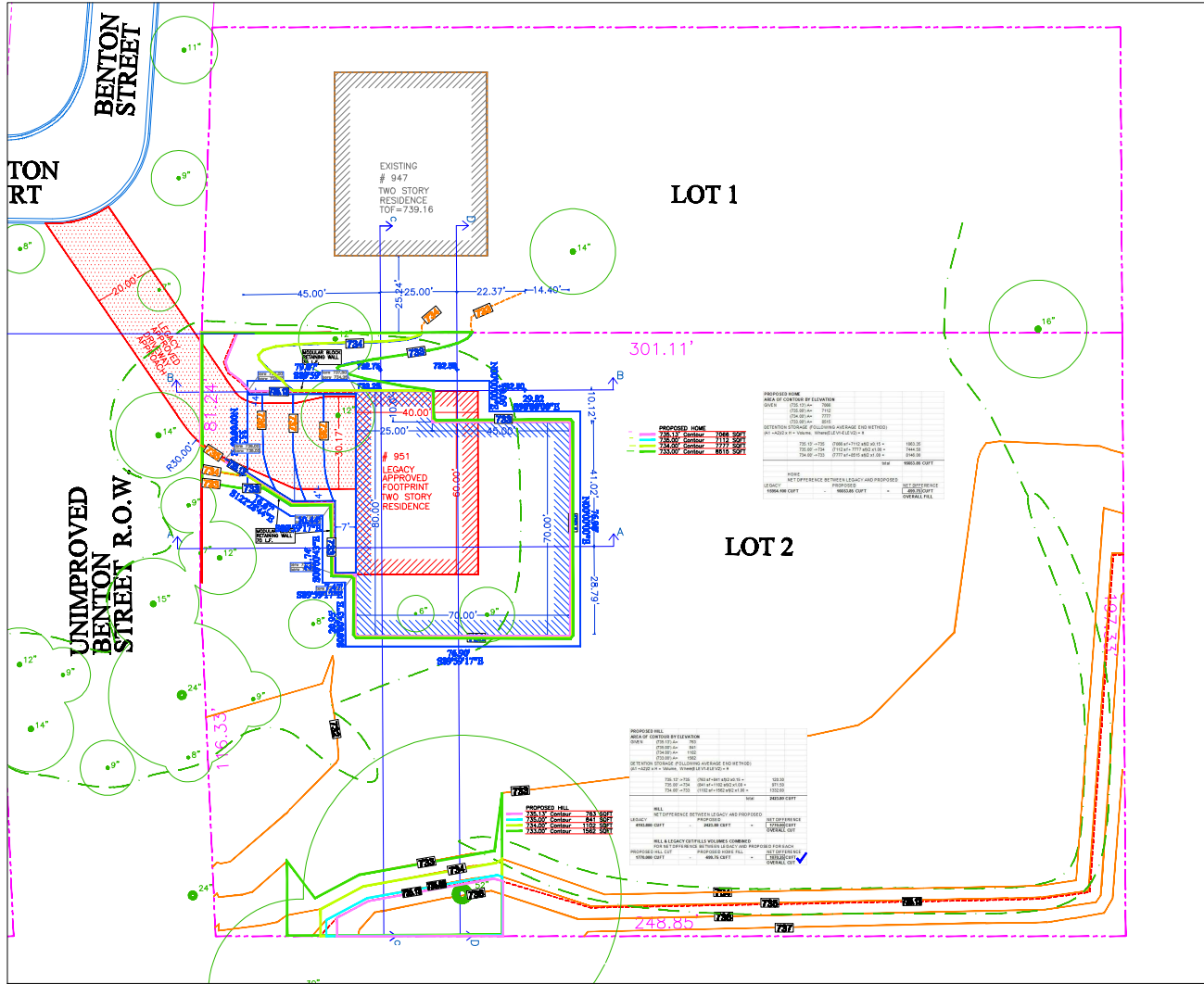
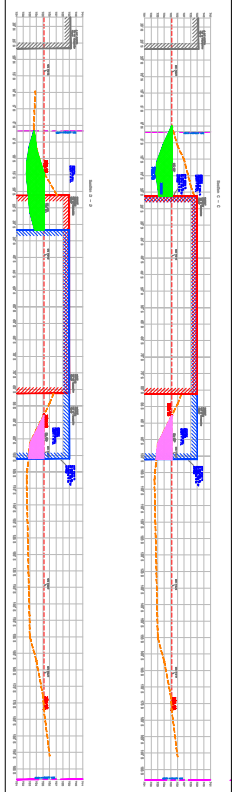


**Print Date: 4/20/2026**

*Disclaimer: The GIS Consortium and MGP Inc. are not liable for any use, misuse, modification or disclosure of any map provided under applicable law. This map is for general information purposes only. Although the information is believed to be generally accurate, errors may exist and the user should independently confirm for accuracy. The map does not constitute a regulatory determination and is not a base for engineering design. A Registered Land Surveyor should be consulted to determine precise location boundaries on the ground.*

# MODIFIED GEOMETRIC SITE, BENTON STREET SUBDIVISION, LOT 2

CALL JULIE  
BEFORE YOU DIG  
1-800-992-0125



PROPOSED NAME: [Blank]

AREA OF OVERFLOW BY ELEVATION

SWER	000.00' - 000.00'	000.00' - 000.00'	000.00' - 000.00'
000.00' - 000.00'	000.00' - 000.00'	000.00' - 000.00'	000.00' - 000.00'

DETERMINED STORAGE FOLLOWING AVERAGE EASE METHOD:

000.00' - 000.00'	000.00' - 000.00'	000.00' - 000.00'
000.00' - 000.00'	000.00' - 000.00'	000.00' - 000.00'

NOTE: 10% DIFFERENCE BETWEEN LEGACY AND PROPOSED

LEGACY: [Blank] PROPOSED: [Blank] NET DIFFERENCE: [Blank]

FORMER CURT: [Blank] PROPOSED CURT: [Blank] OVERALL FILL: [Blank]

PROPOSED NAME: [Blank]

AREA OF OVERFLOW BY ELEVATION

SWER	000.00' - 000.00'	000.00' - 000.00'	000.00' - 000.00'
000.00' - 000.00'	000.00' - 000.00'	000.00' - 000.00'	000.00' - 000.00'

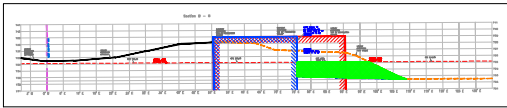
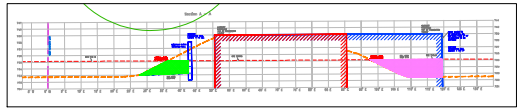
DETERMINED STORAGE FOLLOWING AVERAGE EASE METHOD:

000.00' - 000.00'	000.00' - 000.00'	000.00' - 000.00'
000.00' - 000.00'	000.00' - 000.00'	000.00' - 000.00'

NOTE: 10% DIFFERENCE BETWEEN LEGACY AND PROPOSED

LEGACY: [Blank] PROPOSED: [Blank] NET DIFFERENCE: [Blank]

FORMER CURT: [Blank] PROPOSED CURT: [Blank] OVERALL FILL: [Blank]



SIGNATURE: [Blank]

I HEREBY CERTIFY THAT THE PROPOSED DRAINAGE IMPROVEMENTS WILL NOT ADVERSELY IMPACT THE SUBJECT PROPERTY, THE SURROUNDING PROPERTIES OR THE PUBLIC, AND THAT A PAVE OVERLAYS WILL BE REMOVED AND WATER WILL BE IN A READY RECYCLE CONDITION.

SHEET: C2

1	DATE	DESCRIPTION
2		
3		
4		
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8		
9		
10		

PROJECT: MODIFIED PROPOSED GEOMETRIC SITE,  
BENTON STREET SUBDIVISION, LOT 2  
951 S BENTON STREET, PALATINE IL 60067

Owner: Dan Grecco, P.E.  
Civil Engineer  
604 Maple Ave, Suite 130  
Lisle, IL 60532  
(630) 746-0056  
dgrecco@dm.com

Professional Engineer: Daniel J. Grecco, P.E.  
License 039, June 11/30/2027  
Lisle, IL 60532  
(630) 746-0056  
dgrecco@dm.com

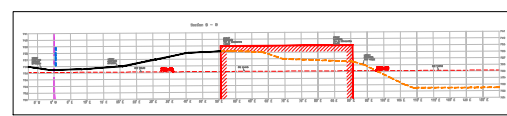
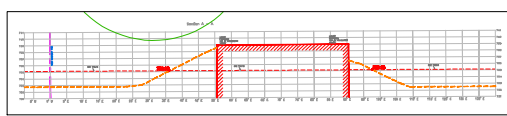
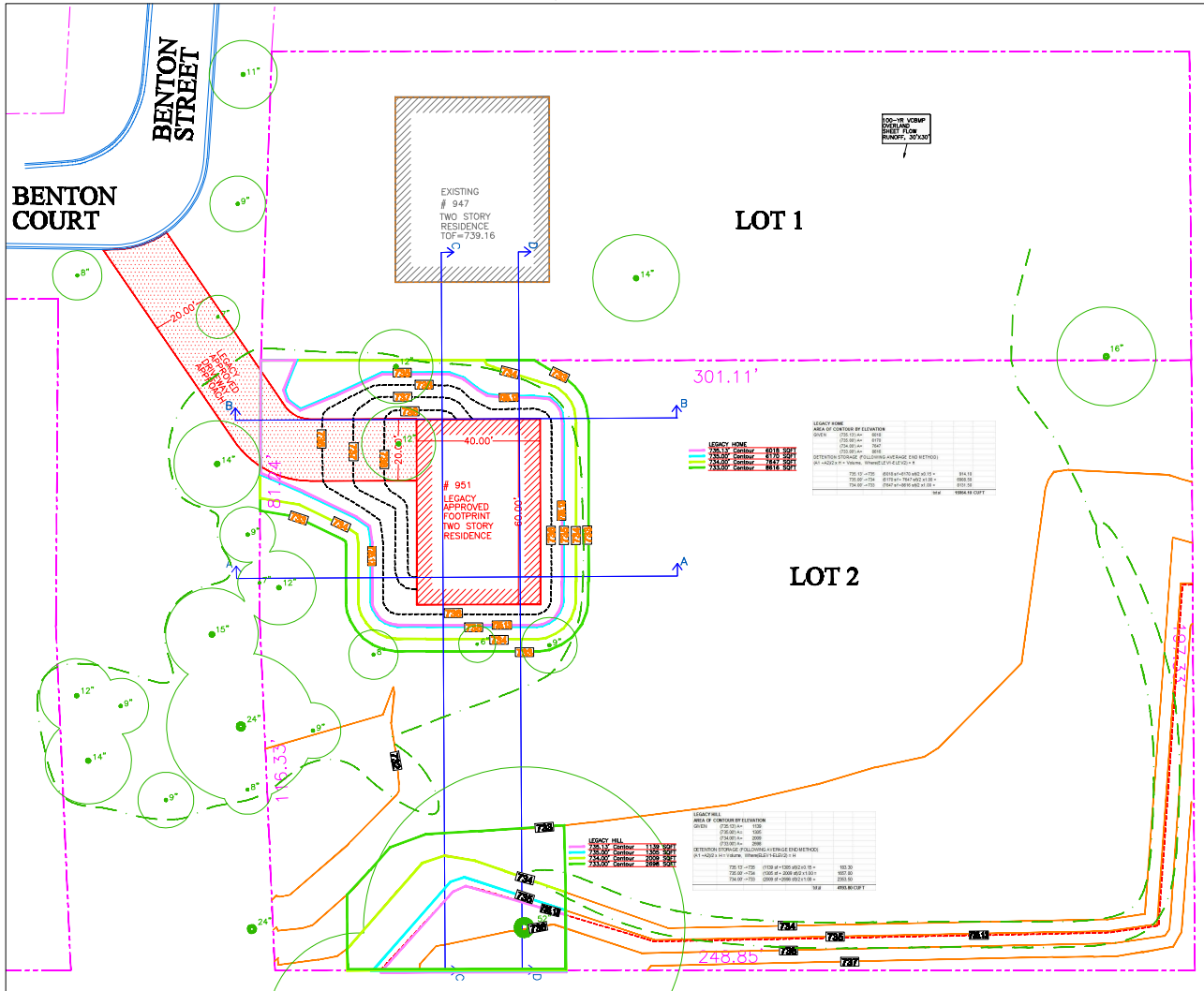
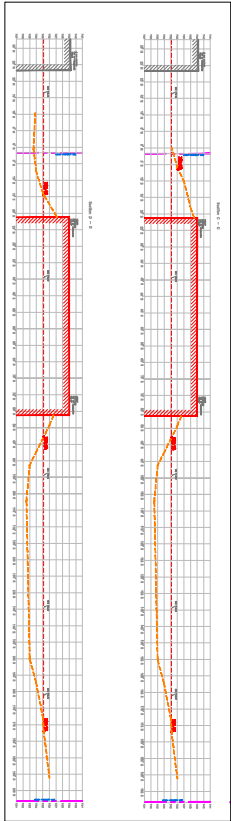
SCALE: AS SHOWN

SHEET: C2

Date: MARCH 09, 2024

# LEGACY PROPOSED GEOMETRIC SITE, BENTON STREET SUBDIVISION, LOT 2

CALL JULIE  
BEFORE YOU DIG  
1-800-992-0123



PROFESSIONAL ENGINEER'S SIGNATURE & SEAL  
**DANIEL J. GREENCO**  
 LICENSE EXP. DATE  
**11/30/2027**  
 STATE OF ILLINOIS  
 PROFESSIONAL ENGINEERING BOARD  
 CIVIL ENGINEERING  
 1515 E. WASHINGTON ST.  
 CHICAGO, IL 60601

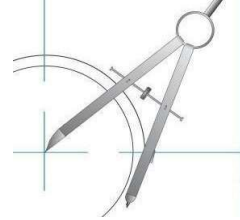
SIGNATURE  
 I HEREBY CERTIFY THAT THE PROPOSED STORMWATER DRAINAGE IMPROVEMENTS WILL NOT ADVERSELY IMPACT THE SUBJECT PROPERTY, THE SURROUNDING PROPERTIES OR THE PUBLIC THAT A FURTHER INVESTIGATION IS REQUIRED AND THAT WATER HAS NOT YET BEEN ENGINEERED.

SHEET: C1  
 LEGACY PROPOSED GEOMETRIC SITE,  
 BENTON STREET SUBDIVISION, LOT 2  
 951 S BENTON STREET, PALATINE IL 60067

Owner: Dan Green, P.E., Palatka  
 8527 Providence Court,  
 Carol Stream, IL 60508  
 (847) 897-0000  
 dan@greencos.com

Daniel Green, P.E., Suite 150  
 8527 Providence Court  
 Carol Stream, IL 60508  
 (847) 897-0000  
 dgreen@dm.com

SCALE: AS SHOWN  
 SHEET: C1  
 Date: MARCH 09, 2024



Dan Grecco, P.E.

March 05, 2026

Ben Vyverberg, Planning Director  
 Village of Palatine  
 200 E Wood Street  
 Palatine, IL 60067  
[bvyverberg@palatine.il.us](mailto:bvyverberg@palatine.il.us)  
 (847) 359-9048

Regarding : 951 S. Benton, Proposed Amendment to Plat of Subdivision

Hello Director Vyverberg,

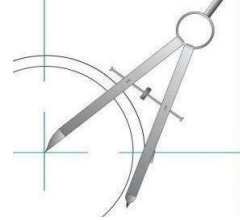
The following is being provided in response to additional requested information, per the Village's previous review and requested email request dated January 08, 2026. Items 1 – 3 specifically.

**Item 1:**

*Engineering Comments – Impervious area compliance – provide a written narrative including calculations, demonstrating that the total square footage of the proposed residence complies with the original allowable area as established in the 2010 Ordinances/Resolutions associated with the Subdivision and special uses.*

The total impervious area of the site, per the 2010 Ordinances/Resolutions associated with the subdivision and special uses is to be preserved. While a larger home footprint is proposed, this area will be offset with the construction of a driveway constructed utilizing a permeable paver brick system. Legacy versus Proposed impervious area calculations are as provided:

IMPERVIOUS LOT COVERAGE			
<b>CALCULATIONS</b>		5-Mar-26 DJG	
951 Benton Street, Palatine			
LOT SQUARE FOOTAGE		59341 S.F. 1.362 AC	
STORMWATER		STORMWATER	
LEGACY IMPERVIOUS :		PROPOSED IMPERVIOUS :	
RESIDENCE	2400 S.F.	RESIDENCE	5100 S.F.
STOOP (ESTIMATED)	240 S.F.	STOOP (ESTIMATED)	200 S.F.
WALK (ESTIMATED)	200 S.F.	PAVER WALK	0 S.F.
BIT. ASPHALT DRIVEWAY	2475 S.F.	PERMEABLE DRIVEWAY	0 S.F.
AC UNITS	12 S.F.	AC UNITS	12 S.F.
EXISTING IMPERVIOUS	= 5327 S.F.	PROPOSED IMPERVIOUS	= 5312 S.F.
	= 0 AC		= 0.122 AC
	= 8.98%		= 8.95%
		DECREASED IMPERVIOUS :	15 S.F.
			0.122 AC



Dan Grecco, P.E.

March 05, 2026

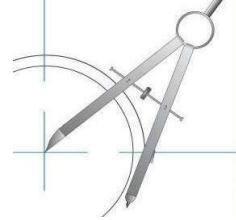
**Item 2:**

*Grading Plan – submit a comprehensive grading plan clearly identifying all cut and fill areas.*

A plan was previously provided, roughly identifying in profile estimated cut and fill calculations, which was provided with both legacy topography and proposed topography. Design includes identifying the 100-yr base flood elevation (BFE) of 735.13 in both legacy and proposed design. The contours have since been color coded, for all elevations at or below the BFE. A more detailed calculation of the estimated cut and fill for the site has been accomplished, in both Legacy and Proposed conditions.

The project has been designed with impacts such that no additional fill than what was originally allowed by ordinance will occur. As proposed, the design meets and exceeds the balance of the legacy approved conditions, and has an extra 1070 cubic feet of volume to be removed (Approximately 3 semi tractor trailer's worth). This was achieved by calculating both the legacy and proposed conditions for the footprint of the home, and also at a secondary site where a part of a small hill currently intruding into the local floodplain is to be removed.

Detailed Cut and Fill calculations are provided on the two pages.



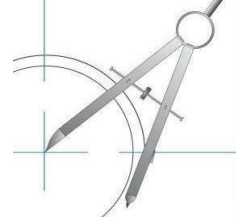
Dan Grecco, P.E.

March 05, 2026

LEGACY HOME			
AREA OF CONTOUR BY ELEVATION			
GIVEN	(735.13') A=	6018	
	(735.00') A=	6170	
	(734.00') A=	7647	
	(733.00') A=	8616	
DETENTION STORAGE (FOLLOWING AVERAGE END METHOD)			
(A1 +A2)/2 x H = Volume, Where(ELEV1-ELEV2) = H			
	735.13' ->735	(6018 sf +6170 sf)/2 x0.15 =	914.10
	735.00' ->734	(6170 sf + 7647 sf)/2 x1.00 =	6908.50
	734.00' ->733	(7647 sf +8616 sf)/2 x1.00 =	8131.50
<b>total</b>			<b>15954.10 CUFT</b>

PROPOSED HOME			
AREA OF CONTOUR BY ELEVATION			
GIVEN	(735.13') A=	7066	
	(735.00') A=	7112	
	(734.00') A=	7777	
	(733.00') A=	8515	
DETENTION STORAGE (FOLLOWING AVERAGE END METHOD)			
(A1 +A2)/2 x H = Volume, Where(ELEV1-ELEV2) = H			
	735.13' ->735	(7066 sf +7112 sf)/2 x0.15 =	1063.35
	735.00' ->734	(7112 sf + 7777 sf)/2 x1.00 =	7444.50
	734.00' ->733	(7777 sf +8515 sf)/2 x1.00 =	8146.00
<b>total</b>			<b>16653.85 CUFT</b>

HOME			
NET DIFFERENCE BETWEEN LEGACY AND PROPOSED			
LEGACY		PROPOSED	NET DIFFERENCE
<b>15954.100 CUFT</b>	-	<b>16653.85 CUFT</b>	= <b>-699.75 CUFT</b>
			<b>OVERALL FILL</b>



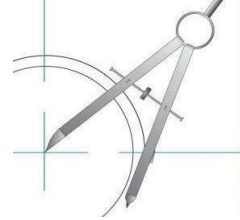
Dan Grecco, P.E.

March 05, 2026

<b>LEGACY HILL</b>			
<b>AREA OF CONTOUR BY ELEVATION</b>			
GIVEN	(735.13') A=	1139	
	(735.00') A=	1305	
	(734.00') A=	2009	
	(733.00') A=	2698	
DETENTION STORAGE (FOLLOWING AVERAGE END METHOD)			
(A1 +A2)/2 x H = Volume, Where(ELEV1-ELEV2) = H			
	735.13' ->735	(1139 sf +1305 sf)/2 x0.15 =	183.30
	735.00' ->734	(1305 sf + 2009 sf)/2 x1.00 =	1657.00
	734.00' ->733	(2009 sf +2698 sf)/2 x1.00 =	2353.50
			<b>total 4193.80 CUFT</b>

<b>PROPOSED HILL</b>			
<b>AREA OF CONTOUR BY ELEVATION</b>			
GIVEN	(735.13') A=	763	
	(735.00') A=	841	
	(734.00') A=	1102	
	(733.00') A=	1562	
DETENTION STORAGE (FOLLOWING AVERAGE END METHOD)			
(A1 +A2)/2 x H = Volume, Where(ELEV1-ELEV2) = H			
	735.13' ->735	(763 sf +841 sf)/2 x0.15 =	120.30
	735.00' ->734	(841 sf +1102 sf)/2 x1.00 =	971.50
	734.00' ->733	(1102 sf +1562 sf)/2 x1.00 =	1332.00
			<b>total 2423.80 CUFT</b>

<b>HILL</b>			
<b>NET DIFFERENCE BETWEEN LEGACY AND PROPOSED</b>			
LEGACY		PROPOSED	NET DIFFERENCE
<b>4193.800 CUFT</b>	-	<b>2423.80 CUFT</b>	<b>1770.00 CUFT</b>
			<b>OVERALL CUT</b>
<b>HILL &amp; LEGACY CUT/FILLS VOLUMES COMBINED</b>			
<b>FOR NET DIFFERENCE BETWEEN LEGACY AND PROPOSED FOR EACH</b>			
PROPOSED HILL CUT		PROPOSED HOME FILL	NET DIFFERENCE
<b>1770.000 CUFT</b>	-	<b>-699.75 CUFT</b>	<b>1070.25 CUFT</b>
			<b>OVERALL CUT</b>



Dan Grecco, P.E.

March 05, 2026

**Item 3:**

*Constructability – Provide a narrative addressing the constructability of the lot (and proposed expanded footprint/floodplain area), specifically regarding site access and impact on surrounding areas.*

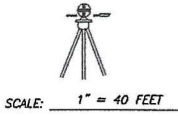
The site will be first secured with protective silt fencing, which will extend with just enough coverage needed for the driveway and home construction, with the intent to minimize impacts to the site and greater detention area. Silt fence will be placed and maintained as a double row any locations within or below the BFE.

A standard construction entrance, per the Illinois Department of Natural Resources will be employed. The site entrance will consist of 3-inch stone, be 20-feet wide and a minimum of 70-feet long. The purpose of the construction entrance is to help de-tread spoil from construction vehicles and provide an initial secure means of sole access to the property. The entrance will be located where the proposed driveway is proposed, towards which the 3-inch stone placed will be utilized as a base.

Both the silt fencing and construction entrance will be part of a larger soil-erosion and soil-control plan to be approved by the Village. It will also include guarantees and bond assurances that the existing roadway and pedestrian systems will be protected.

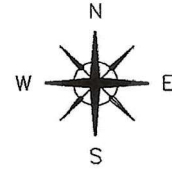
Both the building and the driveway will be construction at a higher standard than typical construction methods. The driveway as indicated before will be constructed as a permeable brick driveway. The home will not have sloping grade adjacent to it, as the foundation of the home, acting as a retaining wall will be built slightly thicker and floodproofed.

As indicated previously regarding flood impacts, the net impact will be to slightly increase the overall volume of the existing detention area.

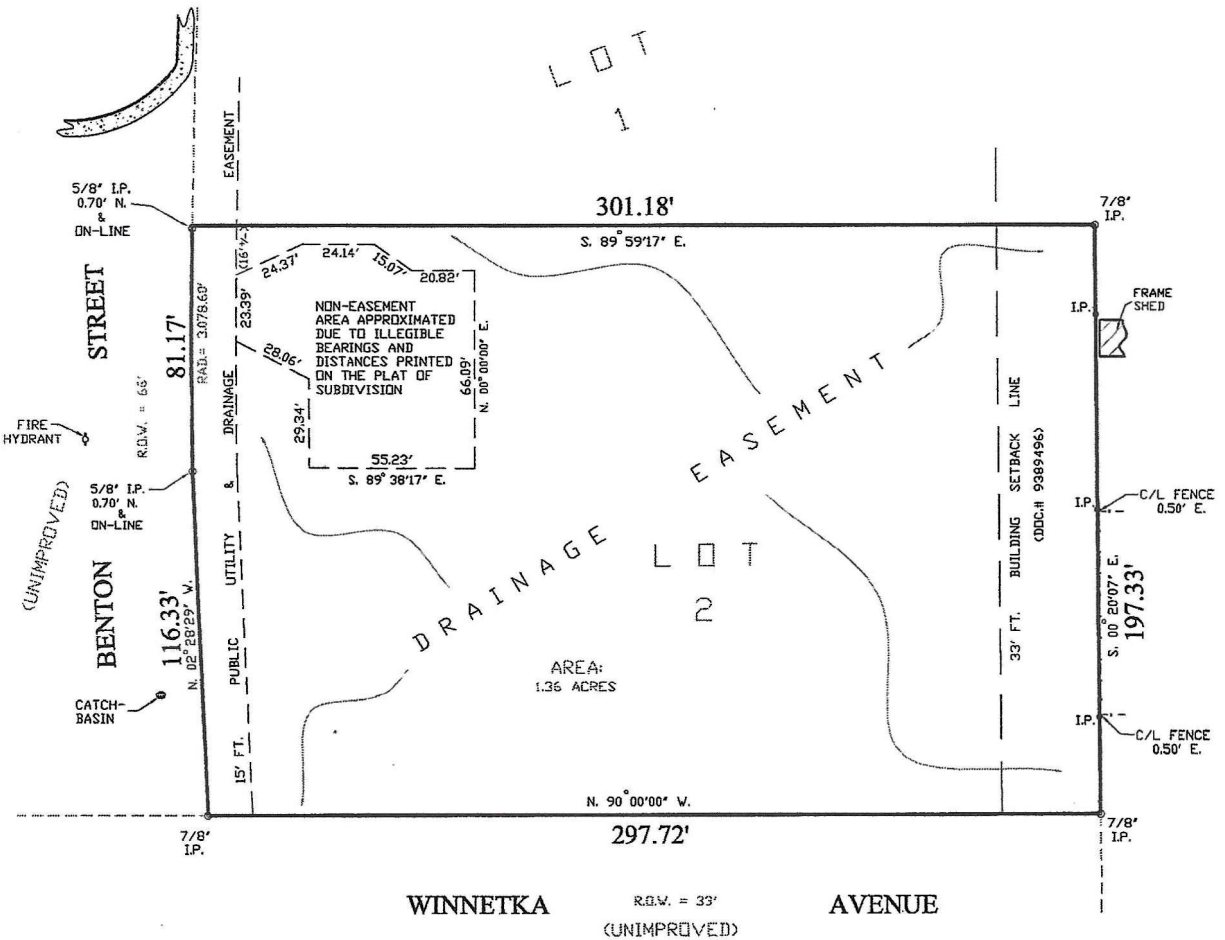


# PLAT OF SURVEY

OF



LOT 2 IN THE BENTON STREET SUBDIVISION BEING A RESUBDIVISION OF LOT 3 IN BLOCK 14 IN ARTHUR T. MCINTOSH AND COMPANY'S PALATINE ESTATES UNIT NO. 2 IN THE NORTH 1/2 OF THE N.W. 1/4 OF SECTION 26, TOWNSHIP 42 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.



STATE OF ILLINOIS)  
COUNTY OF KANE) SS:

I, ANDREW J. TOBIN, DO HEREBY CERTIFY THAT I HAVE SURVEYED THE ABOVE DESCRIBED PROPERTY ACCORDING TO THE OFFICIAL RECORD, AND THAT THE PLAT CORRECTLY REPRESENTS SAID SURVEY. THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS OF PRACTICE FOR BOUNDARY SURVEYS.

BY: Andrew J. Tobin  
PROFESSIONAL LAND SURVEYOR  
LICENSE NO. 35-3519  
EXPIRES 11/30/2026



DATED: JANUARY 9, 2025  
PREPARED FOR: KUGIA LAW OFFICE  
SELLER: FLOOD  
PROPERTY ADDRESS: 951 S. BENTON ST.  
PALATINE, ILLINOIS  
SURVEY ORDER NO: 24494

ANY DISCREPANCY IN MEASUREMENTS SHOULD BE PROMPTLY REPORTED TO THE SURVEYOR FOR EXPLANATION OR CORRECTION.

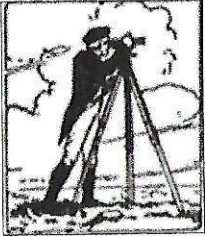
COMPARE THE DESCRIPTION ON THIS PLAT WITH DEED.  
REFER TO DEEDS FOR EASEMENTS AND BUILDING LINES.

THIS SURVEY IS ONLY VALID WHEN ACCOMPANIED BY AN EMBOSSED SEAL.

INDICATES FOUND STAKE ○ CHAIN LINK FENCING  
INDICATES SET STAKE ● WOOD FENCING  
INDICATES CONCRETE [Symbol]

ANDREW J. TOBIN

P.O. BOX 42 DUNDEE, ILLINOIS. 60118 847-695-4235



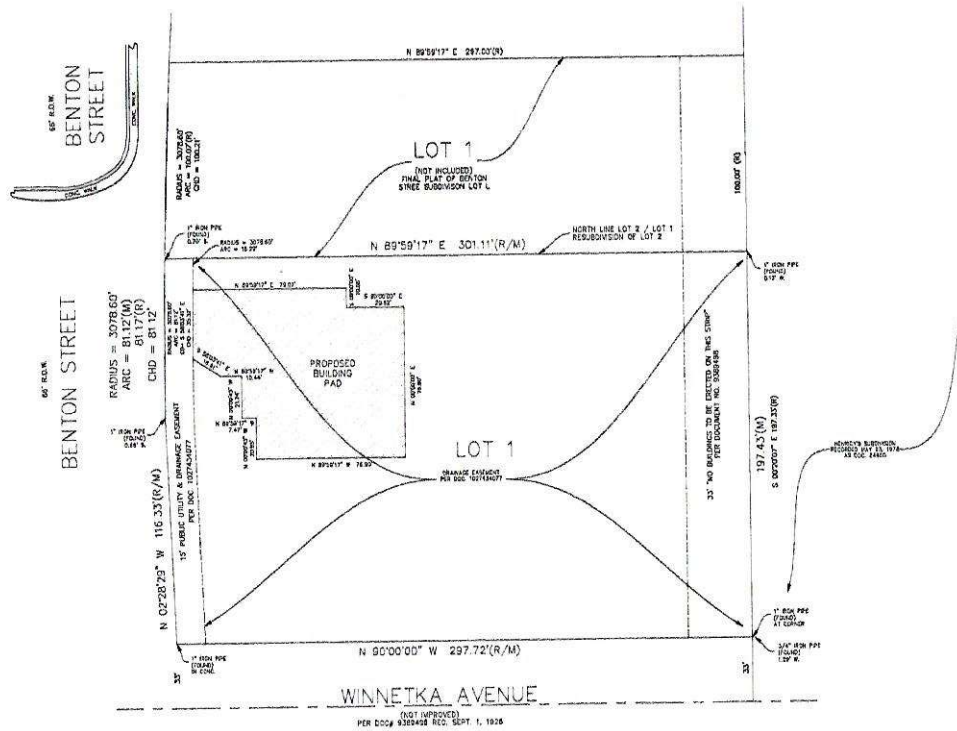
**MURRY AND MOODY, LTD.**  
Land Surveyors

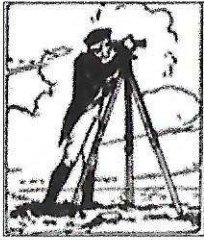
Illinois Professional Land Surveying Firm, Corporation License No. 184-002845  
933 J. O'Brien Street East, Suite 101  
Palatine, Illinois 60067  
www.murrysurvey.com info@murrysurvey.com Phone: (847)358-5560

**RESUBDIVISION OF LOT 2 IN FINAL PLAT OF BENTON STREET SUBDIVISION**  
OF

LOT 2 IN FINAL PLAT OF BENTON STREET SUBDIVISION, BEING A RESUBDIVISION OF LOT 3 IN ARTHUR T. MCINTOSH AND COMPANY'S PALATINE ESTATES UNIT NO. 2, IN THE NORTH HALF OF THE NORTHWEST QUARTER OF SECTION 26, TOWNSHIP 42 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

AREA = 59,334.00± SF / 1.36 ACRES





# MURRY AND MOODY, LTD. Land Surveyors

Illinois Professional Land Surveying Firm Corporation License No. 184-002845  
833 S. Oak Grove Road, Suite 101  
Palatine, Illinois 60067  
www.murrysurvey.com info@murrysurvey.com Phone: (847)358-5960

## RESUBDIVISION OF LOT 2 IN FINAL PLAT OF BENTON STREET SUBDIVISION

### OWNER'S CERTIFICATE

STATE OF ILLINOIS  
COUNTY OF COOK S.S.

THIS IS TO CERTIFY THAT WE ARE THE OWNERS OF THE PROPERTY DESCRIBED HEREON AND THAT WE HAVE CAUSED THE SAID PROPERTY TO BE SURVEYED AND SUBDIVIDED AS SHOWN HEREOF, FOR THE USES AND PURPOSES THEREIN SET FORTH, AND DO HEREBY ACKNOWLEDGE AND ADOPT THE SAME UNDER THE TITLE HEREIN INDICATED.

WE FURTHER CERTIFY THAT TO THE BEST OF OUR KNOWLEDGE (EACH LOT) IS WITHIN THE FOLLOWING SCHOOL DISTRICTS:  
ELEMENTARY SCHOOL DISTRICT: COOK COUNTY CONSOLIDATED #58  
HIGH SCHOOL DISTRICT: PALATINE TOWNSHIP #211  
COLLEGE DISTRICT: HAWDEN COMMUNITY #42C

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D. 2025

OWNER: ROBERT FELTES OWNER: ROYDA FELTES

### NOTARY CERTIFICATE

STATE OF ILLINOIS  
COUNTY OF COOK S.S.

I, \_\_\_\_\_ A NOTARY PUBLIC IN AND FOR SAID COUNTY IN THE STATE AFORESAID, DO HEREBY CERTIFY THAT ROBERT FELTES AND ROYDA FELTES, ARE PERSONALLY KNOWN TO ME TO BE THE SAME PERSONS WHOSE NAMES ARE SUBSCRIBED TO THE FOREGOING INSTRUMENT, APPEARED BEFORE ME THIS DAY IN PERSON, AND AT THE SAME TIME OF SAID APPEARANCE ACKNOWLEDGED THAT THEY AS SAID OWNERS OF THE PROPERTY DESCRIBED IN THE ABOVE CAPTION, THAT THEY SIGNED AND SEALED THE FOREGOING INSTRUMENT AS THEIR OWN FREE AND VOLUNTARY ACT AND DEED FOR THE USES AND PURPOSES THEREON SET FORTH.

GIVEN UNDER MY HAND AND NOTARY SEAL THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2025.

\_\_\_\_\_  
NOTARY PUBLIC

### SURVEYOR'S DESIGNATION OF RECORDING

I, BARBARA C. MURRY, A PROFESSIONAL LAND SURVEYOR IN THE STATE OF ILLINOIS, HEREBY DESIGNATE THE VILLAGE OF PALATINE, COOK COUNTY, ILLINOIS, TO RECORD A CERTAIN PLAT OF RESUBDIVISION KNOWN AS "RESUBDIVISION OF LOT 2 IN FINAL PLAT OF BENTON STREET SUBDIVISION" WITH THE COOK COUNTY RECORDER OF DEEDS OR REGISTRAR OF TITLES. THIS DESIGNATION IS GRANTED UNDER THE RIGHT TO DESIGNATE SUCH RECORDING UNDER CHAPTER 109, SECTION 2 OF THE ILLINOIS REVISED STATUTES.

DATE: 10/31/2025

BARBARA C. MURRY, P.L.S.  
ILLINOIS LAND SURVEYOR NO. 3529  
LICENSE RENEWAL DATE NOVEMBER 30, 2026

PLAT RECORDED BY: NAME: \_\_\_\_\_

FIRM/ENTITY: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

PHONE: \_\_\_\_\_

SEND NEXT TAX BILL TO: \_\_\_\_\_

PERMANENT INDEX NUMBER: 02-25-105-024-0000

### SURFACE WATER DRAINAGE

STATE OF ILLINOIS  
COUNTY OF COOK S.S.

WE HEREBY CERTIFY TO THE BEST OF OUR KNOWLEDGE THAT ADEQUATE PROVISIONS HAVE BEEN MADE FOR THE DIVERSION AND DETENTION OF SURFACE WATERS INTO PUBLIC AREAS OR DRAINS WITHIN THE RIGHTS OF THE SUBDIVIDER AND THAT THE SURFACE WATERS WILL NOT BE DEPOSITED ON ADJACENT LAND OWNERS' PROPERTY IN SUCH CONCENTRATION AS MAY CAUSE DAMAGE BY EROSION OR SEDIMENTATION TO SUCH PROPERTY BECAUSE OF CONSTRUCTION OF THE SUBDIVISION.

OWNER: \_\_\_\_\_ ILLINOIS PROFESSIONAL ENGINEER

DATE: \_\_\_\_\_

DATED: \_\_\_\_\_

### VILLAGE COLLECTOR

STATE OF ILLINOIS  
COUNTY OF COOK S.S.

I DO HEREBY CERTIFY THAT THERE ARE NO DEFERRED SPECIAL ASSESSMENTS OR UNPAID CURRENT SPECIAL ASSESSMENTS DUE AGAINST THE LAND INCLUDED IN THE ABOVE PLAT.

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D., 2025.

SIGNED: \_\_\_\_\_  
VILLAGE COLLECTOR

### PLANNING AND ZONING COMMISSION:

STATE OF ILLINOIS  
COUNTY OF COOK S.S.

APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE VILLAGE OF PALATINE, COOK COUNTY, ILLINOIS, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2025.

SIGNED: \_\_\_\_\_

CHAIRMAN

ATTEST: \_\_\_\_\_

SECRETARY

### VILLAGE COUNCIL

STATE OF ILLINOIS  
COUNTY OF COOK S.S.

APPROVED BY THE VILLAGE COUNCIL OF THE VILLAGE OF PALATINE, COOK COUNTY, ILLINOIS, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2025.

SIGNED: \_\_\_\_\_

MAYOR

ATTEST: \_\_\_\_\_

VILLAGE CLERK

### VILLAGE ENGINEER

STATE OF ILLINOIS  
COUNTY OF COOK S.S.

THIS PLAT HAS BEEN CHECKED FOR CONFORMANCE TO THE VILLAGE OF PALATINE STANDARDS AND REQUIREMENTS, AND WORKING DRAWINGS AND SPECIFICATIONS FOR IMPROVEMENTS HAVE BEEN PREPARED IN CONFORMANCE WITH THE VILLAGE STANDARDS AND REQUIREMENTS, AND ENGINEERING FEES DUE TO THE VILLAGE OF PALATINE HAVE BEEN PAID.

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2025.

SIGNED: \_\_\_\_\_

VILLAGE ENGINEER

### VILLAGE COLLECTOR

STATE OF ILLINOIS  
COUNTY OF COOK S.S.

I DO HEREBY CERTIFY THAT THERE ARE NO DEFERRED SPECIAL ASSESSMENTS OR UNPAID CURRENT ASSESSMENTS DUE AGAINST THE LAND INCLUDED IN THE ABOVE PLAT.

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2025.

BY: \_\_\_\_\_

VILLAGE COLLECTOR

### PUBLIC UTILITY EASEMENT PROVISIONS

WHENEVER THE WORDS "PUBLIC UTILITIES" OR "PUBLIC UTILITIES EASEMENT" SHALL APPEAR ON THIS PLAT, THE VILLAGE OF PALATINE, A MUNICIPAL CORPORATION, COOK COUNTY, ILLINOIS, AND ITS SUCCESSORS OR ASSIGNS, COUNTY AND SEVERALLY SHALL HOLD A PERPETUAL EASEMENT UNDER, OVER AND ACROSS THE SURFACE OF THE PROPERTY SHOWN WITHIN THE LINES ON THE PLAT MARKED AS SUCH FOR THE INSTALLATION, CONSTRUCTION, USE, REPAIR AND MAINTENANCE OF ALL PUBLIC UTILITY EQUIPMENT INCLUDING BUT NOT LIMITED TO: FACILITIES USED IN CONNECTION WITH THE TRANSMISSION AND DISTRIBUTION OF ELECTRICITY AND SIGNALS AND SIGNALS, WATER AND SEWAGE MAINS AND PIPING, THE RIGHT TO CUT, TRIM OR REMOVE TREES, BUSHES AND ROOTS, AS MAY BE REASONABLY REQUIRED INCIDENT TO THE RIGHTS HEREBY GIVEN, AND THE RIGHT TO ENTER UPON THE SUBDIVIDED PROPERTY FOR ALL SUCH PURPOSES. OBSTRUCTIONS SHALL NOT BE PLACED OVER GRANTED FACILITIES OR IN, UPON OR OVER THE PROPERTY WITHIN THE LINES MARKED "EASEMENT" WITHOUT THE PRIOR WRITTEN CONSENT OF THE GRANTEE. AFTER INSTALLATION OF ANY SUCH FACILITIES, THE GRADE OF THE SUBDIVIDED PROPERTY SHALL NOT BE ALTERED IN A MANNER SO AS TO UNREASONABLY INTERFERE WITH THE PROPER OPERATION AND MAINTENANCE THEREOF.

### SURVEYOR'S CERTIFICATE

STATE OF ILLINOIS  
COUNTY OF COOK S.S.

THIS IS TO CERTIFY THAT I, BARBARA C. MURRY, AN ILLINOIS PROFESSIONAL LAND SURVEYOR, HAVE SURVEYED AND SUBDIVIDED THE FOLLOWING DESCRIBED PROPERTY:

LOT 2 IN FINAL PLAT OF BENTON STREET SUBDIVISION, BEING A RESUBDIVISION OF LOT 3 IN ARTHUR T. MONTAGNI AND COMPANY'S PALATINE ESTATE UNIT NO. 2, IN THE NORTH HALF OF THE NORTHWEST QUARTER OF SECTION 46, TOWNSHIP 42 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

I FURTHER CERTIFY THAT THE PROPERTY SHOWN HEREOF IS NOT IN THE FLOOD PLAIN, AS PER COMMUNITY PANEL NO. 17031C18U REVISED DATE AUGUST 19, 2023.

I FURTHER CERTIFY THAT ALL REGULATIONS ENACTED BY THE BOARD OF TRUSTEES OF THE VILLAGE OF PALATINE, COOK COUNTY, ILLINOIS RELATIVE TO PLATS AND SUBDIVISIONS HAVE BEEN COMPLIED WITH IN THE PREPARATION OF THIS PLAT.

I FURTHER CERTIFY THAT LAND INCLUDED BY SAID SURVEY IS WITHIN THE CORPORATE LIMITS OF THE VILLAGE OF PALATINE, COOK COUNTY, ILLINOIS.

ALL DISTANCES ARE SHOWN IN FEET AND DECIMAL PARTS THEREOF, AS SHOWN BY THE ANNEXED PLAT WHICH IS A CORRECT REPRESENTATION OF THE SURVEY AND RESUBDIVISION. IRON PIPES AT ALL LOT CORNERS UNLESS OTHERWISE INDICATED.

GIVEN UNDER MY HAND AND SEAL, AT PALATINE, ILLINOIS THIS 31ST DAY OF OCTOBER 2025.

BARBARA C. MURRY, P.L.S.  
ILLINOIS LAND SURVEYOR NO. 3529  
LICENSE RENEWAL DATE NOVEMBER 30, 2026



The use is designed, located, and proposed to be operated that the public health, safety, welfare will be protecte  
Explain.

\*

The necessary engineering calculations have been provided to allow for a slightly expanded building foot print such that there will not be an increase to the affected base flood elevation for that area.  
The use will not cause substantial injury to nearby property values. Explain.

\*

Home will be built to the most current R-1 zoning law.

**GENERAL INFO**

**CONTACTS**

**PROPERTY ATTRIBUTES**

Project Description \*

Seeking to expand the allowable building foot print without impacting or increasing base flood elevation.

Special Uses shall not be granted except on findings based upon the evidence in each specific case. Please address the following standards as these will be used in considering the specific relief you are seeking.

The used deemed necessary for the public convenience at that location. Explain.

\*

Property is already zoned for residential R-1 use.

The use is designed, located, and proposed to be operated that the public health, safety, welfare will be protected.  
Explain.

**ORDINANCE NO. 0-17-09**

**AN ORDINANCE GRANTING SPECIAL USES FOR  
LOT ONE & TWO IN THE BENTON STREET SUBDIVISION  
FOR THE PROPERTY COMMONLY KNOWN AS THE NORTHEAST CORNER OF  
BENTON STREET AND UNIMPROVED WINNETKA AVE. (CASE NO. 07-151)**

**Published in pamphlet form by authority of the  
Mayor and Village Council of the Village of Palatine  
on February 2, 2009**

**ORDINANCE NO. 0-17-09**

**AN ORDINANCE GRANTING SPECIAL USES FOR  
LOT ONE & TWO IN THE BENTON STREET SUBDIVISION  
FOR THE PROPERTY COMMONLY KNOWN AS THE  
NORTHEAST CORNER OF BENTON STREET AND UNIMPROVED WINNETKA AVE.  
PIN 02-26-105-004 (CASE NO. 07-151)**

**WHEREAS, pursuant to a petition and public hearing on November 4, 2008 of which public notice was given as required by law, the Plan Commission of the Village of Palatine, in accordance with the Zoning Ordinance of the Village of Palatine, in such case made and provided, has held such public hearing and reported their findings relative to a request for a Special Use to permit a yard in a floodplain pursuant to Section 6.08 (d) (2) (a) of the Palatine Code of Ordinances Appendix B; and a Special Use to permit filling of land in a floodplain pursuant to Section 6.08 (d) (2) (d) of the Palatine Code of Ordinances Appendix B, on the following legally described property:**

**Lots 1 & 2 in the Benton Street Subdivision being a resubdivision of Lot 3 in Block 14 in Arthur T. McIntosh and Company's Palatine Estates Unit No. 2 in the North 1/2 of the N.W. 1/4 of Section 26, Township 42 North, Range 10 East of the Third Principal Meridian, in Cook County Illinois**

**commonly known as PIN 02-26-105-004 (aka Northeast corner of Benton Street and unimproved Winnetka Avenue)**

**NOW, THEREFORE, BE IT ORDAINED, by the Mayor and Village Council of the Village of Palatine, Cook County, Illinois, acting in the exercise of their home rule power that:**

**SECTION 1: A Special Use to permit a yard in a floodplain pursuant to Section 6.08 (d) (2) (a) of the Palatine Code of Ordinances Appendix B; and a Special Use to permit filling of land in a floodplain pursuant to Section 6.08 (d) (2) (d) of the Palatine Code of Ordinances Appendix B, is hereby granted for Lot 1 and a Special Use to permit filling of land in a floodplain pursuant to Section 6.08 (d) (2) (d) of the Palatine Code of Ordinances Appendix B, is hereby granted for Lot 2, subject to the following conditions:**

- 1. The Special Use approvals to permit a yard in a floodplain and to permit filling of land in a floodplain are granted for Lot 1 in the Benton Street Subdivision, as illustrated in the plans attached hereto as Exhibit 'A' and subject to the following conditions.**

- 2. The Special Use to permit filling of land in a floodplain is granted for Lot 2 in the Benton Street Subdivision, as illustrated in the plans attached hereto as Exhibit 'A' and subject to the following conditions.**
- 3. The Special Use request to permit a yard in a floodplain for Lot 2 shall be considered by the Village Council only upon compliance with the following conditions:**
  - a. In order to measure the effectiveness of the new storm sewer (Winnetka Avenue), among other locations, run-off measurements shall be collected at the drainage structure proximate to the northeast corner of the Lot 1 prior to and after the construction of the Winnetka Avenue Storm Sewer. Additionally, once this storm sewer project has been completed and after the occurrence of a 2.5 inch rain event in a 24-hour period or other significant rain event deemed sufficient by the Village Engineer to test the operation of the new storm sewer and determine that it functions adequately, and:**
  - b. All of the subdivision grading has been completed in accordance with the approved plans and the Village Engineer has determined that no new adverse impacts to the adjacent properties have been created as a result. The Petitioner shall be solely responsible for returning all of Lot 2 to its pre-altered elevations in a state satisfactory to the Village Engineer; if corrective measures acceptable to the Village Engineer to remedy any new adverse impacts have not been implemented.**
  - c. No building permit shall be issued for the construction of a home on Lot 2 unless conditions 3 (a) and 3 (b) outlined above have been satisfied and the Village Council has granted approval of the Special Use to permit a yard in a floodplain for Lot 2.**
- 4. Prior to the commencement of the subdivision grading a letter of credit in the amount of \$20,000 shall be submitted in a manner acceptable to the Village Engineer. Prior to either the recording of the Plat of Subdivision or the issuance of a building permit for either lot an additional letter of credit in the amount of \$62,197 shall be submitted in a manner acceptable to the Village Engineer.**
- 5. Upon request the Petitioner or the Petitioner's Engineer shall provide the Village with any monitoring well or other relevant information needed.**
- 6. The development shall substantially conform to the engineering plans by Land Technology, Inc. dated and last revised 5/14/08 and attached hereto as Exhibit 'B', except as such plan may be changed to conform to Village Codes and Ordinances and the following conditions:**
- 7. Review fees in the amount of \$2,894.93 shall be submitted.**
- 8. Cash-in-lieu of detention shall be paid in the amount of \$3,056.62**

- 9. A recapture in the amount of 7.2% of the cost incurred by the Village of Palatine to design and construct the Winnetka Ave Storm Sewer Project shall be paid, prior to the issuance of a building permit for Lot 2.
- 10. A NPDES permit shall be submitted.
- 11. A restrictive covenant shall be recorded with the County in a manner acceptable to the Village attorney which explicitly identifies the restrictions on structures and uses of the property.
- 12. The soils engineer for the project shall work with Village Staff to ensure the construction of all utilities, sidewalks, and other public improvements are completed in a satisfactory manner. The soils engineer for the project shall be on site during construction of these improvements if directed by the Village Engineer.
- 13. The engineering plans shall be revised, in a manner acceptable to the Village Engineer, to note that the area of compensatory storage shall be inspected by a licensed soils engineer after the excavation is completed to determine that the soils are sufficiently impermeable to prevent excessive mitigation of the stored water toward the adjoining properties.


**SECTION 2:** That the petition for a special use, a copy of the public notice and the report of the hearing be attached hereto and form a part of this ordinance.

**SECTION 3:** That this ordinance shall be in full force and effect from and after its passage and approval as provided by law.

**PASSED:** This 2nd day of February, 2009

**AYES:** 4 **NAYS:** 2 **ABSENT:** 0 **PASS:** 1

**APPROVED** by me this 2nd day of February, 2009

  
 \_\_\_\_\_  
 Mayor of the Village of Palatine

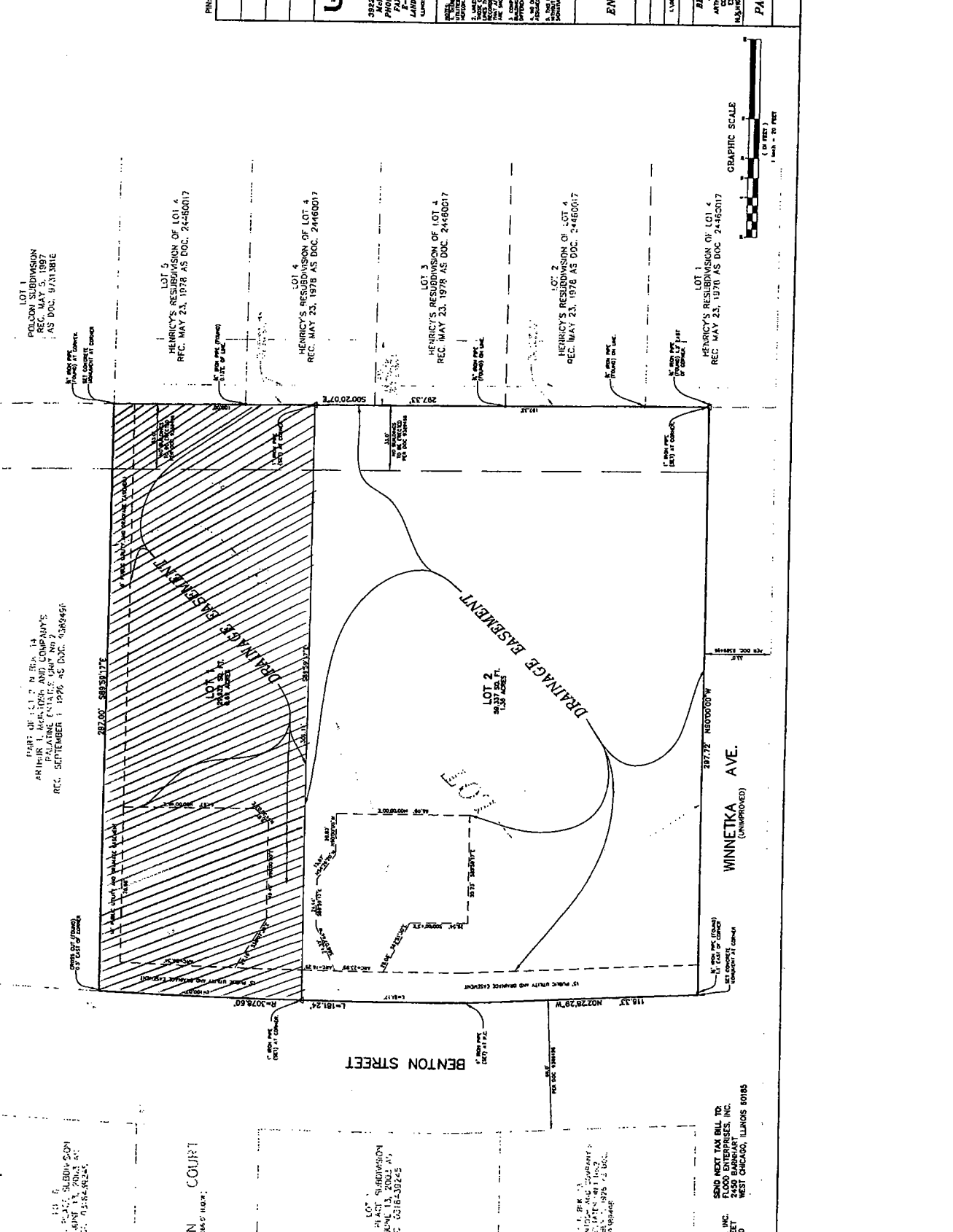
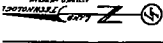
**ATTESTED and FILED** in the office of the Village Clerk this 2nd day of February, 2009

  
 \_\_\_\_\_  
 Village Clerk

# FINAL PLAT OF BENTON STREET SUBDIVISION

BENS A RESUBDIVISION OF LOT 3 IN ARTHUR T. MORTON AND COMPANY'S PALATINE ESTATES UNIT No. 2 IN THE NORTH HALF OF THE NORTHWEST QUARTER OF SECTION 26, TOWNSHIP 42 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.  
 WITHIN THE VILLAGE OF PALATINE, ILLINOIS  
 PART OF 15.17 ACRES, 13  
 ARTHUR T. MORTON AND COMPANY'S  
 PALATINE ESTATES UNIT No. 2  
 REC. SEPTEMBER 1, 1976 AS DOC. 438945F

FOR REVIEW AND COMMENT



PH: 602-25-105-004

**S** echnology, Inc  
 3822 W. MAIN STREET  
 AGRIWAY, IL 60060  
 PHONE: (616)868-8200  
 FAX: (616)868-8200  
 TEL: (616)868-8223  
 LA@TECHNOLOGY.COM  
 WWW.TECHNOLOGY.COM

DRAINAGE EASEMENT

LOT 1  
 HENRIKY'S RESUBDIVISION OF LOT 4  
 REC. MAY 23, 1978 AS DOC. 24460017

LOT 2  
 HENRIKY'S RESUBDIVISION OF LOT 4  
 REC. MAY 23, 1978 AS DOC. 24460017

LOT 3  
 HENRIKY'S RESUBDIVISION OF LOT 4  
 REC. MAY 23, 1978 AS DOC. 24460017

LOT 4  
 HENRIKY'S RESUBDIVISION OF LOT 4  
 REC. MAY 23, 1978 AS DOC. 24460017

LOT 5  
 HENRIKY'S RESUBDIVISION OF LOT 4  
 REC. MAY 23, 1978 AS DOC. 24460017

WINNETKA AVE.  
 (UNAPPROVED)

DRAINAGE EASEMENT

LOT 1  
 POLLOCK SUBDIVISION  
 REC. MAY 5, 1987  
 AS DOC. 91713816

BENTON STREET

RETURN PLAT TO:  
 LAND TECHING CORP., INC.  
 100 SOUTH STATE STREET  
 WEST CHICAGO, ILLINOIS 60606

SEND NEXT TAX BILL TO:  
 FLOOD ENTERPRISES, INC.  
 100 SOUTH STATE STREET  
 WEST CHICAGO, ILLINOIS 60606

ARTHUR T. MORTON AND COMPANY'S  
 PALATINE ESTATES UNIT No. 2  
 REC. SEPTEMBER 1, 1976 AS DOC. 438945F

LOT 1  
 HENRIKY'S RESUBDIVISION OF LOT 4  
 REC. MAY 23, 1978 AS DOC. 24460017

LOT 2  
 HENRIKY'S RESUBDIVISION OF LOT 4  
 REC. MAY 23, 1978 AS DOC. 24460017

LOT 3  
 HENRIKY'S RESUBDIVISION OF LOT 4  
 REC. MAY 23, 1978 AS DOC. 24460017

LOT 4  
 HENRIKY'S RESUBDIVISION OF LOT 4  
 REC. MAY 23, 1978 AS DOC. 24460017

LOT 5  
 HENRIKY'S RESUBDIVISION OF LOT 4  
 REC. MAY 23, 1978 AS DOC. 24460017

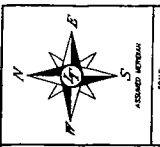
WINNETKA AVE.  
 (UNAPPROVED)

BENTON STREET

FOR REVIEW AND COMMENT

PH: 602-25-105-004





SCALE:  
1" = 20'

**JULIE**  
Professional Engineer  
No. 151118  
Illinois  
3922 N. MAIN STREET AUBURN, IL 62605  
P: (618) 969-3200 F: (618) 969-3228  
E: LANDSCAPE@LANDSCAPEENGINEERING.COM  
LANDSCAPE ENGINEERING AND DESIGN  
NO. 151118

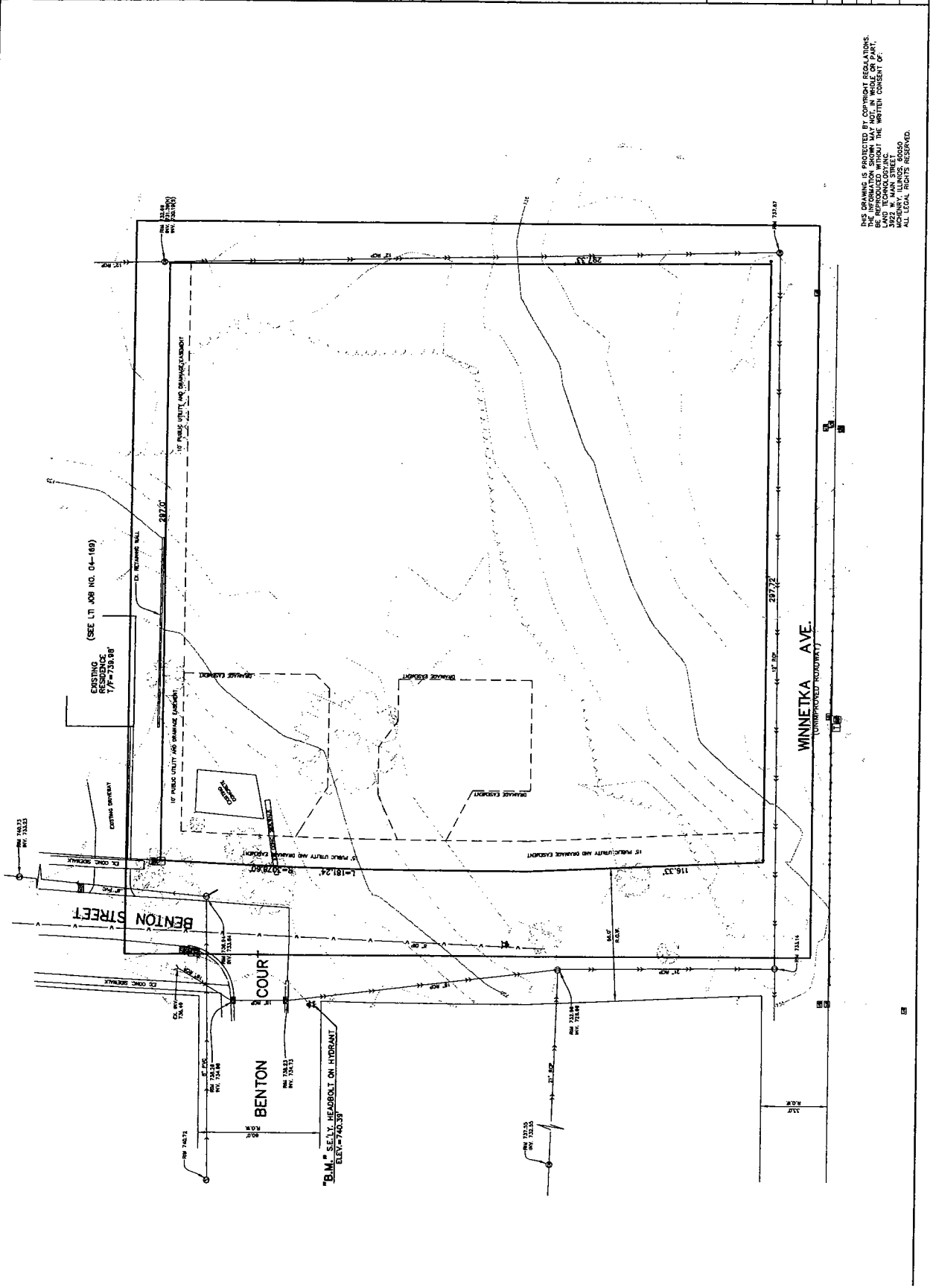
and technology, Inc.

**EXISTING CONDITIONS PLAN:**  
CLIENT: DAVID FLOOD ENTERPRISES  
951 BENTON SUBD.-N.W. SEC. 26, T42N, R10E  
VILLAGE OF PALMATEL

REV. 1	7/25/22	REV. PER COMMENT
REV. 2	7/29/22	REV. PER VILLAGE OF PALMATEL REVIEW LETTER 11-14-22
REV. 3	7/29/22	REV. PER VILLAGE OF PALMATEL REVIEW LETTER 2-1-23
REV. 4	8/1/22	REV. PER VILLAGE OF PALMATEL REVIEW LETTER 4-1-23
REV. 5	5/1/23	REV. PER VILLAGE OF PALMATEL

ILLINOIS PROFESSIONAL ENGINEERING BOARD  
NO. 151118 JULIE  
VILLAGE OF PALMATEL  
LANDSCAPE ENGINEERING AND DESIGN

DATE: 5/1/23  
DRAWING NUMBER: 06-321  
PAGE 2 OF 6  
PROJECT: 3922 N. MAIN STREET, AUBURN, ILLINOIS 62605  
ALL LEGAL RIGHTS RESERVED.



THIS DRAWING IS PROTECTED BY COPYRIGHT REGULATIONS.  
IT IS THE PROPERTY OF LANDSCAPE ENGINEERING AND DESIGN.  
IT SHALL NOT BE REPRODUCED WITHOUT THE WRITTEN CONSENT OF  
LANDSCAPE ENGINEERING AND DESIGN.  
3922 N. MAIN STREET  
AUBURN, ILLINOIS 62605  
ALL LEGAL RIGHTS RESERVED.



SCALE:  
1" = 20'

**JULIE**  
1-800-892-0123  
CORPORATION

**and technology, inc.**  
3222 W. MAIN STREET, MARYNICK, IL 60060  
P: (616) 898-9200 F: (616) 988-9228  
E: LANDSCAPE@LANDSCAPEINC.COM

**ENGINEERING & GRADING PLAN:**

CLIENT: DAVID FLOOD, FLOOD ENTERPRISES,  
951 BENTON SUBD., N.W. SEC. 26, T. 42N. R. 10E.  
VILLAGE OF PALM BEACH

DATE: 5/17/20  
DRAWN BY: JAA  
CHECKED BY: JPM

REVISIONS:

NO.	DATE	DESCRIPTION
REV. 1	7/20/20	REV. PER CLIENT
REV. 2	7/20/20	REV. PER CLIENT
REV. 3	7/20/20	REV. PER CLIENT
REV. 4	7/20/20	REV. PER CLIENT
REV. 5	7/20/20	REV. PER CLIENT
REV. 6	7/20/20	REV. PER CLIENT
REV. 7	7/20/20	REV. PER CLIENT
REV. 8	7/20/20	REV. PER CLIENT
REV. 9	7/20/20	REV. PER CLIENT
REV. 10	7/20/20	REV. PER CLIENT

DATE: 5/17/20  
PAGE 3 OF 6  
DRAWING NUMBER: 06-921

NOTE: BACKSILL PROCEDURE TO BE DONE  
ACCORDING TO THE REPORT PREPARED  
BY T. DOL & MATERIAL CONSULTANTS, INC.,  
DATED: JUNE 14, 2007.

NOTE: MAINTAIN MINIMUM 5.5 FT.  
CLEARANCE FROM ALL STRUCTURES  
SERVICES. MAINTAIN 3.5 FT.  
COVER OVER FOREMAN  
WHERE POSSIBLE.

THIS DRAWING IS INTENDED TO BE USED FOR INFORMATION ONLY.  
IT IS NOT TO BE USED FOR CONSTRUCTION WITHOUT THE WRITTEN CONSENT OF  
THE ENGINEER. ALL LEGAL RIGHTS RESERVED.

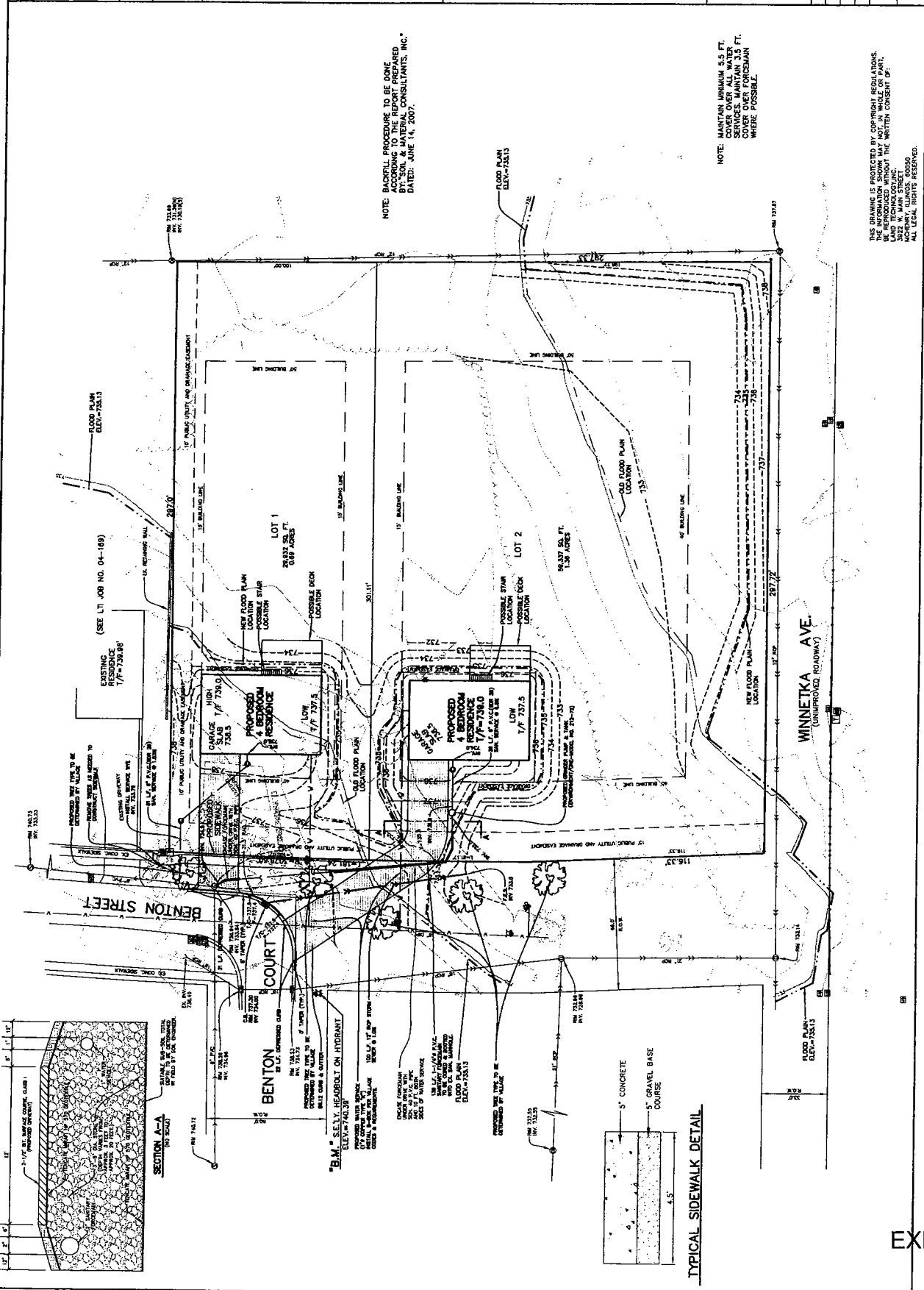


EXHIBIT "A"



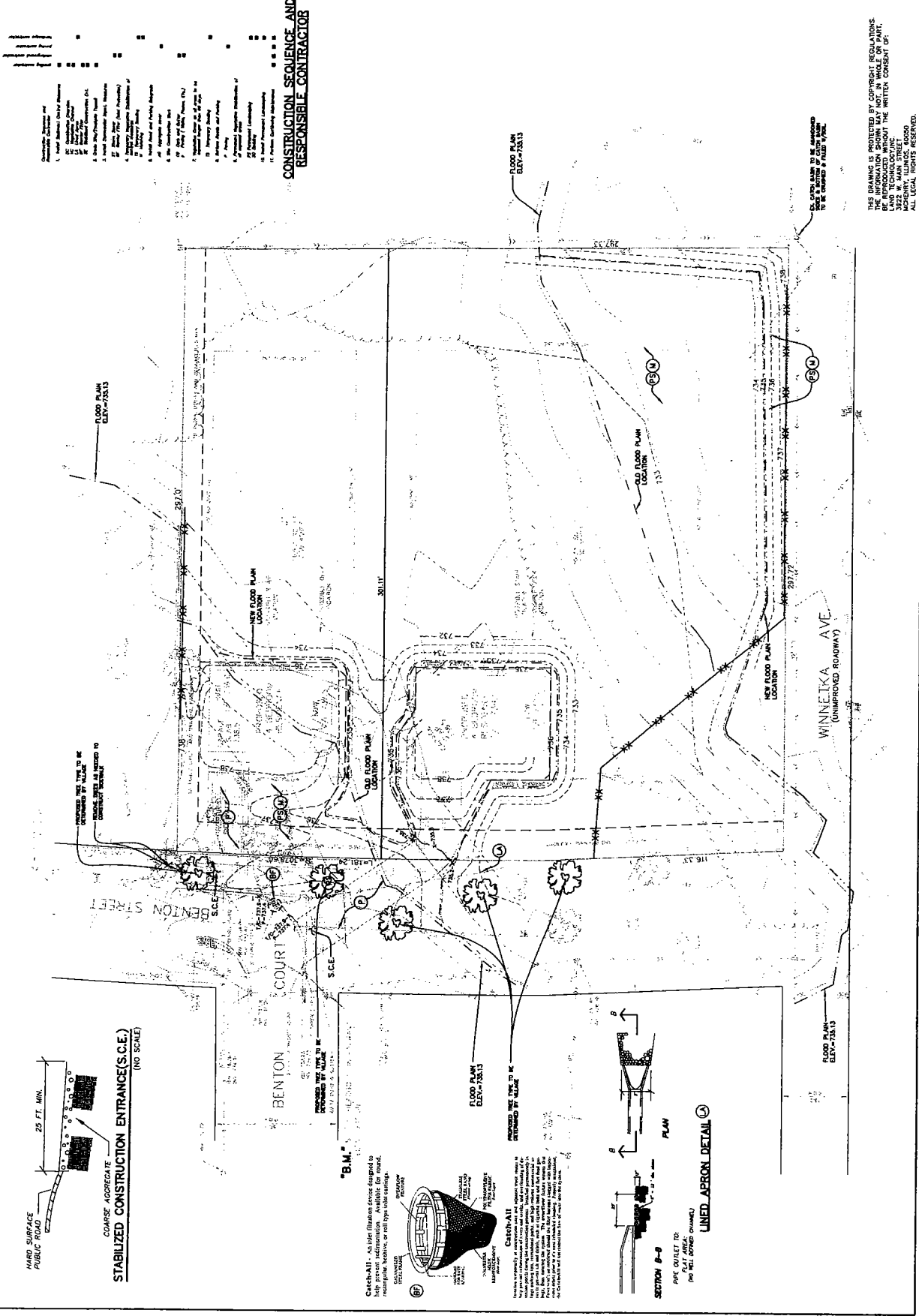
SCALE: 1" = 20'

**JULIE**  
 CONSULTING ENGINEERS  
 1-800-892-0113  
 3222 W. MAIN STREET  
 BENTON, AR 72015

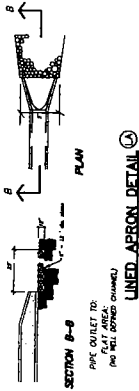
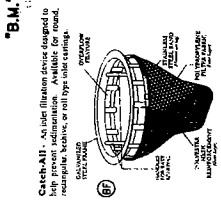
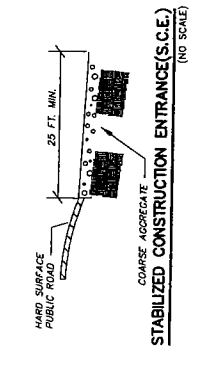
**and technology, inc.**  
 3922 W. MAIN STREET, MARIETTA, GA 30067  
 P: (478) 583-9200 F: (478) 583-9228  
 E: LANDSCAPE@ANDTECH.COM  
 WWW.ANDTECH.COM

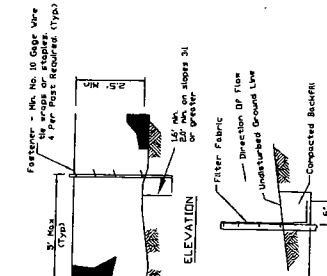
NO.	DATE	DESCRIPTION
REV. 1	7/20/07	REV. PER CLIENT
REV. 2	10/20/08	REV. PER WALKER ENGINEERING CONSULTANTS, INC. (11-24-07)
REV. 3	2/20/09	REV. PER WALKER ENGINEERING CONSULTANTS, INC. (2-1-09)
REV. 4	4/17/09	REV. PER WALKER ENGINEERING CONSULTANTS, INC. (4-2-09)
REV. 5	3/11/09	REV. PER WALKER ENGINEERING CONSULTANTS, INC. (3-11-09)

**EROSION CONTROL PLAN:**  
 CLIENT: DAVID FLOOD, FLOOD ENTERPRISES,  
 951 BENTON SUBD., N.W. SEC. 26, T. 42 N. R. 10 E.  
 VILLAGE OF PALATKA  
 DRAWN BY: CTJ/AM  
 CHECKED BY: MKC  
 DATE: 3/11/09  
 SHEET NO.: 06-321  
 PROJECT NO.: 06-321  
 DATE: 3/11/09  
 PAGE 4 OF 6  
 DRAWING NUMBER: 06-321

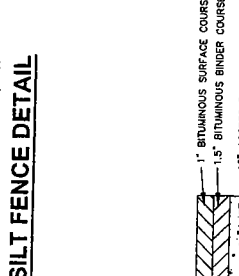


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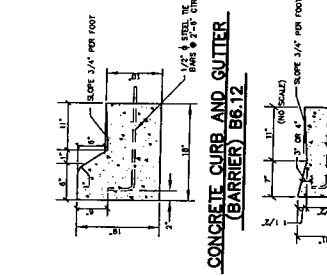




**FABRIC ANCHOR DETAIL**  
 Installation Requirements:  
 - All materials and the installation process must conform with AASHTO - 288-00 standards.  
 - Posts to be:  
 - Wood: steel or synthetic  
 - Min. 1 1/2" dia. x 12' length  
 - Min. 1 1/2" dia. on slopes less than 3:1  
 - Min. 2" dia. on slopes 3:1 or greater  
 - Post dimensions:  
 - Wood: 1 1/2" x 1 1/2"  
 - Steel = U, L, or C shape weighing 1.3 lbs./ft.  
 - Fabric buried in a "J" configuration to a minimum depth of 5.9' in a trench  
 - Trench to be backfilled and compacted



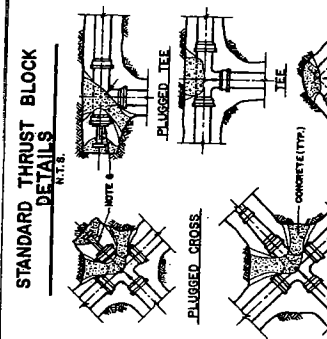
**PAVEMENT DETAIL**  
 - 1" BITUMINOUS SURFACE COURSE, CLASS I  
 - 1.5" BITUMINOUS BINDER COURSE, CLASS I  
 - 10" AGGREGATE BASE COURSE  
 - EXISTING BASE REPAIR AS NECESSARY IN LOCATIONS WHERE PAYMENT EXISTS



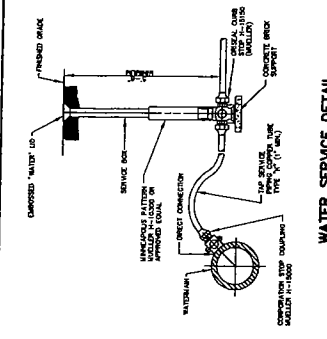
**CONCRETE CURB AND GUTTER (DEPRESSED) (SEE SOREQ)**

Month	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec
Temperature												
Soil Moisture												
Soil Strength												
Soil Density												
Soil Permeability												
Soil pH												

**Soil Protection Chart**  
 Soil Protection Chart  
 Soil Protection Chart



**NOTES**  
 1. ALL FITTINGS SHOWN IN PLAN.  
 2. ALL FITTINGS TO BE CLASS "B" CONCRETE.  
 3. ALL FITTINGS TO BE CLASS "B" WALLE IN SPECIFICATION.  
 4. ALL BLOCKS TO BEAN ALIGNED IN HORIZONTAL DIRECTION.  
 5. ALL BLOCKS TO BEAN ALIGNED IN HORIZONTAL DIRECTION.  
 6. 8" STD. WT. STEEL PIPE W/4" x 4" 1/4" STEEL PLATE.  
 7. 1/2" JUNE 1988



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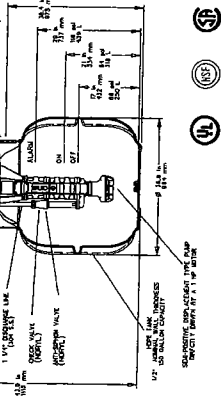
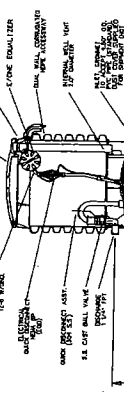
**technology inc.**  
 2922 W. MAIN STREET MERRILL, IL 60050  
 JULIE  
 1-800-892-0123  
 Call for more information

**DETAIL SHEET**  
 CLIENT: DAVID RUBIN, FOOD ENTERPRISES  
 951 BENTON SUBD., N.W. 2220 SW 24TH AVE.  
 MIAMI, FL 33135

**REVISIONS**

NO.	DATE	DESCRIPTION
1	7/20/07	REV. FOR COST
2	1/20/08	REV. FOR MISC. PLANNING REVISIONS
3	5/1/08	REV. FOR MISC. PLANNING REVISIONS
4	5/26/08	REV. FOR MISC. PLANNING REVISIONS
5	5/27/08	REV. FOR MISC. PLANNING REVISIONS

**one**  
 ENGINEERING SYSTEMS  
 1000 N. W. 10TH AVE. SUITE 100  
 MIAMI, FL 33136  
 (305) 571-1100  
 www.oneeng.com



**GENERAL SEEDING SPECIFICATIONS:**  
 All materials and seed shall be tested and analyzed by a qualified laboratory to determine the seed purity, germination, and viability. The seed shall be tested and analyzed by a qualified laboratory to determine the seed purity, germination, and viability. The seed shall be tested and analyzed by a qualified laboratory to determine the seed purity, germination, and viability.

**SOIL PROTECTION CHART**

Month	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec
Temperature												
Soil Moisture												
Soil Strength												
Soil Density												
Soil Permeability												
Soil pH												

**EROSION CONTROL TABLE**

CONTROL MEASURE	CONTROL MEASURE	CONTROL MEASURE
VEGETATION	VEGETATION	VEGETATION
VEGETATION	VEGETATION	VEGETATION
VEGETATION	VEGETATION	VEGETATION
VEGETATION	VEGETATION	VEGETATION
VEGETATION	VEGETATION	VEGETATION
VEGETATION	VEGETATION	VEGETATION

**STORM SEWER CATCH BASIN (SEE SOREQ)**  
 - INLET  
 - OUTLET  
 - Baffles  
 - 150 GAL CAPACITY

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 - INLET  
 - OUTLET  
 - Baffles  
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**and**  
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REV 1	1/20/01	REV. PER CLIENT
REV 2	1/26/01	REV. PER CLIENT
REV 3	2/20/01	REV. PER CLIENT
REV 4	3/14/01	REV. PER CLIENT
REV 5	3/14/01	REV. PER CLIENT

**CLIENT: DAVID BLOD, FLOOD ENGINEERS**  
951 BENTON BLVD. N. KANSAS CITY, MO.  
VILLAGE OF PALATINE  
SPECIFICATIONS SHEET

DATE: 3/1/06  
PAGE 6 OF 6  
DRAWING NUMBER: 06-321

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**GENERAL NOTES:**  
1. All sanitary sewers, storm sewers, or sewer manholes shall be located at least ten feet (10') horizontally from water mains, whenever possible, the distance shall be (10'), a storm or sanitary sewer may be laid in a trench provided that:  
a. The bottom of the water main is at least eighteen inches (18") above the top of the sewer.  
b. The vertical separation cannot be obtained, the sewer shall be constructed of materials and pipe equivalent to water main standards of construction.  
c. Sanitary sewers, storm sewers, or sewer manholes shall be laid to provide a vertical separation of at least eighteen inches (18") between the top of the water main and the bottom of the sewer. When conditions prevent a vertical separation as described above, the following construction shall be used:  
1. The trench over or under water mains should be constructed of the materials and pipe equivalent to water main standards of construction.  
2. Construction of sewers crossing over water mains shall insure additional protection to the water main by providing:  
(a) A vertical separation of at least eighteen inches (18") between the bottom of the sewer and the top of the water main.  
(b) A structural support for the sewer to prevent excessive settling and bridging of the sewer pipe.  
(c) The length of sewer pipe be centered at the point of crossing so that the joints will be equidistant and as far as possible from the water main.  
4'-2.12A 150 pounds per square inch must be maintained.

**WATER DISTRIBUTION SYSTEM**  
All water main and water service pipe shall have a minimum depth of cover of five and one-half feet (5'-6") measured from the proposed finished ground surface elevation to the top of pipe.  
All valves on mains larger than 8" in diameter shall be butterfly-type.  
Installation and testing of water distribution systems and building services shall be done in accordance with City Code, and Illinois EPA permits. Mains must be pressure tested for 150 pounds per square inch.  
**C) SANITARY SEWERS.**  
Nepressure "Bunce-Baer" (or similar) connections with stainless steel bands shall be required for all pipe connections when diameter pipe materials are joined. Follow manufacturer's instructions for installation and testing.  
One of the following methods shall be used when connecting a sewer service to an existing sewer main by means other than an existing wye, tee, or manhole.  
1. Circular saw-cut of sewer main by proper tools ("Sawer-Top" machine or similar)  
2. With pipe cutter, neatly and accurately cut out desired length of pipe for insertion of a "Bunce-Baer" or similar coupling to hold it firmly in place.  
All building floor drains shall discharge into the sanitary sewer.

REV 1	1/20/01	REV. PER CLIENT
REV 2	1/26/01	REV. PER CLIENT
REV 3	2/20/01	REV. PER CLIENT
REV 4	3/14/01	REV. PER CLIENT
REV 5	3/14/01	REV. PER CLIENT

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(c) The length of sewer pipe be centered at the point of crossing so that the joints will be equidistant and as far as possible from the water main.  
4'-2.12A 150 pounds per square inch must be maintained.

**STANDARD SPECIFICATIONS**  
All improvements shall be designed and constructed in accordance with the applicable sections of the following manuals, design handbooks, standard specifications, and ordinances:  
a. Illinois Department of Transportation, "Standard Specifications for Road and Bridge Construction", adopted Jan. 1, 2007, or latest edition  
b. Standard specifications committee, "Standard Specifications for Water and Sewer Main Construction in Illinois", May 1996, Fourth Edition.  
c. Village of Palatine codes & specifications.  
**A) GENERAL UTILITY REQUIREMENTS:**  
All manhole covers shall be imprinted with the appropriate identification:  
Village of Palatine -- "WATER," or "SANITARY," respectively.  
All utilities installed under proposed or existing pavement shall be backfilled with compacted CA-6 crushed stone or crushed gravel (Grade B or 9) and compacted to finished subgrade.

**GENERAL NOTES:**  
1. Storm-sewers, sanitary sewers and water main improvements shall be in accordance with the Standard Specifications for Water and Sewer Main Construction in Illinois, Fifth Edition, dated May 1996 and the special provisions associated with this improvement. If there is a conflict between the provisions of the standard specifications for water and sewer main construction in Illinois, Village specifications will take precedence. The more stringent specifications shall apply.  
2. A sanitary sewer shall be installed from 6" below the pipe to 12" over the top of sanitary sewer pipe and 18" over the top of storm sewer pipe.  
3. Trench backfill shall be required for all sewers and water mains and all sanitary and water service lines. Backfill shall be Class II in accordance with ASTM designation D 1527-05.  
4. Unless otherwise shown on the plans, all sanitary sewer pipe, risers and wye branches shall be installed in accordance with the Standard Specifications for Water and Sewer Main Construction in Illinois, Fifth Edition, dated May 1996, and the special provisions associated with this improvement. Where specified, ductile iron sanitary sewer pipe shall conform to ANSI A21.51 (AWWA C-151) homes shall be 6" in diameter and shall be PVC, SDR 35.  
5. Sanitary sewer shall be air tested and tested for deflection in accordance with the requirements of Section 31-1.1, "Testing and Inspection for Acceptance of Sanitary Sewers" of the Standard Specifications for Water and Sewer Main Construction in Illinois. In addition, a record inspection of the completed sanitary sewers shall be conducted and a copy of the videotape and report furnished to the Village.  
6. All disturbed areas to be seeded shall receive a minimum of six (6") inches of topsoil. Seeding shall be accepted only after grass may be established.  
7. Sanitary sewer & watermain separation will conform to Section 41-2.01 of the Standard Specification for Water & Sewer Main Construction in Illinois.

**Pipe Specifications:**  
1. All DIP (Ductile Iron Pipe) shall conform to ANSI A21.51 (AWWA C-151), Class 50, with a minimum wall thickness of 0.1875 inches, or shall conform to ANSI A21.4 (AWWA C-104), joints shall conform to ANSI A21.11 (AWWA C-153)  
2. All DIP fittings shall conform to ANSI A21.10 (AWWA C-110) or ANSI A21.53 (AWWA C-153).  
3. All water service pipe between 1" and 2" diameter shall be Type K copper, and water service pipe larger than 2" shall be ductile iron pipe as detailed above.  
4. Pipe used for storm sewer services and for storm sewers not receiving surface water shall be ductile iron pipe conforming to ASTM D1784 (Rigid PVC Compounds), All other pipe shall conform to ASTM C-78 (Class II noes), with joints conforming to ASTM C-143, or ASTM C-361 at water main crossings. ADS 16-12 1420  
5. Pipe used for sanitary sewer and services shall conform to ASTM-303A, SDR described above.

**Manhole and Sewer Details:**  
1. All manhole and sewer details shall be in accordance with the Standard Specifications for Water and Sewer Main Construction in Illinois, Fifth Edition, dated May 1996, and the special provisions associated with this improvement. Where specified, ductile iron sanitary sewer pipe shall conform to ANSI A21.51 (AWWA C-151) homes shall be 6" in diameter and shall be PVC, SDR 35.  
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REV 5	3/14/01	REV. PER CLIENT

**CLIENT: DAVID BLOD, FLOOD ENGINEERS**  
951 BENTON BLVD. N. KANSAS CITY, MO.  
VILLAGE OF PALATINE  
SPECIFICATIONS SHEET

DATE: 3/1/06  
PAGE 6 OF 6  
DRAWING NUMBER: 06-321

PLAN COMMISSION  
Tuesday, November 4, 2008

Present: Dennis Dwyer, Russ Smith, Patrick Noonan, Conrad Hansen, Teri Williams, Liz Noe, Sally Sinacore, Dave Seiffert, Matthew Lewandowski, Village Engineer  
Mike Danecki, Planner Kevin Anderson.  
Absent: Ben Applegate, Katherine Sawyer.

The minutes of the October 7 meeting were approved as distributed.

**Report of Public Hearing – Case 08-69 – 268 S. Crescent ave. & 714 W. Brookside st.**

Planner Anderson said the petitioner has requested a second continuance until November 18 in an effort to confer about the proposal with neighbors.

Mrs. Williams moved, Noonan seconded that the public hearing be continued until November 18.

Unanimously carried  
(9-0)

**Report of Public Hearing – Case 07-151 – Northeast Corner of Benton st. and Unimproved Winnetka ave.**

The notice of public hearing was read by the chairman. The petitioner in Case 07-151, Flood Enterprises, seeks approval of a preliminary and final plat of subdivision to permit a 2-lot single family residential subdivision; approval of a special use to allow a yard in a flood plain; approval of a special use to permit filling of a flood plain for a 2.025 acre parcel at the northeast corner of Benton st. and unimproved Winnetka ave. (PIN 02-26-105-004)

The following petitioner's exhibits were introduced:

1. Petition for approval of a preliminary and final plat of subdivision
2. Palatine Real Estate Interest Disclosure Form
3. Warranty Deed
4. Plat of Survey
5. Plat of Subdivision
6. Engineering plans revised May 14, 2008

The following persons were sworn in to present the petition:

Arnie Sylvestrie  
Natalie Karney, engineer  
Jerry Kissner

plan commission  
tuesday, november 4, 2008

page 2

Sylvestrie said the petitioner proposes to build two homes that would in keeping with the rest of the community. He said a storm water line runs on the southern portion of the site. The developer plans to build the home on the south first to ensure the flood infrastructure is in place. He said the site would not be filled. Instead, the developer will be cutting soil out to create compensatory storage and to remove peat. He proposes to build private driveways from Benton st. which will remain as it is currently.

Kevin Anderson was sworn in. He said the property is currently zoned R1. The proposal conforms to R1 requirements. But, the flood plain's existence puts constraints upon development. He said the developer will have to fill to be able to build foundations. The buildings will be islands surrounded by drainage easements. Any future appurtenances, such as sheds or swing sets, will be prohibited by law, since all property surrounding the homes will be flood plain. Any decks would require a special use.

When this item was originally scheduled for a June 3, 2008 public hearing, staff believed that a required storm sewer extension could be funded through federal monies. Shortly before that hearing, it became apparent that this sewer project would not be eligible for the federal funding. Without the sewer installation this project could not proceed since an existing storm sewer in this location is not functioning properly and would need to be abandoned. Since June, the Village's capital improvements budget has been reorganized to accommodate the sewer construction.

Anderson said sanitary services would be provided by existing services in the Benton st. right-of-way. In order to reach these services, residences would need to use a forcemain ejector system to pump effluent to the gravity sewer.

Anderson noted that three vacant parcels are still in the neighborhood adjacent to Plum Grove rd. He said he does not know the future use of these parcels, but their ultimate development may influence the future extension of Benton st. He noted that the terminus of the Benton st. right-of-way is unimproved Winnetka st., a 40-foot right-of-way, for which the village has no future development plans.

Mike Danecki was sworn in. He said that to extend Benton st. to Winnetka would require special support since the parcel contains between eight and 22 feet of peat.

Kissner described the earth as "broken down peaty material." It is "weak soil," he added, requiring 3 feet of undercut to remove. He said the cut for house #2, the southern house, would be 17 feet deep. He anticipates caisson or pile foundations. Homes will have basements, he added.

Anderson said the village attorney recommends a restrictive covenant accompany the property so future owners would know what is prohibited.

plan commission  
tuesday, november 4, 2008

page 3

All persons who wished to address the petition were sworn in.

Lauren Doppelt, 115 E. Wilmette, said he is concerned about two things: water and destruction of property by heavy construction equipment.

1. Concerning water, he stated that the Capital Homes developer diverted water to the wrong place. Therefore, in the 2008 spring storms, water was at the top of the fire hydrant. There is too much standing water now, he said. How is the village going to handle this? The area is already stressed.
2. Capital Homes messed up the parkways with their heavy equipment, he said, claiming he spent \$2,000 restoring his parkway. He doesn't want to have to do this again.

Developers are responsible for restoring parkways. If public space is damaged somewhere away from the development site, the village should be notified, he said.

Danecki said the subject property is the low point of the area. Plus the sewer has collapsed. The property is surrounded by drain tile, he noted, taking water to Rolling Meadows at Taft. No upsizing is possible, because the water flows to a different municipality. Improvements will be increased by 10 percent for water held on site, he added, noting that though additional runoff will be created, it will be picked up by a replacement storm sewer.

Natalie Karney, engineer, said she has maintained the same volume of run-off plus 10 percent more based on a 100-year storm storage. She noted that a house did exist on lot #1 previously, so the only increase in impervious surface will come from lot #2.

Mark Mayo, 4542 Gettysburg, asked what might cause an extension to Benton st. Anderson responded, "New construction or fire department requirements."

Mayo said he is concerned about the development of Winnetka st. which would make his property sandwiched between two streets. Danecki said the Winnetka st. right-of-way is not in Palatine's jurisdiction. Also, a 40-foot right-of-way is substandard for Palatine needs.

Richard Cichanski, 135 E. Wilmette, said flooding increased every time a new house was added to Wilmette st. His house was the first to be built on that street, he said. He feels standing water is a health hazard, and he would oppose the construction of any new homes until the flooding issues are fixed first.

plan commission  
tuesday, november 4, 2008

page 4

**Staff Recommendation**

The proposed subdivision meets or exceeds all restrictions of the ordinance and would be by right. However, the Special Uses are the foremost request in determining if this development would be constructed as proposed. The Village Engineer has expressed concerns relating to the long term maintenance of the property and poor soil conditions. Staff recommends approval of the subdivision and action at the discretion of the Plan Commission related to the Special Uses subject to the following conditions:

1. The development shall substantially conform to the engineering plans by Land Technology, Inc. dated and last revised 5/14/08 and attached hereto as Exhibit 'A', except as such plans may be changed to conform to Village Codes and Ordinances and the following conditions:
2. A letter of credit in the amount of \$90,983.53 shall be submitted.
3. Review fees in the amount of \$2,894.93 shall be submitted.
4. Cash-in-lieu of detention shall be paid in the amount of \$3,056.62.
5. Recaptures for the new storm sewer shall be paid in a manner and amount acceptable to the Village Engineer.
6. A NPDES permit shall be submitted.
7. A restrictive covenant shall be recorded with the county in a manner acceptable to the Village attorney which explicitly identifies the restrictions on structures and uses of the property.
8. The Final Plat of Subdivision shall substantially conform to the Plat of Subdivision prepared by Land Technology, Inc. dated and last revised 5/9/08 except as such plat may be changed to conform to Village Codes and Ordinances.
9. Recording fees shall be submitted in a manner and amount acceptable to the Village Clerk.
10. A Subdivision Improvements Agreement shall be completed in a manner acceptable to the Village Attorney.
11. The Final Plat of Subdivision shall be submitted on Mylar with all required signatures.
12. Before presentation for village council approval, the issues of soils engineering and construction of utilities on the site shall be resolved.

Anderson said wording of Condition #12 shall be finalized before submission to the village council.

Doppelt asked if storm water retention could be increased to 115 percent or 120 percent. He was reminded that one single family home can be constructed by right on this parcel today. The village requires that the new storm sewer be completed before the second house is built.

plan commission  
tuesday, november 4, 2008

page 5

Sylvestrie noted again that the collapsed storm sewer that goes down the east side of his parcel is a major part of the problem. When it is fixed, everyone in the area will be helped, he said. He noted that the two Flood brothers will be living in the homes. Proposed decks would be 3 to 4 feet off the ground. They would not affect the water situation, he said.

Sylvestrie said his client is able to comply with all staff conditions.

The public hearing was closed at 9:05 p.m.

Mrs. Noe asked again about the extension of Benton st. Anderson responded that it would not be extended to this development. An extension would only be precipitated by future development further south.

Mrs. Sinacore said she would have to see a new storm sewer functioning before approving.

Anderson said the city of Rolling Meadows is aware of the long term sewer proposal.

#### **RECOMMENDATION**

Mrs. Noe moved, Noonan seconded that the plan commission recommend to the village council that it approve the request of the petitioner in Case 07-151, Flood Enterprises, who seeks approval of a preliminary and final plat of subdivision to permit a 2-lot single family residential subdivision; approval of a special use to allow a yard in a flood plain; approval of a special use to permit filling of a flood plain for a 2.025 acre parcel at the northeast corner of Benton st. and unimproved Winnetka ave. (PIN 02-26-105-004)

Said approval shall be contingent upon petitioner's compliance with 12 staff conditions listed above.

Unanimously carried.  
(9-0)

#### **Report of Public Hearing – Case 08-90 – 985 & 995 W. Kenilworth**

This is a continuation of a public hearing in which the petitioner, Achyut Kalyan Kidali, seeks rezoning from P Planned Development to R2 single family residential for 0.5 acres at 985 and 995 W. Kenilworth ave.

Ravi Chigurupati, representing the petitioner, was sworn in. His client seeks to build two single family homes at 985 and 995 W. Kenilworth ave.

Anderson explained that the lots exist. Previous approval was granted development under a PUD which lapsed in December 2007. Therefore, the lots must either now be rezoned to R2 to restored to P.

DEPT. OF PLANNING AND ZONING  
VILLAGE OF PALATINE

PETITION FOR HEARING

Zoning Docket #	
Property recorded in Torrens	
Filing Fee \$	Date Filed

PRELIMINARY PLAT OF SUBDIVISION

PLEASE TYPE OR PRINT IN INK:

1. Name of Petitioner(s): FLOOD ENTERPRISES INC. DAVID FLOOD

Address: 951 S BENTON STREET

Telephone No. 630-629-9000

Business No. \_\_\_\_\_

2. Authorized Agent of Petitioner (if different):

Name: SAME

Address: \_\_\_\_\_

Telephone No. \_\_\_\_\_

Business No. \_\_\_\_\_

Relationship to Petitioner: \_\_\_\_\_

3. Property Interest of Petitioner(s): OWNER

Owner, Lessee, Contract Purchaser, etc.

4. Address of the property for which this application is being filed:

951 South Benton Street

Palatine, Illinois

5. All existing land use(s) on the property are:

VACANT

6. The proposed use(s) on the property, if this petition is approved is (are):

2 Residential lots

7. Current zoning of property: R-1

8. State the specific action requested.

2 Lot Subdivision

9. The petitioner's signature below indicates that the information contained in this application and on any accompanying documents is true and correct to the best of his/her knowledge.

Date: 10/19/2007

[Signature]

PETITIONER'S EXHIBIT

# 1



## VILLAGE OF PALATINE SPECIAL USE & VARIATION APPLICATION

**Department of Planning & Zoning**  
200 E. Wood Street • Palatine, IL • 60067-5339  
Telephone: (847) 359-9047 • Fax (847) 965-6247

Office Use Only	Project Planner	Zoning Case #
	Filing Fee	Notification Deadline
	ZBA Public Hearing Date	Village Council Date

date received

Background Information	Petitioner(s)		Business Name (if applicable)		
	Address		City/State/Zip Code		
	Telephone		Fax	Email	
	Subject Property Address		Business Name (if applicable)		
	Authorized Agent (if applicable)		Business Name (if applicable)		
	Address		City/State/Zip Code		
	Telephone		Fax	Email	
	Relationship to Petitioner (contractor, architect, etc.)				
	Type of Application (check one)				
	Existing Zoning District				
Existing Land Use		Proposed Land Use			
Action Requested					

*Hood Enterprises, Inc.*

*151 E. 22nd Street*

*Romberg, IL 60148*

*708-774-3150*

*630-916-7812*

*D.Flood@highlandtradinggroup.com*

*PIN 02-26-105-004 (AKA - NORTHEAST Corner of Benton Street AND UNIMPROVED WINNETKA AVENUE)*

I swear that the information contained herein and in any accompanying documents is accurate to the best of my knowledge.

*[Signature]*

*10/21/08*

# SPECIAL USE



- Required Materials**
- Filing Fee of \$ \_\_\_\_\_
  - Application Form
  - Plat of Survey (must show all current improvements and be sealed by an Illinois certified surveyor)
  - Site Plan (dimension, location, and setbacks of all existing and proposed buildings) – one 11x17 copy, electronic version preferred
  - Real Estate Interest Disclosure Form (see attached)
  - Proof of Ownership or Lease (e.g. Title Insurance Policy, Deed, or Purchase Contract)
  - Business Plan (if applicable; including, but not limited to nature of business, hours of operation number of employees, floor plan, and menu)

- Additional Materials (as required by the Village)**
- Elevation Plan (front, side, and rear elevations of a proposed building), and/or Floor Plan (proposed interior layout) – one 11x17 copy of each plan, electronic versions preferred
  - Engineering Plans (must indicate existing conditions, topography, storm water management, tree preservation, utility connections, detention calculations, and a cost estimate)
  - Photographs (e.g. ground-level or aerials)
  - Other materials as deemed necessary by the Village

## Petitioner Justification

The Petitioner is required to present specific evidence related to each of the following standards to justify the request (paraphrased from Section 14.05 of the Palatine Zoning Ordinance). Attach a separate sheet if necessary.

1. The use is deemed necessary for the public convenience at that location

\_\_\_\_\_  
*N/A*  
\_\_\_\_\_

2. The use is designed, located, and proposed to be operated that the public health, safety and welfare will be protected

*We have hired an engineer, Natalie Korney of Land Technologies in conjunction with the Village Engineer have drafted a plan satisfactory to Village Engineer and in compliance with village ordinance.*

3. The use will not cause substantial injury to nearby property values

*The plan drafted by Land Technologies shows that there will be no effects on surrounding land or land values.*

4. With respect to live entertainment uses, the use shall not:
  - a. Produce noise levels so great as to constitute an unreasonable interference for persons outside the confines of the establishment
  - b. Impose undue health, sanitation or safety burdens on the village
  - c. Create excessive demands on the Village of Palatine Police Department
  - d. Be of a nature otherwise prohibited by law or village ordinance
5. For fence standards, see Section 14.05 of the Palatine Zoning Ordinance

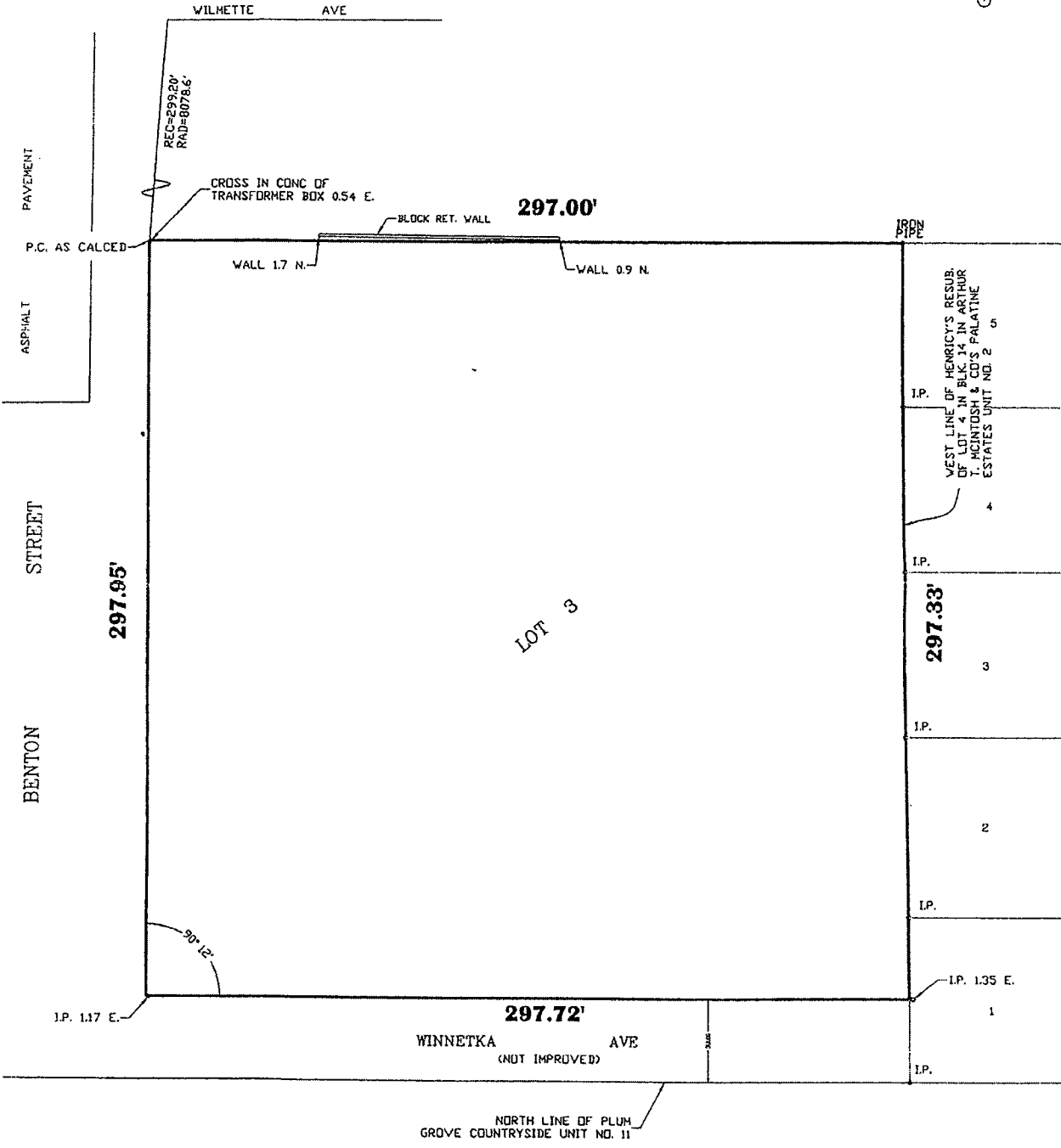
\_\_\_\_\_  
*N/A*  
\_\_\_\_\_

1523 WEATHERSTONE LANE  
 ELGIN, ILLINOIS 60123  
 PHONE: (847) 253-8566

**PLAT OF SURVEY**  
 -BY-  
**JAMES M. ELLMAN LTD.**  
 OF



LOT 3 IN BLOCK 14 IN ARTHUR T. MCINTOSH AND COMPANY'S PALATINE ESTATES UNIT NO. 2  
 IN THE NORTH 1/2 OF THE N.W. 1/4 OF SECTION 26, TOWNSHIP 42 NORTH, RANGE 10 EAST  
 OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.



Ordered by: STEPHEN R. MURRAY  
 Order No: 060300  
 Base Scale: 1 inch = 40 feet  
 Date: MARCH 7, 2006  
 Address: 951 S. BENTON (LOT 3)  
PALATINE, IL

--- = WOOD FENCE  
 - - - = C/L FENCE  
 [ ] = CONCRETE

COMPARE ALL POINTS BEFORE BUILDING BY SAME AND AT  
 ONCE REPORT ANY DIFFERENCE. FOR BUILDING LINE AND  
 OTHER RESTRICTIONS NOT SHOWN HEREON REFER TO YOUR  
 ABSTRACT, DEED, CONTRACT AND ZONING ORDINANCE.

NOT VALID UNLESS EMBOSSED

STATE OF ILLINOIS)  
 COUNTY OF KANE)  
 I, JAMES M. ELLMAN LTD. DO HEREBY CERTIFY THAT THE ABOVE  
 DESCRIBED PROPERTY HAS BEEN SURVEYED UNDER MY SUPERVISION  
 AND THAT THE PLAT HERON DRAWN IS A CORRECT REPRESENTATION  
 OF SAID SURVEY.  
 BY: James M. Ellman  
 ILLINOIS PROFESSIONAL LAND SURVEYOR  
 LICENSE NO. 184-002744  
 (35-002158)  
 EXPIRES 4/30/2007

PUBLIC NOTICE

A public hearing will be held before the Palatine Plan Commission on Tuesday, November 4, 2008, at 8:00 PM, in the Village Council Chambers in the Palatine Community Center, 200 E. Wood Street, relative to a request for the following:

1. Preliminary and Final Plat of Subdivision to permit a 2 lot single-family residential subdivision;
2. Special Use to permit a yard in a floodplain pursuant to Section 6.08 (d) (2) (a) of the Palatine Code of Ordinances Appendix B; and
3. Special Use to permit filling of land in a floodplain pursuant to Section 6.08 (d) (2) (d) of the Palatine Code of Ordinances Appendix B.

The property is commonly known as PIN 02-26-105-004 (aka Northeast corner of Benton Street and unimproved Winnetka Avenue). The proposal would allow the construction of two new single-family residences.

The above petition has been filed by Flood Enterprises, Inc., and is available for examination in the office of the Village Clerk, 200 E. Wood Street.

FILE #: 07-151  
VILLAGE OF PALATINE

Dennis Dwyer, Chair  
Palatine Plan Commission

DATED: This 20th day of October, 2008  
Published in Daily Herald  
October 20, 2008 (4113551)N

CERTIFICATE OF PUBLICATION

Paddock Publications, Inc.

Daily Herald

Corporation organized and existing under and by virtue of the laws of the State of Illinois, DOES HEREBY CERTIFY that it is the publisher of the DAILY HERALD. That said DAILY HERALD is a secular newspaper and has been circulated daily in the Village(s) of Algonquin, Antioch, Arlington Heights, Barrington, Barrington Hills, Lake Barrington, North Barrington, South Barrington, Bartlett, Batavia, Buffalo Grove, Burlington, Campton Hills, Carpentersville, Cary, Deer Park, Des Plaines, South Elgin, East Dundee, Elburn, Elgin, Elk Grove Village, Fox Lake, Fox River Grove, Geneva, Gilberts, Grayslake, Green Oaks, Gurnee, Hainesville, Hampshire, Hanover Park, Hawthorn Woods, Hoffman Estates, Huntley, Inverness, Island Lake, Kildeer, Lake Villa, Lake in the Hills, Lake Zurich, Libertyville, Lincolnshire, Lindenhurst, Long Grove, Mt. Prospect, Mundelein, Palatine, Prospect Heights, Rolling Meadows, Schaumburg, Sleepy Hollow, St. Charles, Streamwood, Tower Lakes, Vernon Hills, Volo, Wauconda, Wheeling, West Dundee, Wildwood

County(ies) of Cook, Kane, Lake, McHenry and State of Illinois, continuously for more than one year prior to the date of the first publication of the notice hereinafter referred to and is of general circulation throughout said Village(s), County(ies) and State.

I further certify that the DAILY HERALD is a newspaper as defined in "an Act to revise the law in relation to notices" as amended in 1992 Illinois Compiled Statutes, Chapter 7150, Act 5, Section 1 and 5. That a notice of which the annexed printed slip is a true copy, was published October 20, 2008 in said DAILY HERALD.

IN WITNESS WHEREOF, the undersigned, the said PADDOCK PUBLICATIONS, Inc., has caused this certificate to be signed by, this authorized agent, at Arlington Heights, Illinois.

PADDOCK PUBLICATIONS, INC.  
DAILY HERALD NEWSPAPERS

BY Holly Bratonick  
Authorized Agent

Control # 4113551

**TYPE:** ORDINANCE **SUBMITTED BY:** PLANNING & ZONING **DATE:** 02/02/2009

**DESCRIPTION:** Consideration of 1) Special Use to allow a yard in a floodplain; and 2) Special Use to fill in a floodplain for the property at the northeast corner of Benton and unimproved Winnetka Streets.

(Flood Enterprises, Inc. – Case #07-151)

(District: 2)

**COMMITTEE ACTION:**

**DATE:**

*This item came before the Village Council on November 17, 2008, was reviewed for status on December 15, 2008, continued until January 5, 2009 and continued again until February 2, 2009 to allow the Petitioner's team adequate time to review the proposed Special Use conditions and requirements. The Benton Street Subdivision was previously approved and the Special Use requests were forwarded from the Community & Economic Development Committee without a recommendation. Based upon the direction from the Committee, Staff has revised the Special Use ordinance to grant approval for two Special Uses (fill in a floodplain and yard in a flood plain) for Lot 1 and Special Use to fill in a floodplain for Lot 2. This will allow a home to be built on Lot 1 and grading only to occur on Lot 2. Upon installation of a storm sewer, completion of the grading, and the occurrence of a significant rain event, Staff will bring the Special Use request for a yard in a floodplain back to the Council for consideration (which would be necessary to allow construction of a house on Lot 2). On January 15, 2009, Staff, the Petitioner and his representatives met with an adjoining neighbor to discuss the proposal and respond to questions and concerns previously raised at Village Council meetings.*

**BACKGROUND:**

The Subject Property, approximately 2.025 acres, is currently vacant. The Petitioner, owner of the property, is proposing to subdivide the property into two lots and construct two new single-family residences. Therefore, the Petitioner is requesting:

1. **Special Use to permit a yard in a floodplain pursuant to Section 6.08 (d) (2) (a) of the Palatine Code of Ordinances Appendix B; and**
2. **Special Use to permit filling of land in a floodplain pursuant to Section 6.08 (d) (2) (d) of the Palatine Code of Ordinances Appendix B.**

**ANALYSIS:**

- The Petitioner is proposing to subdivide the property into two lots and construct two new single-family residences. The proposed lots would conform to the minimum standards of the R-1 residential district and would be a by-right subdivision. The attached table provides an analysis of the proposed lots. The proposed residences would conform to the setback requirements and bulk restrictions of the R-1 zoning district.
- There are significant floodplain constraints on the property. In order to create two usable building pads, the Petitioner is proposing to fill in portions of the floodplain and provide compensatory storage in the amount of 110% the amount of fill, pursuant to the Subdivision Regulations.
- Almost all of the entire property, outside of the building pads, would be below the floodplain elevation and located in a drainage easement. No structures are permitted in this easement and staff is requiring that restrictive covenants, identifying the restrictions and limitations for structures and uses be recorded against this property in a manner acceptable to the Village Attorney.

**ALTERNATIVES:**

1. Recommend approval of the Special Uses for Lot 1
2. Recommend approval of the denial of the Special Uses for Lot 1

**RECOMMENDATION:**

**Public Hearing:**

November 4, 2008, Plan Commission

**Residents Testifying:**

Three

**Concerns:**

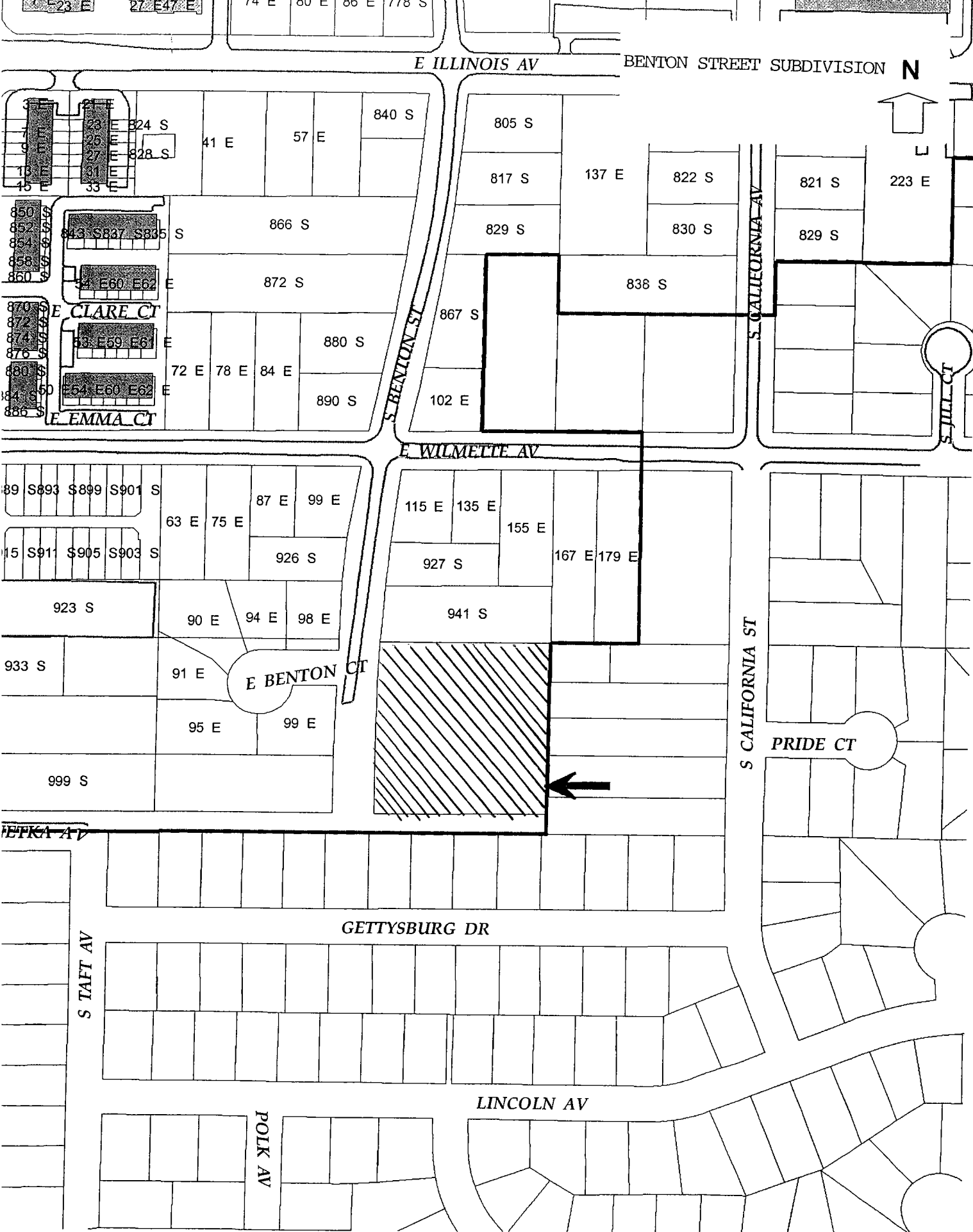
Drainage concerns, future development patterns

**Vote:**

The Plan Commission voted unanimously to approve the request. Staff recommends action at the Village Council's discretion regarding the requested Special Uses.

**ACTION REQUIRED:**

Consider approval and Ordinance and Resolution granting of 1) Preliminary and Final Plat of Subdivision; 2) Special Use to allow a yard in a floodplain; and 3) Special Use to fill in a floodplain for the property at the Northeast corner of Benton and unimproved Winnetka Streets.



*Lot Analysis for Benton Street Subdivision*

	<b>Lot Area</b>	<b>Lot Width</b>
<b>Lot 1</b>	29,932 sf.	100'
<b>Lot 2</b>	59,337 sf.	198'
<b>R-1 Standards</b>	20,000 sf.	100'

**From:** "Sharon Hueramo" <Shueram@emhc.org>  
**To:** "Ben Vyverberg" <BVyverberg@palatine.il.us>  
**Date:** 11/25/2008 8:31 AM  
**Subject:** Re: Please find the attached

Hello Ben,

Per our conversation last week I am listing my concerns regarding the regrading of the property behind my lot at Benton & Winnetka.

Please forward to the appropriate person(s).

I will be at the December 1st meeting.

Thank you for your help with my concerns.

Special Permit Concerns

CHANGING THE GRADE OF THE LAND AT THE SOUTH / EAST CORNER OF THE LOT AT BENTON & WINNETKA:

- 1) Why change the grade? Why not bring in new soil to build up the area for the new homes?
- 2) What is the square footage of the area proposed to change/move?
- 3) Will all the trees be removed? If not, what portion?
- 4) How will the grade change measure against the affected lots? (Will it be a noticeable drop or a gradual slope?)
- 5) Would the new grade create a pond or water retention, where accumulated water would sit and become stagnant creating an unpleasant odor for the adjacent neighbors or worse creating a birthing center environment for mosquitoes?
- 6) What is the plan for the area after it has been graded?

Sharon Hueramo  
Accounting Manager, Elmhurst Clinic  
(630) 834-1120 x 73554  
shueram@emhc.org

>>> "Ben Vyverberg" <BVyverberg@palatine.il.us> 11/17/2008 10:05 AM >>>

Please find the attached plans detailing the proposal for subdivision that we spoke about at last week's Village Council meeting. This item is scheduled for tonight's Village Council meeting (11/17/08), which begins at 7 PM. The agenda and packet are available on line ([www.palatine.il.us](http://www.palatine.il.us)). If you have additional questions or require more information, do not hesitate to contact me at 847-359-9047.

Ben

Ben Vyverberg  
Director of Planning and Zoning  
Village of Palatine

200 E. Wood Street  
Palatine, IL 60067

847-359-9047

The information contained in this electronic mail transmittal is protected by law and is intended only for the use of the designated recipient(s) named above. If the reader of this transmission is not the intended recipient(s), you are notified that any disclosure, dissemination, distribution or duplication of its contents is strictly prohibited. If you have received this transmittal in error, please notify the sender by return e-mail and delete the transmittal immediately. Thank you.

**ORDINANCE NO. 0-101-10**

**AN ORDINANCE GRANTING A SPECIAL USE  
VACANT LOT IMMEDIATELY SOUTH OF 947 S. BENTON STREET  
(BENTON STREET SUBDIVISION ) (CASE NO. 07-151)**

**Published in pamphlet form by authority of the  
Mayor and Village Council of the Village of Palatine  
on August 16, 2010**

ORDINANCE NO. 0-101-10

**AN ORDINANCE GRANTING A SPECIAL USE  
VACANT LOT IMMEDIATELY SOUTH OF 947 S. BENTON STREET  
(BENTON STREET SUBDIVISION)(CASE NO. 07-151)**

WHEREAS, pursuant to a petition and public hearing on August 16, 2010 of which public notice was given as required by law, the Village Council of the Village of Palatine, in accordance with the Zoning Ordinance of the Village of Palatine, in such case made and provided, has held such public hearing and reported their findings relative to a request for a Special Use to permit a yard in a flood plain pursuant to Section 6.08(d) (2) (a) of the Palatine Code of Ordinance Appendix B, for Lot 2 of Flood Subdivision, on the following legally described property:

**Lot 2 of Benton Street Subdivision, being a resubdivision of Lot 3 in Block 14 in Arthur T. McIntosh and Company's Palatine Estates Unit No. 2 in the North ½ of the Northwest ¼ of Section 26, Township 42 North, Range 10 East of the Third Principal Meridian, in Cook County, Illinois.**

**commonly known as the vacant lot immediately South of 947 S. Benton Street (PIN #02-26-105-004)**

NOW, THEREFORE, BE IT ORDAINED, by the Mayor and Village Council of the Village of Palatine, Cook County, Illinois, acting in the exercise of their home rule power that:

**SECTION 1: A Special Use to permit a yard in a flood plain pursuant to Section 6.08(d) (2) (a) of the Palatine Code of Ordinance Appendix B, for Lot 2 of Flood Subdivision, is hereby granted, subject to the following condition:**

1. The Special Use shall substantially conform to the site and engineering plans attached hereto as Exhibit 'A,' except as such plans may be changed to conform to Village Codes and Ordinances.

**SECTION 2:** That the petition for a special use, a copy of the public notice and the report of the hearing be attached hereto and form a part of this ordinance.

**SECTION 3:** That this ordinance shall be in full force and effect from and after its passage and approval as provided by law.

**PASSED:** This 16 day of August, 2010

**AYES:** 5 **NAYS:** 0 **ABSENT:** 1 **PASS:** 0

**APPROVED** by me this 16 day of August, 2010

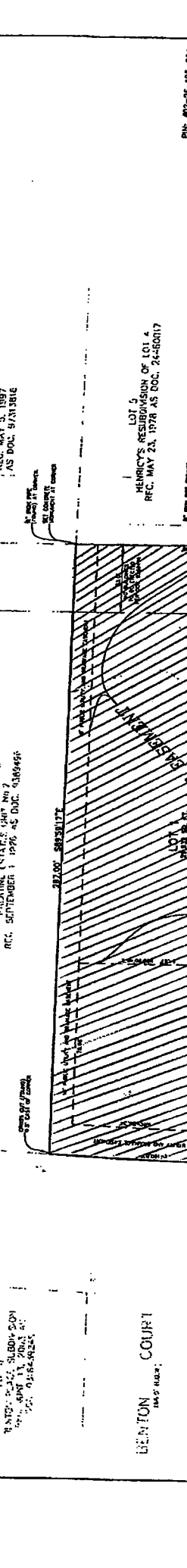
  
\_\_\_\_\_  
Mayor of the Village of Palatine

**ATTESTED and FILED** in the office of the Village Clerk this  
16 day of August, 2010

  
\_\_\_\_\_  
Village Clerk

WITHIN THE VILLAGE OF PALAINE, ILLINOIS

COMMUNITY MAP NO. 981 S. BENTON STREET  
PLN. 02-20-105-004  
PART OF 151.7 ACRES  
IN THE VILLAGE OF PALAINE, ILLINOIS  
REC. SEPTEMBER 1, 1996 AS DOC. 0489496



LOT 1  
POLKON SUBDIVISION  
REC. MAY 3, 1997  
AS DOC. 9313816

LOT 2  
HENRICK'S RESUBDIVISION OF LOT 4  
REC. MAY 23, 1978 AS DOC. 24460017

LOT 3  
HENRICK'S RESUBDIVISION OF LOT 4  
REC. MAY 23, 1978 AS DOC. 24460017

LOT 4  
HENRICK'S RESUBDIVISION OF LOT 4  
REC. MAY 23, 1978 AS DOC. 24460017

LOT 5  
HENRICK'S RESUBDIVISION OF LOT 4  
REC. MAY 23, 1978 AS DOC. 24460017

LOT 1  
PART OF 151.7 ACRES  
IN THE VILLAGE OF PALAINE, ILLINOIS  
REC. SEPTEMBER 1, 1996 AS DOC. 0489496

LOT 2  
39,37 SQ. FT.

LOT 1  
POLKON SUBDIVISION  
REC. MAY 3, 1997  
AS DOC. 9313816

LOT 2  
HENRICK'S RESUBDIVISION OF LOT 4  
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REC. MAY 23, 1978 AS DOC. 24460017

LOT 5  
HENRICK'S RESUBDIVISION OF LOT 4  
REC. MAY 23, 1978 AS DOC. 24460017



RETURN THIS BILL TO:  
LAND TECH, INC.  
2400 ENTERPRISES, INC.  
3122 W. MAIN STREET  
MICHIGAN, IL 60050

EXHIBIT "A"

# "BENTON STREET SUBDIVISION"

VILLAGE OF PALATINE  
COOK COUNTY, ILLINOIS

NOT IN WHOLE OR PART,  
REPRODUCED WITHOUT THE  
WRITTEN CONSENT OF  
JULIE TECHNOLOGY, INC.  
151 E. 22ND STREET  
LOMBARD, ILLINOIS 60108  
ALL LEGAL RIGHTS RESERVED.

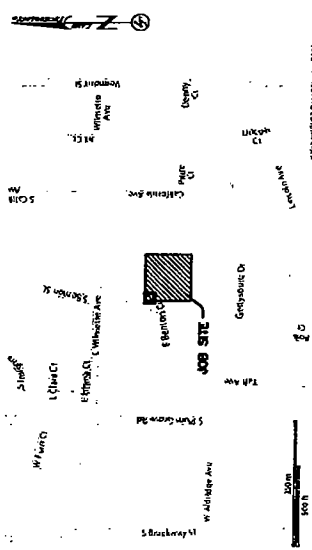
1	CONTRACTOR	DAVE FLOOD
2	OWNER	MEMBROSE BLDGS.
3	BUILDER	MEMBROSE BLDGS.
4	ENGINEER	JULIE TECHNOLOGY, INC.
5	DATE	1/27/09
6	PROJECT	BENTON STREET SUBDIVISION

SYMBOL	DESCRIPTION
1	EXISTING CONDITIONS PLAN
2	ENGINEERING & GRADING PLAN
3	EROSION CONTROL PLAN
4	DETAIL SHEET
5	SPECIFICATIONS SHEET

**OWNER:**  
CONTACT: DAVE FLOOD  
FLOOD ENTERPRISES  
151 E. 22ND STREET  
LOMBARD, IL., 60108  
(630) 892-8000

**BUILDER:**  
MEMBROSE BLDGS.  
20844 DEERPATH ROAD  
DEER PARK, IL., 60010  
(847) 842-9405

**PREPARED BY:**  
**JULIE TECHNOLOGY, INC.**  
CIVIL ENGINEERING SERVICES  
151 E. 22ND STREET  
LOMBARD, ILLINOIS 60108  
(630) 892-8000 FAX (630) 892-8002  
NATALIE P. HANNEY, P.E.



LOCATION MAP

**SPECIAL NOTE:**  
THIS DESIGN IS NOT FOR CONSTRUCTION  
UNLESS APPROVAL STAMP FROM  
COUNTY, VILLAGE, OR CITY REGULATORY  
DEPARTMENT IS AFFIXED HERETO

**NOTE:** THESE PLANS ARE NOT TO BE USED FOR CONSTRUCTION UNLESS THE  
PERMITTING AGENCIES APPROVAL STAMPS ARE AFFIXED HERETO.  
THESE PLANS ARE ONLY VALID IF THEY CONTAIN THE SEAL AND SIGNATURE  
OF THE ENGINEER ON THE TITLE PAGE OF A BOUND SET.  
ALL CONSTRUCTION SHALL CONFORM TO GOVERNMENT STANDARDS. ALL COST  
ESTIMATES SHALL INCLUDE THE LABOR NECESSARY TO MEET GOVERNMENT  
STANDARDS TO COMPLETE THESE IMPROVEMENTS.  
ALL CONSTRUCTION TO BE DONE IN ACCORDANCE WITH THE ILLINOIS  
DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD  
AND BRIDGE CONSTRUCTION, DATED JAN. 1, 2007 OR LATER EDITION.

**BENCHMARK:** SEELY KEARNS ON FIRE HYDRANT LOCATED AT THE  
SOUTHWEST CORNER OF BENTON STREET & BENTON COURT.  
ELEV=740.39

NO.	DATE	DESCRIPTION
1	1/27/09	REV FOR CLIENT
2	1/27/09	REV FOR VALUE OF PLATING NUMBER LETTER 11-28-07
3	1/27/09	REV FOR VALUE OF PLATING NUMBER LETTER 11-28-07
4	1/27/09	REV FOR VALUE OF PLATING NUMBER LETTER 11-28-07
5	1/27/09	REV FOR VALUE OF PLATING NUMBER LETTER 11-28-07
6	1/27/09	REV FOR VALUE OF PLATING NUMBER LETTER 11-28-07



**JULIE TECHNOLOGY, INC.**  
151 E. 22ND STREET  
LOMBARD, ILLINOIS 60108  
(630) 892-8000  
FAX (630) 892-8002  
WWW.JULIE-TECH.COM

**CLIENT: DAVE FLOOD, FLOOD ENTERPRISES.**  
851 BENTON COURT, BENTON, ILLINOIS  
ELEV=740.39

**TITLE SHEET:**  
CLIENT: DAVE FLOOD, FLOOD ENTERPRISES.  
851 BENTON COURT, BENTON, ILLINOIS  
ELEV=740.39

**DATE:** 1/27/09  
**DRAWN BY:** JPH  
**CHECKED BY:** JPH  
**SCALE:** AS SHOWN  
**SHEET NO.:** 06-321  
**TOTAL SHEETS:** 1 OF 6

**EXISTING CONDITIONS PLAN:**

CLIENT: DAVID FLOOD, FLOOD ENTERPRISES,  
551 BENTON SUBD.-N.W. SEC. 26, T42N R10E

REVISIONS:

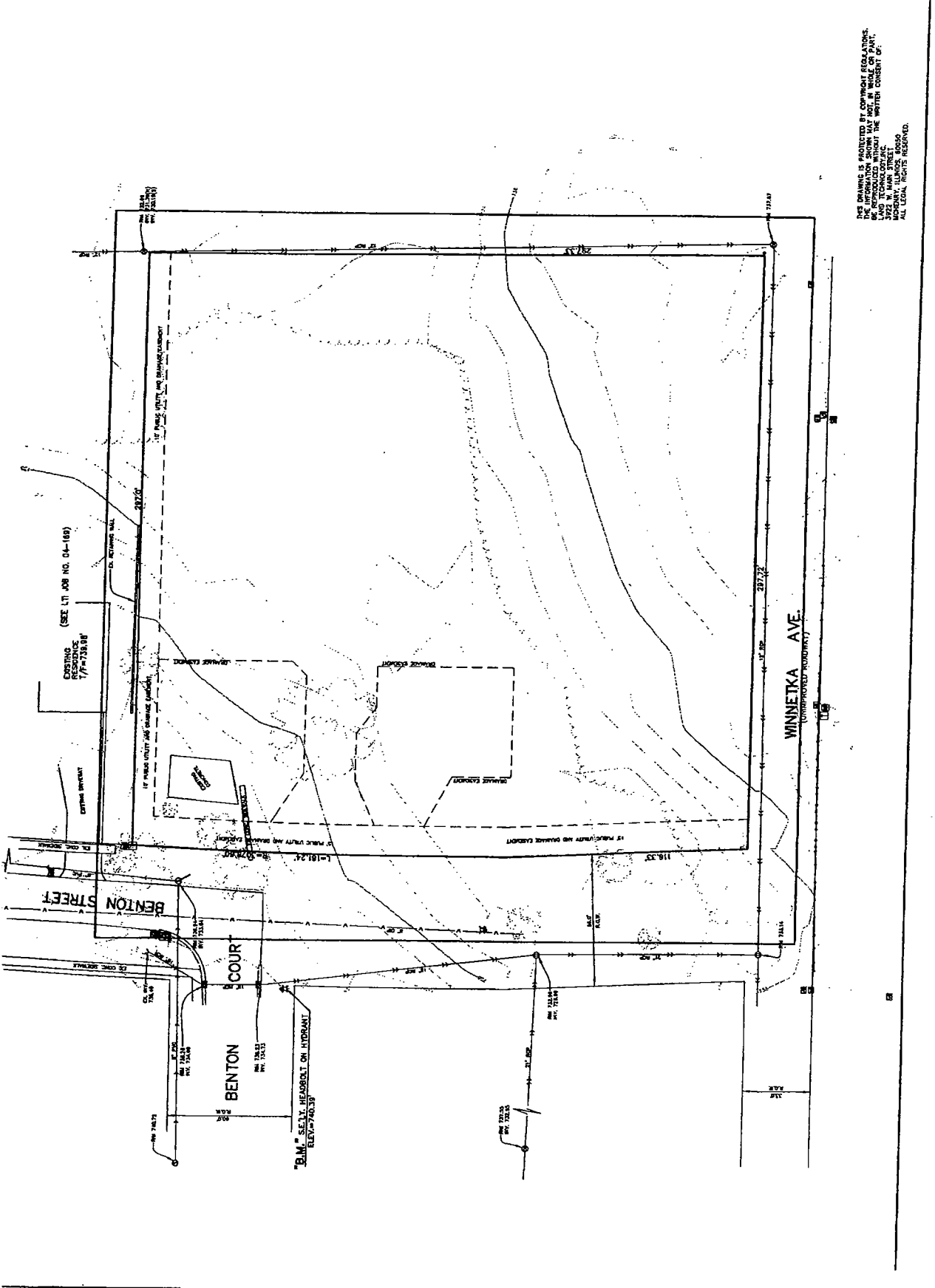
REV. 1	1/29/07	REV. PER CLIENT
REV. 2	2/20/08	REV. PER CLIENT
REV. 3	2/20/08	REV. PER CLIENT
REV. 4	1/11/08	REV. PER CLIENT
REV. 5	3/11/08	REV. PER CLIENT

DATE: 06/14/08  
DRAWN BY: ET/AM  
CHECKED BY: JPK  
SCALE: 1"=20'  
PROJECT NO: 06-321

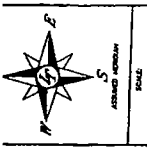
**JULIE**  
L-100-8974-0113  
3022 W. MAIN STREET #4-BENNY, IL 60050  
E: LANDTECH@LANDTECHINC.COM  
P: (815)268-9800 F: (815)268-9828

**and**  
echnology, Inc.

STATE OF ILLINOIS  
COUNTY OF DEKALB  
PLAT NO. 117-0878



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SCALE  
1" = 20'

**JULIE**  
1-800-892-0113  
P: (619) 983-9200 F: (619) 983-9223  
E: LADYBIRD@LADYBIRDCONTOLOGY.COM  
3822 W. MAIN STREET HEBBURN, IL 60050  
and  
echnology, Inc.

CLIENT: DAVID FLOOD, FLOOD ENTERPRISES.  
851 BENTON BLVD., N.W. S.W. 2214214108.  
VALLEY OF PALMERS.

REV. 2 7/20/08 REV. PER PLAN OF FLOODING  
REV. 1 7/20/08 REV. PER PLAN OF FLOODING WORKS LETTER 11-2-08  
REV. 0 7/20/08 REV. PER PLAN OF FLOODING WORKS LETTER 11-2-08  
REV. 0 7/20/08 REV. PER PLAN OF FLOODING WORKS LETTER 11-2-08  
REV. 0 7/20/08 REV. PER PLAN OF FLOODING WORKS LETTER 11-2-08

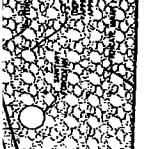
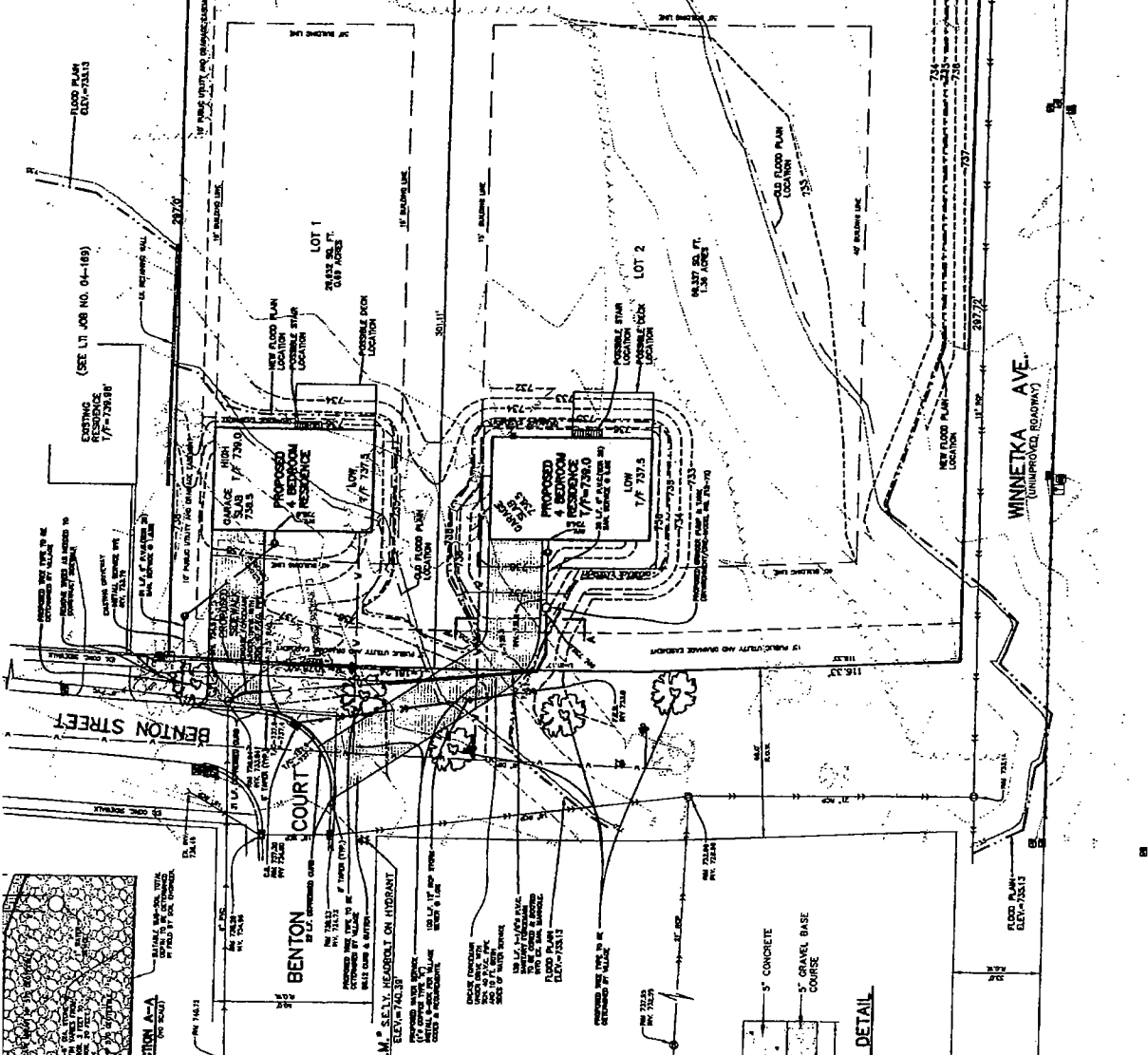
DATE: 06/14/07  
DRAWN BY: JAA  
CHECKED BY: JAA  
SCALE: 1" = 20'

**PAGE 3 OF 6**  
DRAWING NUMBER  
06-321

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ALL LEGAL RIGHTS RESERVED.

NOTE: MAINTAIN MINIMUM 5.5 FT. CLEARANCE OVER ALL WATER SERVICES AND ALL WATER SERVICES COVER OVER FORCED MAIN WHERE POSSIBLE.

NOTE: BACKFILL PRESERVATION TO BE DONE ACCORDING TO THE SPECIFICATIONS BY SOIL & MATERIAL CONSULTANTS, INC. DATED: JUNE 14, 2007.



TYPICAL SIDEWALK DETAIL

EXHIBIT "A"

**BROSTON CONTROL PLAN:**

CLIENT: DAVID FLOOD, FLOOD ENTERPRISES  
 551 BENTON SUBD.-N.E.'S, SECTION 10E  
 VILLAGE OF PALATKA

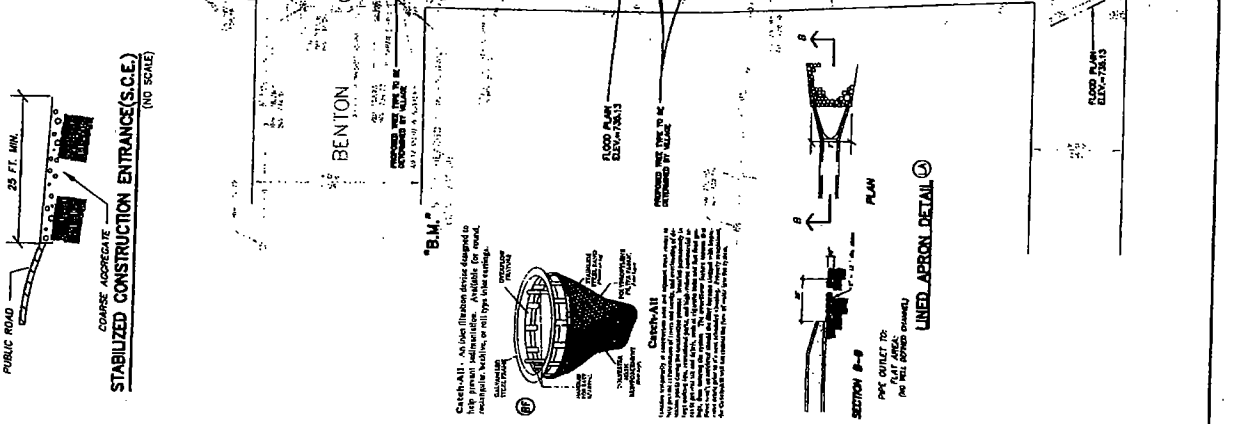
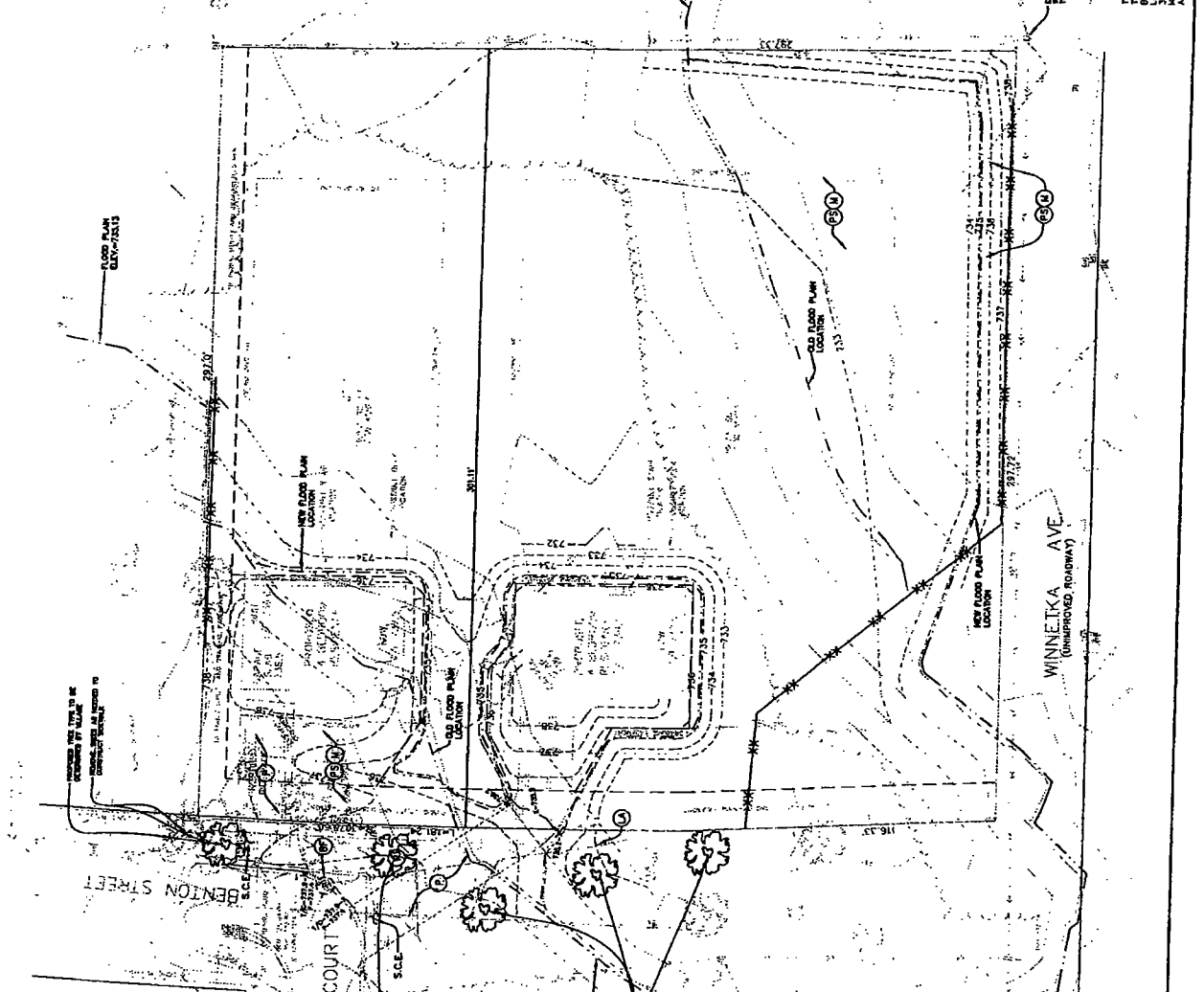
DATE: 1/25/00 REC. PER CLIENT  
 DATE: 1/25/00 REC. PER FLOOD  
 DATE: 1/25/00 REC. PER PALATKA  
 DATE: 1/25/00 REC. PER PALATKA  
 DATE: 1/25/00 REC. PER PALATKA

322 N MAIN STREET WARRIOR, IL 60090  
 P: (815)835-3200 F: (815)835-3223  
 M: LINDSEY@LAWRENCEANDCROWLEY.COM  
 LAWRENCE AND CROWLEY  
 ENGINEERS ARCHITECTS

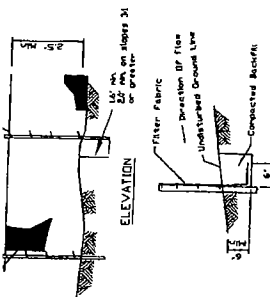
DATE: 1/25/00  
 SHEET NO: 06-321

**CONSTRUCTION SEQUENCE AND RESPONSIBLE CONTRACTOR**

1. Clearing and grubbing
2. Excavation of existing structures
3. Foundation work
4. Footing and wall construction
5. Slab on grade construction
6. Exterior finish work
7. Interior finish work
8. Mechanical, electrical and plumbing (MEP) installation
9. Final site work and landscaping



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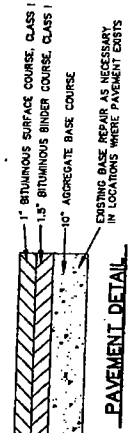


**FABRIC ANCHOR DETAIL**

**Installation Requirements**

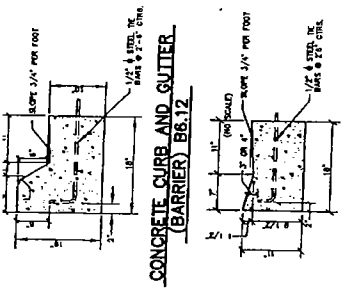
- All materials and the installation process must conform with ASHTO - 286-00 standards
- Posts to be Wood, steel or synthetic
- Min. length of 32 ft. - burial depth Min 3 ft
- Posts to be Bury 2.0 ft. on Slopes 3:1 or greater
- Post dimensions
- Hardwood = 2" x 12"
- Steel = 1.5" x 2.0" C shapes weighing 1.3 lbs/ft.
- Fabric buried in a 3" compacted gravel trench depth of 5.5' to a minimum
- Trench to be backfilled and compacted

**SILT FENCE DETAIL**



**EROSION CONTROL TABLE**

CONTROL MEASURE	PERMANENT	TEMPORARY
VEGETATIVE		
ROCK		
CONCRETE		
STEEL		
WOOD		
SOIL		
EROSION CONTROL TABLE		



**CONCRETE CURB AND GUTTER (DEPRESSED) (NO SLOPE)**

**GENERAL SEEDING SPECIFICATIONS:**

All seedlings and soil amendments to be applied and seeded as follows:

- 1) Seedling shall be 1" x 2" x 2" with one stem - 1 inch in height
- 2) Seedling shall be 1" x 2" x 2" with one stem - 1 inch in height
- 3) Seedling shall be 1" x 2" x 2" with one stem - 1 inch in height
- 4) Seedling shall be 1" x 2" x 2" with one stem - 1 inch in height
- 5) Seedling shall be 1" x 2" x 2" with one stem - 1 inch in height
- 6) Seedling shall be 1" x 2" x 2" with one stem - 1 inch in height
- 7) Seedling shall be 1" x 2" x 2" with one stem - 1 inch in height
- 8) Seedling shall be 1" x 2" x 2" with one stem - 1 inch in height
- 9) Seedling shall be 1" x 2" x 2" with one stem - 1 inch in height
- 10) Seedling shall be 1" x 2" x 2" with one stem - 1 inch in height

See Preliminary Sheet for details.

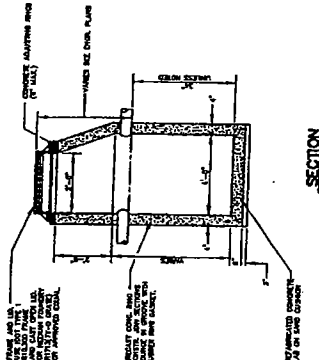
Soil Protection Chart	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC
1. KENTUCKY BLUEGRASS												
2. PERENNIAL RYEGRASS												
3. STRAW MULCH 2 TONS/AC												
4. WHEAT OR CEREAL RYE												
5. 500												
6. STRAW MULCH 2 TONS/AC												

**SOIL PROTECTION CHART**

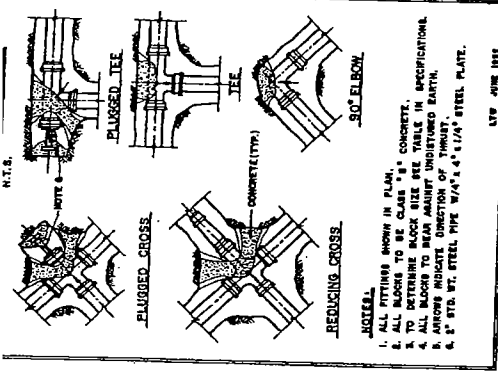
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- 9) Seedling shall be 1" x 2" x 2" with one stem - 1 inch in height
- 10) Seedling shall be 1" x 2" x 2" with one stem - 1 inch in height



**SECTION STORM SEWER CATCH BASIN**

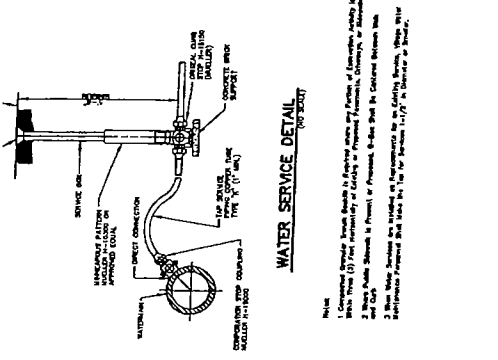


**CONCRETE CURB AND GUTTER (DEPRESSED) (NO SLOPE)**

**GENERAL SEEDING SPECIFICATIONS:**

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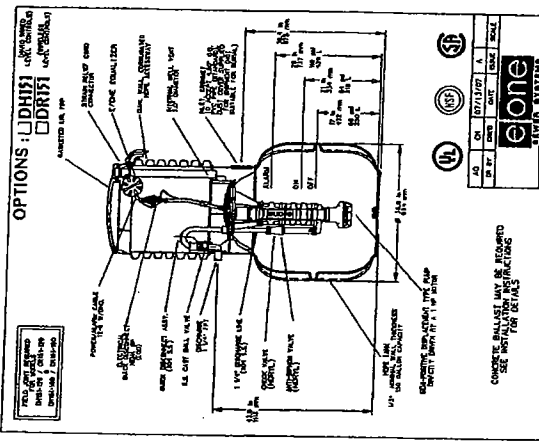


**WATER SERVICE DETAIL**

**GENERAL SEEDING SPECIFICATIONS:**

All seedlings and soil amendments to be applied and seeded as follows:

- 1) Seedling shall be 1" x 2" x 2" with one stem - 1 inch in height
- 2) Seedling shall be 1" x 2" x 2" with one stem - 1 inch in height
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**GENERAL SEEDING SPECIFICATIONS:**

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- 9) Seedling shall be 1" x 2" x 2" with one stem - 1 inch in height
- 10) Seedling shall be 1" x 2" x 2" with one stem - 1 inch in height

**JULIE**  
1-800-892-0173  
Call Julie at 815-396-8223  
2922 W. MAIN STREET, WERNY, IL 60090  
E: LAUREN@ELECTROLOGIC.COM  
F: (815) 396-8223  
and technology, Inc.

**CLIENT: MARY FLOOR, GOOD ENTERPRISES, 851 BENTON ST. W. WILSON, ILLINOIS**

**DETAIL SHEET:**

NO. 1 7/20/87 REC. PER CLERK  
NO. 2 1/20/87 REC. PER CLERK  
NO. 3 2/1/88 REC. PER CLERK  
NO. 4 2/1/88 REC. PER CLERK  
NO. 5 2/1/88 REC. PER CLERK  
NO. 6 2/1/88 REC. PER CLERK  
NO. 7 2/1/88 REC. PER CLERK  
NO. 8 2/1/88 REC. PER CLERK  
NO. 9 2/1/88 REC. PER CLERK  
NO. 10 2/1/88 REC. PER CLERK

**06-321**

**PAGE 6 OF 6**

**MA0051F02**

**eone**  
MODEL, DESIGN / SHEET  
DETAIL SHEET



August 9, 2010

Mr. Ben Vyverberg  
Planning & Zoning Department, Village of Palatine  
200 E. Wood St.  
Palatine, IL 60067



RE: Public Hearing Lot 2 of Benton St. Subdivision  
File 07-151

Dear Sir;

I am writing this letter to be read into the minutes of the Committee/Council meeting on August 16, 2010. We will be out of town and unable to attend the meeting to voice our concerns.

Our comments are:

1. The restrictive covenant on the deed should identify the structural issues of the building and yard being located on peat with caissons or pile foundations. This is to protect the Village from future owners' claims against them. Continued settling of the yard, drives, walks, etc., will be an issue for years.
2. The excavation and grading is still ongoing and the storm drainage could not have been tested as required because the sod is missing and the fill for the house has not been installed.
3. It should be noted that undeveloped Winnetka Ave. technically does not belong to the City of Rolling Meadows. The owner of the lot in question can have Winnetka Ave. abandoned and returned to his lot. The full lot size should be taken into account at this time for retention calculations.

We trust that the Village of Palatine will be good neighbors and consider the residents of Rolling Meadows who are neighbors to this property.

Very truly yours,

Thomas and Judith Byrne  
4600 Gettysburg Dr.  
Rolling Meadows, IL 60008

ORDINANCE NO. 0-17-09

AN ORDINANCE GRANTING SPECIAL USES FOR  
LOT ONE & TWO IN THE BENTON STREET SUBDIVISION  
FOR THE PROPERTY COMMONLY KNOWN AS THE  
NORTHEAST CORNER OF BENTON STREET AND UNIMPROVED WINNETKA AVE.  
PIN 02-26-105-004 (CASE NO. 07-151)

WHEREAS, pursuant to a petition and public hearing on November 4, 2008 of which public notice was given as required by law, the Plan Commission of the Village of Palatine, in accordance with the Zoning Ordinance of the Village of Palatine, in such case made and provided, has held such public hearing and reported their findings relative to a request for a Special Use to permit a yard in a floodplain pursuant to Section 6.08 (d) (2) (a) of the Palatine Code of Ordinances Appendix B; and a Special Use to permit filling of land in a floodplain pursuant to Section 6.08 (d) (2) (d) of the Palatine Code of Ordinances Appendix B, on the following legally described property:

Lots 1 & 2 in the Benton Street Subdivision being a resubdivision of Lot 3 in Block 14 in Arthur T. McIntosh and Company's Palatine Estates Unit No. 2 in the North 1/2 of the N.W. 1/4 of Section 26, Township 42 North, Range 10 East of the Third Principal Meridian, in Cook County Illinois

commonly known as PIN 02-26-105-004 (aka Northeast corner of Benton Street and unimproved Winnetka Avenue)

NOW, THEREFORE, BE IT ORDAINED, by the Mayor and Village Council of the Village of Palatine, Cook County, Illinois, acting in the exercise of their home rule power that:

**SECTION 1:** A Special Use to permit a yard in a floodplain pursuant to Section 6.08 (d) (2) (a) of the Palatine Code of Ordinances Appendix B; and a Special Use to permit filling of land in a floodplain pursuant to Section 6.08 (d) (2) (d) of the Palatine Code of Ordinances Appendix B, is hereby granted for Lot 1 and a Special Use to permit filling of land in a floodplain pursuant to Section 6.08 (d) (2) (d) of the Palatine Code of Ordinances Appendix B, is hereby granted for Lot 2, subject to the following conditions:

1. The Special Use approvals to permit a yard in a floodplain and to permit filling of land in a floodplain are granted for Lot 1 in the Benton Street Subdivision, as illustrated in the plans attached hereto as Exhibit 'A' and subject to the following conditions.

2. **The Special Use to permit filling of land in a floodplain is granted for Lot 2 in the Benton Street Subdivision, as illustrated in the plans attached hereto as Exhibit 'A' and subject to the following conditions.**
3. **The Special Use request to permit a yard in a floodplain for Lot 2 shall be considered by the Village Council only upon compliance with the following conditions:**
  - a. **In order to measure the effectiveness of the new storm sewer (Winnetka Avenue), among other locations, run-off measurements shall be collected at the drainage structure proximate to the northeast corner of the Lot 1 prior to and after the construction of the Winnetka Avenue Storm Sewer. Additionally, once this storm sewer project has been completed and after the occurrence of a 2.5 inch rain event in a 24-hour period or other significant rain event deemed sufficient by the Village Engineer to test the operation of the new storm sewer and determine that it functions adequately, and:**
  - b. **All of the subdivision grading has been completed in accordance with the approved plans and the Village Engineer has determined that no new adverse impacts to the adjacent properties have been created as a result. The Petitioner shall be solely responsible for returning all of Lot 2 to its pre-altered elevations in a state satisfactory to the Village Engineer; if corrective measures acceptable to the Village Engineer to remedy any new adverse impacts have not been implemented.**
  - c. **No building permit shall be issued for the construction of a home on Lot 2 unless conditions 3 (a) and 3 (b) outlined above have been satisfied and the Village Council has granted approval of the Special Use to permit a yard in a floodplain for Lot 2.**
4. **Prior to the commencement of the subdivision grading a letter of credit in the amount of \$20,000 shall be submitted in a manner acceptable to the Village Engineer. Prior to either the recording of the Plat of Subdivision or the issuance of a building permit for either lot an additional letter of credit in the amount of \$62,197 shall be submitted in a manner acceptable to the Village Engineer.**
5. **Upon request the Petitioner or the Petitioner's Engineer shall provide the Village with any monitoring well or other relevant information needed.**
6. **The development shall substantially conform to the engineering plans by Land Technology, Inc. dated and last revised 5/14/08 and attached hereto as Exhibit 'B', except as such plan may be changed to conform to Village Codes and Ordinances and the following conditions:**
7. **Review fees in the amount of \$2,894.93 shall be submitted.**
8. **Cash-in-lieu of detention shall be paid in the amount of \$3,056.62**

9. A recapture in the amount of 7.2% of the cost incurred by the Village of Palatine to design and construct the Winnetka Ave Storm Sewer Project shall be paid, prior to the issuance of a building permit for Lot 2.
10. A NPDES permit shall be submitted.
11. A restrictive covenant shall be recorded with the County in a manner acceptable to the Village attorney which explicitly identifies the restrictions on structures and uses of the property.
12. The soils engineer for the project shall work with Village Staff to ensure the construction of all utilities, sidewalks, and other public improvements are completed in a satisfactory manner. The soils engineer for the project shall be on site during construction of these improvements if directed by the Village Engineer.
13. The engineering plans shall be revised, in a manner acceptable to the Village Engineer, to note that the area of compensatory storage shall be inspected by a licensed soils engineer after the excavation is completed to determine that the soils are sufficiently impermeable to prevent excessive mitigation of the stored water toward the adjoining properties.

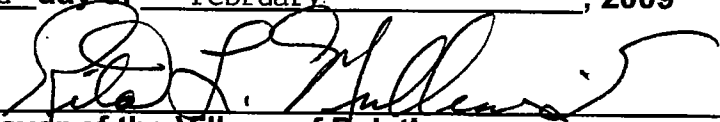
**SECTION 2:** That the petition for a special use, a copy of the public notice and the report of the hearing be attached hereto and form a part of this ordinance.

**SECTION 3:** That this ordinance shall be in full force and effect from and after its passage and approval as provided by law.

**PASSED:** This 2nd day of February, 2009

**AYES:** 4 **NAYS:** 2 **ABSENT:** 0 **PASS:** 1

**APPROVED** by me this 2nd day of February, 2009

  
 \_\_\_\_\_  
 Mayor of the Village of Palatine

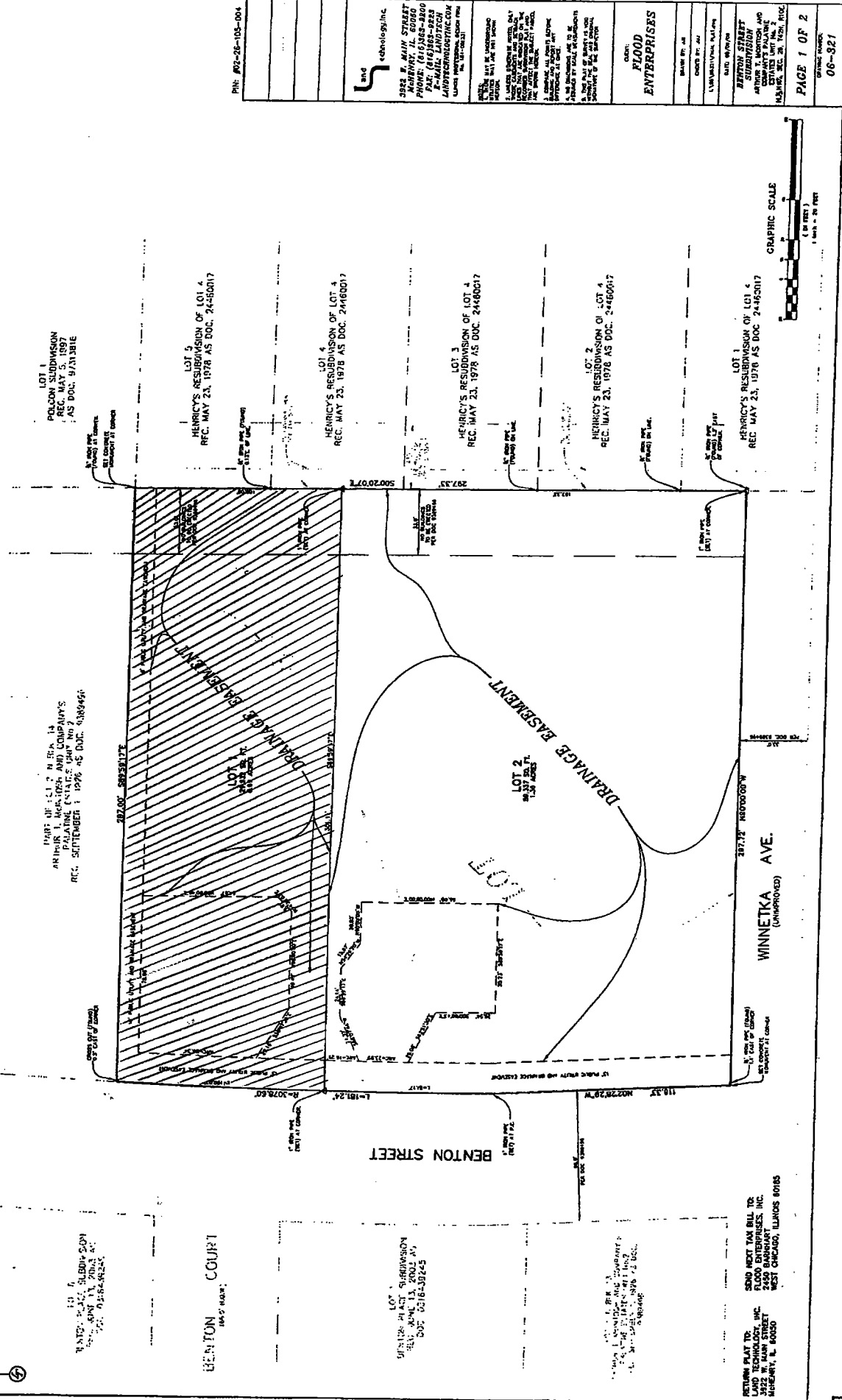
**ATTESTED and FILED** in the office of the Village Clerk this

2nd day of February, 2009

  
 \_\_\_\_\_  
 Village Clerk

BEING A RESUBDIVISION OF LOT 3 IN ARTHEUR T. HENRY AND COMPANY'S PALMINE ESTATES UNIT No. 2 IN THE NORTH HALF OF THE NORTHWEST QUARTER OF SECTION 26, TOWNSHIP 42 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS, WITHIN THE VILLAGE OF PALMINE, ILLINOIS

BEING A RESUBDIVISION OF LOT 3 IN ARTHEUR T. HENRY AND COMPANY'S PALMINE ESTATES UNIT No. 2 IN THE NORTH HALF OF THE NORTHWEST QUARTER OF SECTION 26, TOWNSHIP 42 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS, WITHIN THE VILLAGE OF PALMINE, ILLINOIS



LOT 1  
POLCOON LINDENSON  
REC. MAY 23, 1978 AS DOC. 24460017  
AS DOC. 9/31/2016

LOT 5  
HENRY'S RESUBDIVISION OF LOT 4  
REC. MAY 23, 1978 AS DOC. 24460017

LOT 4  
HENRY'S RESUBDIVISION OF LOT 4  
REC. MAY 23, 1978 AS DOC. 24460017

LOT 3  
HENRY'S RESUBDIVISION OF LOT 4  
REC. MAY 23, 1978 AS DOC. 24460017

LOT 2  
HENRY'S RESUBDIVISION OF LOT 4  
REC. MAY 23, 1978 AS DOC. 24460017

LOT 1  
HENRY'S RESUBDIVISION OF LOT 4  
REC. MAY 23, 1978 AS DOC. 24460017

PART OF SECTION 26 IN TWP. 42 N. R. 10 E. S. 26  
ARTHUR T. HENRY AND COMPANY'S  
PALMINE ESTATES UNIT No. 2  
REC. SEPTEMBER 1, 1976 AS DOC. 6389496

LOT 1  
BENTON COURT  
REC. MAY 23, 1978 AS DOC. 24460017

LOT 2  
BENTON COURT  
REC. MAY 23, 1978 AS DOC. 24460017

LOT 3  
BENTON COURT  
REC. MAY 23, 1978 AS DOC. 24460017

RETURN PLAT TO:  
LAND TECHNOLOGY, INC.  
3225 W. MAIN STREET  
MCHENRY, IL 60050

sh Technologies, Inc. 3225 W. MAIN STREET MCHENRY, IL 60050 PHONE: 630-383-8800 FAX: 630-383-8801 E-MAIL: SALES@LANDTECH.COM LANDTECHPROTECTING.COM

DATE: FLOOD ENTERPRISES

GRAPHIC SCALE 1 inch = 20 FEET

PAGE 1 OF 2

06-321

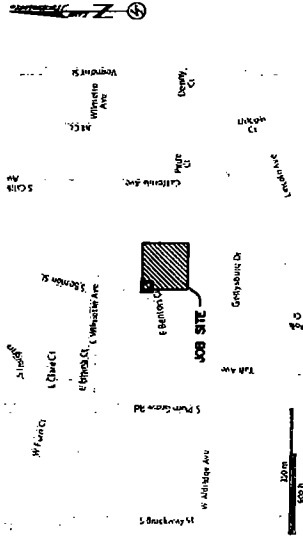
# "BENTON STREET SUBDIVISION"

FOR

VILLAGE OF PALATINE  
COOK COUNTY, ILLINOIS

SYMBOL	DESCRIPTION
1	EXISTING IMPROVEMENTS
2	EXISTING DRIVEWAY
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SYMBOL	DESCRIPTION
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100	EXISTING DRIVEWAY



LOCATION MAP

**OWNER:**  
CONTACT: DAVE BLOOD  
FLOOD ENTERPRISES  
151 E. 22ND STREET  
LOMBARD, IL, 60148  
(630) 892-9000

**BUILDER:**  
KEMBROSSE BLURS  
20645 S. WILSON AVE  
DEER PARK, IL, 60010  
(847) 842-9403

**PREPARED BY:**  
**LAND TECHNOLOGY, INC**  
2741 S. BENTON STREET, SUITE 100  
LANSING, ILLINOIS 60138  
TEL: 630-892-9000  
FAX: 630-892-9001  
WWW.LANDTECH.COM  
NATALIE P. HANNEY, P.E.

**INDEX**

SHEET NO.	DESCRIPTION
1)	TITLE SHEET
2)	CONDITIONS PLAN
3)	ENGINEERING NOTES
4)	EROSION CONTROL PLAN
5)	DETAIL SHEET
6)	SPECIFICATIONS SHEET

BENCHMARK: S.E.1/4 CORNER ON FIRE HYDRANT LOCATED AT THE  
SOUTHWEST CORNER OF BENTON STREET & BENTON COURT.  
ELEV.=740.39

NOTE: THESE PLANS ARE NOT TO BE USED FOR CONSTRUCTION UNLESS THE  
PERMITTING AGENCIES APPROVAL STAMPS ARE AFFIXED HERETO.  
THESE PLANS ARE ONLY VALID IF THEY CONTAIN THE SEAL AND SIGNATURE  
OF THE ENGINEER ON THE TITLE PAGE OF THIS SET OF PLANS.  
ALL CONSTRUCTION ACTIVITIES SHALL CONFORM TO GOVERNMENT STANDARDS. ALL COST  
ESTIMATES SHALL INCLUDE ALL MATERIALS AND LABOR NECESSARY TO MEET GOVERNMENT  
STANDARDS TO COMPLETE THESE IMPROVEMENTS.  
ALL CONSTRUCTION TO BE DONE IN ACCORDANCE WITH THE ILLINOIS  
DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD  
AND BRIDGE CONSTRUCTION DATED JAN. 1, 2007 OR LATER EDITION.

SPECIAL NOTE:  
THIS DESIGN IS NOT FOR CONSTRUCTION  
UNLESS APPROVAL STAMP FROM  
COUNTY, VILLAGE, OR CITY REGULATORY  
DEPARTMENT IS AFFIXED HERETO

**LAND TECHNOLOGY, INC.**  
2022 N. MAIN STREET, WILMINGTON, IL 60090  
P: (616) 862-8200 F: (616) 862-8223  
E: LANDTECH@LANDTECHINC.COM  
LAND TECHNOLOGY, INC.  
111-02-0233

**JULIE**  
1-800-892-0123  
Call Julie at (630) 892-9000

**CLIENT: DAVE BLOOD, FLOOD ENTERPRISES.**  
551 BENTON SUBD., N.W. 1/4 SEC. 2, T. 100 N., R. 10 E., S. 10 W., PALATINE, ILLINOIS

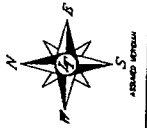
**TITLE SHEET**

NO. 1	REV. PER CORRECT	7/20/07
NO. 2	REV. PER VILLAGE OF PALATINE	8/14/07
NO. 3	REV. PER VILLAGE OF PALATINE	8/14/07
NO. 4	REV. PER VILLAGE OF PALATINE	8/14/07
NO. 5	REV. PER VILLAGE OF PALATINE	8/14/07
NO. 6	REV. PER VILLAGE OF PALATINE	8/14/07
NO. 7	REV. PER VILLAGE OF PALATINE	8/14/07
NO. 8	REV. PER VILLAGE OF PALATINE	8/14/07
NO. 9	REV. PER VILLAGE OF PALATINE	8/14/07
NO. 10	REV. PER VILLAGE OF PALATINE	8/14/07

DATE BY: 10/1/07  
CHECKED BY: JPH  
DRAWN BY: JPH  
SCALE: 1"=10'-0"  
DATE: 8/14/07

**PAGE 1 OF 6**  
JOB NO.: 06-321

BY CONSENT OF THE VILLAGE OF PALATINE, THE INFORMATION SHOWN MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, WITHOUT THE WRITTEN CONSENT OF LAND TECHNOLOGY, INC. 2022 N. MAIN STREET, WILMINGTON, ILLINOIS 60090. ALL LEGAL RIGHTS RESERVED.



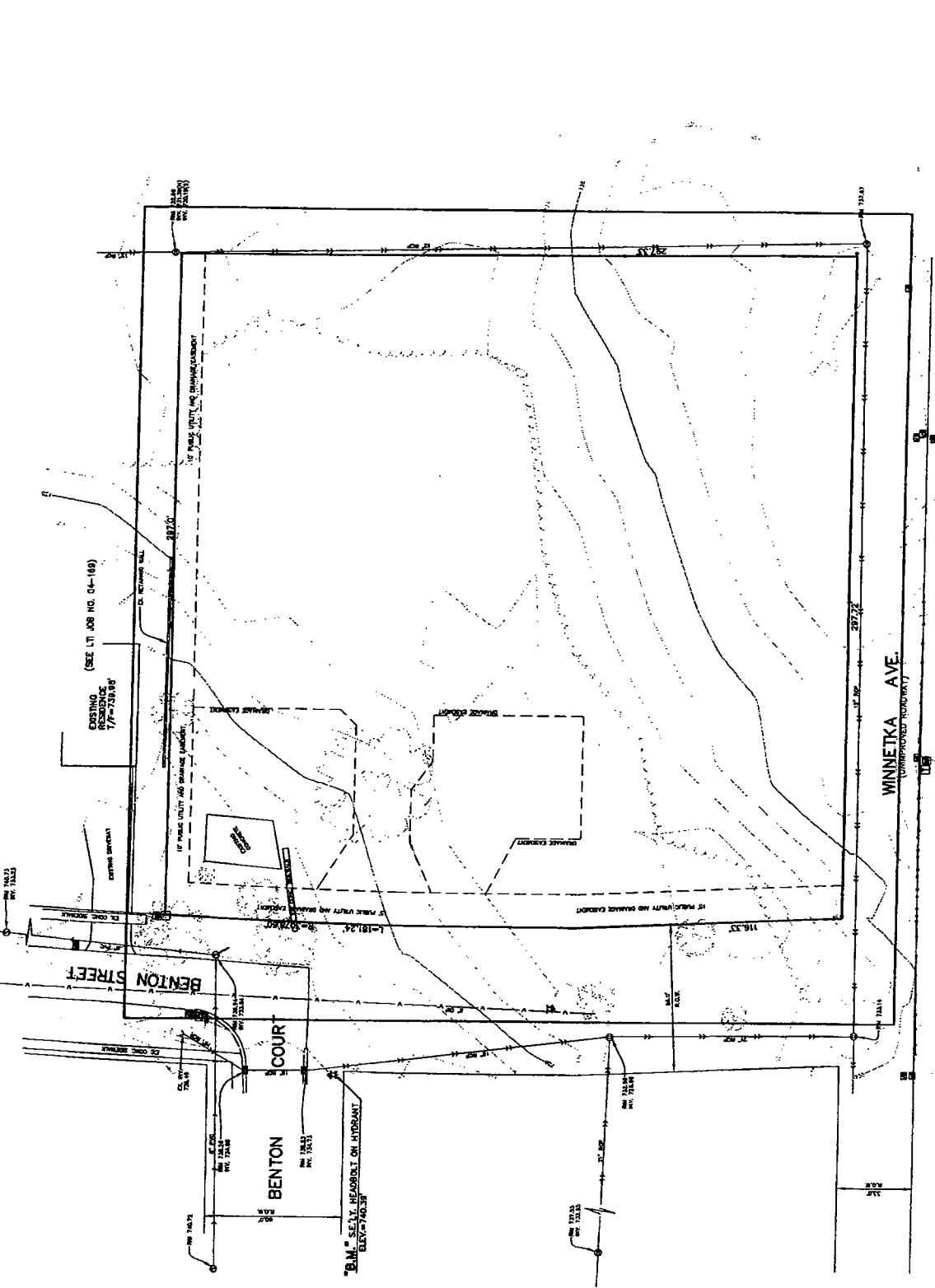
SCALE  
1" = 20'

**JULIE**  
1-800-892-0133  
Call (Chicago, Ill. & Surrounding Areas)

**and**  
**Technology, Inc.**  
9222 N. MAIN STREET MERRILL, IL 60050  
P: (616) 868-3200 F: (616) 868-3228  
E: LANDSCAPE@LANDSCAPELOGGING.COM  
WWW.MOORELANDSCAPELOGGING.COM  
LANDSCAPE ARCHITECTS  
ILLINOIS REG. NO. 014-00133

**EXISTING CONDITIONS PLAN:**  
CLIENT: DAVID FLOOR, FLOOD HYDRAULICISTS  
951 BENTON SUBD., N.Y.S. SEC. 86, T42N, R10E, VILLAGE OF PALATKA  
DESIGNED BY: JULIE AND TECHNOLOGY, INC.  
DATE: 07/14/08  
SCALE: 1" = 20'

DATE: 07/14/08  
DRAWN BY: JLM  
CHECKED BY: JLM  
PROJECT: 06-321  
PAGE 2 OF 6  
DATE: 07/14/08  
SCALE: 1" = 20'



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SCALE  
1" = 20'

**JULIE**  
1-800-892-0123  
CELL 608-233-1111  
3822 N. MAIN STREET, WAUKESHA, IL 60080  
E: LANDSCAPEARCHITECTURE.COM  
F: (618) 892-2200 F: (618) 892-2223

**and**  
technology, inc.

**ENGINEERING & GRADING PLAN**  
CLIENT: DAVID FLOOD, FLOOD ENTERPRISES  
851 BENTON SUBD., N.W. SEC. 28, T.42N. R.10E  
VILLAGE OF PALATKA  
REVISIONS:  
REV. 1 7/20/15 NEW PERMILLAGE OF PALATKA NEW PERMILLAGE 11-29-15  
REV. 2 7/20/15 NEW PERMILLAGE OF PALATKA NEW PERMILLAGE 11-29-15  
REV. 3 7/20/15 NEW PERMILLAGE OF PALATKA NEW PERMILLAGE 11-29-15  
REV. 4 7/20/15 NEW PERMILLAGE OF PALATKA NEW PERMILLAGE 11-29-15  
REV. 5 7/20/15 NEW PERMILLAGE OF PALATKA NEW PERMILLAGE 11-29-15

DATE: 5/1/16  
PAGE 3 OF 6  
PROJECT NUMBER: 06-321

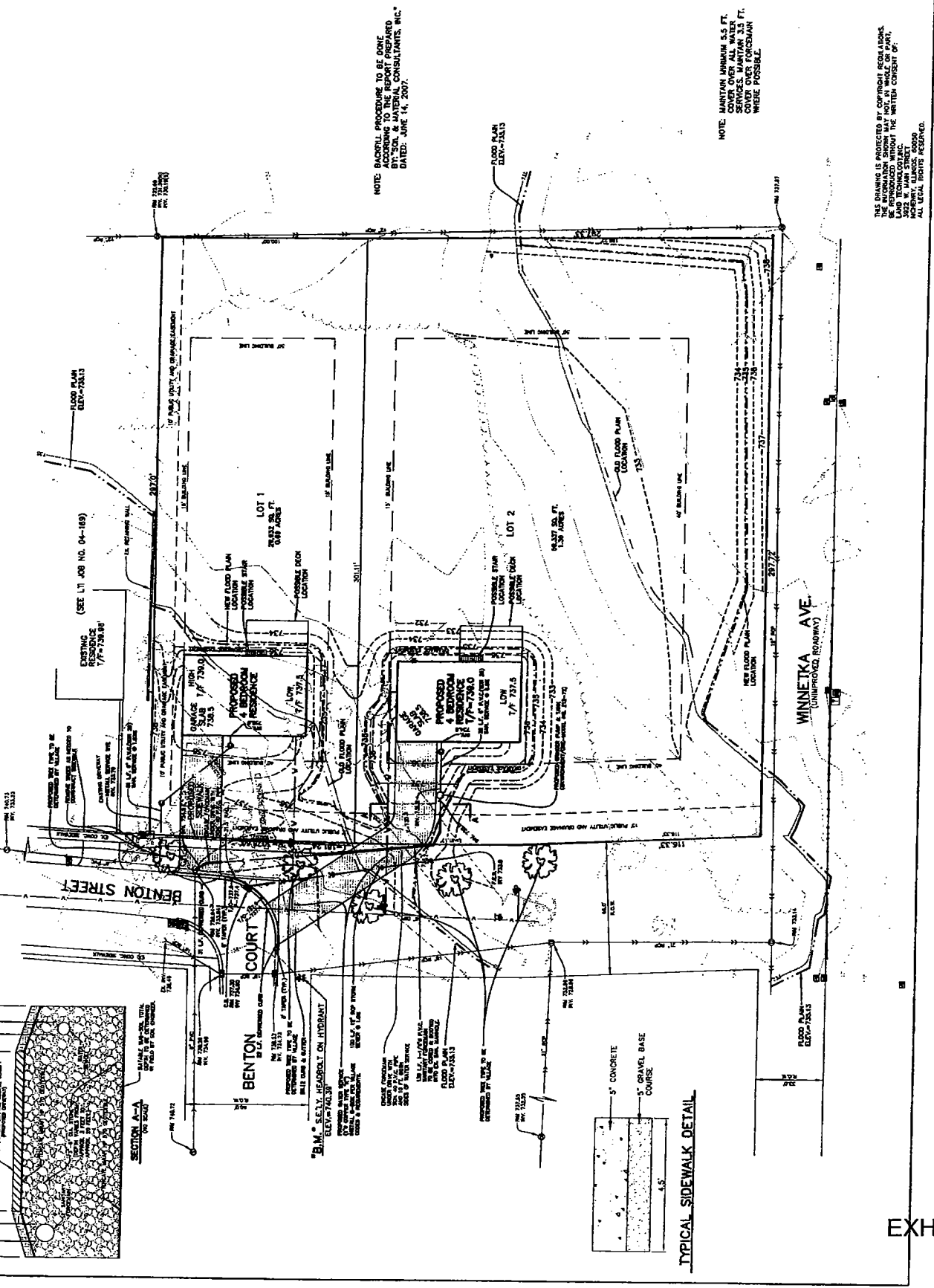
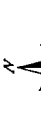


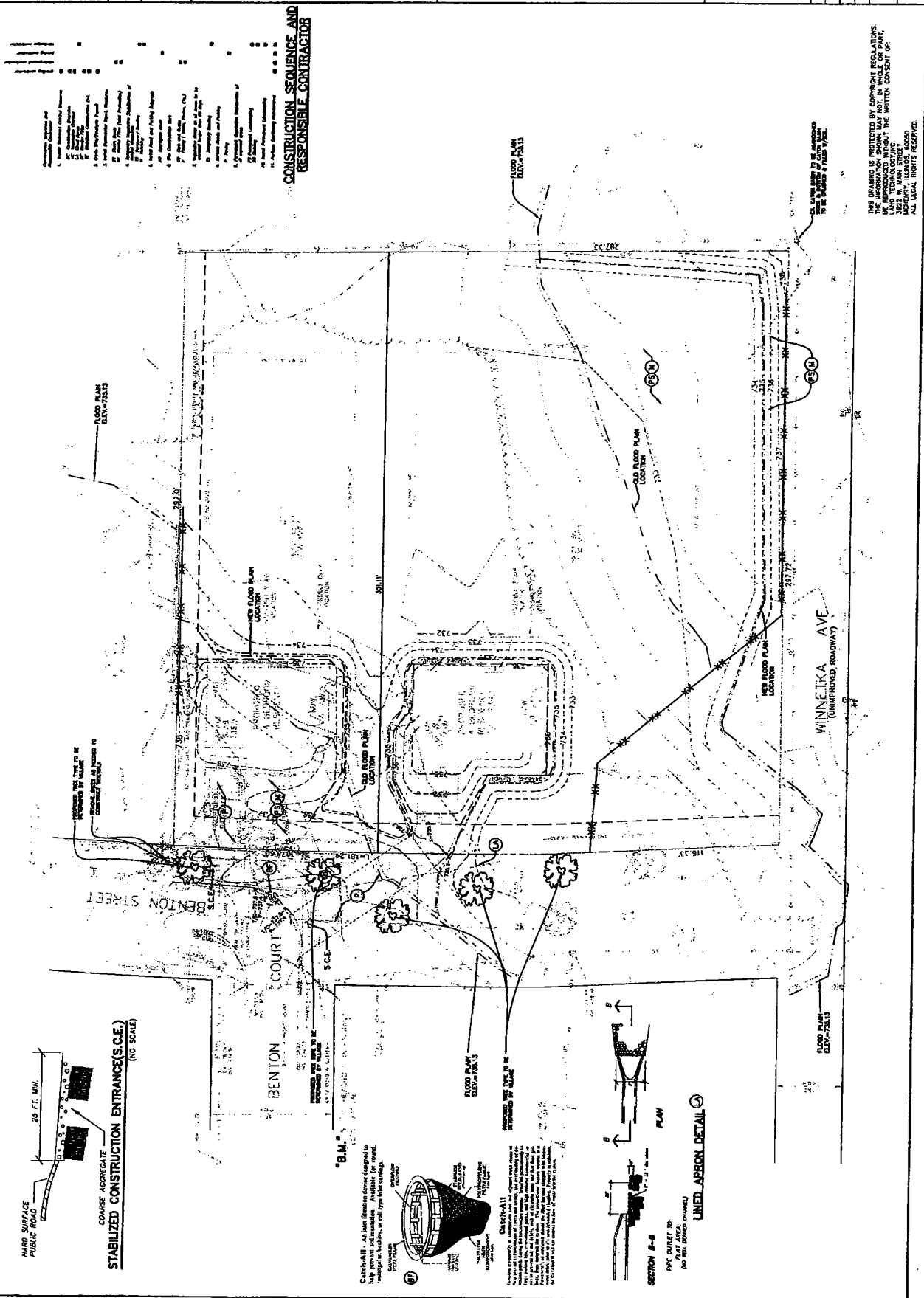
EXHIBIT "A"


  
 JULIE  
 1-800-892-0123  
 Cell (815) 300-8880  
 3932 W. MAIN STREET, BENTON, IL 62005  
 E: LANDTECH@LANDTECHENGINEERING.COM  
 L: LANDTECHENGINEERING.COM  
 and technology inc.

NO. 5	NOV 17/08	REV. FOR VALUE OF PHASE
NO. 4	NOV 17/08	REV. FOR VALUE OF PHASE
NO. 3	NOV 17/08	REV. FOR VALUE OF PHASE
NO. 2	NOV 17/08	REV. FOR VALUE OF PHASE
NO. 1	NOV 17/08	REV. FOR VALUE OF PHASE

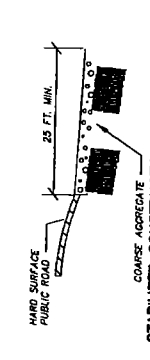
CLIENT: DAVID FLOOD, FLOOD ENGINEERS  
 851 BENTON SUITE - N.W. SEC. 55, PEARL HARBOR  
 VILLAGE OF PALATKA

DATE: 7/1/08  
 DRAWING NUMBER: 08-321  
 SHEET: PAGE 4 OF 6  
 DRAWN BY: CJ/JAM  
 CHECKED BY: AVE  
 DESIGNER: DAVID FLOOD, FLOOD ENGINEERS  
 851 BENTON SUITE - N.W. SEC. 55, PEARL HARBOR VILLAGE OF PALATKA



- CONSTRUCTION SEQUENCE AND RESPONSIBLE CONTRACTOR**
- 1. Clear Construction Area
  - 2. Install Silt Fence
  - 3. Install Silt Catcher
  - 4. Install Erosion Control
  - 5. Install Stormwater Management
  - 6. Install Retention Pond
  - 7. Install Outlet Structure
  - 8. Install Final Surface
  - 9. Install Final Grading
  - 10. Install Final Seeding
  - 11. Install Final Mulch
  - 12. Install Final Inspection
  - 13. Install Final Signage
  - 14. Install Final Cleanup
  - 15. Install Final Reporting
  - 16. Install Final Closeout
  - 17. Install Final Handover
  - 18. Install Final Acceptance

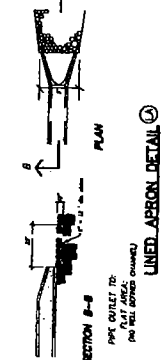
THIS DRAWING IS PREPARED BY DAVID FLOOD, FLOOD ENGINEERS  
 851 BENTON SUITE - N.W. SEC. 55, PEARL HARBOR VILLAGE OF PALATKA  
 ILS 08-321-004  
 3932 W. MAIN STREET, BENTON, IL 62005  
 ALL LEGAL RIGHTS RESERVED.



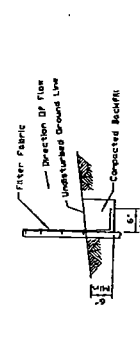
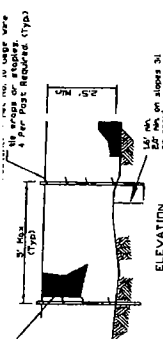
STABILIZED CONSTRUCTION ENTRANCE (S.C.E.) (NO SCALE)



SILT CATCHER



SECTION B-B PIPE OUTLET TO PLOT AREA (NO SCALE) LIMITED APRON DETAIL



**Installation Requirements**

- All materials and the installation process must conform with AASHTO - 288-00 standards
- Posts to be:
  - Wood: steel or synthetic
  - Minimum hole depth: 18 in (for holes less than 3.5 in)
- Post dimensions:
  - Post: 1.25 in x 1.25 in
  - Steel: 1/2 in x 1/2 in x 12 in
- Fabric buried in a "J" configuration to a minimum depth of 5.9" in a trench
- Trench to be backfilled and compacted

### SILT FENCE DETAIL

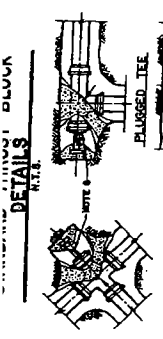
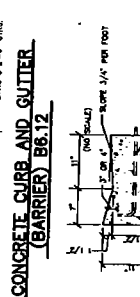
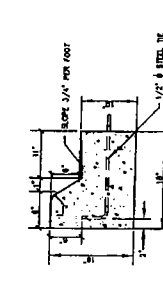


1" BITUMINOUS SURFACE COURSE, CLASS I  
 1.5" BITUMINOUS BINDER COURSE, CLASS I  
 10" AGGREGATE BASE COURSE

EXISTING BASE REPAIR AS NECESSARY IN LOCATIONS WHERE PAVEMENT EXISTS

### EROSION CONTROL TABLE

CONTROL MEASURE	LOCATION	DATE	STATUS	CHARACTERISTICS
CONTOUR BARRIERS	Top of Slope			Concrete or metal
SEDIMENT BASINS	Down slope			Concrete or metal
VEGETATIVE STRIPES	Top of Slope			Grass, straw, wood chips
VEGETATIVE STRIPES	Down slope			Grass, straw, wood chips
SILT FENCES	Top of Slope			Fabric anchored to posts
SWAYED LOGS	Top of Slope			Logs on fabric



ALL FITTINGS SHOWN IN PLAN. ALL BLOCKS TO BE CLASS #2 CONCRETE. TO DETERMINE BLOCK SIZE SEE TABLE IN SPECIFICATIONS. ALL JOINTS TO BE NEAR MANHOLE UNDISTURBED EARTH. 8" STD. WT. STEEL PIPE, 1/4" x 4" 1/4" STEEL PLATE. SEE OTHER SHEET.

### Soil Protection Chart

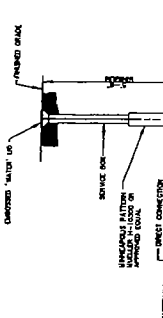
Soil Type	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec
1. KENTUCKY BLUEGRASS (MAINTAINED)												
2. KENTUCKY BLUEGRASS (MIXED WITH PERENNIAL RYEGRASS)												
3. SPRING OATS 100LBS/AC												
4. WHEAT OR CORN 1.5 T/AC												
5. KENTUCKY BLUEGRASS 120LBS/AC MIXED WITH PERENNIAL RYEGRASS												
6. STRAW MULCH 2 TONS/AC												

IRRIGATION NEEDED DURING JUNE-JULY AND SEPTEMBER FOR 2-3 WEEKS AFTER SOILING.

### SOIL PROTECTION CHART

**GENERAL SEEDING SPECIFICATIONS:**

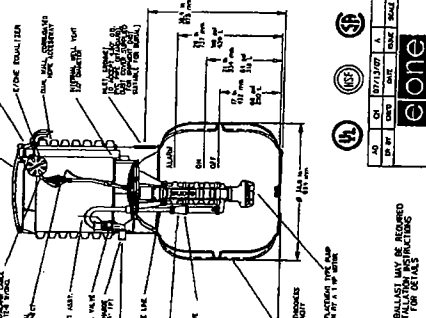
- Seeds must be a minimum of 1/4" greater and treated as follows:
  - Apply to soil
  - Apply to soil
  - Apply to soil
  - Apply to soil
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- Apply to soil
- Apply to soil
- Apply to soil
- Apply to soil
- Apply to soil
- Apply to soil



**Note:**

- Consult Engineer's Specifications to determine water service details and to determine if any additional requirements are necessary.
- Verify that the water service is installed in accordance with the applicable codes and standards.
- Verify that the water service is installed in accordance with the applicable codes and standards.

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**OPTIONAL: (L) DRAINAGE (S) BARRIERS**

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**and Technology, Inc.**

3222 N. MAIN STREET, MERRILL, WI 53001

F: (615) 663-9220 P: (815) 663-9223

3415 N. HARRISON AVENUE, MILWAUKEE, WI 53212

11-12-0333

**JULIE**

Cell: 414-800-882-8113

11-12-0333

**DETAIL SHEET**

REV 1	1/20/03	REV FOR COMMENT
REV 2	1/20/03	REV FOR VALUE OF MATERIALS LATER 11-26-03
REV 3	1/20/03	REV FOR VALUE OF MATERIALS LATER 11-26-03
REV 4	1/20/03	REV FOR VALUE OF MATERIALS LATER 11-26-03
REV 5	1/20/03	REV FOR VALUE OF MATERIALS LATER 11-26-03

**DATE: 11/20/03**

**PROJECT: CLIENT - DART POND, FLOOD ENTERPRISES**

**DRAWN BY: CHRYSTAL**

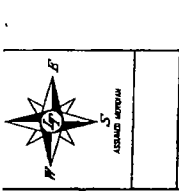
**CHECKED BY: JIM**

**DATE: 11/20/03**

**SCALE: 1/4" = 1'-0"**

**PAGE 6 OF 6**

**DRAWING NO: 06-321**



**JULIE**  
 1-800-892-0123  
 312-461-1100  
 Fax: 312-461-1101  
 Cell: 312-461-1102

**and**  
**technology, Inc.**  
 3922 W. MAIN STREET, HEBURN, IL 60520  
 P: (618)938-9200 F: (618)938-9232  
 E: LANDTECH@LANDTECH.IL.COM

**SPECIFICATIONS SHEET:**

551 BRINTON ROAD, N. W. SKESS, ILLINOIS  
 VILLAGE OF PLAINFIELD

REV 1 1/24/08  
 REV 2 1/24/08  
 REV 3 2/20/08  
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DRAWN BY: CT/AM  
 CHECKED BY: JPK  
 DATE: 5/1/08  
 SCALE: 3/4"=1'-0"  
 SHEET: 6 OF 6  
 PROJECT: VILLAGE OF PLAINFIELD  
 DRAWING NO.: 06-821

**GENERAL NOTES:**

- Storm-sewers, sanitary sewers and water main improvements shall be in accordance with the Standard Specifications for Water and Sewer Main Construction in Illinois, Fifth Edition, with the following amendments:
- Standard specifications committee, "Standard Specifications for Road and Main Construction in Illinois", May 1996, Fourth Edition.
- City of Plainfield, "Standard Specifications for Water and Sewer Main Construction in Illinois", May 1996, Fourth Edition.

**GENERAL UTILITY REQUIREMENTS:**

All manhole covers shall be imprinted with the appropriate identification: Village of Plainfield -- "WATER", or "SANITARY", respectively.

All utilities installed under proposed or existing pavement shall be backfilled with compacted CA-6 crushed stone or crushed gravel (Grade 8 or 9) and compacted to finished subgrade.

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DEPT. OF PLANNING AND ZONING  
VILLAGE OF PALATINE

PETITION FOR HEARING

Zoning Docket #
Property recorded in Torrens
Filing Fee \$ _____ Date Filed

PRELIMINARY PLAT OF SUBDIVISION

PLEASE TYPE OR PRINT IN INK:

1. Name of Petitioner(s): FLOOD ENTERPRISES INC DAVID FLOOD  
 Address: 951 S BENTON STREET  
 Telephone No. 630-629-9000 Business No. \_\_\_\_\_

2. Authorized Agent of Petitioner (if different):  
 Name: SAME  
 Address: \_\_\_\_\_  
 Telephone No. \_\_\_\_\_ Business No. \_\_\_\_\_  
 Relationship to Petitioner: \_\_\_\_\_

3. Property Interest of Petitioner(s): OWNER  
 Owner, Lessee, Contract Purchaser, etc.

4. Address of the property for which this application is being filed:  
951 South Benton Street Palatine, Illinois

5. All existing land use(s) on the property are: VACANT


6. The proposed use(s) on the property, if this petition is approved is (are): 2 Residential Lots

7. Current zoning of property: R-1

8. State the specific action requested.  
2 Lot Subdivision

9. The petitioner's signature below indicates that the information contained in this application and on any accompanying documents is true and correct to the best of his/her knowledge.

Date: 10/19/2007



PETITIONER'S EXHIBIT  
 # 1



## VILLAGE OF PALATINE SPECIAL USE & VARIATION APPLICATION

**Department of Planning & Zoning**  
200 E. Wood Street • Palatine, IL • 60067-5339  
Telephone: (847) 559-9047 • Fax (847) 963-6247

Office Use Only	Project Planner	Zoning Case #
	Filing Fee	Notification Deadline
	ZBA Public Hearing Date	Village Council Date

*date received*

Background Information	Petitioner(s)		Business Name (if applicable)		
	Address		City/State/Zip Code		
	Telephone		Fax	Email	
	Subject Property Address		Business Name (if applicable)		
	Authorized Agent (if applicable)		Business Name (if applicable)		
	Address		City/State/Zip Code		
	Telephone		Fax	Email	
	Relationship to Petitioner (contractor, architect, etc.)				
	Type of Application (check one)				
	Existing Zoning District				
Existing Land Use		Proposed Land Use			
Action Requested					

*Hood Enterprises, Inc.*  
*151 E. 22nd Street*      *Lombard, IL 60148*

*708-774-3150*

*630-916-7812*

*D.Flood@highlextradegroup.com*

*PIN 03-26-105-004 (AKA - NORTHEAST CORNER of BENTON STREET)*

*AND UNIMPROVED WINNETKA AVENUE*

I swear that the information contained herein and in any accompanying documents is accurate to the best of my knowledge.

Signature

*10/21/08*  
Date

# SPECIAL USE



## Required Materials

- Filing Fee of \$ \_\_\_\_\_
- Application Form
- Plat of Survey (must show all current improvements and be sealed by an Illinois certified surveyor)
- Site Plan (dimension, location, and setbacks of all existing and proposed buildings) – one 11x17 copy, electronic version preferred
- Real Estate Interest Disclosure Form (see attached)
- Proof of Ownership or Lease (e.g. Title Insurance Policy, Deed, or Purchase Contract)
- Business Plan (if applicable; including, but not limited to nature of business, hours of operation, number of employees, floor plan, and menu)

## Additional Materials (as required by the Village)

- Elevation Plan (front, side, and rear elevations of a proposed building), and/or Floor Plan (proposed interior layout) – one 11x17 copy of each plan, electronic versions preferred
- Engineering Plans (must indicate existing conditions, topography, storm water management, tree preservation, utility connections, detention calculations, and a cost estimate)
- Photographs (e.g. ground-level or aerials)
- Other materials as deemed necessary by the Village

## Petitioner Justification

The Petitioner is required to present specific evidence related to each of the following standards to justify the request (paraphrased from Section 14.05 of the Palatine Zoning Ordinance). Attach a separate sheet if necessary.

1. The use is deemed necessary for the public convenience at that location

N/A

2. The use is designed, located, and proposed to be operated that the public health, safety and welfare will be protected

*We have hired an engineer, Natalie Barney of Land Technologies in conjunction with the Village Engineer have drafted a plan satisfactory to Village Engineer and in compliance with Village Ordinance*

3. The use will not cause substantial injury to nearby property values

*The plan drafted by Land Technologies shows that there will be no effects on surrounding land or land values*

4. With respect to live entertainment uses, the use shall not:
  - a. Produce noise levels so great as to constitute an unreasonable interference for persons outside the confines of the establishment
  - b. Impose undue health, sanitation or safety burdens on the village
  - c. Create excessive demands on the Village of Palatine Police Department
  - d. Be of a nature otherwise prohibited by law or village ordinance
5. For fence standards, see Section 14.05 of the Palatine Zoning Ordinance

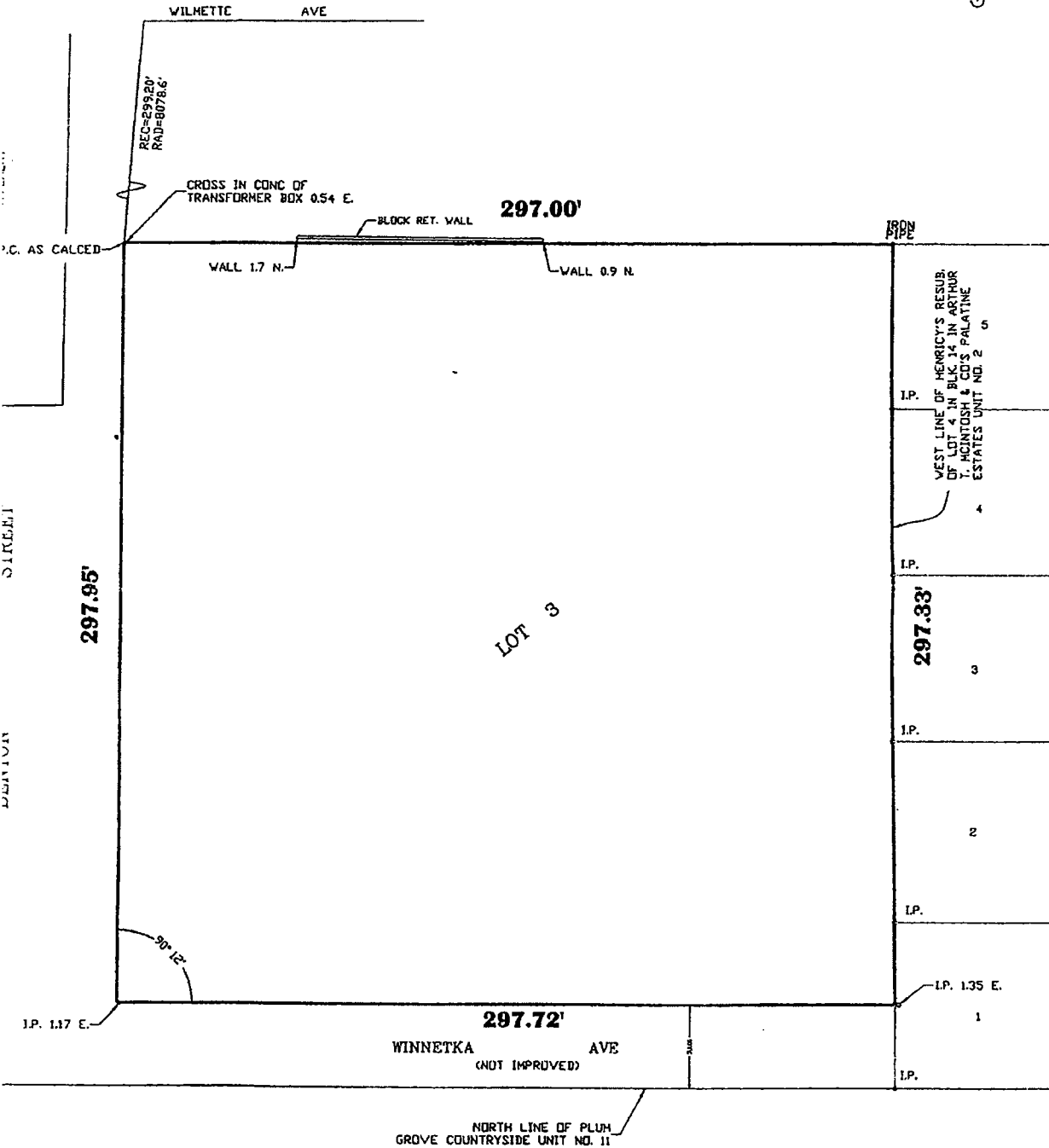
N/A

1523 WEATHERSTONE LANE  
 ELCIN, ILLINOIS 60123  
 PHONE: (847) 253-6566

**PLAT OF SURVEY**  
 -BY-  
**JAMES M. ELLMAN LTD.**  
 OF



LOT 3 IN BLOCK 14 IN ARTHUR T. MCINTOSH AND COMPANY'S PALATINE ESTATES UNIT NO. 2  
 IN THE NORTH 1/2 OF THE N.W. 1/4 OF SECTION 26, TOWNSHIP 42 NORTH, RANGE 10 EAST  
 OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.



Ordered by: STEPHEN R. MURRAY  
 Order No: 060300  
 Base Scale: 1 inch = 40 feet  
 Date: MARCH 7, 2006  
 Address: 951 S. BENTON (LOT3)  
PALATINE, IL

----- = WOOD FENCE  
 - - - - - = C/L FENCE  
 [ ] = CONCRETE

STATE OF ILLINOIS  
 COUNTY OF KANE)

I, JAMES M. ELLMAN LTD. DO HEREBY CERTIFY THAT THE ABOVE  
 DESCRIBED PROPERTY HAS BEEN SURVEYED UNDER MY SUPERVISION  
 AND THAT THE PLAT HEREON DRAWN IS A CORRECT REPRESENTATION  
 OF SAID SURVEY.

BY: *James M. Ellman*  
 ILLINOIS PROFESSIONAL LAND SURVEYOR

LICENSE NO. 184-002744  
 (35-002158)  
 EXPIRES 4/30/2007

COMPARE ALL POINTS BEFORE BUILDING BY SAME AND AT  
 THE SAME TIME REPORT ANY DIFFERENCE, FOR BUILDING LINE AND  
 OTHER RESTRICTIONS NOT SHOWN HEREON REFER TO YOUR  
 INSTRUMENT, DEED, CONTRACT AND ZONING ORDINANCE.

NOT VALID UNLESS EMBOSSED

REPORTS OF STANDING COMMITTEE

ADMINISTRATION TECHNOLOGY & COMMUNITY HEALTH – SCOTT LAMERAND, CHAIRMAN

No report.

BUSINESS FINANCE & BUDGET – MIKE JEZIERSKI, CHAIRMAN

No report.

COMMUNITY & ECONOMIC DEVELOPMENT – DAN VARRONEY, CHAIRMAN

ORDINANCE #0-17-09 GRANTING SPECIAL USES FOR LOTS ONE AND TWO IN THE BENTON STREET SUBDIVISION TO ALLOW A YARD IN A FLOODPLAIN AND TO FILL IN A FLOODPLAIN FOR THE PROPERTY LOCATED AT THE NORTHEAST CORNER OF BENTON AND UNIMPROVED WINNETKA STREETS (FLOOD ENTERPRISES, INC.) (BENTON STREET SUBDIVISION) DISTRICT 2 (CONTINUED FROM JANUARY 5, 2009)

Councilman Varroney, seconded by Councilman Lamerand, moved to pass an Ordinance Granting Special Uses for Lots One and Two in the Benton Street Subdivision to Allow a Yard in a Floodplain and to fill in a Floodplain for the Property Located at the Northeast Corner of Benton and Unimproved Winnetka Streets (Flood Enterprises, Inc.) (Benton Street Subdivision)

Village Manager Reid Ottesen explained conditions to protect the surrounding areas from drainage problems.

In response to Councilman Helms, Village Manager Reid Ottesen explained the storm water improvements being provided by the Village in this area.

Councilman Helms cited the condition that if, after lot 1 is developed, the impact on drainage prohibits lot 2 from being developed, lot 2 will have to be returned to original condition based on drainage.

Arnie Sylvestrie, the petitioner, asked about the recapture of the proposed Village storm sewer cost of 7.2% which will be the responsibility of the development.

Village Engineer Mike Danecki explained the computation of the figures and noted that the total cost of the project is not yet known.

**Minutes of the Regular Meeting of the Village Council & COW of February 2, 2009**

**Upon Roll Call: Ayes: Council Members Lamerand, Solberg and Wagner  
Nays: Council Members Varroney and Helms  
Pass: Councilman Jezierski  
Mayor Mullins voted Aye.**

**MOTION CARRIED**

**2. A. PROPOSED ORDINANCE AMENDING PLANNED DEVELOPMENT ORDINANCE #0-31-66 TO PERMIT THE CONSTRUCTION OF A NEW OFFICE CONDOMINIUM BUILDING PROPERTY LOCATED AT 800 E. NORTHWEST HWY. (AEGIS PALATINE LLC & PALATINE OFFICE CONDOS LLC) DISTRICT 6 (CONTINUED FROM JANUARY 5, 2009)**

**Councilman Varroney, seconded by Councilman Wagner, moved to continue this item to February 17, 2009.**

**VOICE VOTE: MOTION CARRIED**

**B. PROPOSED RESOLUTION GRANTING FINAL SUBDIVISION APPROVAL PROPERTY LOCATED AT 800 E. NORTHWEST HWY. (AEGIS PALATINE LLC & PALATINE OFFICE CONDOS LLC) DISTRICT 6 (CONTINUED FROM JANUARY 5, 2009)**

**Councilman Varroney, seconded by Councilman Wagner, moved to continue this item to February 17, 2009.**

**VOICE VOTE: MOTION CARRIED**

**FIRE POLICY & COMMUNITY INFORMATION – BRAD HELMS, CHAIRMAN**

**No report.**

RESOLUTION NO. R-131-08

**A RESOLUTION  
GRANTING FINAL SUBDIVISION APPROVAL  
BENTON STREET SUBDIVISION (CASE NO. 07-151)**

WHEREAS, the Palatine Subdivision Ordinance provides qualifications governing final approval of a Subdivision Plat in Article IV FINAL PLAT; and

WHEREAS, BENTON STREET SUBDIVISION has complied with all the provisions of the Subdivision Ordinance, including a public review before the Plan Commission of the Village of Palatine.

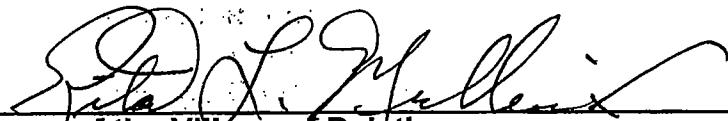
NOW THEREFORE, BE IT RESOLVED by the Mayor and the Village Council of the Village of Palatine, that the Mayor and the Village Clerk be and are hereby directed and authorized to execute the final plat of subdivision "BENTON STREET SUBDIVISION" pursuant to the Palatine Subdivision Ordinance Article IV, Sec. 4.01(d)(3)(b) and subject to the following conditions:

1. The Final Plat of Subdivision shall substantially conform to the Plat of Subdivision prepared by Land Technology, Inc. dated and last revised 5/9/08 except as such plat may be changed to conform to Village Codes and Ordinances.
2. Recording fees shall be submitted in a manner and amount acceptable to the Village Clerk.
3. A Subdivision Improvements Agreement shall be completed in a manner acceptable to the Village Attorney.
4. The Final Plat of Subdivision shall be submitted on Mylar with all required signatures.

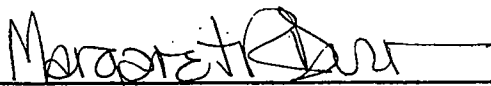
DATED: This 17th day of November, 2008

AYES: 5 NAYS: 1 ABSENT: 0 PASS: 0

APPROVED by me this 17th day of November, 2008

  
\_\_\_\_\_  
Mayor of the Village of Palatine

ATTESTED and FILED in the office of the Village Clerk  
this 17 day of November, 2008

  
\_\_\_\_\_  
Village Clerk

# FINAL PLAT OF BENTON STREET SUBDIVISION

BEING A RESUBDIVISION OF LOT 3 IN ARTHUR T. MONTOSH AND COMPANY'S PALATINE ESTATES UNIT No. 2, IN THE NORTH HALF OF THE NORTHWEST QUARTER OF SECTION 26, TOWNSHIP 42 NORTH, RANGE 42 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS, WITHIN THE VILLAGE OF PALATINE, ILLINOIS

COMMONLY KNOWN AS: 851 S. BENTON STREET  
TOTAL AREA = 89,270.4 SQ. FT. = 2.048 ACRES  
P.L.N. 02-28-105-004

PART OF P.L.N. 14  
ARTHUR T. MONTOSH AND COMPANY'S  
PALATINE ESTATES, UNIT No. 2  
REC. SEPTEMBER 1, 1970 AS DOC. 4584465

LOT 1  
POLYCO SUBDIVISION  
REC. MAY 23, 1978  
AS DOC. 97313616

LOT 1  
2432 SQ. FT.  
0.055 ACRES

LOT 2  
2432 SQ. FT.  
0.055 ACRES

LOT 5  
HENRICY'S RESUBDIVISION OF LOT 4  
REC. MAY 23, 1978 AS DOC. 24460017

LOT 4  
HENRICY'S RESUBDIVISION OF LOT 4  
REC. MAY 23, 1978 AS DOC. 24460017

LOT 3  
HENRICY'S RESUBDIVISION OF LOT 4  
REC. MAY 23, 1978 AS DOC. 24460017

LOT 2  
HENRICY'S RESUBDIVISION OF LOT 4  
REC. MAY 23, 1978 AS DOC. 24460017

LOT 1  
HENRICY'S RESUBDIVISION OF LOT 4  
REC. MAY 23, 1978 AS DOC. 24460017



LOT 6  
BENTON COURT SUBDIVISION  
REC. JAN 13, 2002 AS  
DOC. 0218152245

BENTON COURT  
184.0 ACRES

LOT 7  
BENTON COURT SUBDIVISION  
REC. JAN 13, 2002 AS  
DOC. 0218152245

LOT 8  
BENTON COURT SUBDIVISION  
REC. JAN 13, 2002 AS  
DOC. 0218152245

RETURN PLAT TO:  
FLOOD ENTERPRISES, INC.  
3022 W. CHINA STREET  
MCKENRY, IL 60050

FOR REVIEW AND COMMENT

P.L.N. 02-28-105-004

5th  
ecological, inc.

3022 W. MAIN STREET  
MCKENRY, IL 60050  
PHONE: (815) 385-8220  
FAX: (815) 385-8223  
E-MAIL: LAND@ECI.COM  
WWW.ECOCORP.COM

NOTES:  
1. THIS MAP IS UNRECORDED  
2. THIS MAP IS THE FINAL PLAT  
3. THE PLAT IS SUBJECT TO ALL  
4. THE PLAT IS SUBJECT TO ALL  
5. THE PLAT IS SUBJECT TO ALL

FLOOD  
ENTERPRISES

DATE: 06/10/04  
DRAWN BY: JAL

BENTON STREET  
SUBDIVISION

ARTHUR T. MONTOSH AND  
COMPANY'S PALATINE ESTATES  
UNIT No. 2  
ESTATED UNIT No. 2  
MCKENRY, ILL. SEC. 26, TOWNSHIP 42  
RANGE 42 EAST

PAGE 1 OF 2  
06-321

**From:** "Sharon Hueramo" <Shueram@emhc.org>  
**To:** "Ben Vyverberg" <BVyverberg@palatine.il.us>  
**Date:** 11/25/2008 8:31 AM  
**Subject:** Re: Please find the attached

Hello Ben,

Per our conversation last week I am listing my concerns regarding the regrading of the property behind my lot at Benton & Winnetka.

Please forward to the appropriate person(s).

I will be at the December 1st meeting.

Thank you for your help with my concerns.

#### Special Permit Concerns

#### CHANGING THE GRADE OF THE LAND AT THE SOUTH / EAST CORNER OF THE LOT AT BENTON & WINNETKA:

- 1) Why change the grade? Why not bring in new soil to build up the area for the new homes?
- 2) What is the square footage of the area proposed to change/move?
- 3) Will all the trees be removed? If not, what portion?
- 4) How will the grade change measure against the affected lots? (Will it be a noticeable drop or a gradual slope?)
- 5) Would the new grade create a pond or water retention, where accumulated water would sit and become stagnant creating an unpleasant odor for the adjacent neighbors or worse creating a birthing center environment for mosquitoes?
- 6) What is the plan for the area after it has been graded?

Sharon Hueramo  
Accounting Manager, Elmhurst Clinic  
(630) 834-1120 x 73554  
shueram@emhc.org

>>> "Ben Vyverberg" <BVyverberg@palatine.il.us> 11/17/2008 10:05 AM >>>

Please find the attached plans detailing the proposal for subdivision that we spoke about at last week's Village Council meeting. This item is scheduled for tonight's Village Council meeting (11/17/08), which begins at 7 PM. The agenda and packet are available on line ([www.palatine.il.us](http://www.palatine.il.us)). If you have additional questions or require more information, do not hesitate to contact me at 847-359 -9047.

Ben

Ben Vyverberg  
Director of Planning and Zoning  
Village of Palatine

200 E. Wood Street  
Palatine, IL 60067

847-359-9047

The information contained in this electronic mail transmittal is protected by law and is intended only for the use of the designated recipient(s) named above. If the reader of this transmission is not the intended recipient(s), you are notified that any disclosure, dissemination, distribution or duplication of its contents is strictly prohibited. If you have received this transmittal in error, please notify the sender by return e-mail and delete the transmittal immediately. Thank you.

Public Notice

A public hearing will be held before the Village Council on Monday, August 16, 2010 at 7:00 PM, in the Village Council Chambers in the Palatine Community Center, 200 E. Wood Street, relative to a request for:

1. Special Use to permit a yard in a flood plain pursuant to Section 6.08(d) (2) (a) of the Palatine Code of Ordinance Appendix B, for Lot 2 of Flood Subdivision.

The property is commonly known as the vacant lot immediately South of 947 S. Benton Street (PIN #02-26-105-004).

The above petition has been filed by David Flood of Flood Enterprises and is available for examination in the office of the Village Clerk, 200 E. Wood Street.

ZONING DOCKET#: 07-151  
VILLAGE OF PALATINE  
Margaret Duer,  
Village Clerk

DATED: This July 31, 2010  
Published in Daily Herald  
July 31, 2010 (4224906)N

CERTIFICATE OF PUBLICATION

Paddock Publications, Inc.

Daily Herald

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County(ies) of Cook, Kane, Lake, McHenry and State of Illinois, continuously for more than one year prior to the date of the first publication of the notice hereinafter referred to and is of general circulation throughout said Village(s), County(ies) and State.

I further certify that the DAILY HERALD is a newspaper as defined in "an Act to revise the law in relation to notices" as amended in 1992 Illinois Compiled Statutes, Chapter 7150, Act 5, Section 1 and 5. That a notice of which the annexed printed slip is a true copy, was published July 31, 2010 in said DAILY HERALD.

IN WITNESS WHEREOF, the undersigned, the said PADDOCK PUBLICATIONS, Inc., has caused this certificate to be signed by, this authorized agent, at Arlington Heights, Illinois.

PADDOCK PUBLICATIONS, INC.  
DAILY HERALD NEWSPAPERS

BY Holly Bratanick  
Authorized Agent

Control # 4224906

**TYPE:** ORDINANCE      **SUBMITTED BY:** PLANNING & ZONING      **DATE:** 8/16/2010  
**DESCRIPTION:** Consideration of a Special Use to permit a yard in a flood plain pursuant to Section 6.08 (d)(2)(a) of Appendix B for the property commonly known as the lot south of 947 S. Benton Street.  
(Flood Enterprises, Inc. - Case No. 07-151)      (District 2)

**COMMITTEE ACTION:**

**DATE:**

**BACKGROUND:**

The subject property is known as Lot 2 in the Benton Street Subdivision. A Subdivision was previously approved along with Special Uses to allow the construction of a residence on Lot 1 and grading improvements throughout the subdivision. The Village Council withheld a special Use for a yard in a flood plain for Lot 2, pending the completion of several conditions related to storm sewer improvements and a review of the impacts of the final grading plan on storm water management. These conditions have since been completed. Therefore, the Petitioner is seeking:

**Special Use to permit a yard in a flood plain pursuant to Section 6.08 (d)(2)(a) of Appendix B for the property commonly known as the lot south of 947 S. Benton Street.**

**ANALYSIS:**

- On February 2, 2009 the Village Council approved Ordinance #O-17-09 granting Special Uses to allow the development of Benton Street Subdivision which included yards in the flood plain and fill in the flood plain. Prior to allowing a full review for a yard in the flood plain for Lot 2, the Village Council added condition #3 to the Ordinance as follows:

**Condition #3a** - In order to measure the effectiveness of the new storm sewer (Winnetka Avenue), among other locations, run-off measurements shall be collected at the drainage structure proximate to the northeast corner of the Lot 1 prior to and after the construction of the Winnetka Avenue Storm Sewer. Additionally, once this storm sewer project has been completed and after the occurrence of a 2.5 inch rain event in a 24-hour period or other significant rain event deemed sufficient by the Village Engineer to test the operation of the new storm sewer and determine that it functions adequately. **This has been completed to the satisfaction of the Village Engineer.**

**Condition #3b** - All of the subdivision grading has been completed in accordance with the approved plans and the Village Engineer has determined that no new adverse impacts to the adjacent properties have been created as a result. The Petitioner shall be solely responsible for returning all of Lot 2 to its pre-altered elevations in a state satisfactory to the Village Engineer; if corrective measures acceptable to the Village Engineer to remedy any new adverse impacts have not been implemented. **This has been completed to the satisfaction of the Village Engineer.**

**Condition #3c** - No building permit shall be issued for the construction of a home on Lot 2 unless conditions 3 (a) and 3 (b) outlined above have been satisfied and the Village Council has granted approval of the Special Use to permit a yard in a floodplain for Lot 2. **The Petitioner is requesting approval of the Special Use at this time so that they would be eligible for a building permit for Lot 2.**

The Village received a letter of inquiry from an adjoining property owner (enclosed for your review). The Village Engineer has reviewed the correspondence and is satisfied with the engineering measures taken to date for this development and Village controls in place.

**ALTERNATIVES:**

1. Recommend approval of the Special Use.
2. Do not recommend approval of the Special Use.

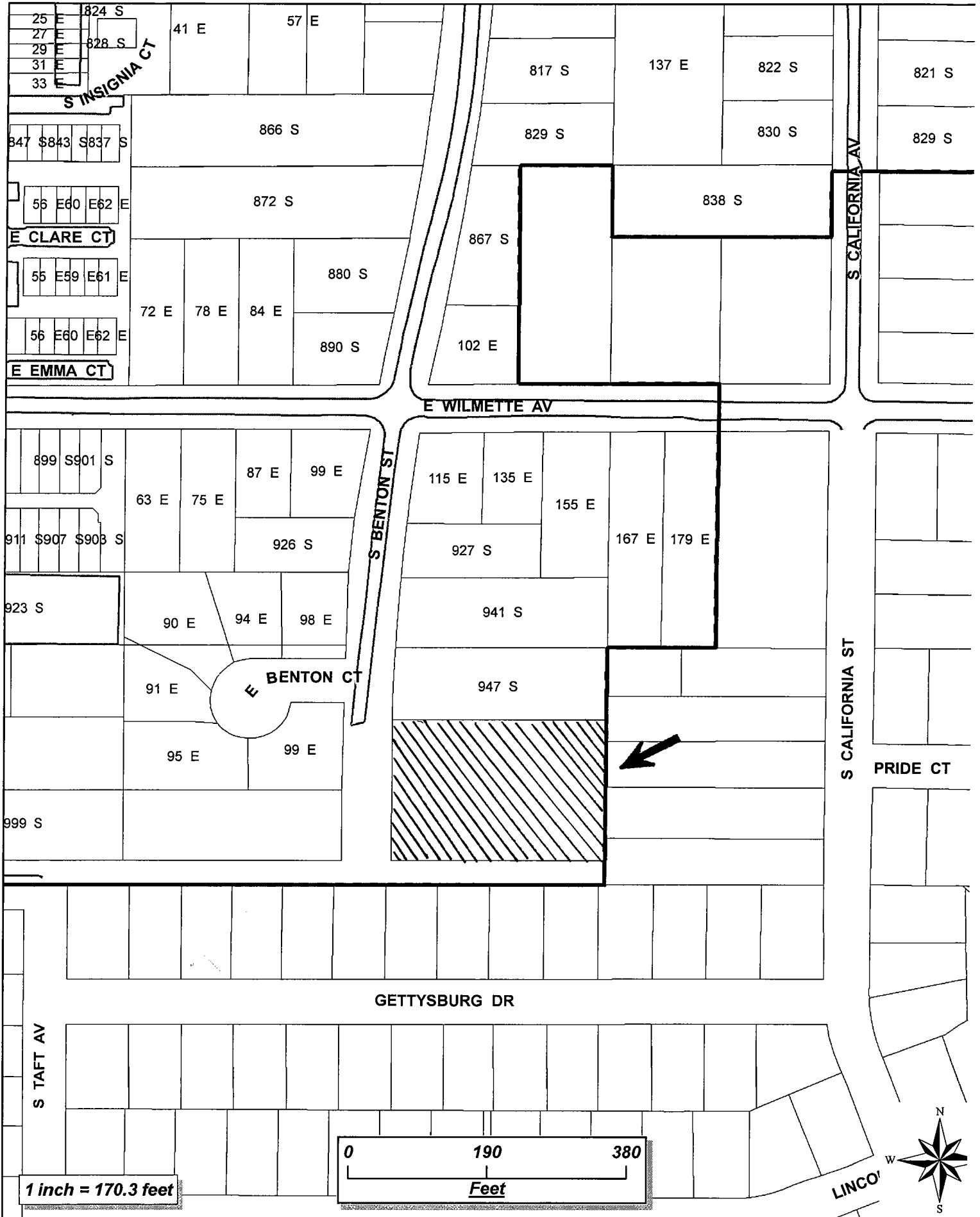
**RECOMMENDATION:**

Staff recommends approval of the Special Use:

**ACTION REQUIRED:**

Consider approval of an Ordinance granting a Special Use to permit a yard in a flood plain pursuant to Section 6.08 (d)(2)(a) of Appendix B for the property commonly known as the lot south of 947 S. Benton Street.

# VILLAGE OF PALATINE BENTON STREET SUBDIVISION



*Lot Analysis for Benton Street Subdivision*

	<b>Lot Area</b>	<b>Lot Width</b>
<b>Lot 1</b>	29,932 sf.	100'
<b>Lot 2</b>	59,337 sf.	198'
<b>R-1 Standards</b>	20,000 sf.	100'

RESOLUTION NO. R-131-08

**A RESOLUTION  
GRANTING FINAL SUBDIVISION APPROVAL  
BENTON STREET SUBDIVISION (CASE NO. 07-151)**

WHEREAS, the Palatine Subdivision Ordinance provides qualifications governing final approval of a Subdivision Plat in Article IV FINAL PLAT; and

WHEREAS, BENTON STREET SUBDIVISION has complied with all the provisions of the Subdivision Ordinance, including a public review before the Plan Commission of the Village of Palatine.


NOW THEREFORE, BE IT RESOLVED by the Mayor and the Village Council of the Village of Palatine, that the Mayor and the Village Clerk be and are hereby directed and authorized to execute the final plat of subdivision "BENTON STREET SUBDIVISION" pursuant to the Palatine Subdivision Ordinance Article IV, Sec. 4.01(d)(3)(b) and subject to the following conditions:

1. The Final Plat of Subdivision shall substantially conform to the Plat of Subdivision prepared by Land Technology, Inc. dated and last revised 5/9/08 except as such plat may be changed to conform to Village Codes and Ordinances.
2. Recording fees shall be submitted in a manner and amount acceptable to the Village Clerk.
3. A Subdivision Improvements Agreement shall be completed in a manner acceptable to the Village Attorney.
4. The Final Plat of Subdivision shall be submitted on Mylar with all required signatures.


DATED: This 17th day of November, 2008

AYES: 5 NAYS: 1 ABSENT: 0 PASS: 0

APPROVED by me this 17th day of November, 2008

  
\_\_\_\_\_  
Mayor of the Village of Palatine

ATTESTED and FILED in the office of the Village Clerk  
this 17 day of November, 2008

  
\_\_\_\_\_  
Village Clerk

# FINAL PLAT OF BENTON STREET SUBDIVISION

FOR REVIEW AND COMMENT

BEING A RESUBDIVISION OF LOT 3 IN ARTHUR T. MCINTOSH AND COMPANY'S PALATINE ESTATES UNIT No. 2 IN THE NORTH HALF OF THE NORTHWEST QUARTER OF SECTION 26, TOWNSHIP 42 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.  
 COMMONLY KNOWN AS: 851 S. BENTON STREET  
 TOTAL AREA = 89,270.4 Sq.Ft. = 2.049 ACRES  
 P.I.N. 02-26-105-004

PART OF LOT 2 IN B.K. 14  
 ARTHUR T. MCINTOSH AND COMPANY'S  
 PALATINE ESTATES UNIT No. 2  
 REC. SEPTEMBER 1 1926 AS DOC. 4389456

LOT 1  
 POLCON SUBDIVISION  
 REC. MAY 5, 1997  
 AS DOC. 97313818

LOT 5  
 HENRY'S RESUBDIVISION OF LOT 4  
 REC. MAY 23, 1978 AS DOC. 24460017

LOT 4  
 HENRY'S RESUBDIVISION OF LOT 4  
 REC. MAY 23, 1978 AS DOC. 24460017

LOT 3  
 HENRY'S RESUBDIVISION OF LOT 4  
 REC. MAY 23, 1978 AS DOC. 24460017

LOT 2  
 HENRY'S RESUBDIVISION OF LOT 4  
 REC. MAY 23, 1978 AS DOC. 24460017

LOT 1  
 HENRY'S RESUBDIVISION OF LOT 4  
 REC. MAY 23, 1978 AS DOC. 24460017

PIN: #02-26-105-004

Land  
 echnology,inc.

3922 W. MAIN STREET  
 McHENRY, IL 60050  
 PHONE: (815)363-9200  
 FAX: (815)363-9223  
 E-MAIL: LANDTECH  
 LANDTECHONLINE.COM  
 ILLINOIS PROFESSIONAL DESIGN FIRM  
 No. 181-00331

- NOTES:
1. THERE MAY BE UNDERGROUND UTILITIES THAT ARE NOT SHOWN HEREON.
  2. UNLESS OTHERWISE NOTED, ONLY THOSE EASEMENTS AND SERVICE LINES THAT ARE INDICATED ON THE RECORDED SUBDIVISION PLAN AND THAT AFFECT THE SUBJECT PARCEL ARE SHOWN HEREON.
  3. CONFORME ALL NOTES BEFORE BUILDING AND REPORT ANY DIFFERENCES TO SURVEYOR.
  4. NO DIMENSIONS ARE TO BE ASSUMED BY SCALE MEASUREMENTS.
  5. THIS PLAT OF SURVEY IS VOID WITHOUT THE SEAL AND ORIGINAL SIGNATURE OF THE SURVEYOR.

CLIENT:  
**FLOOD ENTERPRISES**

DRAWN BY: JMB

CHECK'D BY: JMB

1:1000 (AS SHOWN ON PLAT)

DATE: 05/09/08

**BENTON STREET SUBDIVISION**  
 ARTHUR T. MCINTOSH AND COMPANY'S PALATINE ESTATES UNIT No. 2  
 N.3/4 NW.1/4 SEC. 26, T42N, R10E

PAGE 1 OF 2

DRAWING NUMBER:  
 06-321



LOT 5  
 BENTON STREET SUBDIVISION  
 REC. JUNE 13, 2003 AS  
 DOC. 0318436245

BENTON COURT  
 (66' W.I.D.W.)

LOT 1  
 BENTON STREET SUBDIVISION  
 REC. JUNE 13, 2003 AS  
 DOC. 0318436245

ART. T. B.K. 14  
 ARTHUR T. MCINTOSH AND COMPANY'S  
 PALATINE ESTATES UNIT No. 2  
 REC. SEPTEMBER 1 1926 AS DOC.  
 4389456

RETURN PLAT TO:  
 LAND TECHNOLOGY, INC.  
 3922 W. MAIN STREET  
 McHENRY, IL 60050

SEND NEXT TAX BILL TO:  
 FLOOD ENTERPRISES, INC.  
 2450 BARNHART  
 WEST CHICAGO, ILLINOIS 60185

WINNETKA AVE.  
 (UNIMPROVED)

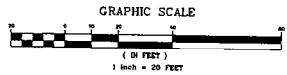


EXHIBIT "A"

# FINAL PLAT OF BENTON STREET SUBDIVISION

BEING A RESUBDIVISION OF LOT 3 IN ARTHUR T. MONTGOMERY AND COMPANY'S PALMINE ESTATES UNIT No. 2 IN THE NORTH-HALF OF THE NORTHWEST QUARTER OF SECTION 26, TOWNSHIP 42 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN IN COOK COUNTY, ILLINOIS.  
COMMONLY KNOWN AS 851 S. BENTON STREET  
TOTAL AREA = 89,270.4 SQ. FT. = 2.048 ACRES  
P.L.N. 02-26-105-004

FOR REVIEW AND COMMENT

**OWNER'S CERTIFICATE**  
STATE OF ILLINOIS ) S.S.  
COUNTY OF COOK ) S.S.

I, DAVID J. MONTGOMERY, the owner of the above described premises, do hereby certify that the plat hereon is a true and correct representation of the actual conditions on the ground and that the same conform to the provisions of the laws of the State of Illinois relating to the subdivision of land.

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D. 2008.

OWNER

**NOTARY PUBLIC CERTIFICATE**

STATE OF ILLINOIS ) S.S.  
COUNTY OF COOK ) S.S.

I, DAVID J. MONTGOMERY, a Notary Public in and for the State of Illinois, do hereby certify that the above described premises are situated in the County of Cook, State of Illinois, and that the same are being subdivided into lots as shown on the plat hereon, and that the same conform to the provisions of the laws of the State of Illinois relating to the subdivision of land.

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D. 2008.

NOTARY PUBLIC

**SURFACE WATER DRAINAGE CERTIFICATE**

STATE OF ILLINOIS ) S.S.  
COUNTY OF COOK ) S.S.

I, DAVID J. MONTGOMERY, the owner of the above described premises, do hereby certify that the plat hereon is a true and correct representation of the actual conditions on the ground and that the same conform to the provisions of the laws of the State of Illinois relating to the subdivision of land.

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D. 2008.

OWNER

**SCHOOL DISTRICT CERTIFICATE**

STATE OF ILLINOIS ) S.S.  
COUNTY OF COOK ) S.S.

I, DAVID J. MONTGOMERY, the owner of the above described premises, do hereby certify that the plat hereon is a true and correct representation of the actual conditions on the ground and that the same conform to the provisions of the laws of the State of Illinois relating to the subdivision of land.

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D. 2008.

OWNER

**SURVEYOR'S CERTIFICATE**

STATE OF ILLINOIS ) S.S.  
COUNTY OF COOK ) S.S.

I, DAVID J. MONTGOMERY, the owner of the above described premises, do hereby certify that the plat hereon is a true and correct representation of the actual conditions on the ground and that the same conform to the provisions of the laws of the State of Illinois relating to the subdivision of land.

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D. 2008.

OWNER

**VILLAGE COUNCIL**  
STATE OF ILLINOIS ) S.S.  
COUNTY OF COOK ) S.S.

I, DAVID J. MONTGOMERY, the owner of the above described premises, do hereby certify that the plat hereon is a true and correct representation of the actual conditions on the ground and that the same conform to the provisions of the laws of the State of Illinois relating to the subdivision of land.

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D. 2008.

OWNER

**VILLAGE ENGINEER**

STATE OF ILLINOIS ) S.S.  
COUNTY OF COOK ) S.S.

I, DAVID J. MONTGOMERY, the owner of the above described premises, do hereby certify that the plat hereon is a true and correct representation of the actual conditions on the ground and that the same conform to the provisions of the laws of the State of Illinois relating to the subdivision of land.

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D. 2008.

OWNER

**PLANNING COMMISSION**

STATE OF ILLINOIS ) S.S.  
COUNTY OF COOK ) S.S.

I, DAVID J. MONTGOMERY, the owner of the above described premises, do hereby certify that the plat hereon is a true and correct representation of the actual conditions on the ground and that the same conform to the provisions of the laws of the State of Illinois relating to the subdivision of land.

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D. 2008.

OWNER

**PLANNING COMMISSION**

STATE OF ILLINOIS ) S.S.  
COUNTY OF COOK ) S.S.

I, DAVID J. MONTGOMERY, the owner of the above described premises, do hereby certify that the plat hereon is a true and correct representation of the actual conditions on the ground and that the same conform to the provisions of the laws of the State of Illinois relating to the subdivision of land.

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D. 2008.

OWNER

**PUBLIC UTILITY AND DRAINAGE EASEMENT PROVISIONS**

AN INDIVIDUAL EASEMENT FOR SERVING THE SUBDIVISION AND OTHER PROPERTY IS HEREBY GRANTED TO THE COOK COUNTY WATER SUPPLY AND DISTRIBUTION DEPARTMENT FOR THE COLLECTION, CONVEYANCE AND DISTRIBUTION OF WATER TO THE VILLAGE OF PALMINE, COOK COUNTY, ILLINOIS. THE EASEMENT SHALL BE IN FULL FORCE AND EFFECT FROM THE DATE OF RECORDATION OF THIS PLAT TO THE END OF THE TERM OF THE SUBDIVISION. THE EASEMENT SHALL BE SUBJECT TO THE PROVISIONS OF THE ILLINOIS EASEMENT ACT, 765 ILCS 10/1-10/10. THE EASEMENT SHALL BE SUBJECT TO THE PROVISIONS OF THE ILLINOIS EASEMENT ACT, 765 ILCS 10/1-10/10. THE EASEMENT SHALL BE SUBJECT TO THE PROVISIONS OF THE ILLINOIS EASEMENT ACT, 765 ILCS 10/1-10/10.

**COUNTY RECORDER CERTIFICATE**  
STATE OF ILLINOIS ) S.S.  
COUNTY OF COOK ) S.S.

I, DAVID J. MONTGOMERY, the owner of the above described premises, do hereby certify that the plat hereon is a true and correct representation of the actual conditions on the ground and that the same conform to the provisions of the laws of the State of Illinois relating to the subdivision of land.

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D. 2008.

OWNER

**COUNTY CLERK'S CERTIFICATE**

STATE OF ILLINOIS ) S.S.  
COUNTY OF COOK ) S.S.

I, DAVID J. MONTGOMERY, the owner of the above described premises, do hereby certify that the plat hereon is a true and correct representation of the actual conditions on the ground and that the same conform to the provisions of the laws of the State of Illinois relating to the subdivision of land.

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D. 2008.

OWNER

**VILLAGE COUNCIL APPROVAL**

STATE OF ILLINOIS ) S.S.  
COUNTY OF COOK ) S.S.

I, DAVID J. MONTGOMERY, the owner of the above described premises, do hereby certify that the plat hereon is a true and correct representation of the actual conditions on the ground and that the same conform to the provisions of the laws of the State of Illinois relating to the subdivision of land.

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D. 2008.

OWNER

**VILLAGE CLERK: MAKE OVER**

STATE OF ILLINOIS ) S.S.  
COUNTY OF COOK ) S.S.

I, DAVID J. MONTGOMERY, the owner of the above described premises, do hereby certify that the plat hereon is a true and correct representation of the actual conditions on the ground and that the same conform to the provisions of the laws of the State of Illinois relating to the subdivision of land.

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D. 2008.

OWNER

**DRAINAGE EASEMENT PROVISIONS**

AN INDIVIDUAL EASEMENT FOR SERVING THE SUBDIVISION AND OTHER PROPERTY IS HEREBY GRANTED TO THE COOK COUNTY WATER SUPPLY AND DISTRIBUTION DEPARTMENT FOR THE COLLECTION, CONVEYANCE AND DISTRIBUTION OF WATER TO THE VILLAGE OF PALMINE, COOK COUNTY, ILLINOIS. THE EASEMENT SHALL BE IN FULL FORCE AND EFFECT FROM THE DATE OF RECORDATION OF THIS PLAT TO THE END OF THE TERM OF THE SUBDIVISION. THE EASEMENT SHALL BE SUBJECT TO THE PROVISIONS OF THE ILLINOIS EASEMENT ACT, 765 ILCS 10/1-10/10. THE EASEMENT SHALL BE SUBJECT TO THE PROVISIONS OF THE ILLINOIS EASEMENT ACT, 765 ILCS 10/1-10/10. THE EASEMENT SHALL BE SUBJECT TO THE PROVISIONS OF THE ILLINOIS EASEMENT ACT, 765 ILCS 10/1-10/10.

FOR REVIEW AND COMMENT

DAVID J. MONTGOMERY, OWNER

DAVID J. MONTGOMERY, OWNER

DAVID J. MONTGOMERY, OWNER

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FOR REVIEW AND COMMENT

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DAVID J. MONTGOMERY, OWNER

FOR REVIEW AND COMMENT

DAVID J. MONTGOMERY, OWNER

DAVID J. MONTGOMERY, OWNER

DAVID J. MONTGOMERY, OWNER

EXHIBIT "A"

**TYPE: ORDINANCE & RESOLUTION SUBMITTED BY: PLANNING & ZONING DATE: 11/17/2008**  
**DESCRIPTION: Consideration of 1) Preliminary and Final Plat of Subdivision; 2) Special Use to allow a yard in a floodplain; and 3) Special Use to fill in a floodplain for the property at the Northeast corner of Benton and unimproved Winnetka Streets.**

(Flood Enterprises, Inc. – Case #07-151)

(District: 2)

**COMMITTEE ACTION:**

**DATE:**

**BACKGROUND:**

The Subject Property, approximately 2.025 acres, is currently vacant. The Petitioner, owner of the property, is proposing to subdivide the property into two lots and construct two new single-family residences. Therefore, the Petitioner is requesting:

- 1. Preliminary and Final Plat of Subdivision to permit a 2-lot single-family residential subdivision.**
- 2. Special Use to permit a yard in a floodplain pursuant to Section 6.08 (d) (2) (a) of the Palatine Code of Ordinances Appendix B; and**
- 3. Special Use to permit filling of land in a floodplain pursuant to Section 6.08 (d) (2) (d) of the Palatine Code of Ordinances Appendix B.**

**ANALYSIS:**

- The Petitioner is proposing to subdivide the property into two lots and construct two new single-family residences. The proposed lots would conform to the minimum standards of the R-1 residential district and would be a by-right subdivision. The attached table provides an analysis of the proposed lots. The proposed residences would conform to the setback requirements and bulk restrictions of the R-1 zoning district.
- There are significant floodplain constraints on the property. In order to create two usable building pads, the Petitioner is proposing to fill in portions of the floodplain and provide compensatory storage in the amount of 110% the amount of fill, pursuant to the Subdivision Regulations.
- The engineering plans indicate "Possible Deck Location". Any deck in this location requires a separate Special Use. Because no architectural plans are submitted, no Special Use can be granted with this proposal.
- Almost all of the entire property, outside of the building pads, would be below the floodplain elevation and located in a drainage easement. No structures are permitted in this easement and staff is requiring that restrictive covenants, identifying the restrictions and limitations for structures and uses be recorded against this property in a manner acceptable to the Village Attorney.
- Benton Street would not be extended with this proposal. Currently, the Benton Street right-of-way terminates into a substandard unimproved right-of-way known as Winnetka Street. Winnetka Street is a 40' right-of-way and the Village does not have plans to improve Winnetka Street.
- New storm sewers would be installed to improve drainage on the property. An existing storm sewer in this location is not functioning properly and would be abandoned. Sanitary services would be provided by existing services in the Benton Street right-of-way. In order to reach these services, the residences would need to utilize a forcemain ejector system to pump effluent to the gravity sewer.

**ALTERNATIVES:**

1. Recommend approval of the Subdivision and Special Uses
2. Recommend approval of the Subdivision and denial of the Special Uses

**RECOMMENDATION:**

**Public Hearing:** November 4, 2008, Plan Commission

**Residents Testifying:** Three

**Concerns:** Drainage concerns, future development patterns

**Vote:** The Plan Commission voted unanimously to approve the request. Staff recommends action at the Village Council's discretion regarding the requested Special Uses.

**ACTION REQUIRED:**

Consider approval and Ordinance and Resolution granting of 1) Preliminary and Final Plat of Subdivision; 2) Special Use to allow a yard in a floodplain; and 3) Special Use to fill in a floodplain for the property at the Northeast corner of Benton and unimproved Winnetka Streets.

*Lot Analysis for Benton Street Subdivision*

	<b>Lot Area</b>	<b>Lot Width</b>
<b>Lot 1</b>	29,932 sf.	100'
<b>Lot 2</b>	59,337 sf.	198'
<b>R-1 Standards</b>	20,000 sf.	100'

PLAN COMMISSION  
Tuesday, November 4, 2008

Present: Dennis Dwyer, Russ Smith, Patrick Noonan, Conrad Hansen, Teri Williams, Liz Noe, Sally Sinacore, Dave Seiffert, Matthew Lewandowski, Village Engineer Mike Danecki, Planner Kevin Anderson.  
Absent: Ben Applegate, Katherine Sawyer.

The minutes of the October 7 meeting were approved as distributed.

**Report of Public Hearing – Case 08-69 – 268 S. Crescent ave. & 714 W. Brookside st.**

Planner Anderson said the petitioner has requested a second continuance until November 18 in an effort to confer about the proposal with neighbors.

Mrs. Williams moved, Noonan seconded that the public hearing be continued until November 18.

Unanimously carried  
(9-0)

**Report of Public Hearing – Case 07-151 – Northeast Corner of Benton st. and Unimproved Winnetka ave.**

The notice of public hearing was read by the chairman. The petitioner in Case 07-151, Flood Enterprises, seeks approval of a preliminary and final plat of subdivision to permit a 2-lot single family residential subdivision; approval of a special use to allow a yard in a flood plain; approval of a special use to permit filling of a flood plain for a 2.025 acre parcel at the northeast corner of Benton st. and unimproved Winnetka ave. (PIN 02-26-105-004)

The following petitioner's exhibits were introduced:

1. Petition for approval of a preliminary and final plat of subdivision
2. Palatine Real Estate Interest Disclosure Form
3. Warranty Deed
4. Plat of Survey
5. Plat of Subdivision
6. Engineering plans revised May 14, 2008

The following persons were sworn in to present the petition:

Arnie Sylvestrie  
Natalie Karney, engineer  
Jerry Kissner

plan commission  
tuesday, november 4, 2008

page 2

Sylvestrie said the petitioner proposes to build two homes that would in keeping with the rest of the community. He said a storm water line runs on the southern portion of the site. The developer plans to build the home on the south first to ensure the flood infrastructure is in place. He said the site would not be filled. Instead, the developer will be cutting soil out to create compensatory storage and to remove peat. He proposes to build private driveways from Benton st. which will remain as it is currently.

Kevin Anderson was sworn in. He said the property is currently zoned R1. The proposal conforms to R1 requirements. But, the flood plain's existence puts constraints upon development. He said the developer will have to fill to be able to build foundations. The buildings will be islands surrounded by drainage easements. Any future appurtenances, such as sheds or swing sets, will be prohibited by law, since all property surrounding the homes will be flood plain. Any decks would require a special use.

When this item was originally scheduled for a June 3, 2008 public hearing, staff believed that a required storm sewer extension could be funded through federal monies. Shortly before that hearing, it became apparent that this sewer project would not be eligible for the federal funding. Without the sewer installation this project could not proceed since an existing storm sewer in this location is not functioning properly and would need to be abandoned. Since June, the Village's capital improvements budget has been reorganized to accommodate the sewer construction.

Anderson said sanitary services would be provided by existing services in the Benton st. right-of-way. In order to reach these services, residences would need to use a forcemain ejector system to pump effluent to the gravity sewer.

Anderson noted that three vacant parcels are still in the neighborhood adjacent to Plum Grove rd. He said he does not know the future use of these parcels, but their ultimate development may influence the future extension of Benton st. He noted that the terminus of the Benton st. right-of-way is unimproved Winnetka st., a 40-foot right-of-way, for which the village has no future development plans.

Mike Danecki was sworn in. He said that to extend Benton st. to Winnetka would require special support since the parcel contains between eight and 22 feet of peat.

Kissner described the earth as "broken down peaty material." It is "weak soil," he added, requiring 3 feet of undercut to remove. He said the cut for house #2, the southern house, would be 17 feet deep. He anticipates caisson or pile foundations. Homes will have basements, he added.

Anderson said the village attorney recommends a restrictive covenant accompany the property so future owners would know what is prohibited.

plan commission  
tuesday, november 4, 2008

page 3

All persons who wished to address the petition were sworn in.

Lauren Doppelt, 115 E. Wilmette, said he is concerned about two things: water and destruction of property by heavy construction equipment.

1. Concerning water, he stated that the Capital Homes developer diverted water to the wrong place. Therefore, in the 2008 spring storms, water was at the top of the fire hydrant. There is too much standing water now, he said. How is the village going to handle this? The area is already stressed.
2. Capital Homes messed up the parkways with their heavy equipment, he said, claiming he spent \$2,000 restoring his parkway. He doesn't want to have to do this again.

Developers are responsible for restoring parkways. If public space is damaged somewhere away from the development site, the village should be notified, he said.

Danecki said the subject property is the low point of the area. Plus the sewer has collapsed. The property is surrounded by drain tile, he noted, taking water to Rolling Meadows at Taft. No upsizing is possible, because the water flows to a different municipality. Improvements will be increased by 10 percent for water held on site, he added, noting that though additional runoff will be created, it will be picked up by a replacement storm sewer.

Natalie Karney, engineer, said she has maintained the same volume of run-off plus 10 percent more based on a 100-year storm storage. She noted that a house did exist on lot #1 previously, so the only increase in impervious surface will come from lot #2.

Mark Mayo, 4542 Gettysburg, asked what might cause an extension to Benton st. Anderson responded, "New construction or fire department requirements."

Mayo said he is concerned about the development of Winnetka st. which would make his property sandwiched between two streets. Danecki said the Winnetka st. right-of-way is not in Palatine's jurisdiction. Also, a 40-foot right-of-way is substandard for Palatine needs.

Richard Cichanski, 135 E. Wilmette, said flooding increased every time a new house was added to Wilmette st. His house was the first to be built on that street, he said. He feels standing water is a health hazard, and he would oppose the construction of any new homes until the flooding issues are fixed first.

plan commission  
tuesday, november 4, 2008

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**Staff Recommendation**

The proposed subdivision meets or exceeds all restrictions of the ordinance and would be by right. However, the Special Uses are the foremost request in determining if this development would be constructed as proposed. The Village Engineer has expressed concerns relating to the long term maintenance of the property and poor soil conditions. Staff recommends approval of the subdivision and action at the discretion of the Plan Commission related to the Special Uses subject to the following conditions:

1. The development shall substantially conform to the engineering plans by Land Technology, Inc. dated and last revised 5/14/08 and attached hereto as Exhibit 'A', except as such plans may be changed to conform to Village Codes and Ordinances and the following conditions:
2. A letter of credit in the amount of \$90,983.53 shall be submitted.
3. Review fees in the amount of \$2,894.93 shall be submitted.
4. Cash-in-lieu of detention shall be paid in the amount of \$3,056.62.
5. Recaptures for the new storm sewer shall be paid in a manner and amount acceptable to the Village Engineer.
6. A NPDES permit shall be submitted.
7. A restrictive covenant shall be recorded with the county in a manner acceptable to the Village attorney which explicitly identifies the restrictions on structures and uses of the property.
8. The Final Plat of Subdivision shall substantially conform to the Plat of Subdivision prepared by Land Technology, Inc. dated and last revised 5/9/08 except as such plat may be changed to conform to Village Codes and Ordinances.
9. Recording fees shall be submitted in a manner and amount acceptable to the Village Clerk.
10. A Subdivision Improvements Agreement shall be completed in a manner acceptable to the Village Attorney.
11. The Final Plat of Subdivision shall be submitted on Mylar with all required signatures.
12. Before presentation for village council approval, the issues of soils engineering and construction of utilities on the site shall be resolved.

Anderson said wording of Condition #12 shall be finalized before submission to the village council.

Doppelt asked if storm water retention could be increased to 115 percent or 120 percent. He was reminded that one single family home can be constructed by right on this parcel today. The village requires that the new storm sewer be completed before the second house is built.

plan commission  
tuesday, november 4, 2008

page 5

Sylvestrie noted again that the collapsed storm sewer that goes down the east side of his parcel is a major part of the problem. When it is fixed, everyone in the area will be helped, he said. He noted that the two Flood brothers will be living in the homes. Proposed decks would be 3 to 4 feet off the ground. They would not affect the water situation, he said.

Sylvestrie said his client is able to comply with all staff conditions.

The public hearing was closed at 9:05 p.m.

Mrs. Noe asked again about the extension of Benton st. Anderson responded that it would not be extended to this development. An extension would only be precipitated by future development further south.

Mrs. Sinacore said she would have to see a new storm sewer functioning before approving.

Anderson said the city of Rolling Meadows is aware of the long term sewer proposal.

#### **RECOMMENDATION**

Mrs. Noe moved, Noonan seconded that the plan commission recommend to the village council that it approve the request of the petitioner in Case 07-151, Flood Enterprises, who seeks approval of a preliminary and final plat of subdivision to permit a 2-lot single family residential subdivision; approval of a special use to allow a yard in a flood plain; approval of a special use to permit filling of a flood plain for a 2.025 acre parcel at the northeast corner of Benton st. and unimproved Winnetka ave. (PIN 02-26-105-004)

Said approval shall be contingent upon petitioner's compliance with 12 staff conditions listed above.

Unanimously carried.  
(9-0)

#### **Report of Public Hearing – Case 08-90 – 985 & 995 W. Kenilworth**

This is a continuation of a public hearing in which the petitioner, Achyut Kalyan Kidali, seeks rezoning from P Planned Development to R2 single family residential for 0.5 acres at 985 and 995 W. Kenilworth ave.

Ravi Chigurupati, representing the petitioner, was sworn in. His client seeks to build two single family homes at 985 and 995 W. Kenilworth ave.

Anderson explained that the lots exist. Previous approval was granted development under a PUD which lapsed in December 2007. Therefore, the lots must either now be rezoned to R2 to restored to P.

DEPT. OF PLANNING AND ZONING  
VILLAGE OF PALATINE

PETITION FOR HEARING

Zoning Docket #	
Property recorded in Torrens	
Filing Fee \$	Date Filed

PRELIMINARY PLAT OF SUBDIVISION

PLEASE TYPE OR PRINT IN INK:

1. Name of Petitioner(s): FLOOD ENTERPRISES INC. DAVID FLOOD  
 Address: 951 S BENTON STREET  
 Telephone No. 630-629-9000 Business No. \_\_\_\_\_

2. Authorized Agent of Petitioner (if different):  
 Name: SAME  
 Address: \_\_\_\_\_  
 Telephone No. \_\_\_\_\_ Business No. \_\_\_\_\_  
 Relationship to Petitioner: \_\_\_\_\_

3. Property Interest of Petitioner(s): OWNER  
 Owner, Lessee, Contract Purchaser, etc.

4. Address of the property for which this application is being filed:  
951 South Benton Street Palatine, Illinois

5. All existing land use(s) on the property are: VACANT

6. The proposed use(s) on the property, if this petition is approved is (are): 2 Residential lots

7. Current zoning of property: R-1

8. State the specific action requested.  
2 Lot Subdivision

9. The petitioner's signature below indicates that the information contained in this application and on any accompanying documents is true and correct to the best of his/her knowledge.

Date: 10/19/2007

[Signature]

PETITIONER'S EXHIBIT

# 1

PUBLIC NOTICE

A public hearing will be held before the Palatine Plan Commission on Tuesday, November 4, 2008, at 8:00 PM, in the Village Council Chambers in the Palatine Community Center, 200 E. Wood Street, relative to a request for the following:

- 1. Preliminary and Final Plat of Subdivision to permit a 2 lot single-family residential subdivision;
- 2. Special Use to permit a yard in a floodplain pursuant to Section 6.08 (d) (2) (a) of the Palatine Code of Ordinances Appendix B; and
- 3. Special Use to permit filling of land in a floodplain pursuant to Section 6.08 (d) (2) (d) of the Palatine Code of Ordinances Appendix B.

The property is commonly known as PIN 02-26-105-004 (aka Northeast corner of Benton Street and unimproved Winnetka Avenue). The proposal would allow the construction of two new single-family residences.

The above petition has been filed by Flood Enterprises, Inc., and is available for examination in the office of the Village Clerk, 200 E. Wood Street.

FILE #: 07-151  
VILLAGE OF PALATINE

Dennis Dwyer, Chair  
Palatine Plan Commission

DATED: This 20th day of October, 2008  
Published in Daily Herald  
October 20, 2008 (4113551)N

CERTIFICATE OF PUBLICATION

Paddock Publications, Inc.

Daily Herald

Corporation organized and existing under and by virtue of the laws of the State of Illinois, DOES HEREBY CERTIFY that it is the publisher of the **DAILY HERALD**. That said **DAILY HERALD** is a secular newspaper and has been circulated daily in the Village(s) of Algonquin, Antioch, Arlington Heights, Barrington, Barrington Hills, Lake Barrington, North Barrington, South Barrington, Bartlett, Batavia, Buffalo Grove, Burlington, Campton Hills, Carpentersville, Cary, Deer Park, Des Plaines, South Elgin, East Dundee, Elburn, Elgin, Elk Grove Village, Fox Lake, Fox River Grove, Geneva, Gilberts, Grayslake, Green Oaks, Gurnee, Hainesville, Hampshire, Hanover Park, Hawthorn Woods, Hoffman Estates, Huntley, Inverness, Island Lake, Kildeer, Lake Villa, Lake in the Hills, Lake Zurich, Libertyville, Lincolnshire, Lindenhurst, Long Grove, Mt. Prospect, Mundelein, Palatine, Prospect Heights, Rolling Meadows, Schaumburg, Sleepy Hollow, St. Charles, Streamwood, Tower Lakes, Vernon Hills, Volo, Wauconda, Wheeling, West Dundee, Wildwood

County(ies) of Cook, Kane, Lake, McHenry  
and State of Illinois, continuously for more than one year prior to the date of the first publication of the notice hereinafter referred to and is of general circulation throughout said Village(s), County(ies) and State.

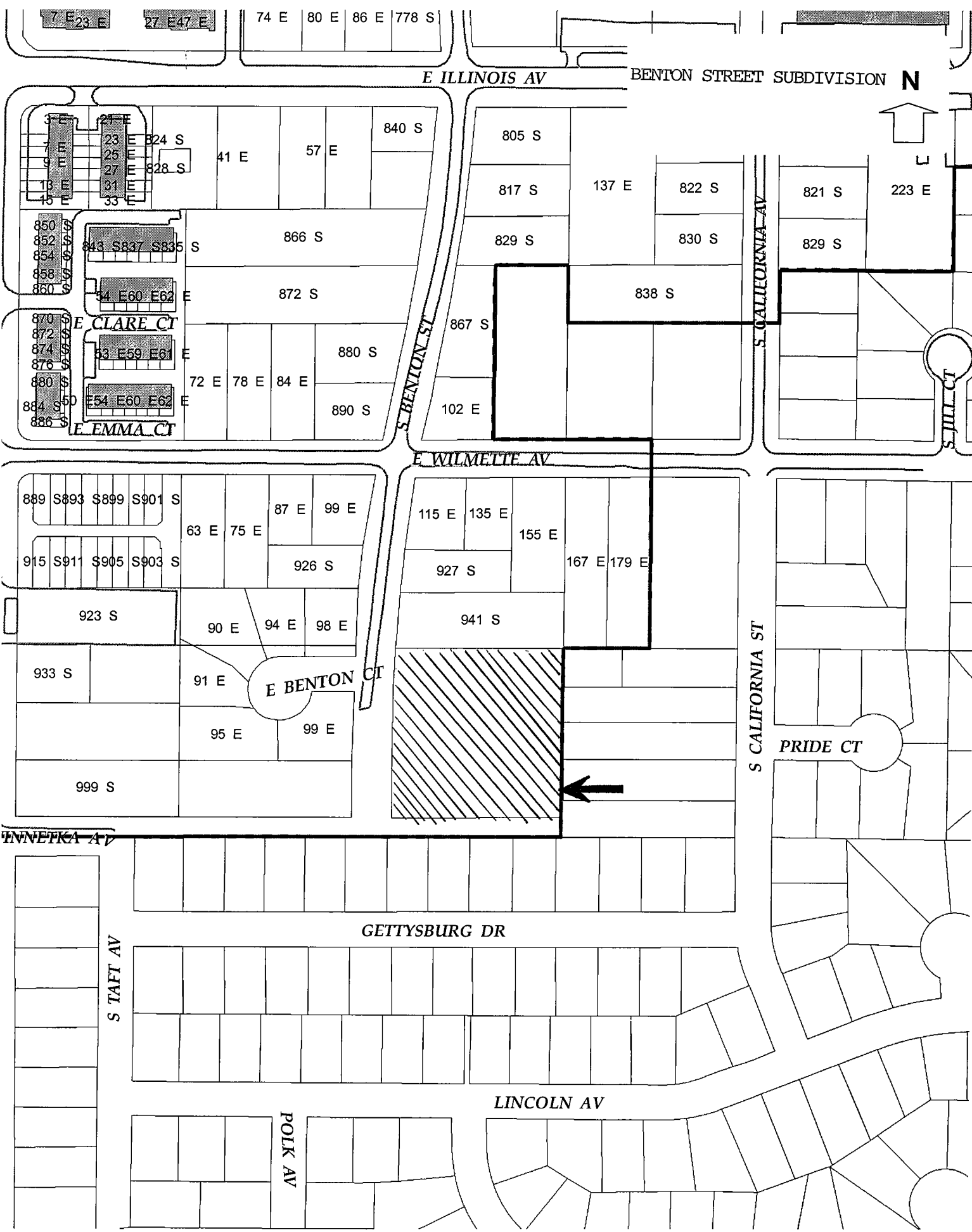
I further certify that the DAILY HERALD is a newspaper as defined in "an Act to revise the law in relation to notices" as amended in 1992 Illinois Compiled Statutes, Chapter 7150, Act 5, Section 1 and 5. That notice of which the annexed printed slip is a true copy, was published October 20, 2008 in said DAILY HERALD.

IN WITNESS WHEREOF, the undersigned, the said PADDOCK PUBLICATIONS, Inc., has caused this certificate to be signed by, this authorized agent, at Arlington Heights, Illinois.

PADDOCK PUBLICATIONS, INC.  
DAILY HERALD NEWSPAPERS

BY Holly Bratonic  
Authorized Agent

Control # 4113551



E ILLINOIS AV

BENTON STREET SUBDIVISION

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S BENTON ST

S CALIFORNIA AV

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E WILMETTE AV

S CALIFORNIA ST

E BENTON CT

PRIDE CT

ANNAPOLIS AV

GETTYSBURG DR

S TAFT AV

LINCOLN AV

POLK AV



Doc#: 1027434079 Fee: \$46.25  
Eugene "Gene" Moore  
Cook County Recorder of Deeds  
Date: 10/01/2010 12:21 PM Pg: 1 of 5

This document prepared by  
and after recording return to:

Patrick T. Brankin  
Schain, Burney, Ross & Citron, Ltd.  
222 North LaSalle Street  
Suite 1910  
Chicago, IL 60601

**DEED RESTRICTION/COVENANT**

951 Benton Subdivision, Palatine, Illinois

WHEREAS, David Flood, hereinafter called the Declarant, is the owner in fee simple of certain real property, which includes certain land area that shall be called "Restricted Property", which Restricted Property is legally described on Exhibit "A", attached hereto.

WHEREAS, the Plat of Subdivision, for 951 Benton Subdivision which was approved by the Village of Palatine ("Village") recorded as document number 1027434079 for the site indicates areas that are to be preserved and protected and deed restricted.

WHEREAS, Declarant desires to construct two single-family homes on the Restricted Property. See Final Plat of Subdivision for the 951 Benton Subdivision for clarification.

WHEREAS, Declarant agrees that were it not for the provisions of this Deed Restriction/Covenant, the development of the Restricted Property would not be allowed.

WHEREAS, Declarant is freely submitting the Restricted Property to the terms of this Deed Restriction / Covenant.

NOW THEREFORE, the Declarant, for and in consideration of the facts recited above and good and/or valuable consideration the receipt, adequacy and sufficiency of which is hereby acknowledged, enters into the following covenants and deed restrictions in perpetuity on behalf of himself/herself, his/her heirs, successors and assigns:

1. The Village will have the right to enforce by proceedings, in law or equity, the covenants and deed restrictions set out herein and this right shall not be waived by one or more incidents of failure to enforce said right;

Village of Palatine  
Village Clerk's Office  
200 E. Wood Street  
Palatine, IL 60067

Pin: 02-26-105-004

2. Employees of the Village will have the right to view the Restricted Property in its natural, scenic, and open condition and the right to enter upon the Restricted Property at all reasonable times for the purpose of inspecting Restricted Property to determine if the Declarant, or his heirs, successors or assigns, are in compliance with the covenants and deed restrictions herein;

3. Without prior express written consent from the Village, there shall be no dredging or fill material of any type placed on the Restricted Property;

4. Without prior express written consent from the Village, there shall be no new or additional utility lines placed overhead or within the Restricted Property, including but not limited to: telephone or other communication lines, electrical, gas, water or sewer;

5. Without prior express written consent from the Village, there shall be no modifications to the hydrology of the Restricted Property, either directly or indirectly, that would allow more water onto, or that would drain water away from, the Restricted Property. Such prohibited modifications include, but are limited to, ditching, changes to any water control structures, repairing of drainage tiles, or alterations to any naturally occurring structures.

6. Without prior express written consent from the Village, no structures, fences, driveways, decks or patios shall be constructed on the Restricted Property and no structures shall include basements or any subsurface foundation.

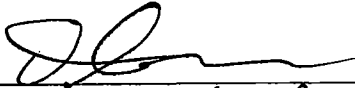
7. The Declarant, on behalf of himself/herself and on behalf of himself/herself and his/her heirs, successors and assigns hereby agrees to indemnify, defend and hold harmless the Village, its elected officials, employees and agents for any cause of action or claims related in any way to the terms of this document or the development of the Restricted Property. This covenant shall survive the sale of a portion or all of the Restricted Property.

8. The land use restrictions and other terms of this document may be changed, modified or revoked only upon written approval of the Village to be effective, such approval must be witnessed, authenticated, and recorded pursuant to law of the State of Illinois.

9. The terms and conditions of this document shall, as of the date of recording of this document, bind the Declarant to the extent of his legal and/or equitable interest in Restricted Property, and; the restrictions contained herein shall run with the land and be binding on the Declarant and his/her heirs and assigns and all future owners of the Restricted Property forever.

10. The terms and conditions of this document and the condition of the soils, existence of flood plain, water table information and indemnification and hold harmless covenants as to the Village shall be explicitly included in any transfer, conveyance, or encumbrance affecting all or any part of the Restricted Property, as set forth in the terms and conditions of this document.

IN WITNESS WHEREOF, said Declarant has caused its corporate seal to be hereto affixed, and has caused its name to be signed, this 13 day of May ~~2010~~ 2010

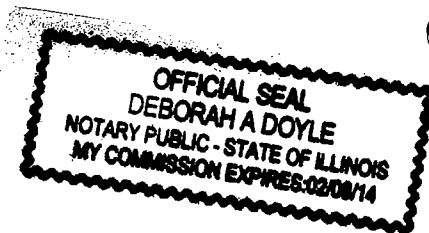
By:   
Name: David Flood  
Its: \_\_\_\_\_

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STATE OF ILLINOIS )  
 ) SS.  
COUNTY OF COOK )

I, Deborah A. Doyle, a notary public in and for said County, in the State aforesaid, DO HEREBY CERTIFY that David Flood of \_\_\_\_\_ as Managing Member, of \_\_\_\_\_, as manager of \_\_\_\_\_ personally known to be to be the same person whose name are subscribed to the foregoing DEED RESTRICTION/COVENANT, appeared before me this day in person and acknowledged that they signed, sealed and delivered the said document, on behalf of the corporation and as their free and voluntary act, for the uses and purposes therein set forth.

GIVEN under my hand and seal, this 13 day of May, ~~2008~~ 2010



Deborah A. Doyle  
Notary Public

Exhibit A

Lots 1 & 2 in the Benton Street Subdivision being a resubdivision of Lot 3 in Block 14 in Arthur T. McIntosh and Company's Palatine Estates Unit No. 2 in the North 1/2 of the N.W. 1/4 of Section 26, Township 42 North, Range 10 East of the Third Principal Meridian, in Cook County Illinois.

PUBLIC NOTICE

A Public Hearing will be held before the Village of Palatine Planning and Zoning Commission on Tuesday April 28, 2026 at 7 PM, in the Village Council Chambers in Palatine Village Hall, 200 E. Wood Street, relative to a request for the following:

**Final Plat of Subdivision for Lot 2 of Benton Street Subdivision. The proposed would amend the permitted building envelope for Lot 2, which was approved as part of the Benton Street Subdivision, to allow for a ranch-style home to be constructed, instead of the initially identified 2-story home;**

**A Special Use for a yard in the floodplain for Lot 2; and**

**A Special Use for to permit the filling of land in the floodplain for Lot 2.**

The property is commonly known as 951 S. Benton Street.

The Subject Property is zoned R-2 single-family residential and is commonly known as 951 S. Benton Street and is the vacant lot directly south of the existing home at 947 S. Benton Street. When the Benton Street Subdivision was approved in 2008, the required special uses for a yard in the floodplain and fill in the floodplain were subsequently approved as part of that process. The Petitioner would like to construct a ranch-style home, which will require new special uses for a yard in the floodplain and for the filling of land in the floodplain, with the required compensatory storage.

The above petition has been filed by Robert Feltes, owner, and is available for examination in the office of the Village Clerk, 200 E. Wood Street.

FILE #: SU-000202-2025

VILLAGE OF PALATINE

Jan Wood, Chair  
Palatine Planning and Zoning Commission

# CERTIFICATE OF PUBLICATION

DES PLAINES JOURNAL, INC., a corporation organized and existing under and by virtue of the laws of the State of Illinois, does hereby CERTIFY that it is the publisher of the:

Journal & Topics Newspapers  
AKA Des Plaines Journal, Inc.  
622 Graceland Ave.  
Des Plaines, IL 60016-4556

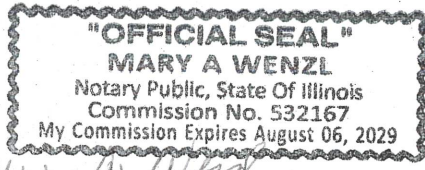
and that said newspaper(s) is a secular newspaper of general circulation and has been published weekly in the

(Village) (Town) (City) (Township) of PALATINE 951 S. Benton  
     
County of COOK

and State of Illinois, continuously for more than one year prior to date of the first publication of the notice attached hereto, and that said newspaper(s) complies with the requirements of Paragraphs 5 and 10, Chapter 100, of the Illinois Revised Statutes.

Further, that the notice, of which the attached is a true copy, was published ONE times in the said newspaper(s), namely once each week for ONE successive week(s) and that the first publication of said notice was made on the 9TH day of APRIL, A.D. 2026, and the last publication thereof was made on the 9TH day of APRIL, A.D. 2026.

- Your Legal appeared in the following Journal & Topics Newspapers (Des Plaines Journal, Inc.)
- Des Plaines Journal
  - Elk Grove Village Journal
  - Mt. Prospect Journal
  - Niles Journal
  - Park Ridge-Golf Mill Journal
  - Prospect Heights Journal
  - Rosemont Journal
  - Arlington Heights Topics
  - Buffalo Grove Topics
  - Palatine Topics
  - Rolling Meadows Topics
  - Wheeling Topics
  - Suburban Journal
  - Northwest Journal
  - Glenview Journal



*Mary A. Wenzl*

IN WITNESS WHEREOF, THE DES PLAINES JOURNAL, INC., has caused this certificate to be signed and its corporate seal affixed hereto at Des Plaines, Illinois this 9TH day of APRIL A.D., 2026.

By Todd Wessell

President  
Title of Corporate Officer

County of Cook  
State of Illinois

Subscribed and sworn to before me this 9TH day of APRIL A.D., 2026.

My commission expires the 6TH day of AUGUST A.D., 2029.

## 2240 -2266 N Rand Road and 2296 N Rand Road.Final

### STAFF REPORT:

**TO:** Palatine Planning and Zoning Commission  
Jan Wood, Chair

**FROM:** Lyn Bremanis

**PETITIONER:** Joseph Lewis, agent

**PLAN NUMBER:** FPD-000247-2026

### **BACKGROUND:**

The Subject properties, along with the surrounding properties fronting Rand Road, generally northwest of Rand and Hicks Roads up to Lake Cook Road, were annexed in 2007. These properties, along with 2296 N. Rand Road, were approved as a Planned Development for a distribution and logistics center in 2022 and were rezoned from B-5, Highway Business District to Planned Development. However, ultimately, this project never came to fruition. A second proposal was approved in 2024 for another logistics/distribution operator, with a smaller building footprint, which also did not move forward.

The current Petitioner is requesting a new Planned Development and Plat of Consolidation, with a smaller building footprint and the same lot area as the most recent proposal. Globe Transportation seeks to operate a transportation and logistical solutions' facility at the subject property. In addition, the neighboring property to the north at 2296 N. Rand Road, which was included in the previous Planned Development, is requesting to be rezoned back to its original zoning of B-5 Highway District and continues to function as a used car dealer. Therefore, the Petitioners are requesting:

1. Final Planned Development to permit a logistics and distribution use, with accessory office uses; and
2. Final Plat of Subdivision to allow for the consolidation of 6 existing lots into one consolidated lot;
3. Rezoning from Planned Development to B-5 Highway Business District for the property at 2296 N Rand Road.

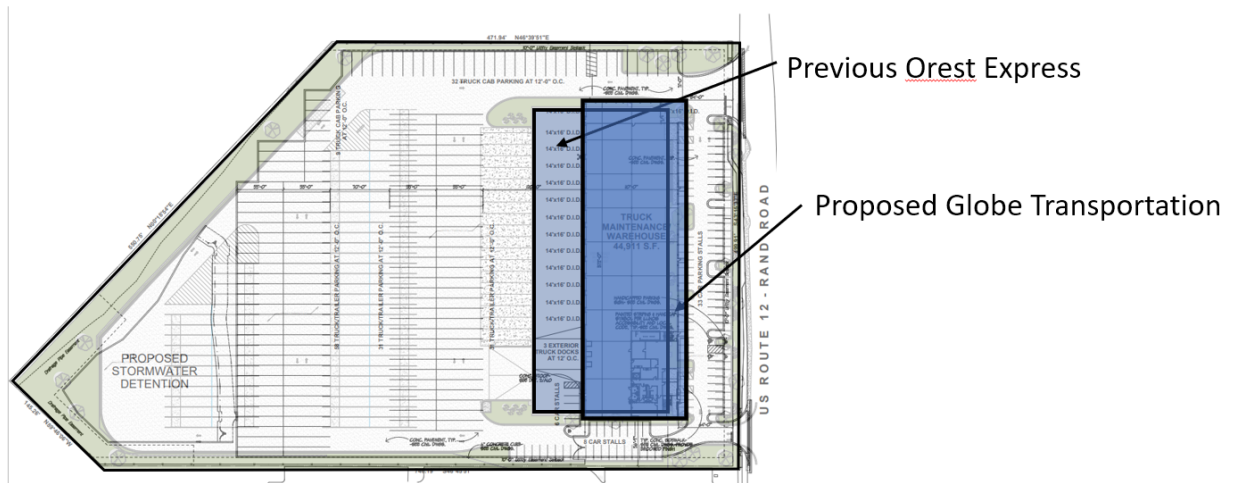
### **KEY ISSUES:**

- Globe Transportation is a provider of transportation services and logistical solutions. The proposed facility will serve as a dispatch, fleet management, and

operational support location for vehicles serving Palatine and the surrounding Chicago suburbs. Globe also operates a facility in Palatine on S. Hicks Road.

- The table below summarizes a comparison of the previously approved Planned Developments and Globe Transportation's proposal:

	Missner Group	Orest Express Inc.	Globe Transportation
Lot Size	8.86 acres	7.9 acres	7.9 acres
Lot Frontage	600 feet	500 feet	500 feet
Building Square Footage	145,000 sq. ft.	58,000 sq. ft.	44,911 sq. ft.
Building Height	41 feet	30 feet	30 feet
Parking Required/Provided	179/ 145 spaces	79/168 spaces	68/207 spaces
Front Yard Setback	83 feet	85 feet	64 feet



Site Plan Comparison

- The existing parking lots are improved with a variety of pavement, asphalt, and gravel. Between all of these properties, there are a total of 5 full access points onto Rand Road, which reflects the existing access conditions, prior to annexation. Rand Road is a State Route and IDOT controlled roadway and classified as a Strategic Regional Arterial Route, within this section of the Village.
- The proposed redevelopment will consolidate six parcels into one, with two access points, as part of the IDOT permitting requirements.
- The business plan indicates Globe Transportation is proposing to open a

transportation and logistics business to include 60-70 employees. The proposed hours of operation would be from 7 pm - 7 pm daily.

### **Engineering:**

- All the existing utilities are proximate and available to the Subject Property along Rand Road.
- The storm sewer would be extended through the site with connections to catch basins and roof drains. Stormwater would be collected and managed by a proposed stormwater basin located in the southwest corner of the property. The stormwater outfall/tributary connects to the adjacent Forest Preserve and, ultimately, Buffalo Creek.

### **Architecture:**

- The proposed building shares similar materials and construction to the previously approved building. The elevations include concrete spandrel panels, precast concrete, and spandrel-tempered/vision glass components. Within the 44,911 square foot building, there are initially 7,000 square feet of office uses proposed.
- The maximum building height of approximately 32 feet to the top of the parapet, complies with the B-5 district requirements. The maximum height allowed in the B-5 district is 3 stories, not to exceed 45 feet.
- All proposed setbacks exceed the minimum required setbacks within the B-5 zoning district.
- With approximately 500 feet of frontage along Rand Road, 12 trees in the parkway would be required. However, 5 trees are proposed, with additional plantings around the building and along the periphery of the site. The landscaping proposed along Rand Road is consistent with what was previously approved for the site.

### **Traffic Analysis:**

- The Subject Property has direct access to Rand Road (U.S. Route 12) and lies approximately 500 feet southeast of Lake Cook Road. This includes an existing barrier median approximately 700 feet south of Lake Cook Road, which impacts the two existing northern access points. Per the submitted Traffic Impact Statement (TIS), Rand Road is a Strategic Regional Arterial Route and has a posted speed limit of 35 miles per hour, and carries an annual average daily traffic (AADT) volume of 44,900 vehicles northwest of Lake Cook Road and 27,400 vehicles southeast of Lake Cook Road.
- Lake Cook Road is an east-west, principal arterial roadway that provides two lanes in each direction. Lake Cook Road is under the jurisdiction of the Cook County Highway Department and has a posted speed limit of 45 miles per hour, and carries an AADT volume of 17,200 vehicles west of Rand Road and 39,900

vehicles east of Rand Road.

Below is a comparison of the proposed daily trips from this site:

	Missner Group	Orest Express	Globe Transp.
Weekday Morning Total	103	43	18
Weekday Evening Total	94	43	25
Daily Trips In	299	60	21
Daily Trips Out	299	60	22
Total Daily Trips	598	120	63

- The TIS (Traffic Impact Study) concludes the following:
  1. The traffic generated by the proposed facility is anticipated to result in less than a 1% increase from existing levels.
  2. The majority of truck traffic will focus on long distance routes, reducing daily truck traffic.
  3. The proposed access drives will accommodate traffic entering and exiting the site.
  4. Reduction of access drives will decrease traffic conflicts and improve the safety of the traffic flow on Rand Road.

**Parking:**

- The proposed parking lot will include 46 typical parking spaces (this includes 2 handicap spaces), 120 trailer spaces and 41 truck cab spaces. Per code, 61 spaces would be required.

**STANDARDS FOR PLANNED DEVELOPMENT:** Standards for a Planned Development are found in Section 13.03 (a) of the Zoning Code. Specifically, the planned development shall be designed, located and proposed to be operated so that the public health, safety and welfare will be protected. The planned development shall not cause substantial injury to the value of other property in the area in which it is located. The establishment of the planned development shall not impede the normal and orderly development and improvement of surrounding property. Adequate utilities, access roads, drainage and/or other necessary facilities have been or are being

provided. And adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.

**STAFF RECOMMENDATION:**

The property was previously approved as a Planned Development for a distribution center in 2022 and again in 2024, although, neither project was ultimately pursued. The Petitioner’s proposed plans and use of the property are similar to the previously approved uses, and would expand an existing transportation and logistical solutions facility in the Village. The current proposal features a reduced building footprint and the traffic impact study indicates a lower daily volume. Additionally, Staff agrees that the proposed Planned Development complies with the required Planned Development Standards and Design Standards. In addition, the neighboring property to the north, which was part of the original Planned Development but is not included in the current request, is seeking to be rezoned back to its original designation of B-5 Highway Business District.

Therefore, Staff recommends approval of the Rezoning of 2296 N. Rand Road and the approval of the Preliminary and Final Planned Development, Preliminary and Final Plat of Subdivision, subject to the following conditions:

1. The development shall substantially conform to the engineering plans by Spaceco INC., dated February 6, 2026 and the architectural plans by Thomas Architects, dated March 17, 2026, except as such plans may be changed to conform to Village Codes and Ordinances.
2. The Final Plat of Subdivision shall be submitted on Mylar with the required signatures and significantly conform to the Plat of Subdivision in a manner acceptable to the Village Engineer.
3. The Final Engineering Plans shall be revised in a manner acceptable to the Village Engineer, including the Final Engineer’s Cost Estimate which shall be submitted in a manner acceptable to the Village.
4. Uses shall be governed by the B-5 Highway Business District use lists in the Village of Palatine Zoning Ordinance. In addition, the following uses shall also be permitted uses; Cartage or express establishments, Warehousing and distribution centers, and related office uses. Any use of the property shall also be subject to the required performance standards in the Village’s Zoning Code. Any signage shall comply with the regulations in the Village’s B-5 District.
5. The final landscape plans shall be submitted/revised in a manner acceptable to the Director of Planning and Zoning.
6. The final photometric and lighting plan shall be revised in a manner acceptable to the Village Engineer.
7. The final traffic directional signage plan shall be submitted in a manner acceptable to the Village Engineer.
8. If required by the Village Attorney, declarations shall be submitted in a manner acceptable to the Village Attorney. This could include a cross access easement for the property directly north of the Subject Property, if that property were to

- redevelop in the future, if requested by the Village of Palatine.
9. A Public Improvement letter of credit shall be submitted in a manner acceptable to the Village Engineer.
  10. Review fees, in the amount of 1.5% of the total project improvement costs (as defined in the Village Code) based upon the finally accepted EEOPC shall be submitted in a manner acceptable to the Village Engineer.
  11. A Subdivision Improvement Agreement shall be submitted in a manner acceptable to the Village Attorney.
  12. A Planned Development letter of credit shall be submitted in a manner acceptable to the Director of Planning and Zoning.
  13. All required extra agency permits (e.g., MWRD WMO, IDOT and IEPA Sewer and Water) shall be submitted in a manner acceptable to the Village Engineer.
  14. A construction management plan, indicated the proposed material delivery routes and contractor parking areas, shall be submitted to the Village Engineer.
  15. Recording fees in the amount of \$600 shall be submitted.

**ATTACHMENTS:**

1. Aerial Map
2. Application
3. Plat of Survey
4. Plat of Subdivision
5. Final Engineering Plans
6. Final Architectural Plans
7. Landscape Plan
8. Business Plan
9. Traffic Study
10. Public Notice



0 200 400  
ft

Print Date: 4/9/2026

Notes

Disclaimer: The GIS Consortium and MGP Inc. are not liable for any use, misuse, modification or disclosure of any map provided under applicable law. This map is for general information purposes only. Although the information is believed to be generally accurate, errors may exist and the user should independently confirm for accuracy. The map does not constitute a regulatory determination and is not a base for engineering design. A Registered Land Surveyor should be consulted to determine precise location boundaries on the ground.



**FINAL PLANNED DEVELOPMENT  
APPLICATION**

**Department of Planning & Zoning**  
200 E. Wood Street • Palatine, IL • 60067-5339  
Telephone: (847) 359-9047 • Fax (847) 963-6247

Petitioner Name

Joseph Lewis, Agent

Business Name (if applicable)

Globe Transportation

Subject Property Address

2240-2296 N Rand Road

All existing land uses on the property:

Industrial storage yards for commercial purposes.

Property acreage and proposed land use:

Truck service facility with truck wash, and associated parking facilities.

Property attributes (acreage and subdivision name):

7.09 acres



**REZONING APPLICATION**

**Department of Planning & Zoning**  
200 E. Wood Street • Palatine, IL • 60067-5339  
Telephone: (847) 359-9047 • Fax (847) 963-6247

Petitioner Name

robert doppelt

Business Name (if applicable)

Subject Property Address

2296 n rand rd

All existing land uses on the property:

Palatine Motors, car repair and sales

Property acreage and proposed land use:

No change

Current Zoning:

Planned development

Proposed Zoning:

B5

Describe why the subject property cannot be reasonably developed in accordance with the existing zoning classification:

Return to previous zoning prior to planned development

Is the proposed zoning classification similar to or harmonious with the existing zoning of surrounding properties? Explain:

yes

Does the proposed zoning classification conflict with the Village's Comprehensive Plan? Explain:

no

Will any of the uses permitted under the proposed zoning classification have an injurious effect on the value and/or the use and enjoyment of surrounding properties?

no



**REZONING APPLICATION**

**Department of Planning & Zoning**  
200 E. Wood Street • Palatine, IL • 60067-5339  
Telephone: (847) 359-9047 • Fax (847) 963-6247

Petitioner Name

robert doppelt

Business Name (if applicable)

Subject Property Address

2296 n rand rd

All existing land uses on the property:

Palatine Motors, car repair and sales

Property acreage and proposed land use:

No change

Current Zoning:

Planned development

Proposed Zoning:

B5

Describe why the subject property cannot be reasonably developed in accordance with the existing zoning classification:

Return to previous zoning prior to planned development

Is the proposed zoning classification similar to or harmonious with the existing zoning of surrounding properties? Explain:

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Does the proposed zoning classification conflict with the Village's Comprehensive Plan? Explain:

no

Will any of the uses permitted under the proposed zoning classification have an injurious effect on the value and/or the use and enjoyment of surrounding properties?

no

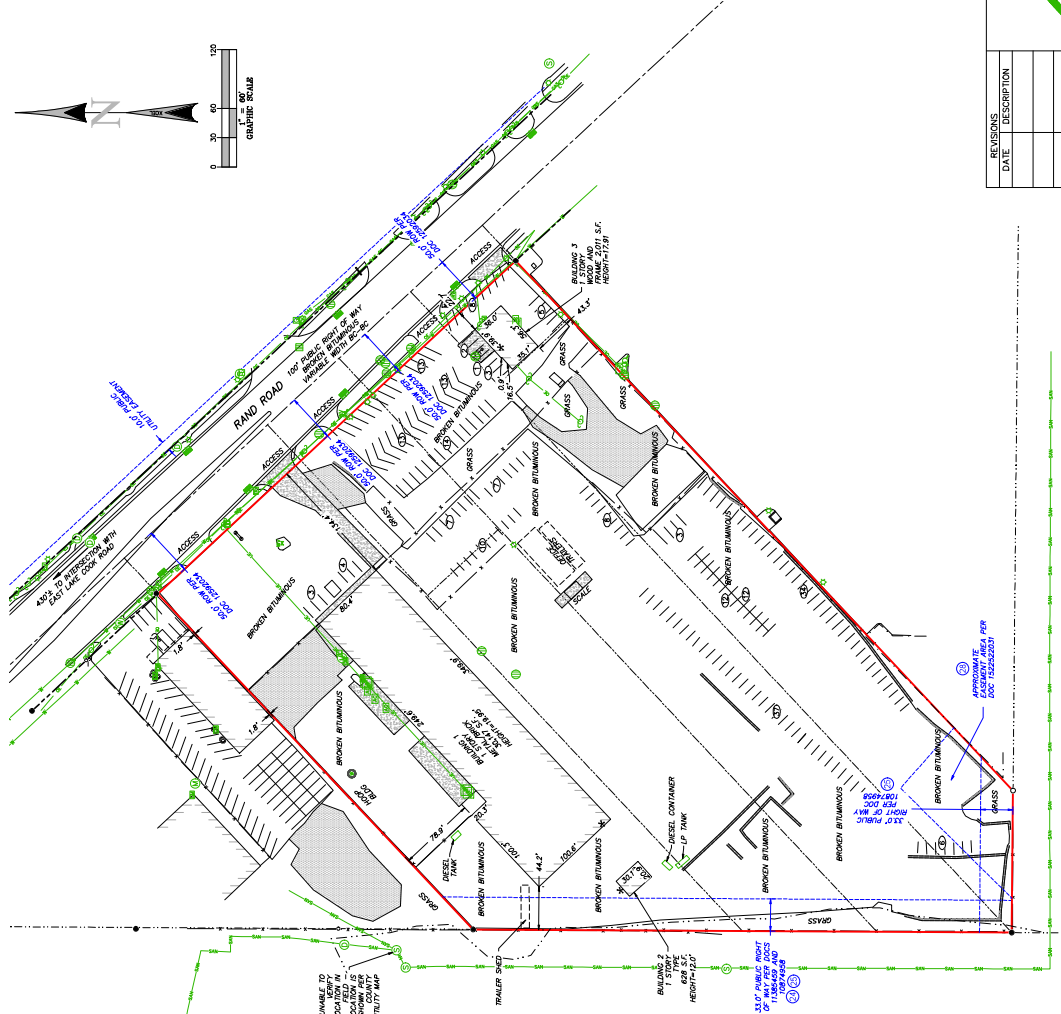


# ALTA/NSPS LAND TITLE SURVEY

**SITE INFORMATION**  
 BARACK FERRAZZANO ASSOCIATES & MAGESBERG LLP  
 200 WEST WASHINGTON STREET, SUITE 3000  
 CHICAGO, IL 60601  
 DATE: 2/24/2021  
 SHEET ADDRESS: 120 JOHN AVENUE, EAST, SUITE 3  
 CHICAGO, IL 60604



- LEGEND**
- PROPERTY LINE
  - ADJACENT PROPERTY LINE
  - INTERNAL PROPERTY LINE
  - BUILDING SETBACK LINE
  - CRACKLINE LINE
  - SHADE OF PAVE LINE
  - METLAND LINE
  - ST-1 SITE STEWARD/OPERATOR
  - ST-2 SITE STEWARD/OPERATOR
  - BUILDING FOOTPRINT
  - CHARLAWK FENCE
  - WALL
  - CURB LINE
  - EXTERIOR LINE
  - OVERHEAD ELECTRIC LINE
  - UNDERGROUND ELECTRIC LINE
  - UNDERGROUND ELECTRIC LINE
  - SAVARY SEWER LINE
  - GAS LINE
  - FOUND MONUMENT (AS NOTED)
  - SET 5/8" XCEL CHIPPED IR
  - TITLE EXCEPTION NUMBER
  - SIGNIFICANT OBSERVATION LETTER
  - PARKING COURT
  - MANHOLE (WATER, MISC)
  - FIRE HYDRANT
  - WATER VALVE
  - GRASS
  - PAVED
  - ASPH
  - CONCRETE
  - GRAVEL
  - TRAPIC MOUNT (ELECTRIC, GAS)
  - TRAPIC MOUNT
  - UTILITY POLE
  - GUY WIRE
  - TRAPIC SON
  - ADVISOR WELL
  - CONCRETE ROLLAND
  - TRANSFORMER
  - AIR CONDITIONER
  - POB
  - POB
  - POINT OF BEGINNING
  - POINT OF COMMENCEMENT
  - BUILDING HEIGHT LOCATION
  - RECORD & MEASURED
  - SQUARE FEET
  - BACK OF CURB
  - CONCRETE SURFACE
  - GRAVEL SURFACE



REVISIONS	DESCRIPTION
DATE	

CHK BY:	APV BY:
BCH	JAF
XCEL CONSULTANTS.COM XCEL JOB NUMBER: 213436	
DRAWING NUMBER: 2 OF 2	









**OWNER**  
 GLOBE TRANSPORTATION INC.  
 508 SOUTH HICKS ROAD  
 PALATINE, IL 60067  
 PHONE: 773-270-3989

**CONTRACTOR**  
 PRINCIPLE CONSTRUCTION CORP.  
 9450 WEST BRYN MAWR AVENUE  
 SUITE 120  
 ROSEMONT, IL 60018  
 PHONE: 847-615-1515

**ARCHITECT**  
 HARRIS ARCHITECTS INC.  
 1475 EAST WOODFIELD ROAD  
 SUITE 925  
 SCHLAUMBURG, IL 60173  
 PHONE: 847-303-1155

CALL J.U.L.I.E. 1-800-892-0123  
 WITH THE FOLLOWING:  
 COUNTY: COOK  
 CITY, TOWNSHIP: VILLAGE OF PALATINE  
 SEC. & 1/2 SEC. NO.: T42N, R10E, S2

**48 HOURS BEFORE YOU DIG,  
 EXCLUDING SAT., SUN. & HOLIDAYS**

INDEX		
SHEET #	SHEET I.D.	SHEET DESCRIPTION
1	C1	COVER SHEET
2	GN	TYPICAL SECTIONS AND GENERAL NOTES
3	ET	EXISTING CONDITIONS
4	DEMO	DEMOLITION PLAN
5	GM	GEOMETRIC PLAN
6	GR	GRADING PLAN
7	UT	UTILITY PLAN
8	PP1	PLAN AND PROFILE - SANITARY SEWER
9-11	SE-SER	SOIL EROSION AND SEDIMENT CONTROL PLANS
12	SP1	SPACECO SPECIFICATIONS
13	SP2	MWRD SPECIFICATIONS
14-17	D1-D4	DETAILS
18	MWRD	MWRD DRAINAGE AND OPERATIONS & MAINTENANCE EXHIBIT
19-20	ADA-A-ADA2	ADA SIDEWALK DETAILS
21-23	X5-X53	US-42 (RAND ROAD) CROSS SECTIONS

**SITE IMPROVEMENT PLANS  
 for**

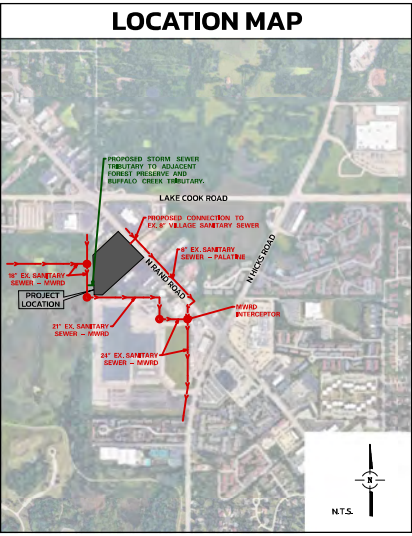
**2240-2266 N RAND ROAD**

**PALATINE, COOK COUNTY, ILLINOIS 60074**

**PROJECT NO: 11624.05**

**BENCHMARK**  
 ELEVATION:  
 DESCRIPTION: **SEE SHEET ET FOR BENCHMARK INFORMATION**

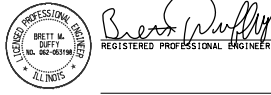
**NOTE:**  
 SPACECO, INC. IS TO BE NOTIFIED AT LEAST THREE (3) DAYS PRIOR TO STARTING CONSTRUCTION AND SHALL BE INCLUDED IN THE PRECONSTRUCTION MEETINGS



**MWRD JOB START NOTIFICATION**  
 CONTACT THE METROPOLITAN WATER RECLAMATION DISTRICT OF GREATER CHICAGO 2 DAYS BEFORE STARTING WORK.  
 P: (708) 588-4055  
 E: WMOJOBSTART@MWRD.ORG

To the best of our knowledge and belief, the drainage of the surface waters will not be changed by the construction of this project or any part thereof, or that if drainage will be changed, reasonable provision has been made for collection and diversion of such surface waters into public areas, or drains approved for use by the Director of Public Works and Engineering, and that such surface waters are planned for in accordance with generally accepted engineering practices so as to reduce the likelihood of damage to adjoining properties because of the construction of this project.

To the best of our knowledge and belief there is no regulatory floodplain/floodway, no special flood hazard areas, riparian areas, or wetlands located on or within 100' of the project site. The project site was previously developed and graded.



OWNER  
 GLOBE TRANSPORTATION INC.  
 508 SOUTH HICKS ROAD  
 PALATINE, ILLINOIS 60067  
 PHONE: 773-270-3989

**REVISIONS**

ORIGINAL PLAN DATE: FEBRUARY 6, 2026

#	SHEET #	REMARKS	DATE
1	5-714	PALATINE COMMENTS	03/17/26

ENGINEER  
 BRETT M. DUFFY, P.E.  
 ILLINOIS REGISTRATION NO.: 02-05198  
 EXPIRATION DATE: 11/30/2027  
 PROFESSIONAL DESIGN FIRM NO.: 184-001157  
 EXPIRATION DATE: 04/20/2027



**2240-2266 N RAND ROAD  
 PALATINE, ILLINOIS 60074**

Rosemont Office  
 9575 W. Higgins Road, Suite 700  
 Rosemont, Illinois 60018  
 Phone: (847) 696-4060



FILE NAME:  
1162405\_TITLE.DGN  
 DATE:  
02/06/2026  
 JOB NO.  
11624.05  
 SHEET  
**C1**  
 1 OF 23

GENERAL NOTES

- 1. REFERENCED CODES
  - A. ALL PERMITS AND STORM SEWER CONSTRUCTION SHALL CONFORM TO THE STANDING OPERATIONS FOR ROAD AND STORM SEWER CONSTRUCTION, AND STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, PREPARED BY THE ILLINOIS DEPARTMENT OF TRANSPORTATION AND REVISIONS THEREOF. THESE SHALL BE APPLICABLE TO ALL PERMITS AND STORM SEWER CONSTRUCTION UNLESS OTHERWISE SPECIFIED IN THIS CONTRACT.
  - B. ALL SANITARY SEWER AND WATERMAIN CONSTRUCTION SHALL CONFORM TO THE STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION, ILLINOIS 1945, LATEST EDITION 2009, AND ALL AMENDMENTS TO THE CODE OF THE MUNICIPALITY EXCEPT AS MODIFIED HEREIN. IN CASE OF CONFLICT, THE MORE RECENT EDITION SHALL APPLY.
- 2. UTILITY LOCATING
  - A. THE UTILITY COMPANIES HAVE BEEN CONTACTED IN REFERENCE TO UTILITIES THEIR OWN AND UNDER THE RIGHTS FOR THIS PROJECT. DATA FROM THESE UTILITY COMPANIES HAS BEEN SUPERIMPOSED INTO THE PLANS. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION. FOR ADDITIONAL INFORMATION, THE UTILITY COMPANIES LISTED IN THE SHEET MAY BE CONTACTED.
  - B. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UTILITY COMPANIES LOCATE THEIR FACILITIES IN THE FIELD. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE AND PROTECTION OF THESE UTILITIES. THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES OF ANY EXISTING UTILITIES LOCATED ON THE PLAN. THE CONTRACTOR SHALL CALL LOCAL UTILITIES AND THE MUNICIPALITY 48 HOURS PRIOR TO ANY CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES 48 HOURS PRIOR TO ANY CONSTRUCTION.
  - C. EASEMENTS FOR THE EXISTING UTILITIES, BOTH PUBLIC AND PRIVATE, AND UTILITIES WITHIN PUBLIC RIGHTS-OF-WAY ARE SHOWN ON THE PLANS ACCORDING TO AVAILABLE RECORDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION IN THE FIELD OF THESE UTILITY LINES AND THEIR PROTECTION FROM DAMAGE DUE TO CONSTRUCTION OPERATIONS. ANY DAMAGE TO ANY EXISTING UTILITIES WHICH OCCURS WHILE CONSTRUCTING THE NEW CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE OWNER AND ENGINEER SO THAT THE CONTRACT MAY BE REVISED.
- 3. UTILITY COORDINATION
  - A. OWNER SHALL OBTAIN EASEMENTS AND PERMITS NECESSARY TO FACILITATE CONSTRUCTION OF THE PROPOSED UTILITIES. THE CONTRACTOR, HOWEVER, SHALL FURNISH ALL REQUIRED BONDS AND EVIDENCE OF INSURANCE NECESSARY TO SECURE THESE PERMITS.
  - B. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE NATURE AND STATUS OF ALL UTILITY RELATIONSHIP WORK PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL TAKE APPROPRIATE MEASURES TO INSURE THAT CONSTRUCTION OPERATIONS DO NOT INTERFERE WITH OTHER EXISTING AND RELATIONSHIP WORK. THE CONTRACTOR SHALL BE RESPONSIBLE TO ADJUST THE ORDER OF HIS WORK FROM THE TIME IT COMMENCEMENT WORK UNTIL THE END OF HIS WORK, AND SHALL PREPARE REVISIONS/CHANGES TO CONTRACT THEREAS AS DIRECTED BY THE ENGINEER.
  - C. THE OWNER AND THE CONTRACTOR SHALL BE NOTIFIED IMMEDIATELY BY THE CONTRACTOR AT LEAST 48 HOURS PRIOR TO THE START OF ANY OPERATIONAL NEIGHBORHOOD CONSTRUCTION WORK. THE CONTRACTOR SHALL NOTIFY THE NEIGHBORHOOD COMMUNITY IN ADVANCE OF ANY CONSTRUCTION WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING ALL AFFECTED PARTIES OF ANY CONSTRUCTION WORK THAT WILL INTERFERE WITH THEIR RIGHTS OR OPERATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING ALL AFFECTED PARTIES OF ANY CONSTRUCTION WORK THAT WILL INTERFERE WITH THEIR RIGHTS OR OPERATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING ALL AFFECTED PARTIES OF ANY CONSTRUCTION WORK THAT WILL INTERFERE WITH THEIR RIGHTS OR OPERATIONS.
- 4. ALL PROPOSED ELEVATIONS SHOWN ON THE PLANS AND FINISHED SURFACE ELEVATIONS, UNLESS OTHERWISE SPECIFIED, SHALL BE TO THE TOP OF THE CURB OR FINISHED SURFACE OF THE DRIVEWAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION. FOR ADDITIONAL INFORMATION, THE UTILITY COMPANIES LISTED IN THE SHEET MAY BE CONTACTED.
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22. GENERAL EXCAVATION/UNDERGROUND NOTES

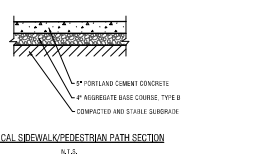
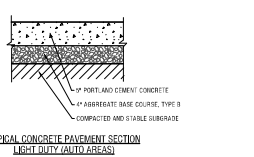
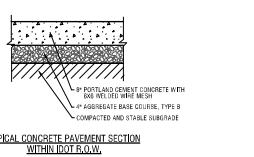
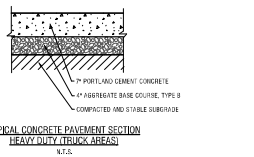
- A. SLOPE SIDES OF EXCAVATIONS TO EXPOSE WITH CODES AND STANDARDS WAVING OPERATION. DORMER BRACE SHALL BE USED TO SUPPORT SIDES OF EXCAVATIONS TO PREVENT COLLAPSE OF EXCAVATION WALLS. SUPPORT SYSTEMS SHALL BE DESIGNED TO SUPPORT SIDES OF EXCAVATIONS TO PREVENT COLLAPSE OF EXCAVATION WALLS. SUPPORT SYSTEMS SHALL BE DESIGNED TO SUPPORT SIDES OF EXCAVATIONS TO PREVENT COLLAPSE OF EXCAVATION WALLS.
- B. PROTECT MATERIALS FOR SHOULDER AND BRACING SUCH AS STREET LIGHTS, UTILITY STRUCTURES AND CROSS BRACING IN EXISTING EXCAVATIONS. PROTECT EXISTING UTILITIES FOR EXISTING EXCAVATIONS AND CROSS BRACING IN EXISTING EXCAVATIONS. PROTECT EXISTING UTILITIES FOR EXISTING EXCAVATIONS AND CROSS BRACING IN EXISTING EXCAVATIONS.
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23. FINAL ACCEPTANCE

- A. ALL WORK PERFORMED UNDER THIS CONTRACT SHALL BE GUARANTEED BY THE CONTRACTOR AND HIS SURETY FOR A PERIOD OF SIX MONTHS FROM THE DATE OF FINAL ACCEPTANCE OF THE PROJECT AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DEFECTS IN MATERIALS AND WORKMANSHIP OF WORKS PERFORMED DURING THAT PERIOD. THE CONTRACTOR SHALL PROTECT THE FORM OF MAINTENANCE DURING THE AMOUNT OF TIME OF THE DEFECTS.
- B. BEFORE ACCEPTANCE BY THE OWNER AND FINAL PAYMENT, ALL WORK SHALL BE INSPECTED BY THE OWNER OR HIS REPRESENTATIVE. FINAL PAYMENT WILL BE MADE AFTER ALL THE CONSTRUCTION WORK HAS BEEN APPROVED AND ACCEPTED.
- C. NO UNDERGROUND WORK SHALL BE DONE UNTIL IT HAS BEEN APPROVED BY THE MUNICIPALITY. APPROVAL TO PROCEED MUST BE OBTAINED FROM THE MUNICIPALITY PRIOR TO INSTALLING FOUNDATION WALLS, BRIDGE, SURFACE, AND FROM THE SURETY ANY CONCRETE WORK SHALL BE SET.
- D. AT THE CLOSE OF EACH WORKING DAY AND AT THE CONCLUSION OF CONSTRUCTION OPERATIONS, ALL EXCAVATION STRUCTURES AND ELEVATION SHALL BE FREE FROM DIRT AND DRAINAGE.

24. UNDERGROUND NOTES

- A. UNDERGROUND WORK SHALL INCLUDE TRENCHING, INSTALLATION OF PIPE, CASTING STRUCTURES, BACKFILLING OF TRENCHES AND CONSTRUCTION OF TRENCHES AS SHOWN ON THE CONSTRUCTION PLANS. EXISTING AND ADDITIONAL NECESSARY TO COMPLETE THE WORK MAY NOT BE SPECIFIED, BUT SHALL BE CONSIDERED AS NECESSARY TO THE COST OF THE CONTRACT.
- B. WHEN SHOWN ON THE PLANS OR UNLESS OTHERWISE SPECIFIED BY THE ENGINEER, EXISTING DRAINAGE STRUCTURES AND SYSTEMS SHALL BE MAINTAINED AND PROTECTED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL EXISTING DRAINAGE STRUCTURES AND SYSTEMS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL EXISTING DRAINAGE STRUCTURES AND SYSTEMS.
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- D. AT THE CLOSE OF EACH WORKING DAY AND AT THE CONCLUSION OF CONSTRUCTION OPERATIONS, ALL EXCAVATION STRUCTURES AND ELEVATION SHALL BE FREE FROM DIRT AND DRAINAGE.
- E. ALL TRENCHES SHALL BE BACKFILLED WITH FULL TRENCH DEPTH WITHIN TWO (2) FEET OF PROPOSED OR EXISTING DRAINAGE STRUCTURES. EXISTING DRAINAGE STRUCTURES SHALL BE MAINTAINED AND PROTECTED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL EXISTING DRAINAGE STRUCTURES AND SYSTEMS.
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- J. ALL TRENCHES SHALL BE BACKFILLED WITH FULL TRENCH DEPTH WITHIN TWO (2) FEET OF PROPOSED OR EXISTING DRAINAGE STRUCTURES. EXISTING DRAINAGE STRUCTURES SHALL BE MAINTAINED AND PROTECTED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL EXISTING DRAINAGE STRUCTURES AND SYSTEMS.
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- M. ALL TRENCHES SHALL BE BACKFILLED WITH FULL TRENCH DEPTH WITHIN TWO (2) FEET OF PROPOSED OR EXISTING DRAINAGE STRUCTURES. EXISTING DRAINAGE STRUCTURES SHALL BE MAINTAINED AND PROTECTED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL EXISTING DRAINAGE STRUCTURES AND SYSTEMS.
- N. ALL TRENCHES SHALL BE BACKFILLED WITH FULL TRENCH DEPTH WITHIN TWO (2) FEET OF PROPOSED OR EXISTING DRAINAGE STRUCTURES. EXISTING DRAINAGE STRUCTURES SHALL BE MAINTAINED AND PROTECTED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL EXISTING DRAINAGE STRUCTURES AND SYSTEMS.
- O. ALL TRENCHES SHALL BE BACKFILLED WITH FULL TRENCH DEPTH WITHIN TWO (2) FEET OF PROPOSED OR EXISTING DRAINAGE STRUCTURES. EXISTING DRAINAGE STRUCTURES SHALL BE MAINTAINED AND PROTECTED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL EXISTING DRAINAGE STRUCTURES AND SYSTEMS.
- P. ALL TRENCHES SHALL BE BACKFILLED WITH FULL TRENCH DEPTH WITHIN TWO (2) FEET OF PROPOSED OR EXISTING DRAINAGE STRUCTURES. EXISTING DRAINAGE STRUCTURES SHALL BE MAINTAINED AND PROTECTED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL EXISTING DRAINAGE STRUCTURES AND SYSTEMS.
- Q. ALL TRENCHES SHALL BE BACKFILLED WITH FULL TRENCH DEPTH WITHIN TWO (2) FEET OF PROPOSED OR EXISTING DRAINAGE STRUCTURES. EXISTING DRAINAGE STRUCTURES SHALL BE MAINTAINED AND PROTECTED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL EXISTING DRAINAGE STRUCTURES AND SYSTEMS.
- R. ALL TRENCHES SHALL BE BACKFILLED WITH FULL TRENCH DEPTH WITHIN TWO (2) FEET OF PROPOSED OR EXISTING DRAINAGE STRUCTURES. EXISTING DRAINAGE STRUCTURES SHALL BE MAINTAINED AND PROTECTED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL EXISTING DRAINAGE STRUCTURES AND SYSTEMS.
- S. ALL TRENCHES SHALL BE BACKFILLED WITH FULL TRENCH DEPTH WITHIN TWO (2) FEET OF PROPOSED OR EXISTING DRAINAGE STRUCTURES. EXISTING DRAINAGE STRUCTURES SHALL BE MAINTAINED AND PROTECTED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL EXISTING DRAINAGE STRUCTURES AND SYSTEMS.
- T. ALL TRENCHES SHALL BE BACKFILLED WITH FULL TRENCH DEPTH WITHIN TWO (2) FEET OF PROPOSED OR EXISTING DRAINAGE STRUCTURES. EXISTING DRAINAGE STRUCTURES SHALL BE MAINTAINED AND PROTECTED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL EXISTING DRAINAGE STRUCTURES AND SYSTEMS.
- U. ALL TRENCHES SHALL BE BACKFILLED WITH FULL TRENCH DEPTH WITHIN TWO (2) FEET OF PROPOSED OR EXISTING DRAINAGE STRUCTURES. EXISTING DRAINAGE STRUCTURES SHALL BE MAINTAINED AND PROTECTED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL EXISTING DRAINAGE STRUCTURES AND SYSTEMS.
- V. ALL TRENCHES SHALL BE BACKFILLED WITH FULL TRENCH DEPTH WITHIN TWO (2) FEET OF PROPOSED OR EXISTING DRAINAGE STRUCTURES. EXISTING DRAINAGE STRUCTURES SHALL BE MAINTAINED AND PROTECTED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL EXISTING DRAINAGE STRUCTURES AND SYSTEMS.
- W. ALL TRENCHES SHALL BE BACKFILLED WITH FULL TRENCH DEPTH WITHIN TWO (2) FEET OF PROPOSED OR EXISTING DRAINAGE STRUCTURES. EXISTING DRAINAGE STRUCTURES SHALL BE MAINTAINED AND PROTECTED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL EXISTING DRAINAGE STRUCTURES AND SYSTEMS.
- X. ALL TRENCHES SHALL BE BACKFILLED WITH FULL TRENCH DEPTH WITHIN TWO (2) FEET OF PROPOSED OR EXISTING DRAINAGE STRUCTURES. EXISTING DRAINAGE STRUCTURES SHALL BE MAINTAINED AND PROTECTED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL EXISTING DRAINAGE STRUCTURES AND SYSTEMS.
- Y. ALL TRENCHES SHALL BE BACKFILLED WITH FULL TRENCH DEPTH WITHIN TWO (2) FEET OF PROPOSED OR EXISTING DRAINAGE STRUCTURES. EXISTING DRAINAGE STRUCTURES SHALL BE MAINTAINED AND PROTECTED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL EXISTING DRAINAGE STRUCTURES AND SYSTEMS.
- Z. ALL TRENCHES SHALL BE BACKFILLED WITH FULL TRENCH DEPTH WITHIN TWO (2) FEET OF PROPOSED OR EXISTING DRAINAGE STRUCTURES. EXISTING DRAINAGE STRUCTURES SHALL BE MAINTAINED AND PROTECTED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL EXISTING DRAINAGE STRUCTURES AND SYSTEMS.



EXISTING		LEGEND		PROPOSED
DESCRIPTION		DESCRIPTION		DESCRIPTION
[Symbol]	DRAIN TILE	[Symbol]	EXISTING MANHOLE	[Symbol]
[Symbol]	STORM SEWER	[Symbol]	SANITARY MANHOLE	[Symbol]
[Symbol]	SANITARY SEWER	[Symbol]	EXISTING MANHOLE	[Symbol]
[Symbol]	SANITARY TRUNK SEWER	[Symbol]	CATCH BASIN	[Symbol]
[Symbol]	WATER MAIN (OVER TOP)	[Symbol]	PILE	[Symbol]
[Symbol]	Pipe trench	[Symbol]	PROPOSED CONNECTION	[Symbol]
[Symbol]	TELEPHONE CABLE	[Symbol]	EXISTING AND PROPOSED WALK	[Symbol]
[Symbol]	ELECTRIC LINE	[Symbol]	GRADED SECTION	[Symbol]
[Symbol]	FEED	[Symbol]	UTILITY TOLL	[Symbol]
[Symbol]	PROPOSED WALK	[Symbol]	CONCRETE POINT	[Symbol]
[Symbol]	EASEMENT	[Symbol]	CONCRETE	[Symbol]
[Symbol]	PROPERTY LINE	[Symbol]	INVERT PRITCH CURB	[Symbol]
[Symbol]	STREET CURB	[Symbol]	INVERT AND TRUCK GRIP	[Symbol]
[Symbol]	CENTERLINE	[Symbol]	PROPOSED TREE TO REMOVE	[Symbol]
[Symbol]	PROPOSED MANHOLE	[Symbol]		
[Symbol]	EXISTING MANHOLE	[Symbol]		
[Symbol]	CATCH BASIN	[Symbol]		
[Symbol]	PILE	[Symbol]		
[Symbol]	PROPOSED CONNECTION	[Symbol]		
[Symbol]	EXISTING AND PROPOSED WALK	[Symbol]		
[Symbol]	GRADED SECTION	[Symbol]		
[Symbol]	UTILITY TOLL	[Symbol]		
[Symbol]	CONCRETE POINT	[Symbol]		
[Symbol]	CONCRETE	[Symbol]		
[Symbol]	INVERT PRITCH CURB	[Symbol]		
[Symbol]	INVERT AND TRUCK GRIP	[Symbol]		
[Symbol]	PROPOSED TREE TO REMOVE	[Symbol]		

ABBREVIATIONS

M = STORM MANHOLE	I = INVERT OR INLET	T/P = TOP OF PIPE
S = SANITARY MANHOLE	TF = TOP OF FOUNDATION	B/P = BOTTOM OF PIPE
CB = CATCH BASIN	GF = GARAGE FLOOR	WM = WATERMAIN
LC = LIGHT POLE	TC = TOP OF CURB	SM = SANITARY SEWER
Ww = VALVE VAULT	TD = TOP OF DEPRESSION CURB	STM = STORM SEWER
E = END SECTION	TW = TOP OF RETAINING WALL	LO = LOOK OUT
RH = REE HORIZONTAL	BM = BOTTOM OF RETAINING WALL	PLO = PARTIAL LOOK OUT
GR = GRADE (ING HYDRANT)	OW = OUTLET OF PIPE	

DESCRIPTION	PERMITS	LOG NO.	PERMIT NO.	DATE ISSUED
ENR EPOD	288172	288172	12/08/2025	
ENR SHPO	00703422	00703422	12/09/2025	
EPA NPDES				
USAGE	LRC-2021-00901	LRC-2021-00901	05/27/2022	
DOT				
EPA DWP (SANITARY)				
EPA SPWS (WATER)				
WARD				
MOCSWCD	22-1051	22-1051	04/29/2022	

CONTACT INFORMATION

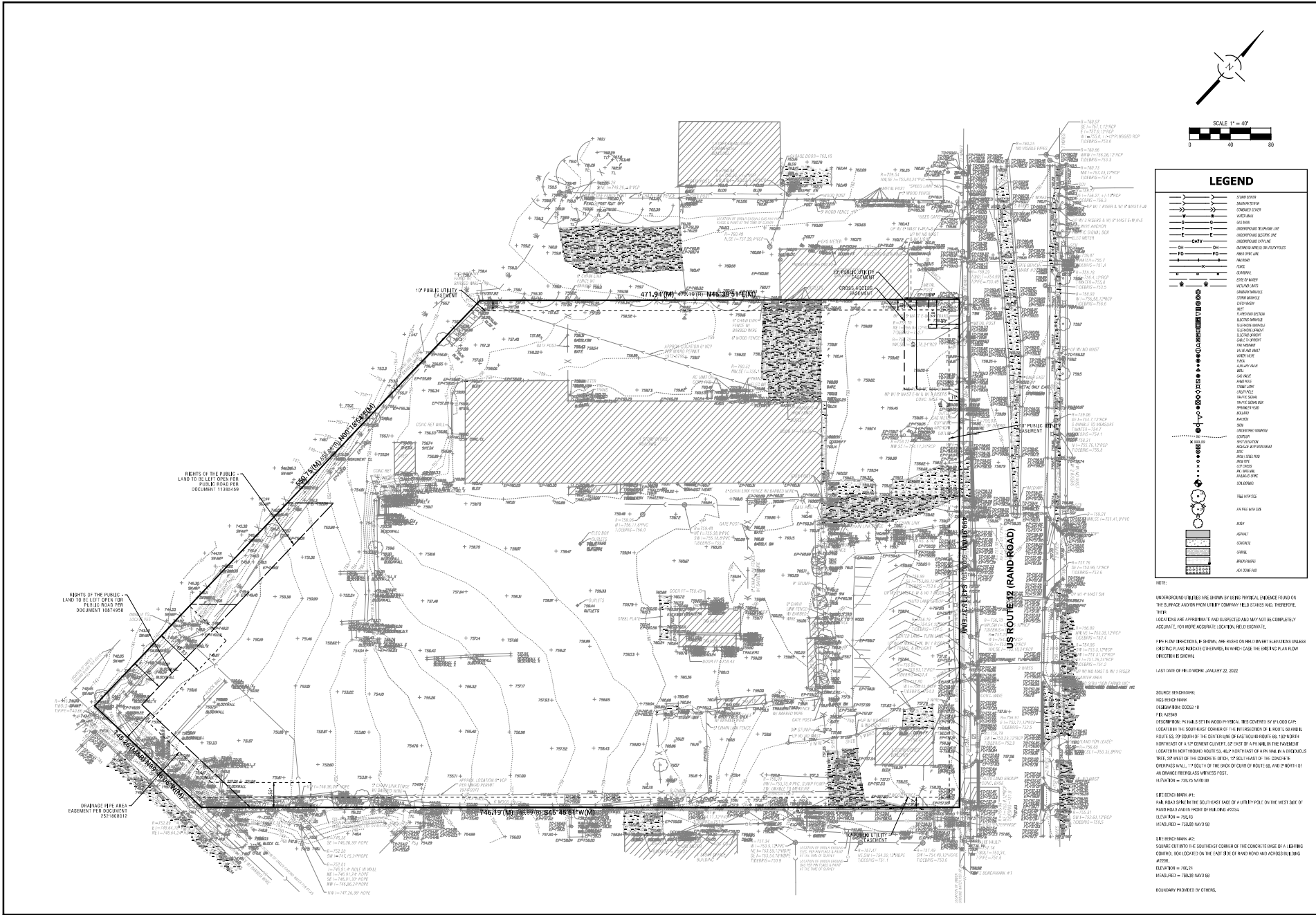
<b>LEGAL &amp; PERMITS</b>	<b>CLIENT</b>
394 EAST WOOD STREET PALATINE, IL 60067 (630) 354-0000	AKK 614 INDUSTRIAL DRIVE ELEM-COM, IL 60120 (630) 694-0432
<b>COMMUNICATIONS</b>	<b>NOTES</b>
211 W. ARDEN AVE. MT. PROSPECT, IL 60056 (630) 872-7211	1511 W. 116TH ROAD COLUMBIANA, IL 60199 (617) 942-9937

**TYPICAL SECTIONS AND GENERAL NOTES**  
**2240-2266 N RAND ROAD**  
**PALATINE, ILLINOIS 60074**

**Spaceco**  
**Civil Engineering & Surveying**  
Rosemont, IL - Morris, IL - Indianapolis, IN  
spacecoinc.com

NO.	DATE	REMARKS

PROJECT: 2240-2266 N RAND ROAD  
 SHEET: 2 OF 23  
 JOB NO.: 1162405  
 DATE: 02/08/2026  
 FR. NAME: 1162405\_0203N



**LEGEND**

	EASEMENT
	UTILITY LINE
	STRUCTURE
	BOUNDARY
	SURVEY POINT
	ELEVATION
	EASEMENT
	UTILITY LINE
	STRUCTURE
	BOUNDARY
	SURVEY POINT
	ELEVATION

NOTE:  
 UNDERGROUND UTILITIES ARE SHOWN BY USING SYMBOLS BASED ON THE SURFACE AND/OR FROM UTILITY COMPANY FIELD STAKES AND, THEREFORE, THEIR LOCATIONS ARE APPROPRIATE AND SUSPECTED AND MAY NOT BE COMPLETELY ACCURATE, FOR MORE ACCURATE LOCATION, FIELD LOCATE.  
 PER F.O.W. DIRECTIONS, IF SHOWN, ARE BASED ON HIGHEST ELEVATIONS UNLESS OTHERWISE INDICATED OTHERWISE, IN WHICH CASE THE LOWEST IN AN ROW OBJECT IS SHOWN.  
 LAST DATE OF FIELD WORK: JANUARY 22, 2022

SOURCE BENCHMARK:  
 NGS BENCHMARK  
 DESIGNATION: COGAS 18  
 PER: 424789  
 DESCRIPTION: 10' HUBS SET IN WOOD PITCHER, IS CENTERED BY PLOOD CAR, LOCATED BY THE SOUTHEAST CORNER OF THE INTERSECTION OF A ROUTE 68 AND ROUTE 53, ON SOUTH OF THE CENTERLINE OF ROAD TO ROAD RIGHT-OF-WAY, TO THE NORTH-NORTHWEST OF A 4" CONCRETE CURB, SET 20' FROM A PAVEMENT IN THE STREET, LOCATED IN NORTH-BOUND ROUTE 53, 40' NORTH-EAST OF A 10" IN A BIRCHWOOD TREE, 20' WEST OF THE CORNER OF A 10" 10" BASE OF THE CONCRETE CURB, 10' SOUTH OF THE SOUTH OF THE SIDE OF CONCRETE CURB, ON THE NORTH OF AN ORANGE BERRILLAS WILLOW POST, ELEVATION = 730.5 NAVD 83

SITE BENCHMARK #1:  
 10' HUB (S) IN THE SOUTHWEST CORNER OF A CONCRETE BASE ON A 10' BOUNDARY, 10' NORTH OF THE SOUTH OF THE SIDE OF CONCRETE CURB, ELEVATION = 730.5 NAVD 83

SITE BENCHMARK #2:  
 SQUARE COT WITH THE SOUTHWEST CORNER OF THE CONCRETE BASE ON A 10' BOUNDARY, 10' NORTH OF THE SOUTH OF THE SIDE OF CONCRETE CURB, ON THE NORTH OF AN ORANGE BERRILLAS WILLOW POST, ELEVATION = 730.5 NAVD 83

BOUNDARY PROVIDED BY OTHERS.

NO.	DATE	REMARKS

NO.	DATE	REMARKS

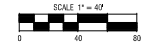
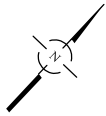
**EXISTING CONDITIONS**  
**2240-2266 N RAND ROAD**  
 PALATINE, ILLINOIS 60074



FILE NAME:  
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 DATE:  
 02/06/2026  
 JOB NO.  
 162405  
 SHEET

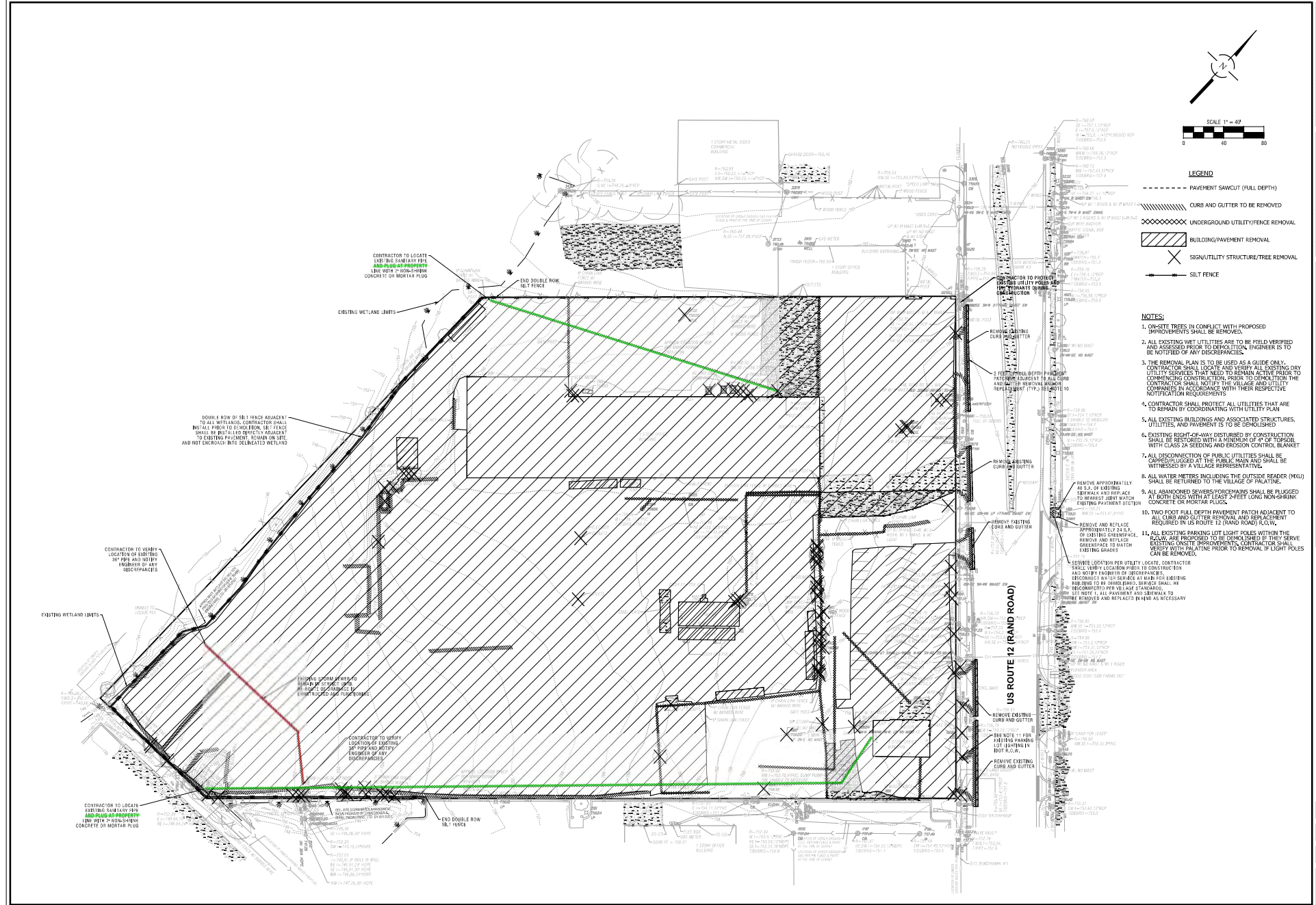
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- LEGEND**
- PAVEMENT SAWCUT (FULL DEPTH)
  - CURB AND GUTTER TO BE REMOVED
  - UNDERGROUND UTILITY/FENCE REMOVAL
  - BUILDING/PAVEMENT REMOVAL
  - SIGN/UTILITY STRUCTURE/TREE REMOVAL
  - SILT FENCE

- NOTES**
1. ON-SITE TREES IN CONFLICT WITH PROPOSED IMPROVEMENTS SHALL BE REMOVED.
  2. ALL EXISTING WET UTILITIES ARE TO BE FIELD VERIFIED AND ASSESSED PRIOR TO DEMOLITION. ENGINEER IS TO BE NOTIFIED OF ANY DISCREPANCIES.
  3. THE REMOVAL PLAN IS TO BE USED AS A GUIDE ONLY. CONTRACTOR SHALL LOCATE AND VERIFY ALL EXISTING DRY UTILITY STRUCTURES THAT NEED TO REMAIN. ACTIVE ROUTE TO COMMENCING CONSTRUCTION. PRIOR TO DEMOLITION THE CONTRACTOR SHALL NOTIFY THE VILLAGE AND UTILITY COMPANIES IN ACCORDANCE WITH THEIR RESPECTIVE NOTIFICATION REQUIREMENTS.
  4. CONTRACTOR SHALL PROTECT ALL UTILITIES THAT ARE TO REMAIN BY COORDINATING WITH UTILITY PLAN.
  5. ALL EXISTING BUILDINGS AND ASSOCIATED STRUCTURES, UTILITIES, AND PAVEMENT IS TO BE DEMOLISHED.
  6. EXISTING RIGHT-OF-WAY DISTURBED BY CONSTRUCTION SHALL BE RESTORED WITH A MINIMUM OF 4" OF TOPSOIL WITH CLASS 2A SEEDING AND EROSION CONTROL BLANKET.
  7. ALL DISCONNECTION OF PUBLIC UTILITIES SHALL BE CORROBORATED AT THE PUBLIC MAIN AND SHALL BE WITNESSED BY A VILLAGE REPRESENTATIVE.
  8. ALL WATER METERS INCLUDING THE OUTSIDE READER (MOU) SHALL BE RETURNED TO THE VILLAGE OF PALATINE.
  9. ALL ABANDONED SEWERS/FORCEMAINS SHALL BE PLUGGED AT BOTH ENDS WITH AT LEAST 4-FEET LONG NON-SHINKING CONCRETE OR MORTAR PUGS.
  10. TWO FOOT FULL DEPTH PAVEMENT PATCH ADJACENT TO ALL CURB AND GUTTER REMOVAL AND REPAIRMENT REQUIRED IN US ROUTE 12 (RAND ROAD) R.O.W.
  11. ALL EXISTING PARKING LOT LIGHT POLES WITHIN THE ROAD, AND PROPOSED TO BE DEMOLISHED IF THEY SERVE EXISTING ON-SITE IMPROVEMENTS, CONTRACTOR SHALL VERIFY WITH PALATINE PRIOR TO REMOVAL. IF LIGHT POLES CAN BE REMOVED.
  12. SEWER LOCATIONS FOR UTILITY LOCATE. CONTRACTOR SHALL VERIFY LOCATIONS PRIOR TO CONSTRUCTION AND NOTIFY VILLAGE OF DISCREPANCIES. DISCONNECT WATER SERVICE AT MAIN FOR EXISTING BUILDINGS TO BE DEMOLISHED. SERVICE SHALL BE DISCONNECTED PER VILLAGE STANDARDS.
  13. NOTE: ALL PAVEMENT ARE SUBJECTS TO BE REPAIRED AND REPLACED IN AND AS NECESSARY.



DEMOLITION PLAN

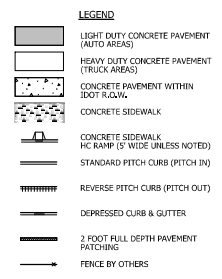
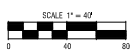
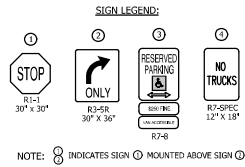
2240-2266 N RAND ROAD  
PALATINE, ILLINOIS 60074



FILE NAME:  
1162405\_CDDMO.DGN  
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02/06/2026  
JOB NO.  
1162405  
SHEET  
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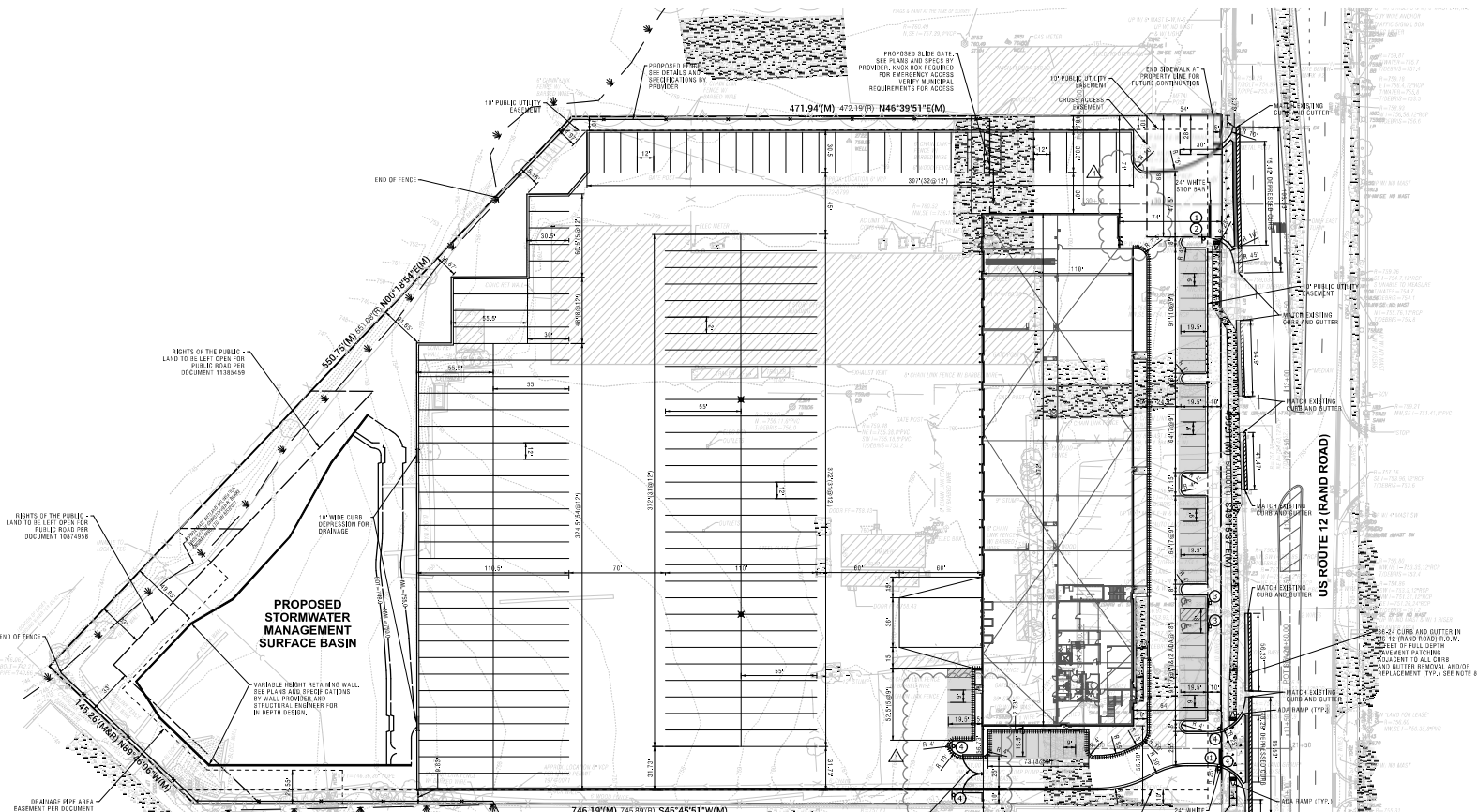
**NOTES:**

1. ALL DIMENSIONS ARE TO THE BACK OF CURB UNLESS OTHERWISE NOTED.
2. ALL CURBS AND GUTTERS ON-SITE ARE STANDARD PITCH (PITCH IN) 86-12 CURB AND GUTTER UNLESS OTHERWISE NOTED.
3. SEE SHEET GN FOR PAVEMENT SECTION DETAILS.
4. ALL PAVEMENT MARKINGS SHALL BE PAINT.
5. ALL ACCESSIBLE PARKING SPACE SIGNAGE SHALL CONFORM TO ILLINOIS ACCESSIBILITY CODE.
6. SEE ARCHITECTURAL DRAWINGS FOR DESIGN AND DETAILS OF THE BUILDINGS
7. BOLLARDS ARE TO BE PLACED AROUND FIRE HYDRANTS LOCATED IN TRUCK DOCKS
8. ALL PROPOSED CURB WITHIN THE US-12 (RAND ROAD) R.O.W. SHALL BE 86-24 UNLESS OTHERWISE NOTED
9. DESIGN OF LIGHTING AND CIRCUITRY IS BY OTHERS AND SHOWN FOR COORDINATION PURPOSES ONLY



**PARKING COUNT:**

CAR PARKING PROPOSED:	44
ADA STALLS PROPOSED:	2
ADA STALLS REQUIRED:	2
TOTAL CAR PARKING PROPOSED:	46
CAR STALLS PROPOSED:	41
TRAILER STALLS PROPOSED:	120



**GEOMETRIC PLAN**

**2240-2266 N RAND ROAD**  
PALATINE, ILLINOIS 60074

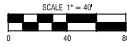
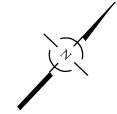


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	5 OF 23

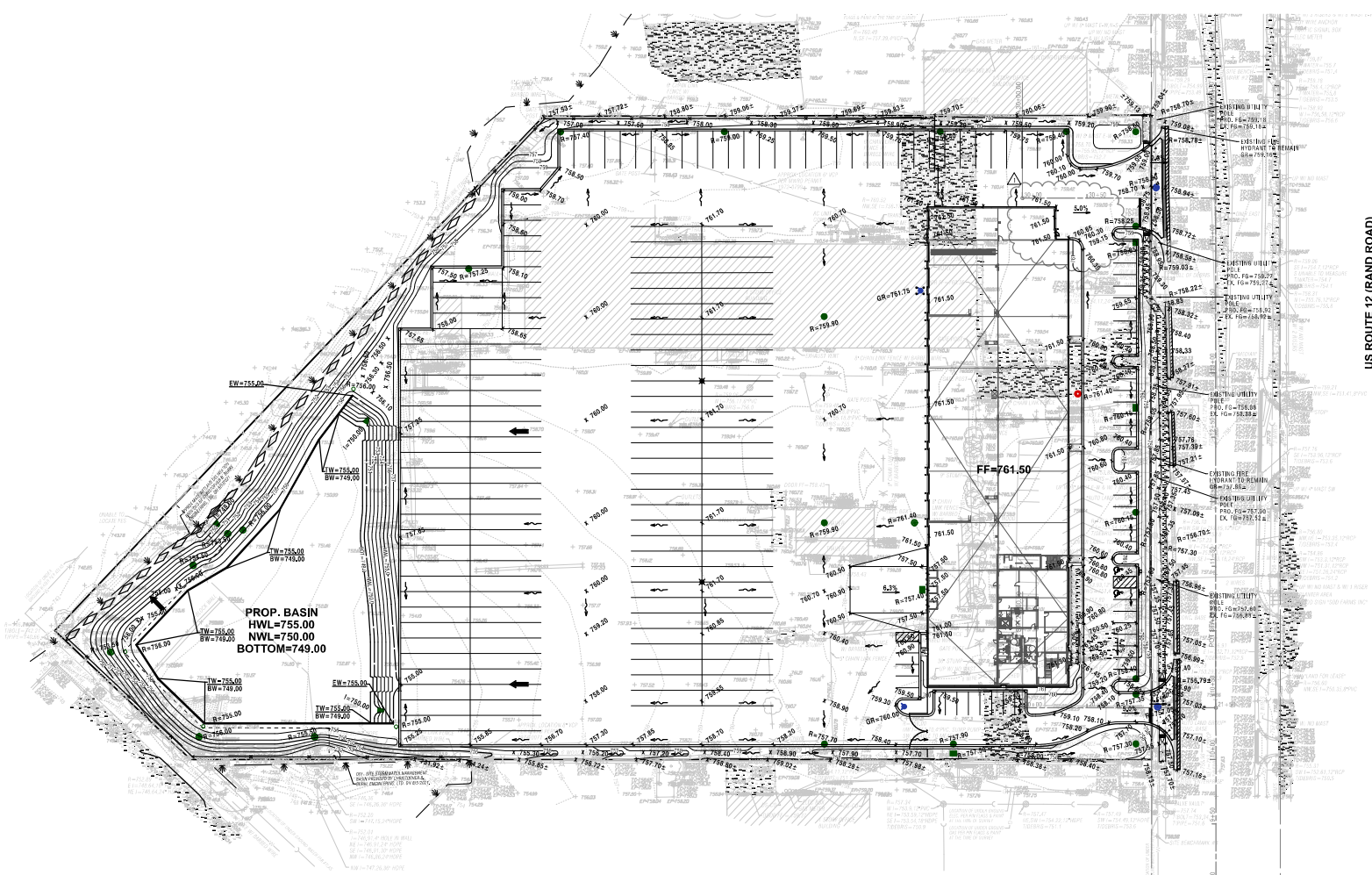
NO.	DATE	REMARKS
1		ISSUED FOR PERMITS

NO.	DATE	REMARKS

- NOTES:**
1. ALL CURBS AND GUTTERS ON-SITE ARE STANDARD PITCH (PITCH IN) 60-1:1 CURB AND GUTTER UNLESS OTHERWISE NOTED.
  2. ALL SPOT GRADES ALONG CURB LINE ARE EDGE OF PAVEMENT UNLESS NOTED OTHERWISE.
  3. ADA STAIRS SHALL HAVE A MAXIMUM SLOPE OF 2.0% AS MEASURED IN ANY DIRECTION.



- LEGEND**
- FF FINISHED FLOOR
  - LOCAL DRAINAGE
  - 100-YEAR OVERLAND FLOW ROUTE (ON PIPE UNLESS SHOWN ON PLAN)
  - TOP OF WALL FINISHED GRADE @ BOTTOM OF WALL
  - FINISHED GRADE
  - MATCH EXISTING GRADE
  - LIMITS OF GRADING DISTURBANCE



NO.	DATE	REMARKS

**GRADING PLAN**  
**2240-2266 N RAND ROAD**  
 PALATINE, ILLINOIS 60074

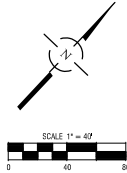
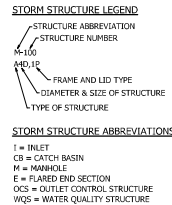


FILE NAME: 11624.05_GRDGN
DATE: 02/06/2026
JOB NO. 11624.05
SHEET <b>GR</b>

**NOTES:**

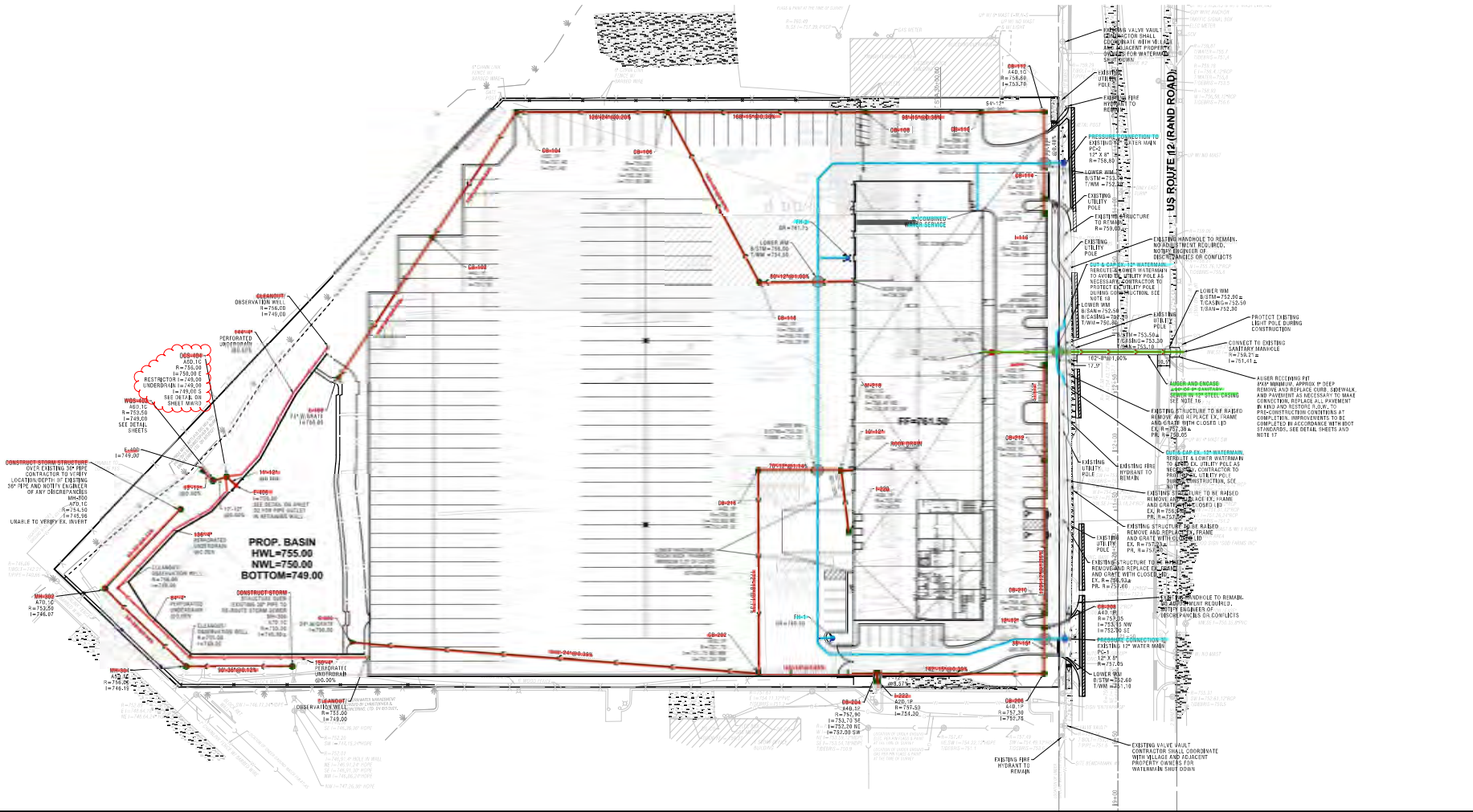
- 1. ALL STORM SEWERS SHALL BE RCP CL-V UNLESS NOTED OTHERWISE.
- 2. ALL SANITARY SEWERS SHALL BE PVC SDR 26 UNLESS NOTED OTHERWISE.
- 3. ALL WATER MAINS SHALL BE D.I.P. CLASS 52 UNLESS NOTED OTHERWISE. REGULARS AND THRUST BLOCKS ARE REQUIRED FOR ALL WATERMAIN FITTINGS.
- 4. INDICATES TRENCH BACKFILL REQUIRED.
- 5. FRAME AND GRATE/LID FOR STORM SEWER STRUCTURES
  - 1C - MANHOLE-REINFORCED 2504C FRAME WITH TYPE "B" CLOSED LID AND SHALL HAVE "STORM" EMBOSSED ON THE LID.
  - 1D - INLET CATCH BASIN-REINFORCED 2504C WITH TYPE "C" GRATE
  - 1G - INLET CATCH BASIN-REINFORCED 48" DIAMETER BARRIER LID
- 6. DESIGN OF WIRING AND CIRCUITRY OF LIGHTING WILL BE BY OTHERS.
- 7. ALL RESTRAINED WATER MAIN JOINTS SHALL BE U.S. PIPE "FIELD LOK" GASKET OR APPROVED EQUAL.
- 8. SEE DETAIL "WATER AND SEWER SEPARATION REQUIREMENTS (PER IEPA)" ON SHEET DET1 FOR SEPARATION REQUIREMENTS.
- 9. LIGHTING DESIGN AND PHOTOMETRICS BY OTHERS
- 10. ALL RESTRAINED WATER MAIN JOINTS SHALL BE U.S. PIPE "FIELD LOK" GASKET OR APPROVED EQUAL.
- 11. LIDS ON WATERMAIN VAULTS SHALL HAVE "WATER" EMBOSSED ON THE LID.
- 12. LIDS ON SANITARY VAULTS SHALL HAVE "SANITARY" EMBOSSED ON THE LID.

- 13. ALL FIRE HYDRANTS SHALL HAVE THE PUMPER/STEAMER PORT FACE THE PARKING LOT AND/OR STREET.
- 14. SEE DETAIL "WATER AND SEWER SEPARATION REQUIREMENTS (PER IEPA)" ON DETAILS SHEETS FOR SEPARATION REQUIREMENTS
- 15. FRENCH DRAIN: ALL LOW POINT STORM STRUCTURES ARE TO HAVE FOUR (4) DIAMETER WEEP HOLES PROVIDED 24" BELOW THE TOP OF THE LID. THE HOLES SHALL BE COVERED WITH A GEOTEXTILE FILTER FABRIC EMBEDDED IN PLACE WITH BITUMINOUS MASTIC. THE DRAIN SHALL BE BACKFILLED WITH BEDDING OR CA-7 CRUSHED STONE TO TOP OF SUBGRADE OR BOTTOM OF TOPSOIL.
- 16. PITS FOR REPAIRS TO EXISTING MAINS OR FOR WATER MAINS SHALL HAVE A MINIMUM OF 16 FEET PLUS THE DEPTH OF THE FIT FROM THE EDGE OF PAVEMENT PER DOT STANDARDS. IF PITS ARE CLOSER THAN NOTED PREVIOUSLY, ONE SHUT DOWN WILL BE REQUIRED AND SHALL FOLLOW DOT STANDARDS. SEE DETAIL SHEETS FOR TRAFFIC CONTROL AND LANE SHUT-DOWN DETAILS.
- 17. ALL BORING AND RECEIVING PITS SHALL BE LOCATED A MINIMUM OF 10 FEET PLUS THE DEPTH OF THE FIT FROM THE EDGE OF PAVEMENT PER DOT STANDARDS. IF PITS ARE CLOSER THAN NOTED PREVIOUSLY, ONE SHUT DOWN WILL BE REQUIRED AND SHALL FOLLOW DOT STANDARDS. SEE DETAIL SHEETS FOR TRAFFIC CONTROL AND LANE SHUT-DOWN DETAILS.
- 18. WATERMAIN WORK WITHIN ROW, FOR RELOCATION: THIS IS A HIGH-TRAFFIC COMMERCIAL AREA: FULL WATERMAIN SHUTDOWNS ARE STRICTLY PROHIBITED. CONTRACTOR SHALL KNOW DETAILED SCHEDULE OF CONSTRUCTION AND/OR UTILIZE TIME STOP. IF SHUT-DOWN IS PROPOSED THE IMPACT, PROPERTIES AND DURATION SHALL BE IDENTIFIED, MEANS AND METHODS SHALL BE SUBMITTED TO PALATINE FOR APPROVAL PRIOR TO CONSTRUCTION.
- 19. A TRACER WIRE OR DETECTABLE MARKING TAPE SHALL BE REQUIRED FOR ALL BURIED PIPING, REGARDLESS OF THE UTILITY TYPE (WATER, STORM, SANITARY).



NO.	DATE	REMARKS

NO.	DATE	REMARKS

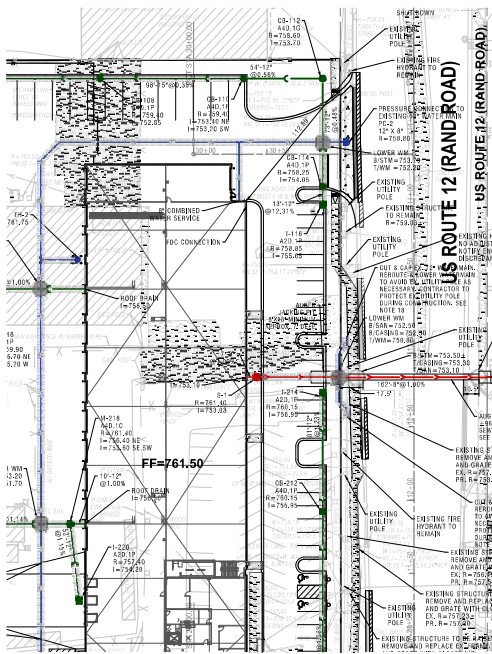


**UTILITY PLAN**

**2240-2266 N RAND ROAD  
PALATINE, ILLINOIS 60074**

**Spaceco**  
Civil Engineering & Surveying  
Rosemont, IL - Morris, IL - Indianapolis, IN

FILE NAME:	1162405_UT.DGN
DATE:	02/08/2026
JOB NO.	1162405
SHEET	UT
	7 OF 23



**US ROUTE 12 (RAND ROAD)**

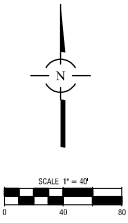
EXISTING UTILITY POLE TO REMAIN. PROTECT EXISTING LEFT POLE DURING CONSTRUCTION.

CONNECT TO EXISTING SANITARY MANHOLE R=759.21' E=755.41'

WATER RECEIVING PIT APPROXIMATE APPROX. P DEEP REMOVE AND REPLACE CURB, SIDEWALK AND PAVEMENT AS NECESSARY TO MAKE CONNECTION. SETBACK ALL PAVEMENT BEHIND AND BEFORE S.W. TO PROTECT CURB. COORDINATE AT COMPLETION. IMPROVEMENTS TO BE COMPLETED IN ACCORDANCE WITH DOT STANDARDS. SEE DETAIL SHEETS AND NOTE 1.

WATER AND ENCASE 12\"/>

**NOTES:**  
SEE SHEET UT FOR UTILITY INFORMATION.

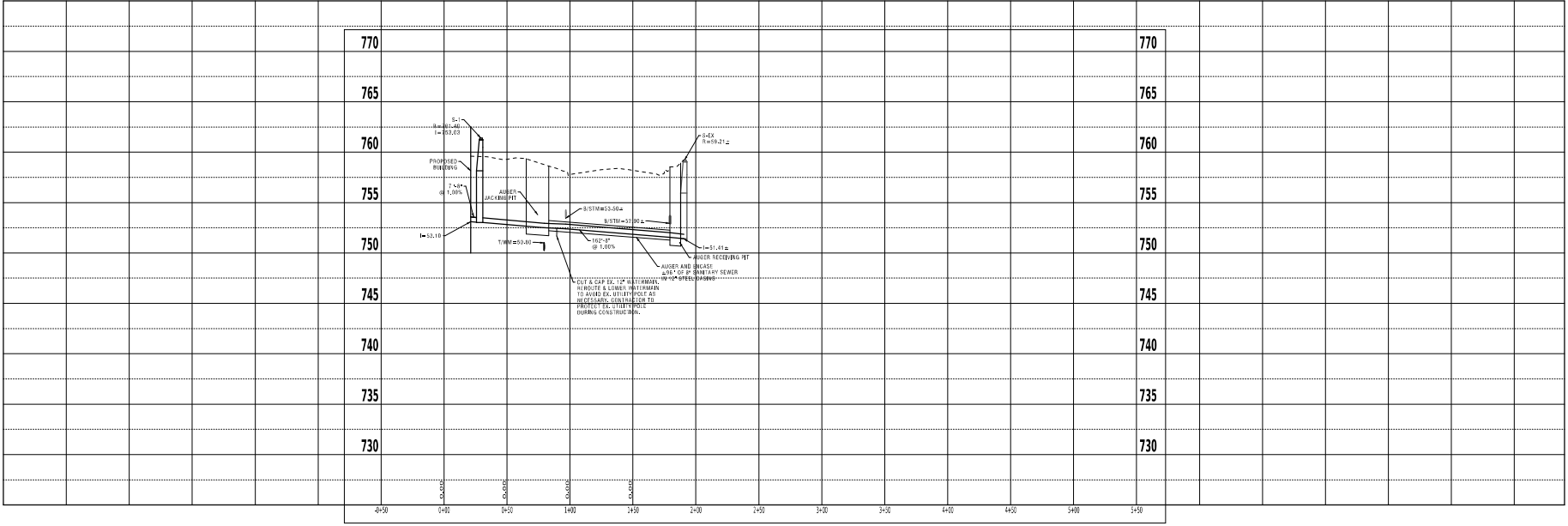


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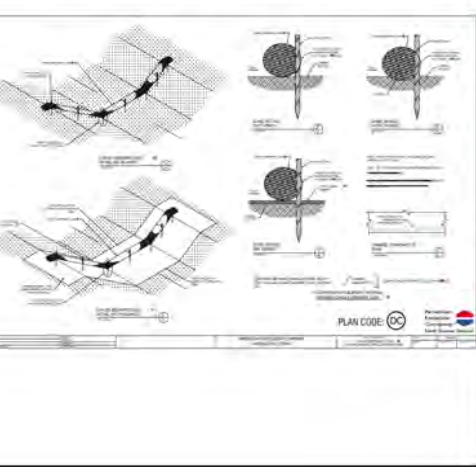
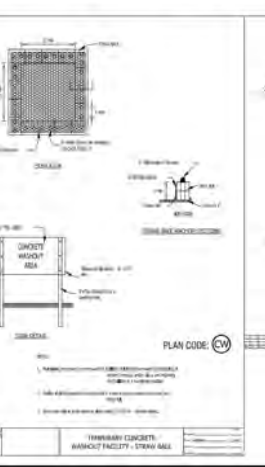
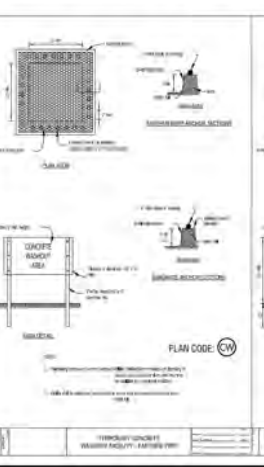
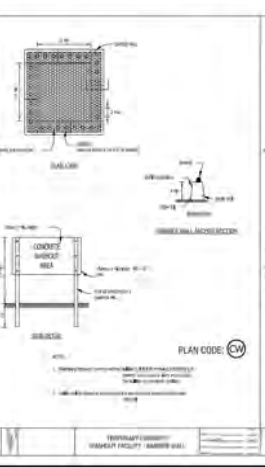
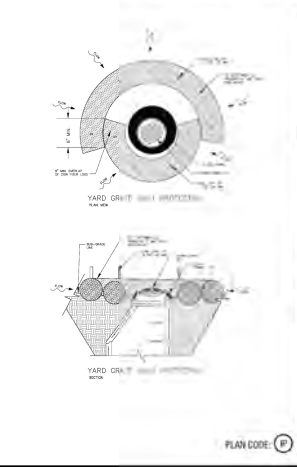
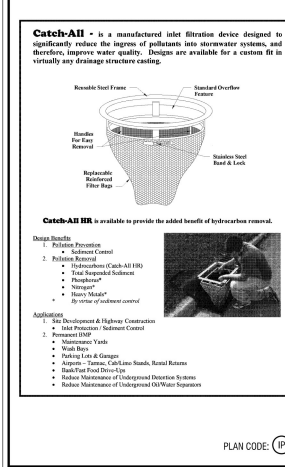
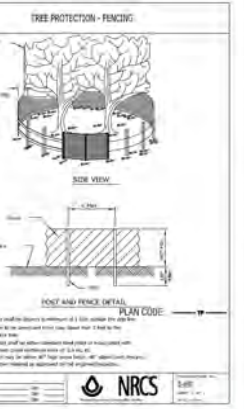
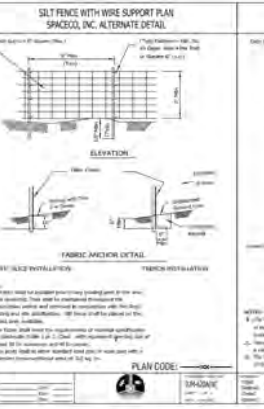
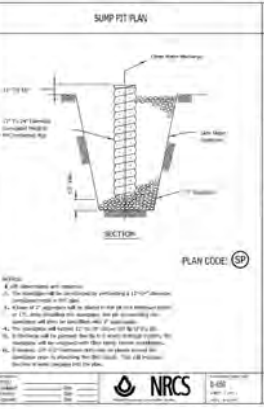
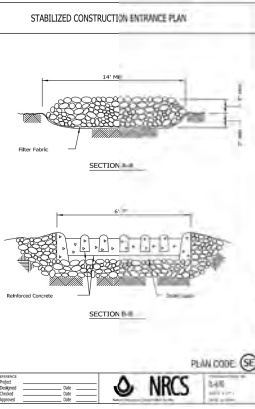
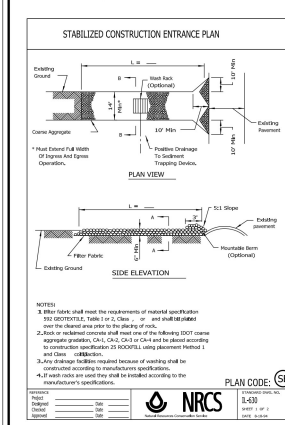
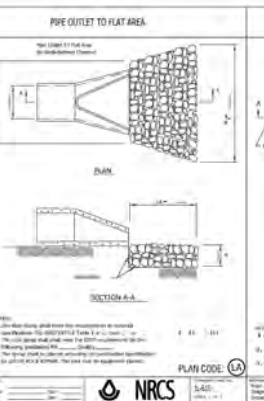
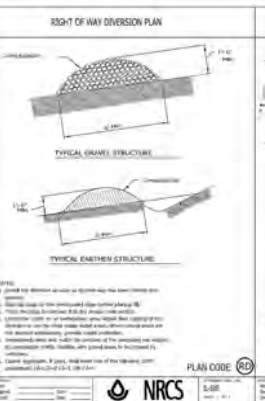
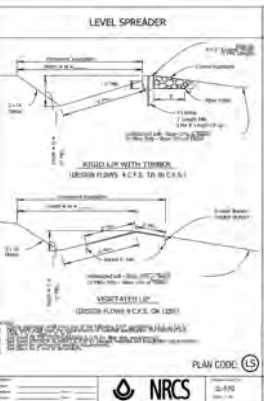
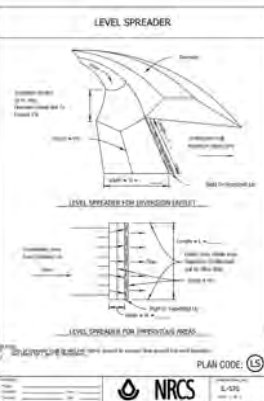
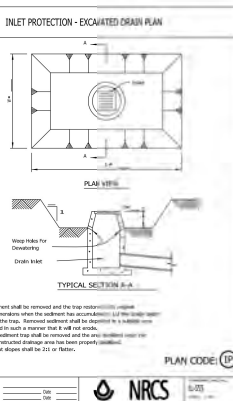
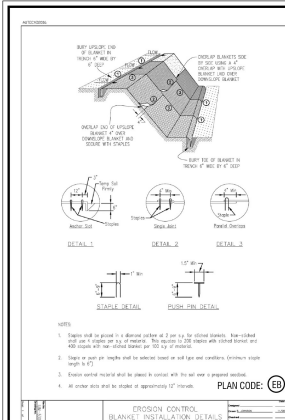
PLAN AND PROFILE - SANITARY SEWER  
 2240-2266 N RAND ROAD  
 PALATINE, ILLINOIS 60074

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 Rosemont, IL - Morris, IL - Indianapolis, IN  
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FILE NAME: 11624.05PP1
DATE: 02/06/2026
JOB NO. 11624.05
SHEET <b>PP1</b> 8 OF 23





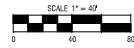
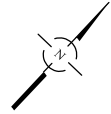


OUTFALL NAME OR NUMBER	INLET PIPE SIZE (IN)	VELOCITY (FS)	LENGTH OF APRON (L (FT))	R/R/AP GRADATION	WIDTH OF APRON (US FACE 36 (FT))	WIDTH OF APRON (IS FACE 36 (L (FT))	DEPTH OF R/R/AP (Y (IN))
E-100	24	5	16	RR-3	6	22	15
E-200	24	5	16	RR-3	6	22	15
E-400	12	5	10	RR-3	3	13	15

**EROSION CONTROL NOTES:**

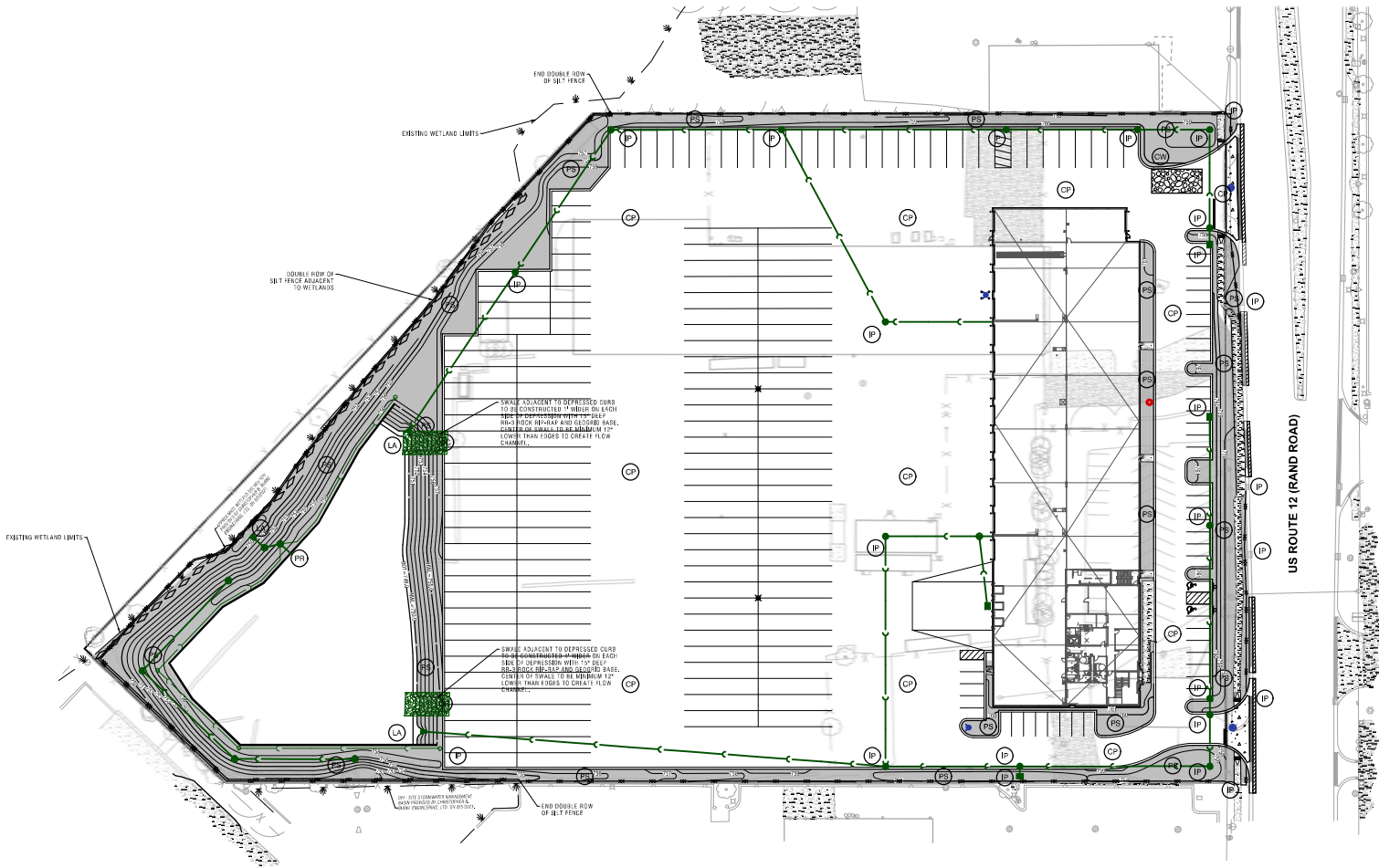
1. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE PRIOR TO THE START OF CONSTRUCTION.
2. CONTRACTOR SHALL MAINTAIN PROPER SITE DRAINAGE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR DUST CONTROL.
4. CONTRACTOR IS RESPONSIBLE FOR KEEPING THE PUBLIC ROADWAYS CLEAN AND FREE OF DIRT AND DEBRIS AT ALL TIMES.
5. ADDITIONAL EROSION CONTROL MEASURES SHALL BE IMPLEMENTED IF A SWPPP INSPECTION OF THE SITE INDICATES A DEFICIENCY.
6. ALL CONSTRUCTION TRAFFIC TO AND FROM THE SITE SHALL BE RESTRICTED TO THE STABILIZED CONSTRUCTION ENTRANCE.
7. ALL TEMPORARY AND PERMANENT EROSION AND SEDIMENT CONTROL PRACTICES MUST BE MAINTAINED AND REPAIRED AS NECESSARY TO PERFORM AS INTENDED.
8. MAJOR AMENDMENTS TO THE SITE DEVELOPMENT AND EROSION CONTROL PLANS SHALL BE SUBMITTED TO THE DEPARTMENT OF COMMUNITY DEVELOPMENT TO BE APPROVED IN THE SAME MANNER AS THE ORIGINAL PLANS.

9. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE DISPOSSED OF WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION IS ACHIEVED WITH PERMANENT SOIL STABILIZATION MEASURES. DISBURSED ITEMS SHALL BE STABILIZED WITH TEMPORARY PERMANENT MEASURES WITHIN 14 CALENDAR DAYS FOLLOWING THE END OF ACTIVE DISTURBANCE OR RE-INSURANCE.
10. IF A STOCKPILE IS TO REMAIN IN PLACE FOR MORE THAN THREE DAYS, THEN SEDIMENT AND EROSION CONTROL MEASURES SHALL BE PROVIDED FOR SUCH A STOCKPILE.
11. SEEDING SPECIFICATION TO FOLLOW LANDSCAPING PLANS.
12. CONTRACTOR SHALL COORDINATE STABILIZATION WITH LANDSCAPE PLANS FOR FINAL LOCATIONS AND REQUIREMENTS.
13. ON-SITE GREENSPACE SHALL BE FINISHED WITH 4" TOPSOIL, CLASS 2A SEEDING, AND EROSION CONTROL BLANKET.
14. THIS PLAN IS TO BE USED AS A GUIDE ONLY. CONTRACTOR SHALL LOCATE ITEMS IN FIELD AS NECESSARY.



**SYMBOL LEGEND**

- STABILIZED CONSTRUCTION ENTRANCE
- SILT FENCE
- INLET PROTECTION
- PERMANENT SEEDING
- LINED APRON
- PERFORATED RISER
- CONCRETE PAVEMENT
- CONCRETE WASHOUT
- DITCH CHECK/COR LOG
- NORTH AMERICAN GREEN S-75 EROSION CONTROL BLANKET



NO.	DATE	REMARKS

NO.	DATE	REMARKS

**SOIL EROSION AND SEDIMENT CONTROL PLAN - 3**  
**2240-2266 N RAND ROAD**  
 PALATINE, ILLINOIS 60074



FILE NAME:  
1162405\_003.DGN

DATE:  
02/06/2026

JOB NO.  
1162405

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**SE3**  
11 OF 23

EARTHWORK NOTES	PAVING NOTES	SANITARY SEWER NOTES	STORM SEWER NOTES
<p>1. GENERAL</p> <p>A. IT IS THE CONTRACTOR'S RESPONSIBILITY TO IDENTIFY AND RECORD THE SITE AND GROUNDWATER CONDITIONS AT THE SITE. THE CONTRACTOR SHALL OBTAIN AND READ THE GEOLOGICAL REPORTS AVAILABLE FROM THE OWNER.</p> <p>B. ANY QUANTITIES IN THE BID PROPOSAL ARE BASED AS QUOTE FOR THE CONTRACTOR'S USE IN DETERMINING THE SCOPE OF THE CONTRACT PROJECT. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE ALL MATERIAL QUANTITIES AND APPROVE NUMBER OF ALL SITE CONDITIONS. THE CONTRACTOR SHALL SUBMIT TO THE ARCHITECT A SUMMARY OF THE QUANTITIES AND APPROVE NUMBER OF ALL SITE CONDITIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES.</p> <p>C. THE CONTRACTOR SHALL MAINTAIN PROPER RECORDS OF ALL CONSTRUCTION PLANS AND METHODS. THE CONTRACTOR SHALL MAINTAIN PROPER RECORDS OF ALL CONSTRUCTION PLANS AND METHODS. THE CONTRACTOR SHALL MAINTAIN PROPER RECORDS OF ALL CONSTRUCTION PLANS AND METHODS.</p>	<p>1. GENERAL</p> <p>A. PAVING MATERIALS SHALL BE SUBMITTED FOR TESTING, PREPARATION AND CORRECTION. PAVING OF CURBS AND BASE COURSE MATERIALS SHALL BE SUBMITTED FOR TESTING, PREPARATION AND CORRECTION. PAVING OF CURBS AND BASE COURSE MATERIALS SHALL BE SUBMITTED FOR TESTING, PREPARATION AND CORRECTION.</p> <p>B. CONSTRUCTION REQUIREMENTS: REFERENCE ASTM D-1557 MODIFIED PAVEMENT (SUBGRADE + 10% SUBGRADE + 60% AGGREGATE BASE COURSE + 4% BITUMINOUS OVERLAY) FOR ALL PAVING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES.</p>	<p>1. GENERAL</p> <p>A. SANITARY SEWER PIPE SHALL BE PVC (POLYVINYL CHLORIDE) PLASTIC PIPE WITH A STANDARD UNIFORM RATING (SUR) OF 3000 IN ACCORDANCE WITH ASTM D-2688 AND A STANDARD UNIFORM RATING (SUR) OF 3000 IN ACCORDANCE WITH ASTM D-2688. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES.</p> <p>B. SANITARY SEWER PIPE 12" AND LARGER WHERE NOTED ON THE PLANS OR WHERE THE PERMANENT RECORDS CANNOT BE FOUND SHALL BE OF THE FOLLOWING: PLAN CODE DESCRIPTION 12" DIA. RIBBED INTERLOCKING MANHOLE PIPE CLASS 2000 (ASPH 441) WITH HDPE MANHOLE AND 2" DIA. GASKETS (ASPH 441) (ASPH 441)</p>	<p>2. SEWERS</p> <p>A. ALL STORM SEWERS SHALL BE INSTALLED ON A TYPE A GRAVELLARIUS BEDDING, 14" TO 34" IN DEPTH (14" WITH A MINIMUM 10% SLOPE TO THE OUTSIDE DIAMETER OF THE SEWER PIPE, 14" TO 34" SLOPE TO THE OUTSIDE DIAMETER OF THE SEWER PIPE, 14" TO 34" SLOPE TO THE OUTSIDE DIAMETER OF THE SEWER PIPE, 14" TO 34" SLOPE TO THE OUTSIDE DIAMETER OF THE SEWER PIPE).</p> <p>3. STRUCTURES</p> <p>A. MANHOLE STRUCTURES SHALL BE PRECAST CONCRETE RECTANGULAR OR ROUND MANHOLES WITH A MINIMUM 18" DIAMETER UNLESS OTHERWISE NOTED ON THE PLANS. THE SEWER MANHOLE SHALL BE SEALED WITH A GASKET OR GASKETS. A MINIMUM OF 4" OF CONCRETE SHALL BE USED TO SEAL THE JOINTS BETWEEN SEWER MANHOLES.</p>
<p>2. EXCESS MATERIALS</p> <p>A. EXCESS MATERIALS, IF NOT LISTED AS SUCH, SHALL BE COMPLETELY REMOVED FROM THE CONSTRUCTION SITE AND DEPOSITED OFF-SITE BY THE CONTRACTOR.</p> <p>3. EXCESS MATERIALS</p> <p>A. EXCESS MATERIALS, IF NOT LISTED AS SUCH, SHALL BE COMPLETELY REMOVED FROM THE CONSTRUCTION SITE AND DEPOSITED OFF-SITE BY THE CONTRACTOR.</p>	<p>2. SUBGRADE PREPARATION</p> <p>A. EXCESS MATERIALS, IF NOT LISTED AS SUCH, SHALL BE COMPLETELY REMOVED FROM THE CONSTRUCTION SITE AND DEPOSITED OFF-SITE BY THE CONTRACTOR.</p> <p>3. EXCESS MATERIALS</p> <p>A. EXCESS MATERIALS, IF NOT LISTED AS SUCH, SHALL BE COMPLETELY REMOVED FROM THE CONSTRUCTION SITE AND DEPOSITED OFF-SITE BY THE CONTRACTOR.</p>	<p>2. SEWERS</p> <p>A. EXCESS MATERIALS, IF NOT LISTED AS SUCH, SHALL BE COMPLETELY REMOVED FROM THE CONSTRUCTION SITE AND DEPOSITED OFF-SITE BY THE CONTRACTOR.</p> <p>3. EXCESS MATERIALS</p> <p>A. EXCESS MATERIALS, IF NOT LISTED AS SUCH, SHALL BE COMPLETELY REMOVED FROM THE CONSTRUCTION SITE AND DEPOSITED OFF-SITE BY THE CONTRACTOR.</p>	<p>3. CASTINGS</p> <p>A. CASTINGS FOR SEWER OR OTHER STRUCTURES SHALL BE UNLESS OTHERWISE APPROVED, EQUAL TO CASTINGS SHALL BE CONFORMED TO ASTM A-1153. THE COST OF CASTINGS SHALL BE PAID BY THE CONTRACTOR.</p> <p>4. FRENCH DRAIN</p> <p>A. ALL FRENCH DRAIN STRUCTURES ARE TO BE MADE FROM 12" WIDE PERFORATED POLYPROPYLENE OR POLYETHYLENE WITH A MINIMUM 1/8" HOLES PER INCH. THE DRAIN SHALL BE INSTALLED WITH A MINIMUM 1% SLOPE TO THE OUTSIDE DIAMETER OF THE DRAIN. THE DRAIN SHALL BE SEALED WITH A GASKET OR GASKETS.</p>
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**SPACECO**  
 2240-2266 N RAND ROAD  
 PALATKA, ILLINOIS 60074

Rosemont, Ill. • Morris, Ill. • Indianapolis, IN

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 Civil Engineering & Surveying

FILE NAME: 2240266\_SPECDON  
 DATE: 02/08/2026  
 JOB NO: 1162405  
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**A. REFERENCED SPECIFICATIONS**

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE APPLICABLE SECTIONS OF THE FOLLOWING, EXCEPT AS MODIFIED HEREIN OR ON THE PLANS:
  - STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (LATEST EDITION), BY THE ILLINOIS DEPARTMENT OF TRANSPORTATION (DOT 55) FOR ALL IMPROVEMENTS EXCEPT SANITARY SEWER AND WATER MAIN CONSTRUCTION.
  - STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS, LATEST EDITION (SSWS) FOR SANITARY SEWER AND WATER MAIN CONSTRUCTION.
  - VILLAGE OF PALATINE LOCAL CODES.
  - THE METROPOLITAN WATER RECLAMATION DISTRICT OF GREATER CHICAGO (MWRD) WATERSHED MANAGEMENT ORDINANCE AND TECHNICAL GUIDANCE MANUAL.
  - IN CASE OF CONFLICT BETWEEN THE APPLICABLE ORDINANCES NOTED, THE MORE STRINGENT SHALL TAKE PRECEDENCE AND SHALL CONTROL ALL CONSTRUCTION.

**B. NOTIFICATIONS**

- THE MWRD LOCAL SEWER SYSTEMS SECTION FIELD OFFICE MUST BE NOTIFIED AT LEAST TWO (2) WORKING DAYS PRIOR TO THE COMMENCEMENT OF ANY WORK (CALL 708-508-8055 OR SEND EMAIL NOTIFICATION WITH PROJECT NAME, LOCATION AND PERMIT NUMBER TO [WMOICESTART@MWRD.ORG](mailto:WMOICESTART@MWRD.ORG)).
- THE VILLAGE OF PALATINE ENGINEERING DEPARTMENT AND PUBLIC MUST BE NOTIFIED AT LEAST 24 HOURS PRIOR TO THE START OF CONSTRUCTION AND PRIOR TO EACH PHASE OF WORK. CONTRACTOR SHALL DETERMINE ITEMS REQUIRING INSPECTION PRIOR TO START OF CONSTRUCTION OR EACH WORK PHASE.
- THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES PRIOR TO BEGINNING CONSTRUCTION FOR THE EXACT LOCATIONS OF UTILITIES AND FOR THEIR PROTECTION DURING CONSTRUCTION. IF EXISTING UTILITIES ARE ENCOUNTERED THAT CONFLICT IN LOCATION WITH NEW CONSTRUCTION, IMMEDIATELY NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED. CALL 312.325.AT 1-800-950-0123.

**C. GENERAL NOTES**

- ALL ELEVATIONS SHOWN ON PLANS REFERENCE THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88), CONVERSION FACTOR IS  $1/2.54$ .
- MWRD, THE MUNICIPALITY AND THE OWNER OR OWNER'S REPRESENTATIVE SHALL HAVE THE AUTHORITY TO INSPECT, APPROVE, AND REJECT THE CONSTRUCTION IMPROVEMENTS.
- THE CONTRACTOR(S) SHALL INDEMNIFY THE OWNER, ENGINEER, MUNICIPALITY, MWRD, AND THEIR AGENTS, ETC., FROM ALL LIABILITY INVOLVED WITH THE CONSTRUCTION, INSTALLATION, OR TESTING OF THIS WORK ON THE PROJECT.
- THE PROPOSED IMPROVEMENTS MUST BE CONSTRUCTED IN ACCORDANCE WITH THE ENGINEERING PLANS AS APPROVED BY MWRD AND THE MUNICIPALITY UNLESS CHANGES ARE APPROVED BY MWRD, THE MUNICIPALITY, OR AUTHORIZED AGENT. THE CONSTRUCTION DETAILS, AS PRESENTED ON THE PLANS, MUST BE FOLLOWED. PROPER CONSTRUCTION TECHNIQUES MUST BE FOLLOWED ON THE IMPROVEMENTS INDICATED ON THE PLANS.
- THE LOCATION OF VARIOUS UNDERGROUND UTILITIES WHICH ARE SHOWN ON THE PLANS ARE FOR INFORMATION ONLY AND REPRESENT THE BEST KNOWLEDGE OF THE ENGINEER. VERIFY LOCATIONS AND ELEVATIONS PRIOR TO BEGINNING THE CONSTRUCTION OPERATIONS.
- ANY EXISTING PAVEMENT, SIDEWALK, DRIVEWAY, ETC., DAMAGED DURING CONSTRUCTION OPERATIONS AND NOT CALLED FOR TO BE REMOVED SHALL BE REPLACED AT THE EXPENSE OF THE CONTRACTOR.
- MATERIAL AND COMPACTION TESTING SHALL BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THE MUNICIPALITY, MWRD, AND OWNER.
- THE UNDERGROUND CONTRACTOR SHALL MAKE ALL NECESSARY ARRANGEMENTS TO NOTIFY ALL INSPECTION AGENCIES.
- ALL NEW AND EXISTING UTILITY STRUCTURES ON SITE AND IN AREAS DISTURBED DURING CONSTRUCTION SHALL BE ADJUSTED TO FINISH GRADE PRIOR TO FINAL INSPECTION.
- RECORD DRAWINGS SHALL BE KEPT BY THE CONTRACTOR AND SUBMITTED TO THE ENGINEER AS SOON AS UNDERGROUND IMPROVEMENTS ARE COMPLETED. FINAL PAYMENTS TO THE CONTRACTOR SHALL BE HELD UNTIL THEY ARE RECEIVED. ANY CHANGES IN LENGTH, LOCATION OR ALIGNMENT SHALL BE SHOWN IN RED. ALL VYES OR BENDS SHALL BE LOCATED FROM THE DOWNSTREAM MANHOLE. ALL VALVES, B-SPOKES, TIES OR BENDS SHALL BE TIED TO A FIRE HYDRANT.

**D. SANITARY SEWER**

- THE CONTRACTOR SHALL TAKE MEASURES TO PREVENT ANY POLLUTED WATER, SUCH AS GROUND AND SURFACE WATER, FROM ENTERING THE EXISTING SANITARY SEWERS.
- A WATER-TIGHT PLUG SHALL BE INSTALLED IN THE DOWNSTREAM SEWER PIPE AT THE POINT OF SEWER CONNECTION PRIOR TO COMMENCING ANY SEWER CONSTRUCTION. THE PLUG SHALL REMAIN IN PLACE UNTIL REMOVAL IS AUTHORIZED BY THE MUNICIPALITY AND/OR MWRD AFTER THE SEWERS HAVE BEEN TESTED AND ACCEPTED.
- DISCHARGING ANY UNPOLLUTED WATER INTO THE SANITARY SEWER SYSTEM FOR THE PURPOSE OF SEWER FLUSHING OF LINES FOR THE DEFLECTION TEST SHALL BE PROHIBITED WITHOUT PRIOR APPROVAL FROM THE MUNICIPALITY OR MWRD.
- ALL SANITARY SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS (LATEST EDITION).
- ALL FLOOR DRAINS SHALL DISCHARGE TO THE SANITARY SEWER SYSTEM.
- ALL DOWNSPOUTS AND FOOTING DRAINS SHALL DISCHARGE TO THE STORM SEWER SYSTEM.
- ALL SANITARY SEWER PIPE MATERIALS AND JOINTS (AND STORM SEWER PIPE MATERIALS AND JOINTS IN A COMBINED SEWER AREA) SHALL CONFORM TO THE FOLLOWING:

PIPE MATERIAL	PIPE SPECIFICATIONS	JOINT SPECIFICATIONS
VITRIFIED CLAY PIPE	ASTM C-700	ASTM C-425
REINFORCED CONCRETE SEWER PIPE	ASTM C-76	ASTM C-443
CAST IRON SOIL PIPE	ASTM A-74	ASTM C-664
DUCTILE IRON PIPE	ANSI A21.51	ANSI A21.11
POLYVINYL CHLORIDE (PVC) PIPE		
6-INCH TO 15-INCH DIAMETER SDR 26	ASTM D-3034	ASTM D-3212
18-INCH TO 37-INCH DIAMETER F/DY=46	ASTM D-479	ASTM D-3212
HIGH DENSITY POLYETHYLENE (HDPE)		
4-INCH TO 36-INCH	ASTM D-3380	ASTM D-3261, F-3630 (HEAT FUSION)
6-INCH TO 12-INCH	ASTM D-3035	ASTM D-3212, F-477 (GASKETED)
14-INCH TO 48-INCH		
WATER MAIN QUALITY PVC		
4-INCH TO 36-INCH	ASTM D-2741	ASTM D-3139
6-INCH TO 12-INCH	AWWA C900	ASTM D-3139
14-INCH TO 48-INCH	AWWA C905	ASTM D-3139

THE FOLLOWING MATERIALS ARE ALLOWED ON A QUALIFIED BASIS SUBJECT TO DISTRICT REVIEW AND APPROVAL PRIOR TO PERMIT ISSUANCE. A SPECIAL CONDITION WILL BE ADDED TO THE PERMIT WHEN THE PIPE MATERIAL BELOW IS USED FOR SEWER CONSTRUCTION OR A CONNECTION IS MADE.

PIPE MATERIAL	PIPE SPECIFICATIONS	JOINT SPECIFICATIONS
POLYPROPYLENE (PP) PIPE		
12-INCH TO 24-INCH DOUBLE WALL	ASTM F-2736	D-3212, F-477
30-INCH TO 60-INCH TRIPLE WALL	ASTM F-2764	D3212, F-477

- ALL SANITARY SEWER CONSTRUCTION (AND STORM SEWER CONSTRUCTION IN COMBINED SEWER AREAS), REQUIRES STONE BEDDING WITH STONE 1/4" TO 1" IN SIZE, WITH MINIMUM BEDDING THICKNESS EQUAL TO 1/4 THE OUTSIDE DIAMETER OF THE SEWER PIPE, BUT NOT LESS THAN FOUR (4) INCHES NOR MORE THAN EIGHT (8) INCHES. MATERIAL SHALL BE CA-7, CA-11 OR CA-13 AND SHALL BE EXTENDED AT LEAST 12" ABOVE THE TOP OF THE PIPE WHEN USING PVC.
- NON-SHEAR FLEXIBLE-TYPE COUPLINGS SHALL BE USED IN THE CONNECTION OF SEWER PIPES OF DISSIMILAR PIPE MATERIALS.
- ALL MANHOLES SHALL BE PROVIDED WITH BOLTED, WATERTIGHT COVERS. SANITARY LIDS SHALL BE CONSTRUCTED WITH A CONCEALED PICKOLE AND WATERTIGHT GASKET WITH THE WORD "SANITARY" CAST INTO THE LID.
- WHEN CONNECTING TO AN EXISTING SEWER MAIN BY MEANS OTHER THAN AN EXISTING WYE, TEE, OR AN EXISTING MANHOLE, ONE OF THE FOLLOWING METHODS SHALL BE USED:
  - A CIRCULAR SAW-CUT OF SEWER MAIN BY PROPER TOOLS ("SHRED-IT" MACHINE OR SIMILAR) AND PROPER INSTALLATION OF HURBY SADDLE OR HURBY SADDLE.
  - REMOVE AN ENTIRE SECTION OF PIPE (BREAKING ONLY THE TOP OF ONE BELL) AND REPLACE WITH A WYE OR TEE BRANCH SECTION.
  - WITH PIPE CUTTER, NEATLY AND ACCURATELY CUT OUT DESIRED LENGTH OF PIPE FOR INSERTION OF PROPER FITTING, USING "BAND SEAL" OR SIMILAR COUPLINGS TO HOLD IT FIRMLY IN PLACE.
- WHENEVER A SANITARY/COMBINED SEWER CROSSES UNDER A WATERMAIN, THE MINIMUM VERTICAL DISTANCE FROM THE TOP OF THE SEWER TO THE BOTTOM OF THE WATERMAIN SHALL BE 18 INCHES. FURTHERMORE, A MINIMUM HORIZONTAL DISTANCE OF 10 FEET BETWEEN SANITARY/COMBINED SEWERS AND WATERMAINS SHALL BE MAINTAINED UNLESS, IF EITHER THE VERTICAL OR HORIZONTAL DISTANCES DESCRIBED CANNOT BE MAINTAINED, OR THE SEWER CROSSES ABOVE THE WATER MAIN, THE SEWER SHALL BE CONSTRUCTED TO WATER MAIN STANDARDS OR IT SHALL BE ENCASED WITH A WATER MAIN QUALITY CARBURE PIPE WITH THE ENDS SEALED.
- ALL EXISTING SEPTIC SYSTEMS SHALL BE ABANDONED. COMBINED TANKS SHALL BE FILLED WITH GRANULAR MATERIAL OR REMOVED.
- ALL SANITARY MANHOLES, (AND STORM MANHOLES IN COMBINED SEWER AREAS), SHALL HAVE A MINIMUM INSIDE DIAMETER OF 48 INCHES, AND SHALL BE CAST IN PLACE OR PRE-CAST REINFORCED CONCRETE.
- ALL SANITARY MANHOLES, (AND STORM MANHOLES IN COMBINED SEWER AREAS), SHALL HAVE PRECAST "RUBBER BOOTS" THAT CONFORM TO ASTM C-923 FOR ALL PIPE CONNECTIONS. PRECAST SECTIONS SHALL CONSIST OF MODIFIED GROOVE TONGUE AND RUBBER GASKET TYPE JOINTS.
- ALL ABANDONED SANITARY SEWERS SHALL BE PLUGGED AT BOTH ENDS WITH AT LEAST 2 FEET LONG NON-SHRINK CONCRETE OR MORTAR PLUGS.
- EXCEPT FOR FOUNDATION/FOOTING DRAINS PROVIDED TO PROTECT BUILDINGS, OR PERFORATED PIPES ASSOCIATED WITH VOLUME CONTROL FACILITIES, DRAIN TILES/FIELD TILES/UNDERDRAINS/PERFORATED PIPES ARE NOT ALLOWED TO BE CONNECTED TO OR TRIBUTARY TO COMBINED SEWERS, SANITARY SEWERS, OR STORM SEWERS TRIBUTARY TO COMBINED SEWERS IN COMBINED SEWER AREAS. CONSTRUCTION OF NEW FACILITIES OF THIS TYPE IS PROHIBITED; AND ALL EXISTING DRAIN TILES AND PERFORATED PIPES ENCOUNTERED WITHIN THE PROJECT AREA SHALL BE PLUGGED OR REMOVED, AND SHALL NOT BE CONNECTED TO COMBINED SEWERS, SANITARY SEWERS, OR STORM SEWERS TRIBUTARY TO COMBINED SEWERS.
- A BACKFLOW PREVENTER IS REQUIRED FOR ALL DETENTION BASINS TRIBUTARY TO COMBINED SEWERS. REQUIRED BACKFLOW PREVENTERS SHALL BE INSPECTED AND OPERATED ANNUALLY BY THE PROPERTY OWNER TO ENSURE PROPER OPERATION, AND ANY NECESSARY MAINTENANCES SHALL BE PERFORMED TO ENSURE FUNCTIONALITY. IN THE EVENT A SEWER SURCHARGE INFO AN OPERABLE DETENTION BASIN TRIBUTARY TO COMBINED SEWERS, THE PERMITTEE SHALL ENSURE THAT CLEAN UP AND WASH OUT OF SEWAGE TAKES PLACE WITHIN 48 HOURS OF THE STORM EVENT.

**E. EROSION AND SEDIMENT CONTROL**

- THE CONTRACTOR SHALL INSTALL THE EROSION AND SEDIMENT CONTROL DEVICES AS SHOWN ON THE APPROVED EROSION AND SEDIMENT CONTROL PLAN.
- EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE FUNCTIONAL PRIOR TO HYDROLOGIC DISTURBANCE OF THE SITE.
- ALL DESIGN CRITERIA, SPECIFICATIONS, AND INSTALLATION OF EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE IN ACCORDANCE WITH THE ILLINOIS URBAN MANUAL.
- A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN SHALL BE MAINTAINED ON THE SITE AT ALL TIMES.
- INSPECTIONS AND DOCUMENTATION SHALL BE PERFORMED, AT A MINIMUM:
  - UPON COMPLETION OF INITIAL EROSION AND SEDIMENT CONTROL MEASURES, PRIOR TO ANY SOIL DISTURBANCE.
  - ONCE EVERY SEVEN (7) CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A STORM EVENT WITH GREATER THAN 0.5 INCH OF RAINFALL OR LIQUID EQUIVALENT PRECIPITATION.
- SOIL DISTURBANCE SHALL BE CONDUCTED IN SUCH A MANNER AS TO MINIMIZE EROSION. IF STRIPING, CLEARING, GRADING, OR LANDSCAPING ARE TO BE DONE IN PHASES, THE CO-PERMITTEE SHALL PLAN FOR APPROPRIATE SOIL EROSION AND SEDIMENT CONTROL MEASURES.
- A STABILIZED MAT OF CRUSHED STONE MEETING THE STANDARDS OF THE ILLINOIS URBAN MANUAL SHALL BE INSTALLED AT ANY POINT WHERE TRAFFIC WILL BE ENTERING OR LEAVING A CONSTRUCTION SITE, SEDIMENT OR SOIL REACHING AN IMPROVED PUBLIC RIGHT-OF-WAY, STREET, ALLEY OR PARKING AREA SHALL BE REMOVED BY SCRAPING OR STREET CLEANING AS ACCUMULATIONS WARRANT AND TRANSPORTED TO A CONTROLLED SEDIMENT DISPOSAL AREA.
- CONCRETE WASHOUT FACILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE ILLINOIS URBAN MANUAL AND SHALL BE INSTALLED PRIOR TO ANY ON SITE CONSTRUCTION ACTIVITIES INVOLVING CONCRETE.
- MORTAR WASHOUT FACILITIES SHALL BE CONSTRUCTED IN ADDITION TO CONCRETE WASHOUT FACILITIES FOR ANY BRICK AND MORTAR BUILDING ENVELOPE CONSTRUCTION ACTIVITIES.
- TEMPORARY DIVERSIONS SHALL BE CONSTRUCTED AS NECESSARY TO DIRECT ALL RUNOFF FROM HYDROLOGICALLY DISTURBED AREAS TO AN APPROPRIATE SEDIMENT TRAP OR BASIN. VOLUME CONTROL FACILITIES SHALL NOT BE USED AS TEMPORARY SEDIMENT BASINS.
- DISTURBED AREAS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED SHALL BE STABILIZED WITH TEMPORARY OR PERMANENT MEASURES WITHIN SEVEN (7) DAYS.
- ALL FLOOD PROTECTION AREAS AND VOLUME CONTROL FACILITIES SHALL, AT A MINIMUM, BE PROTECTED WITH A DOUBLE-ROW OF SILT FENCE (OR EQUIVALENT).
- VOLUME CONTROL FACILITIES SHALL NOT BE CONSTRUCTED UNTIL ALL OF THE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED.
- SOIL STOCKPILES SHALL, AT A MINIMUM, BE PROTECTED WITH PERIMETER SEDIMENT CONTROLS. SOIL STOCKPILES SHALL NOT BE PLACED IN FLOOD PROTECTION AREAS OR THEIR BUFFERS.
- EARTHEN EMBANKMENT SIDE SLOPES SHALL BE STABILIZED WITH APPROPRIATE EROSION CONTROL BLANKET.
- STORM SEWERS THAT ARE OR WILL BE FUNCTIONING DURING CONSTRUCTION SHALL BE PROTECTED BY APPROPRIATE SEDIMENT CONTROL MEASURES.
- THE CONTRACTOR SHALL EITHER REMOVE OR REPLACE ANY EXISTING DRAIN TILES AND INCORPORATE THEM INTO THE DRAINAGE PLAN FOR THE DEVELOPMENT. DRAIN TILES CANNOT BE TRIBUTARY TO A SANITARY OR COMBINED SEWER. DRAIN TILES ALLOWED IN COMBINED SEWER AREA FOR GREEN INFRASTRUCTURE PRACTICES.
- IF DEWATERING SERVICES ARE USED, ADDITIONAL PROPERTIES AND DISCHARGE LOCATIONS SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION. DEWATERING SYSTEMS SHOULD BE INSPECTED DAILY DURING OPERATIONAL PERIODS. THE SITE INSPECTOR MUST BE PRESENT AT THE COMMENCEMENT OF DEWATERING ACTIVITIES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR TRENCH DEWATERING AND EXCAVATION FOR THE INSTALLATION OF SANITARY SEWERS, STORM SEWERS, WATERMAINS AS WELL AS THEIR SERVICES AND OTHER APPURTENANCES. ANY TRENCH DEWATERING, WHICH CONTAINS SEDIMENT SHALL PASS THROUGH A SEDIMENT SETTLING POND OR EQUALLY EFFECTIVE SEDIMENT CONTROL DEVICE. ALTERNATIVES MAY INCLUDE DEWATERING INTO A SLUMP PIT, FILTER BAG OR EXISTING VEGETATED UPSLOPE AREA. SEDIMENT LADEN WATERS SHALL NOT BE DISCHARGE TO WATERWAYS, FLOOD PROTECTION AREAS OR THE COMBINED SEWER SYSTEM.
- ALL PERMANENT EROSION CONTROL PRACTICES SHALL BE INITIATED WITHIN SEVEN (7) DAYS FOLLOWING THE COMPLETION OF SOIL DISTURBING ACTIVITIES.
- ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED AND REPAIRED AS NEEDED ON A YEAR-ROUND BASIS DURING CONSTRUCTION AND ANY PERIODS OF CONSTRUCTION SHUTDOWN UNTIL PERMANENT STABILIZATION IS ACHIEVED.
- ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN THIRTY (30) DAYS AFTER PERMANENT SITE STABILIZATION.
- THE EROSION AND SEDIMENT CONTROL MEASURES SHOWN ON THE PLANS ARE THE MINIMUM REQUIREMENTS. ADDITIONAL MEASURES MAY BE REQUIRED, AS DIRECTED BY THE ENGINEER, SITE INSPECTOR, OR MWRD.

TECHNICAL GUIDANCE MANUAL

MWRD GENERAL NOTES

10/13/2022

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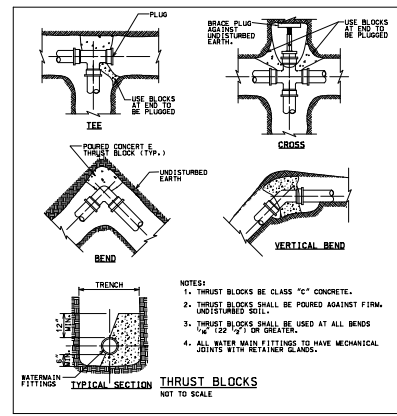
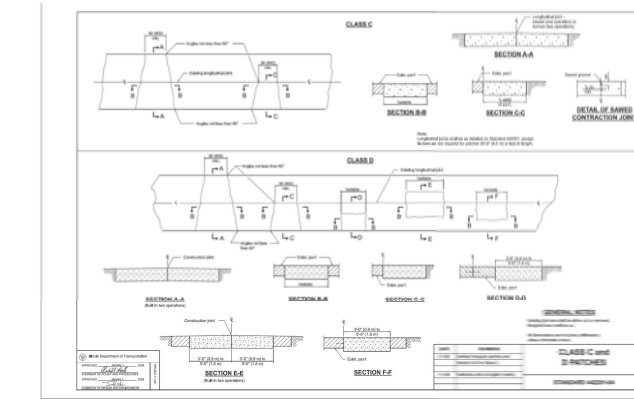
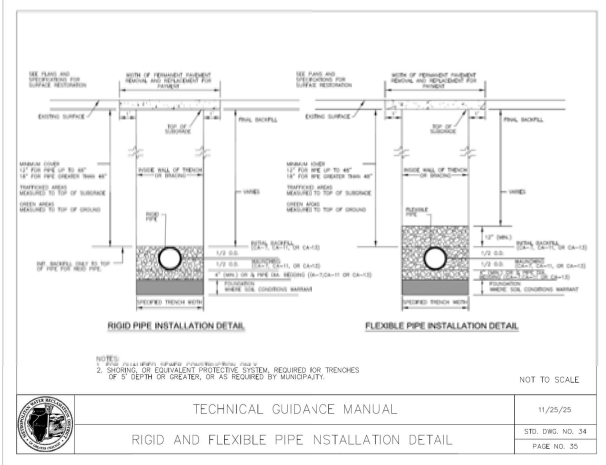
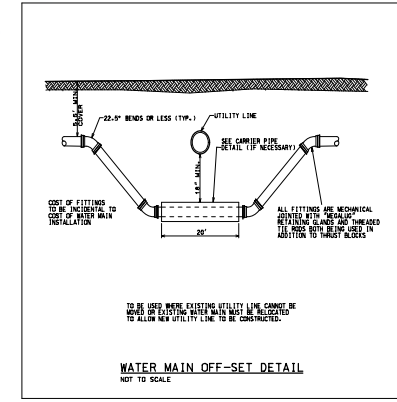
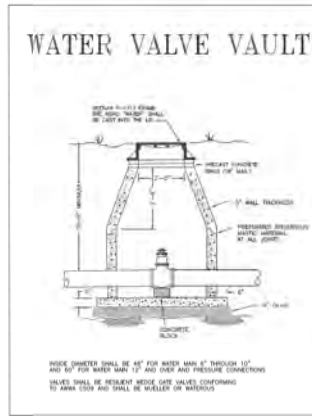
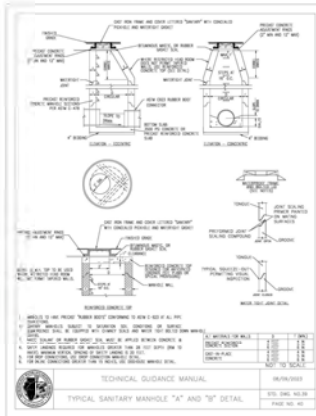
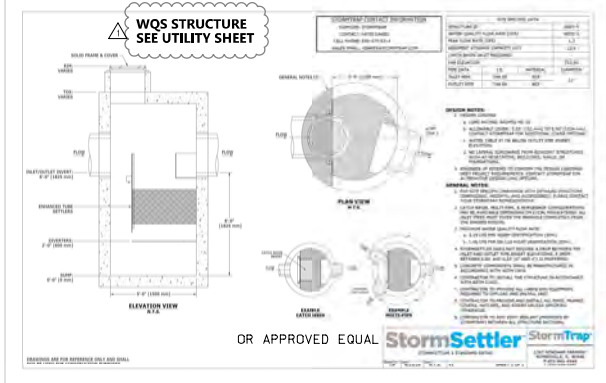
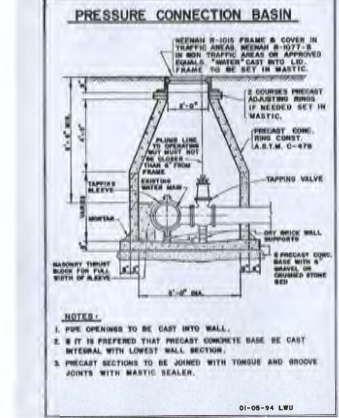
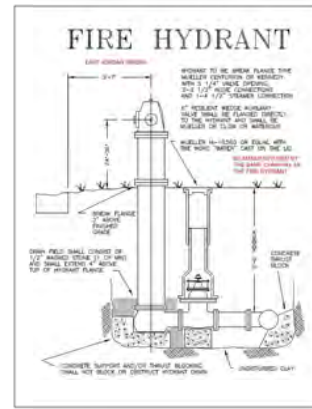
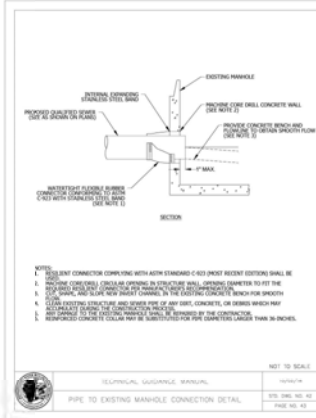
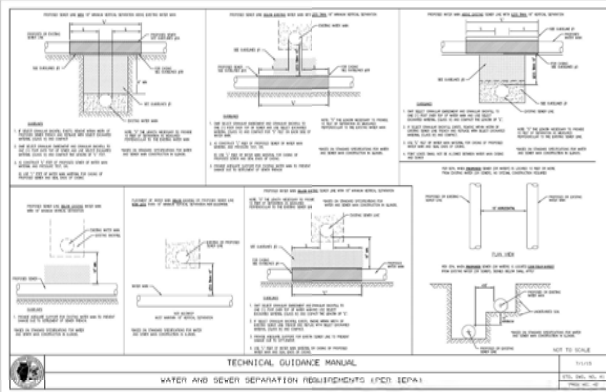
**MWRD SPECIFICATIONS**  
**2240-2266 N RAND ROAD**  
**PALATINE, ILLINOIS 60074**

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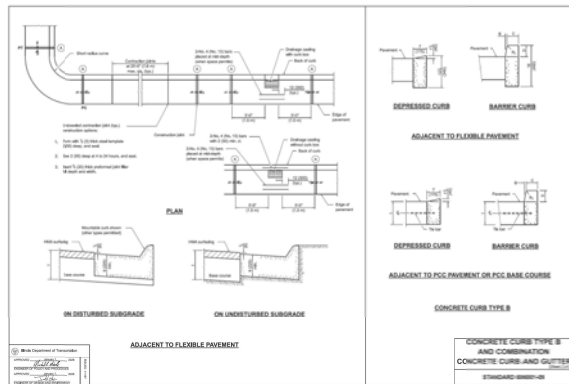
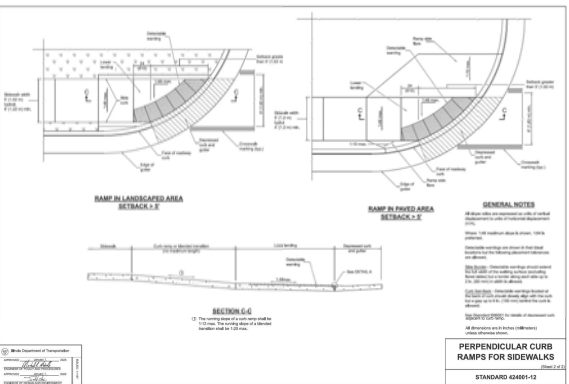
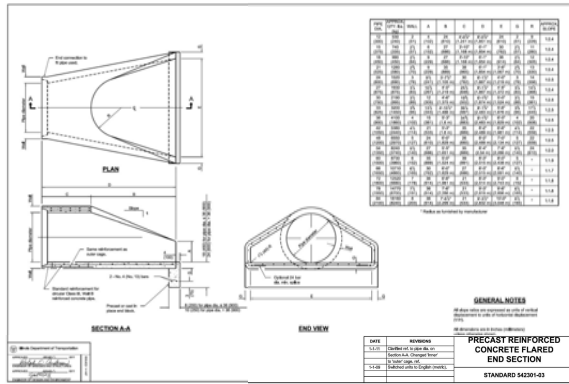
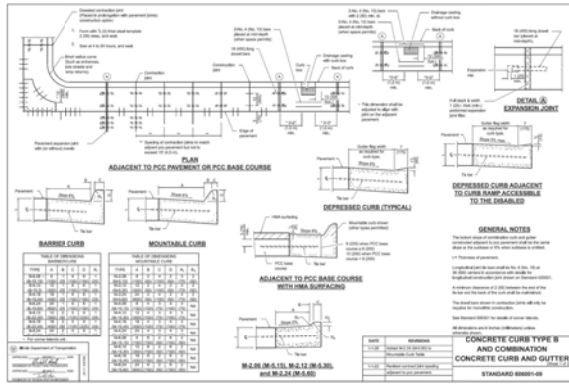
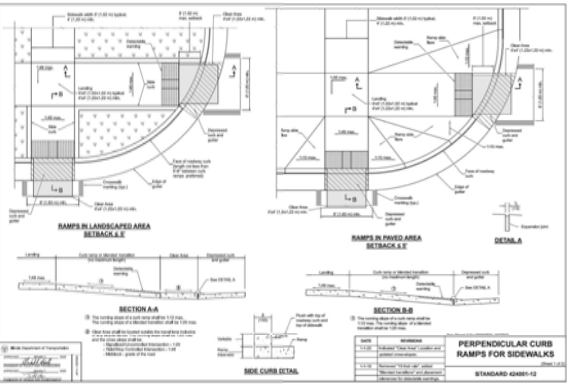
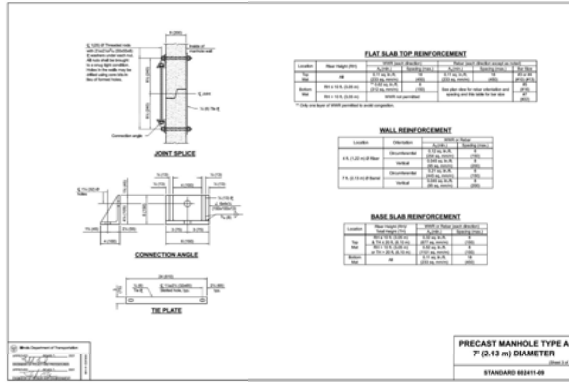
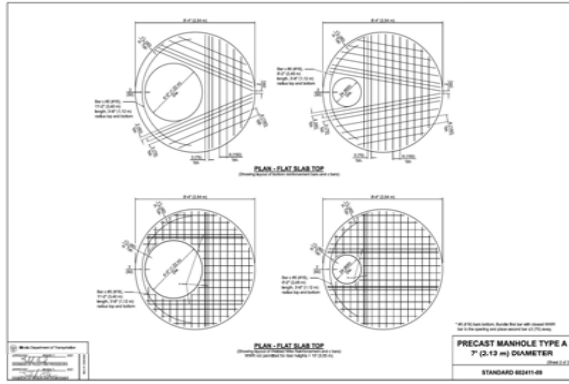
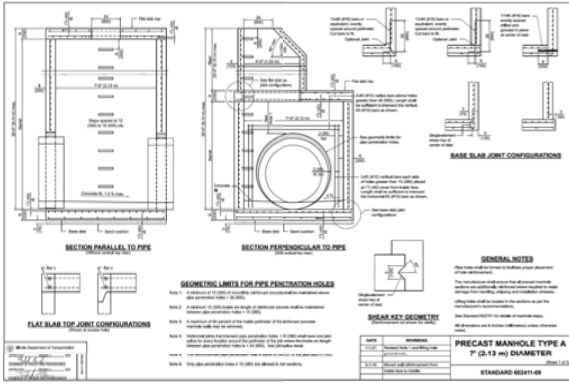


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<b>PALATINE, ILLINOIS 60074</b>	
<b>Spaceco</b>	
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<small>Rosemont, IL - Morris, IL - Indianapolis, IN</small>	
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**2240-2266 N RAND ROAD**

**PALATINE, ILLINOIS 60074**

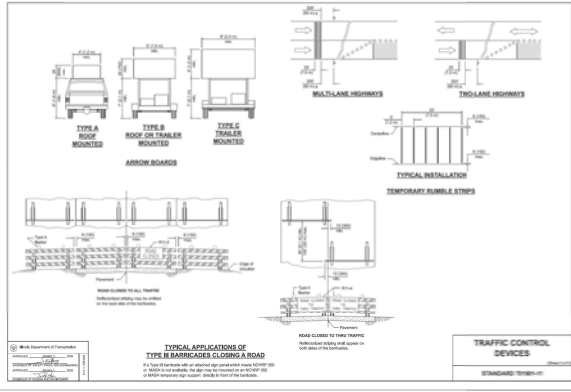
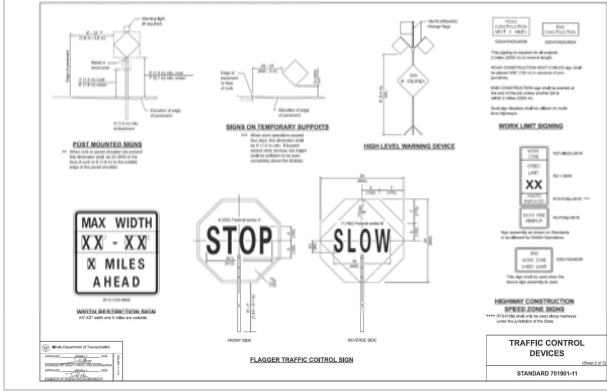
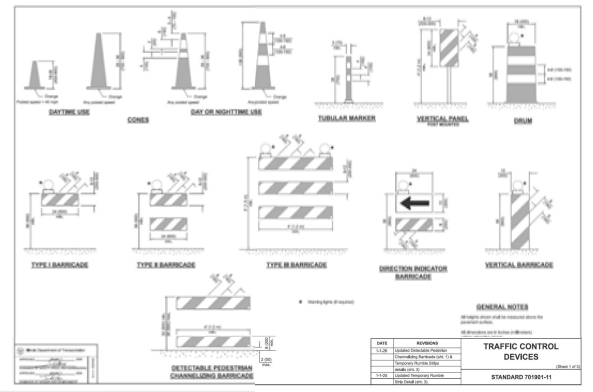
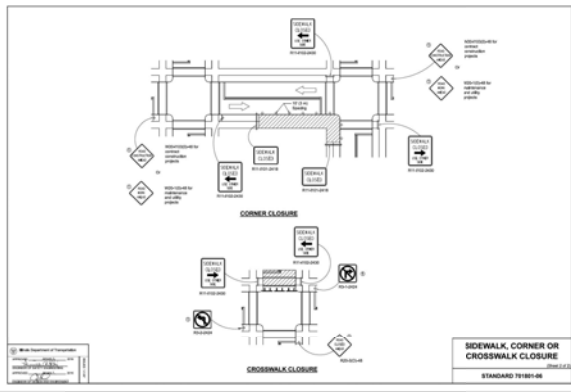
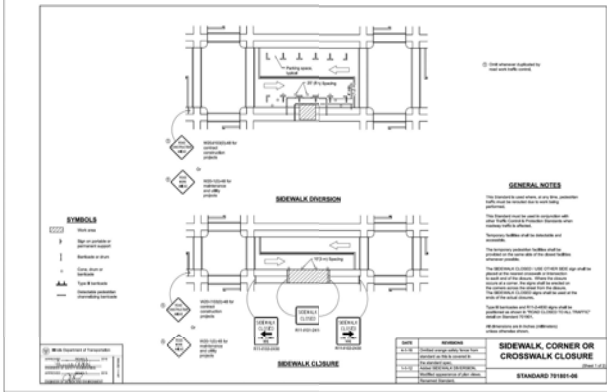
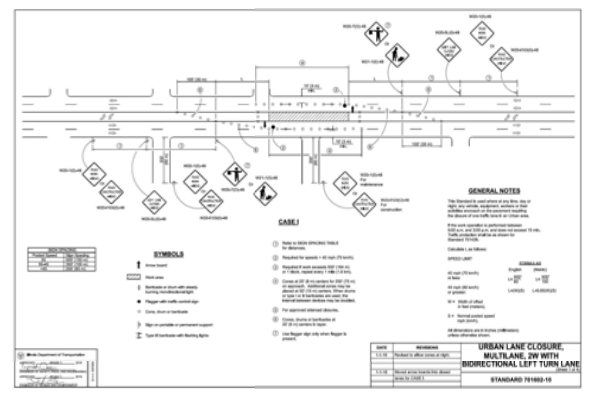
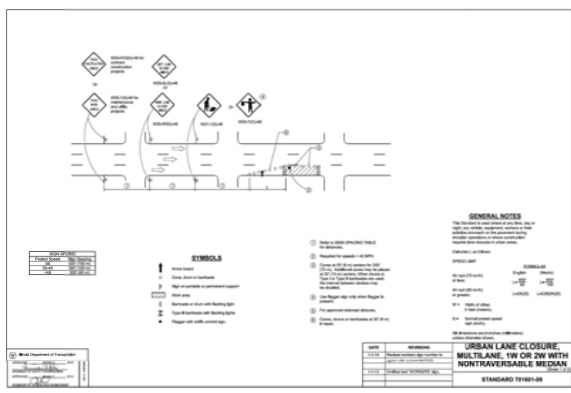
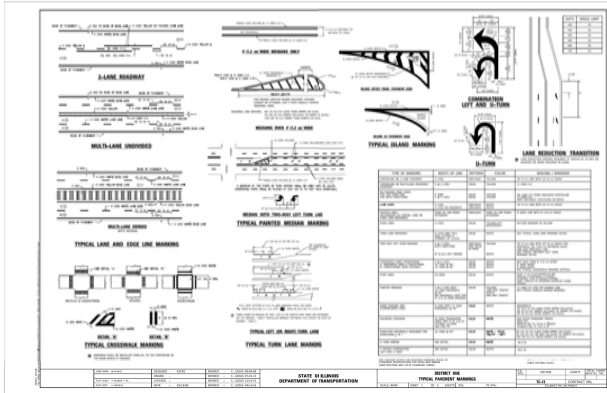
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**D3**  
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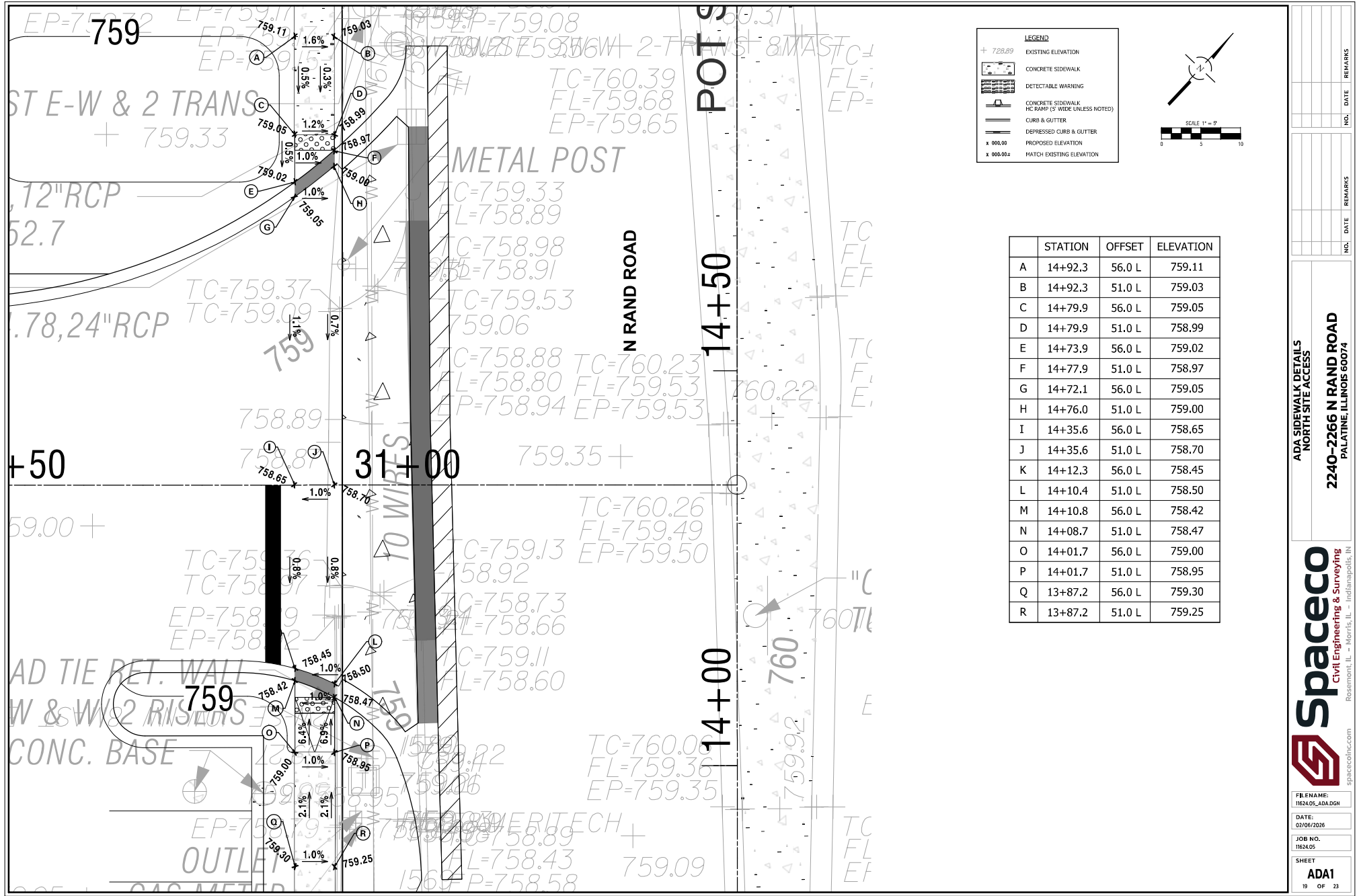
NO.	DATE	REMARKS

**DETAILS - 4**  
**2240-2266 N RAND ROAD**  
 PALATINE, ILLINOIS 60074

**Spaceco**  
 Civil Engineering & Surveying  
 Rosemont, IL - Morris, IL - Indianapolis, IN  
 spacecoinc.com

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1162405\_DET004  
 DATE:  
02/06/2026  
 JOB NO.  
1162405  
 SHEET  
D4  
 17 OF 23

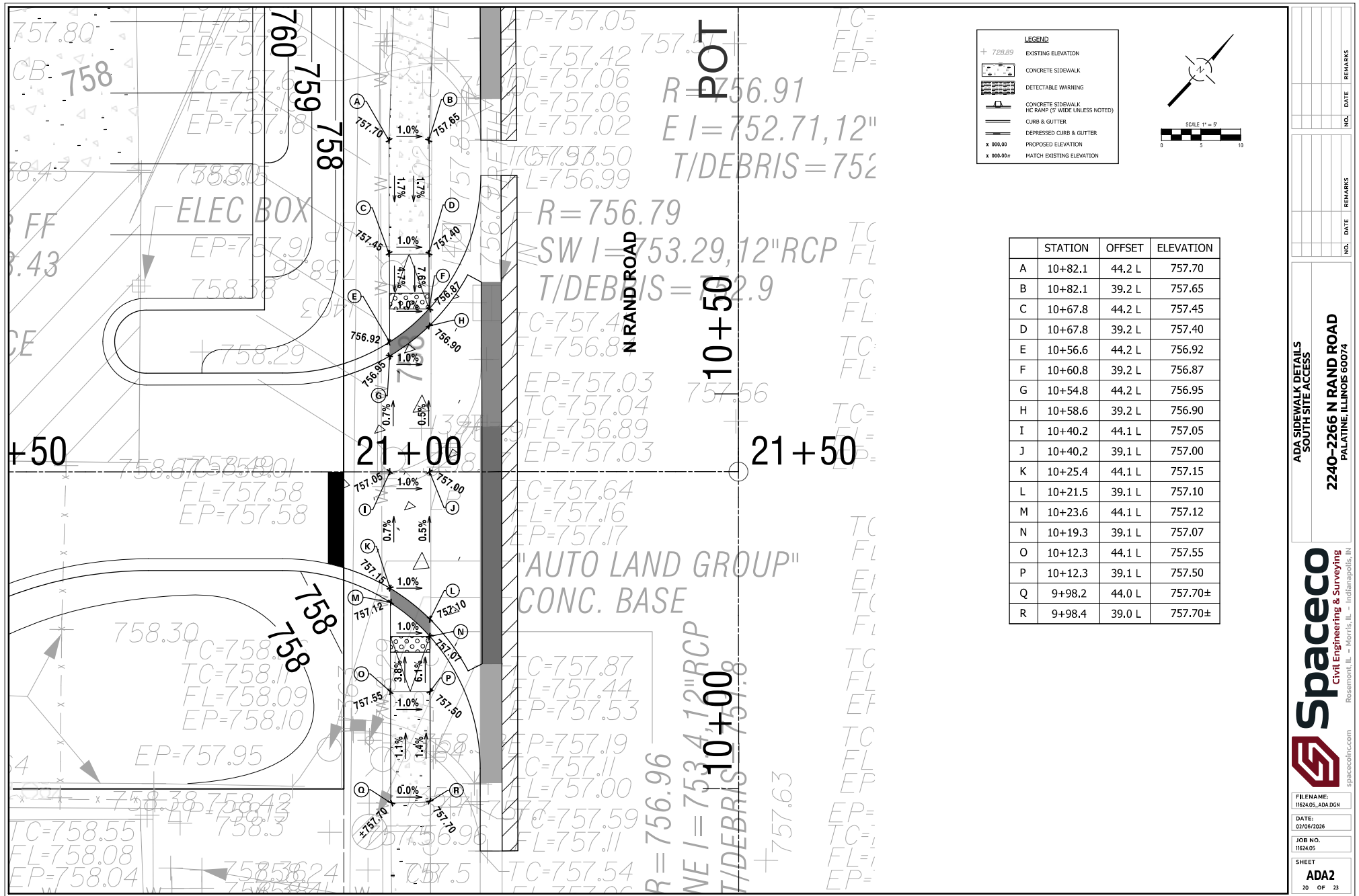




ADA SIDEWALK DETAILS  
NORTH SITE ACCESS  
2240-2266 N RAND ROAD  
PALATINE, ILLINOIS 60074

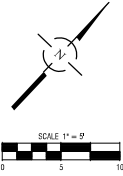
**Spaceco**  
Civil Engineering & Surveying  
Rosemont, IL - Morris, IL - Indianapolis, IN  
spacecoinc.com

FILE NAME:  
1162405\_ADA.DGN  
DATE:  
02/06/2026  
JOB NO.  
1162405  
SHEET  
**ADA1**  
19 OF 23



**LEGEND**

- + 728.89 EXISTING ELEVATION
- CONCRETE SIDEWALK
- DETECTABLE WARNING
- CONCRETE SIDEWALK HC RAMP (5' WIDE UNLESS NOTED)
- CURB & GUTTER
- DEPRESSED CURB & GUTTER
- x 000.00 PROPOSED ELEVATION
- x 000.00± MATCH EXISTING ELEVATION

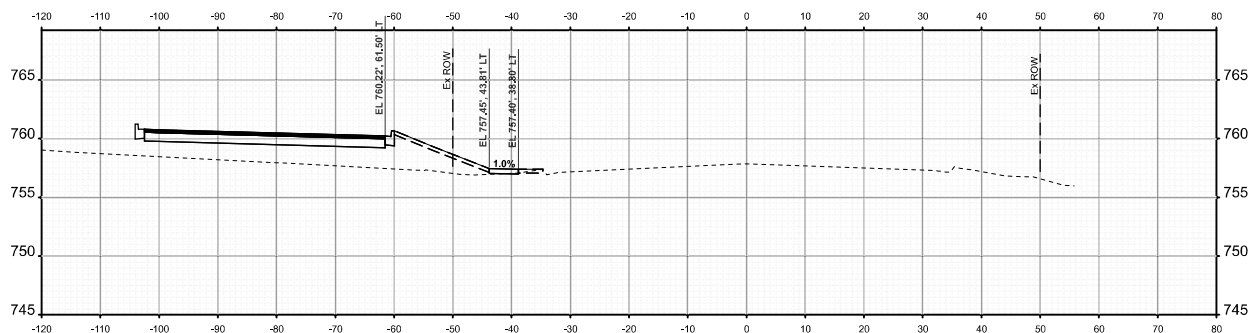


	STATION	OFFSET	ELEVATION
A	10+82.1	44.2 L	757.70
B	10+82.1	39.2 L	757.65
C	10+67.8	44.2 L	757.45
D	10+67.8	39.2 L	757.40
E	10+56.6	44.2 L	756.92
F	10+60.8	39.2 L	756.87
G	10+54.8	44.2 L	756.95
H	10+58.6	39.2 L	756.90
I	10+40.2	44.1 L	757.05
J	10+40.2	39.1 L	757.00
K	10+25.4	44.1 L	757.15
L	10+21.5	39.1 L	757.10
M	10+23.6	44.1 L	757.12
N	10+19.3	39.1 L	757.07
O	10+12.3	44.1 L	757.55
P	10+12.3	39.1 L	757.50
Q	9+98.2	44.0 L	757.70±
R	9+98.4	39.0 L	757.70±

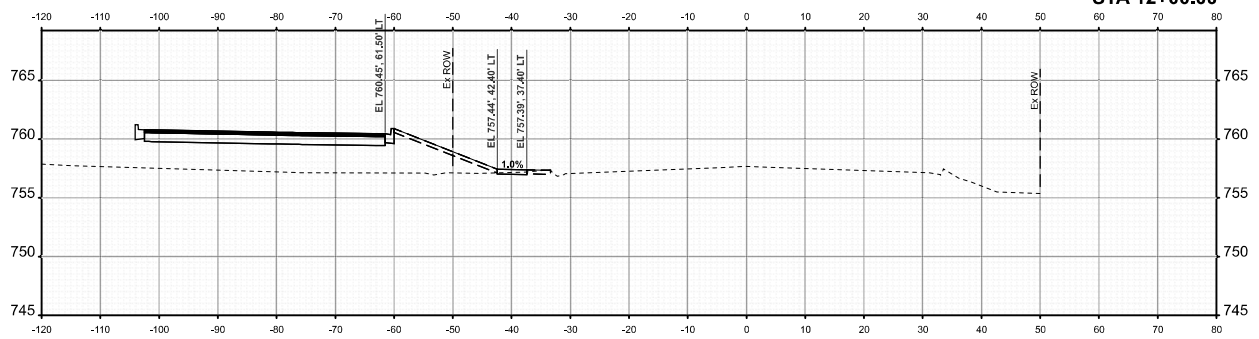
ADA SIDEWALK DETAILS  
SOUTH SITE ACCESS  
2240-2266 N RAND ROAD  
PALATINE, ILLINOIS 60074

**Spaceco**  
Civil Engineering & Surveying  
Rosemont, IL - Morris, IL - Indianapolis, IN  
spacecoinc.com

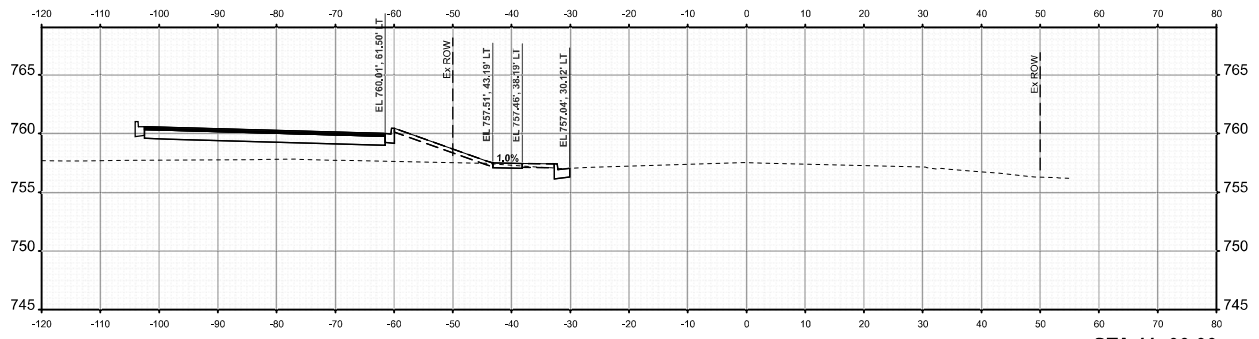
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DATE:	02/06/2026
JOB NO.:	1162405
SHEET	ADA2
	20 OF 23



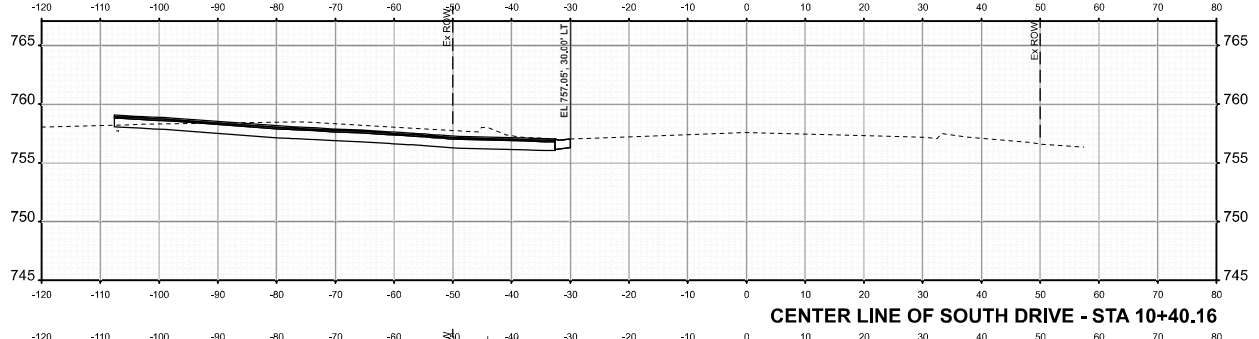
STA 12+00.00



STA 11+50.00

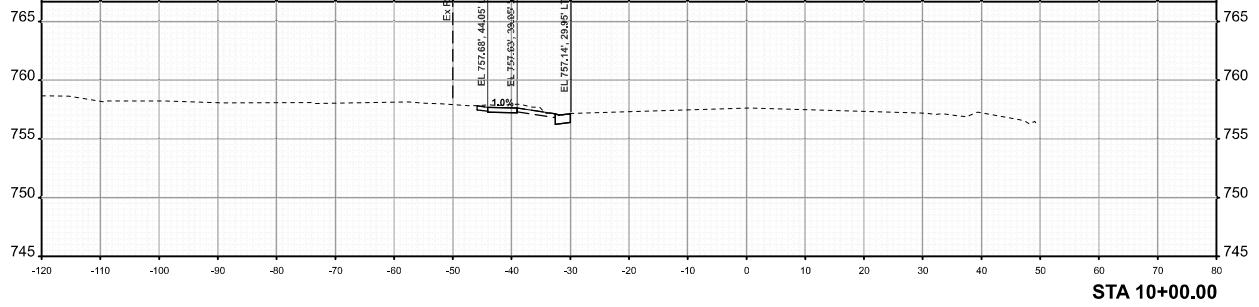


STA 11+00.00



STA 10+00.00

CENTER LINE OF SOUTH DRIVE - STA 10+40.16



SHEET 21 OF 23  
XS1

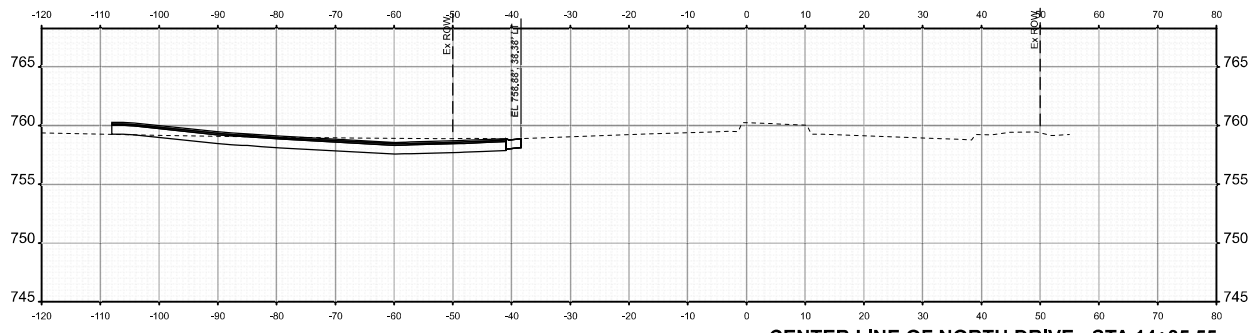
DATE: 07/09/2008  
JOB NO.:  
INDEX:



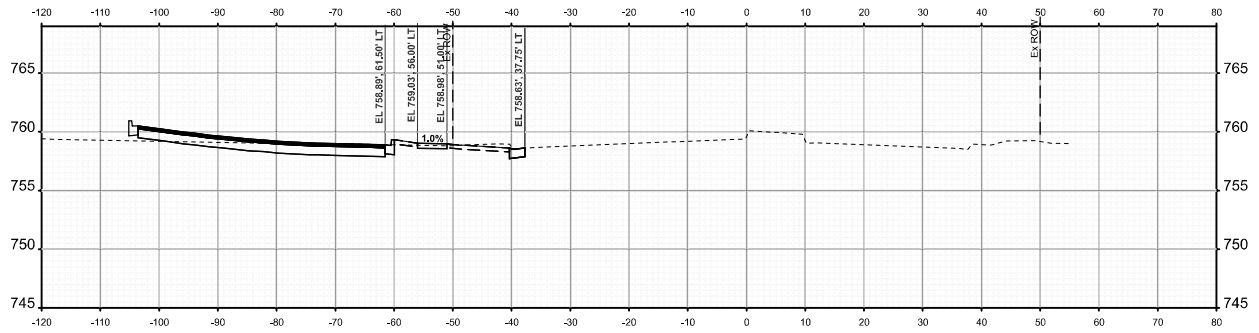
CROSS SECTIONS - 1  
STA. 10+00 - STA. 12+00  
2240-2266 N RAND ROAD  
PALATINE, ILLINOIS 60074

NO.	DATE	REMARKS

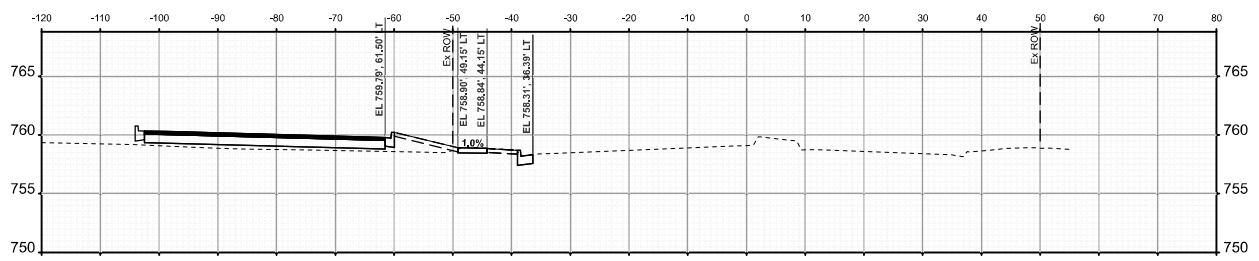
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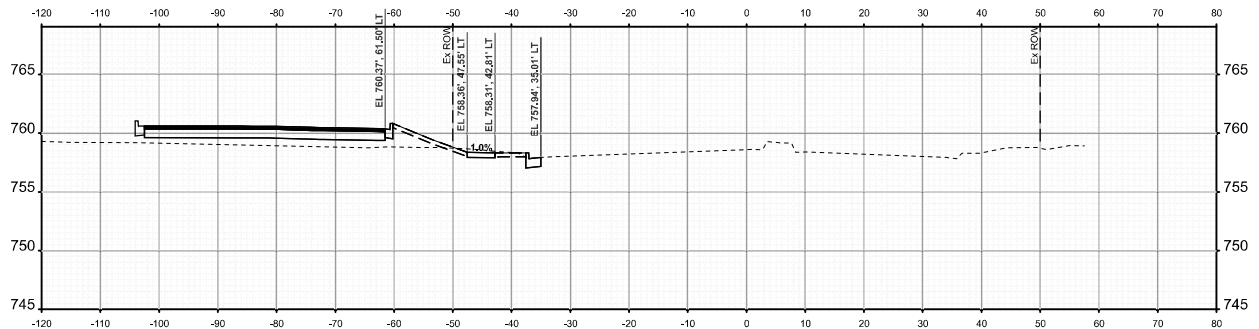
CENTER LINE OF NORTH DRIVE - STA 14+35.55



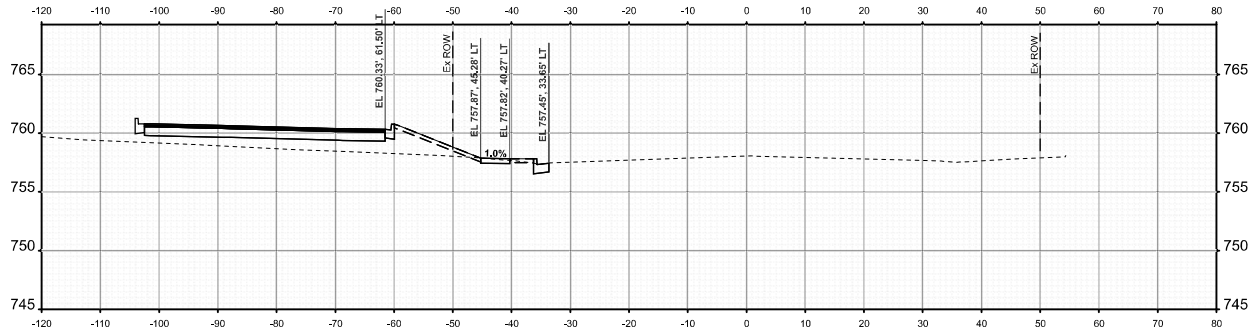
STA 14+00.00



STA 13+50.00



STA 13+00.00



STA 12+50.00

22 OF 23  
XS2

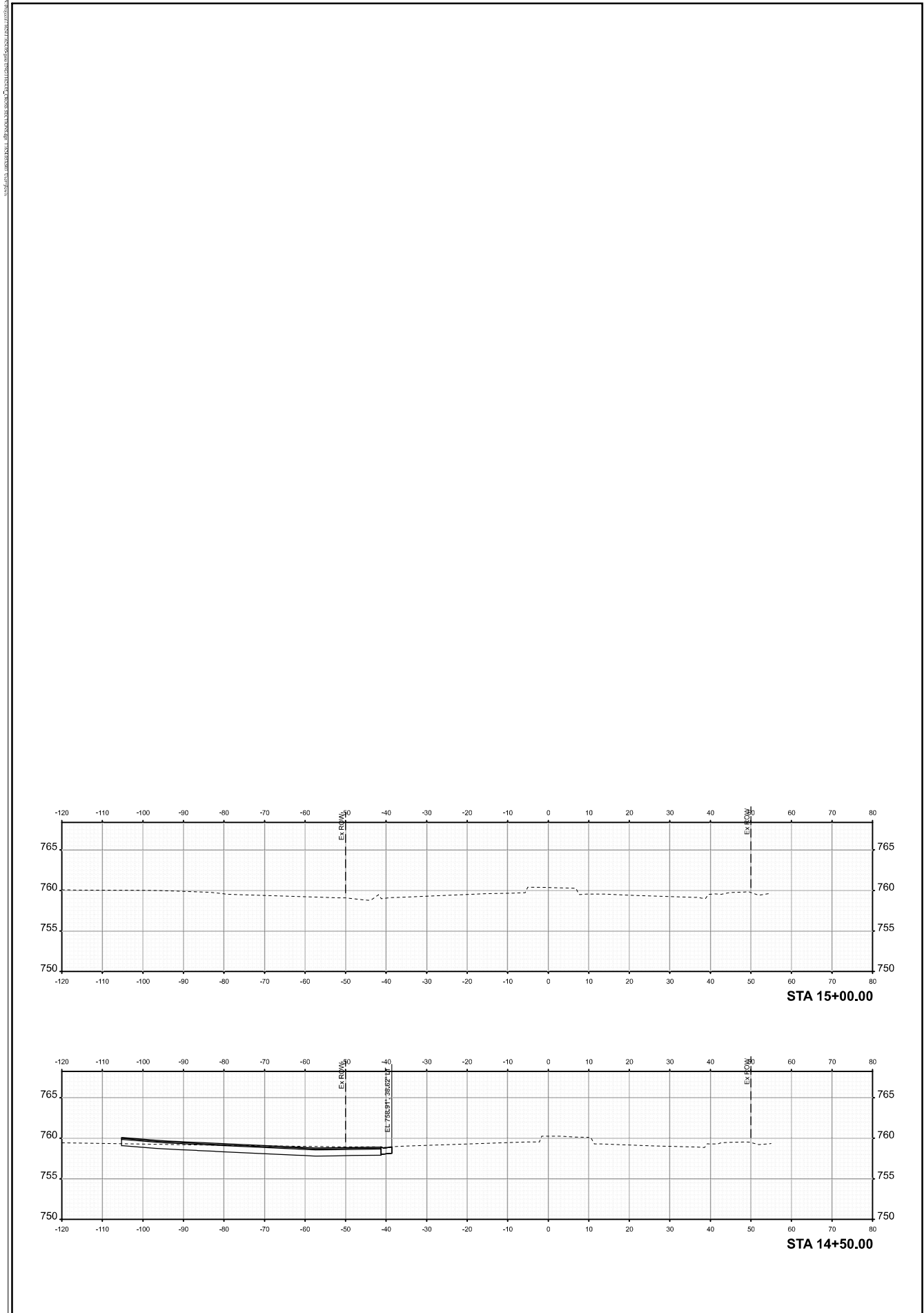
SHEET  
JOB NO.  
DATE  
CONTR. NO.  
REVISIONS



CROSS SECTIONS - 2  
STA. 12+00 - STA. 14+35.55  
2240-2266 N RAND ROAD  
PALATINE, ILLINOIS 60074

NO.	DATE	REMARKS

NO.	DATE	REMARKS



STA 15+00.00

STA 14+50.00

SHEET  
**XS3**  
 23 OF 23

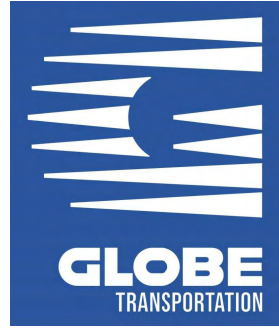

**Spaceco**  
 Civil Engineering & Surveying  
 spacecoinc.com    Rosemont, IL - Morris, IL - Indianapolis, IN

**CROSS SECTIONS - 3**  
**STA. 14+50 - STA. 15+00**  
**2240-2266 N RAND ROAD**  
**PALATINE, ILLINOIS 60074**

NO.	DATE	REMARKS

NO.	DATE	REMARKS

**NEW OFFICE/TRUCK MAINTENANCE FACILITY**



**2240 RAND ROAD**

**PALATINE, ILLINOIS**



**GENERAL CONTRACTOR**  
**PRINCIPLE CONSTRUCTION CORP.**  
9450 WEST BRYN MAWR AV. SUITE 120  
ROSEMONT, ILLINOIS 60018  
847.615.1515



**HARRIS ARCHITECTS, INC.**  
WWW.HARRISARCHITECTS.COM 847.392.1135

**ARCHITECT**  
**HARRIS ARCHITECTS INC.**  
1475 WOODFIELD ROAD SUITE 925  
SCHAUMBURG, ILLINOIS 60173  
847.303.1155

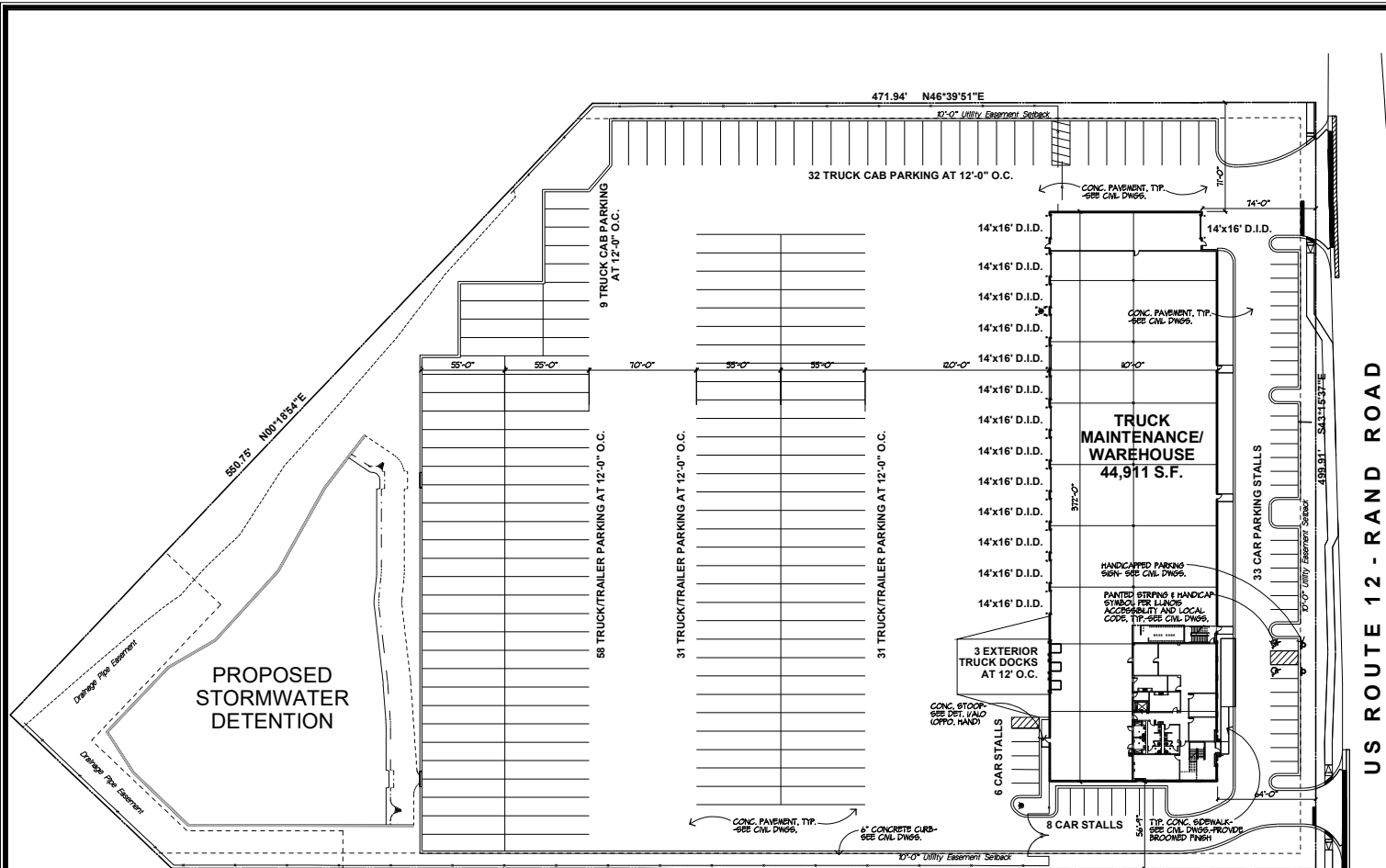


**GLOBE TRANSPORTATION**  
NEW TRUCK MAINTENANCE FACILITY FOR  
2240 Rand Road  
Palatine, Illinois

PROJECT FOR PERMIT  
02-21-26

PROJECT NO.  
22528  
DRAWN BY:  
RDX  
DATABASE:  
22528.DWG

SHEET NO.  
A0.0



**CONSTRUCTION DATA**

BUILDING CODE:	2021 INTERNATIONAL BUILDING CODE
PLUMBING CODE:	2024 ILLINOIS PLUMBING CODE
MECHANICAL CODE:	NFPA 10 2020 NEC
ELECTRICAL CODE:	2021 INTERNATIONAL MECHANICAL CODE
FIRE CODE:	2021 INTERNATIONAL FIRE CODE
ACCESSIBILITY CODE:	2008 ILLINOIS ACCESSIBILITY CODE
ENERGY CODE:	2024 ILLINOIS ENERGY CONSERVATION CODE
FUEL GAS CODE:	2021 INTERNATIONAL FUEL GAS CODE
ORNBANANCE CODE:	VILLAGE OF PALATKA CODE OF ORNBANANCE
ZONING:	F - PLANNED UNIT DEVELOPMENT
CONSTRUCTION TYPE:	TYPE I-B LIMITED AREA NEED USE/NO-N-SEPARATED
OCCUPANCY TYPE:	T-3 BUSINESS USES S1 MOD. HAZ. STORAGE
HANDICAPPED PARKING:	HANDICAPPED PARKING AND STALLS PER OCTOBER, 2008 STATE OF ILLINOIS ACCESSIBILITY STANDARDS
FIRE PROTECTION:	BUILDING TO BE EQUIPPED THROUGHOUT WITH AUTOMATIC FIRE SUPPRESSION SYSTEM DESIGNED PER NFPA 13 GENERAL CONTRACTOR SHALL PROVIDE BRINNER & ALARM PLANS

**SITE DATA**

SITE AREA (1/4 ACRES)	
BUILDING AREA	5,000 SF
OFFICE	5,000 SF
TRUCK REPAIR WAREHOUSE	35,646 SF
WAREHOUSE MEZANINE	438 SF
BUILDING TOTAL	45,084 SF
PARKING	
OFFICE PARKING STALLS REQUIRED (1000 SF)	10 STALLS
WAREHOUSE (1000 SF)	40 STALLS
TOTAL PARKING STALLS REQUIRED	50 STALLS
CAR PARKING PROVIDED	46 STALLS
TRUCK CAB PARKING PROVIDED	41 STALLS
TRAILER PARKING PROVIDED	100 STALLS
TOTAL PARKING STALLS PROVIDED	207 STALLS
LOADING	04 14' x 48' DRIVE-IN DOORS 03 EXTERIOR TRUCK DOCKS

**LIST OF ABBREVIATIONS**

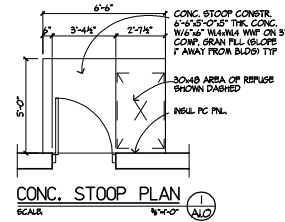
A.A.S.	Asphalt	F	Finish	FR	Fire Resistant
AC	Asphalt Concrete	FL	Floor	FR	Fire Retardant
ACC	Asphalt Concrete	F.P.	Foundation	FR	Fire Resistant
AD	Asphalt Driveway	FR	Fire Retardant	FR	Fire Retardant
A.I.	Asphalt Interlock	FR	Fire Retardant	FR	Fire Retardant
A.S.	Asphalt Seal	FR	Fire Retardant	FR	Fire Retardant
A.T.	Asphalt Top	FR	Fire Retardant	FR	Fire Retardant
A.U.	Asphalt Underlayment	FR	Fire Retardant	FR	Fire Retardant
B.D.	Base	FR	Fire Retardant	FR	Fire Retardant
B.E.	Bearing	FR	Fire Retardant	FR	Fire Retardant
B.H.	Building	FR	Fire Retardant	FR	Fire Retardant
B.L.	Building	FR	Fire Retardant	FR	Fire Retardant
B.O.	Building	FR	Fire Retardant	FR	Fire Retardant
B.P.	Building	FR	Fire Retardant	FR	Fire Retardant
B.S.	Building	FR	Fire Retardant	FR	Fire Retardant
B.T.	Building	FR	Fire Retardant	FR	Fire Retardant
B.U.	Building	FR	Fire Retardant	FR	Fire Retardant
B.V.	Building	FR	Fire Retardant	FR	Fire Retardant
C.	Concrete	FR	Fire Retardant	FR	Fire Retardant
C.A.	Concrete	FR	Fire Retardant	FR	Fire Retardant
C.B.	Concrete	FR	Fire Retardant	FR	Fire Retardant
C.D.	Concrete	FR	Fire Retardant	FR	Fire Retardant
C.E.	Concrete	FR	Fire Retardant	FR	Fire Retardant
C.F.	Concrete	FR	Fire Retardant	FR	Fire Retardant
C.G.	Concrete	FR	Fire Retardant	FR	Fire Retardant
C.H.	Concrete	FR	Fire Retardant	FR	Fire Retardant
C.I.	Concrete	FR	Fire Retardant	FR	Fire Retardant
C.L.	Concrete	FR	Fire Retardant	FR	Fire Retardant
C.M.	Concrete	FR	Fire Retardant	FR	Fire Retardant
C.N.	Concrete	FR	Fire Retardant	FR	Fire Retardant
C.O.	Concrete	FR	Fire Retardant	FR	Fire Retardant
C.P.	Concrete	FR	Fire Retardant	FR	Fire Retardant
C.Q.	Concrete	FR	Fire Retardant	FR	Fire Retardant
C.R.	Concrete	FR	Fire Retardant	FR	Fire Retardant
C.S.	Concrete	FR	Fire Retardant	FR	Fire Retardant
C.T.	Concrete	FR	Fire Retardant	FR	Fire Retardant
C.U.	Concrete	FR	Fire Retardant	FR	Fire Retardant
C.V.	Concrete	FR	Fire Retardant	FR	Fire Retardant
C.W.	Concrete	FR	Fire Retardant	FR	Fire Retardant
C.X.	Concrete	FR	Fire Retardant	FR	Fire Retardant
C.Y.	Concrete	FR	Fire Retardant	FR	Fire Retardant
C.Z.	Concrete	FR	Fire Retardant	FR	Fire Retardant
D.	Door	FR	Fire Retardant	FR	Fire Retardant
D.A.	Door	FR	Fire Retardant	FR	Fire Retardant
D.B.	Door	FR	Fire Retardant	FR	Fire Retardant
D.C.	Door	FR	Fire Retardant	FR	Fire Retardant
D.E.	Door	FR	Fire Retardant	FR	Fire Retardant
D.F.	Door	FR	Fire Retardant	FR	Fire Retardant
D.G.	Door	FR	Fire Retardant	FR	Fire Retardant
D.H.	Door	FR	Fire Retardant	FR	Fire Retardant
D.I.	Door	FR	Fire Retardant	FR	Fire Retardant
D.J.	Door	FR	Fire Retardant	FR	Fire Retardant
D.K.	Door	FR	Fire Retardant	FR	Fire Retardant
D.L.	Door	FR	Fire Retardant	FR	Fire Retardant
D.M.	Door	FR	Fire Retardant	FR	Fire Retardant
D.N.	Door	FR	Fire Retardant	FR	Fire Retardant
D.O.	Door	FR	Fire Retardant	FR	Fire Retardant
D.P.	Door	FR	Fire Retardant	FR	Fire Retardant
D.Q.	Door	FR	Fire Retardant	FR	Fire Retardant
D.R.	Door	FR	Fire Retardant	FR	Fire Retardant
D.S.	Door	FR	Fire Retardant	FR	Fire Retardant
D.T.	Door	FR	Fire Retardant	FR	Fire Retardant
D.U.	Door	FR	Fire Retardant	FR	Fire Retardant
D.V.	Door	FR	Fire Retardant	FR	Fire Retardant
D.W.	Door	FR	Fire Retardant	FR	Fire Retardant
D.X.	Door	FR	Fire Retardant	FR	Fire Retardant
D.Y.	Door	FR	Fire Retardant	FR	Fire Retardant
D.Z.	Door	FR	Fire Retardant	FR	Fire Retardant

**INDEX TO DRAWINGS**

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A30 ROOF PLAN, BORING PLAN	A90 ROOF FRAMING PLAN
A40 OVERALL FLOOR PLAN, P.C., JONTS, OFFICE FLOOR PLAN, MEZZANINE FLOOR PLAN & PARTITION TYPES	A95 FOUNDATION DETAILS, GENERAL CONCRETE NOTES
A41 REFLECTED CEILING PLAN, STAIR PLANS, STAIR ELEVATIONS, ENL. ENTRY PLAN ENLARGED TOILET Rm. PLAN, ENL. ELEV. DISCONNECT Rm.	A40 STEEL DETAILS, GENERAL STEEL NOTES
A50 DOOR SCHEDULE, ROOM SCHEDULE, DOOR DETAILS, DOOR ELEVATIONS	A41 MEZZANINE DETAILS & ELEVATOR DETAILS
A51 INTERIOR ELEVATIONS AND DETAILS	SP1 SPECIFICATIONS
A60 WALL SECTIONS, NOTES	SP2 SPECIFICATIONS
	SP3 SPECIFICATIONS

**OCCUPANT LOAD**

	MIN	WOMEN	TOTAL
HIGHEST NUMBER OF EMPLOYEES AT ANY GIVEN TIME (OFFICE)	25	8	33
HIGHEST NUMBER OF EMPLOYEES AT ANY GIVEN TIME (WAREHOUSE/MAINTENANCE BAY)	12	23	35
NUMBER OF EXITS PROVIDED (REQUIRED)			7(2)
WATER CLOSETS PROVIDED (REQUIRED) (NOTE: ONE SINGLE-USER UNSEX T.L.T., R.M. PROVIDED)	3 (2)	3 (2)	6 (4)
URINALS PROVIDED (REQUIRED)	2 (0)		2 (0)
LAVATORIS PROVIDED (REQUIRED) (NOTE: ONE SINGLE-USER UNSEX T.L.T., R.M. PROVIDED)	3 (2)	3 (2)	6 (4)
OTHER PROVIDED (REQUIRED)			4 (2)
FULLY SPRINKLERED			YES



**CONC. STOOP PLAN**  
SCALE: 1/4" = 1'-0"



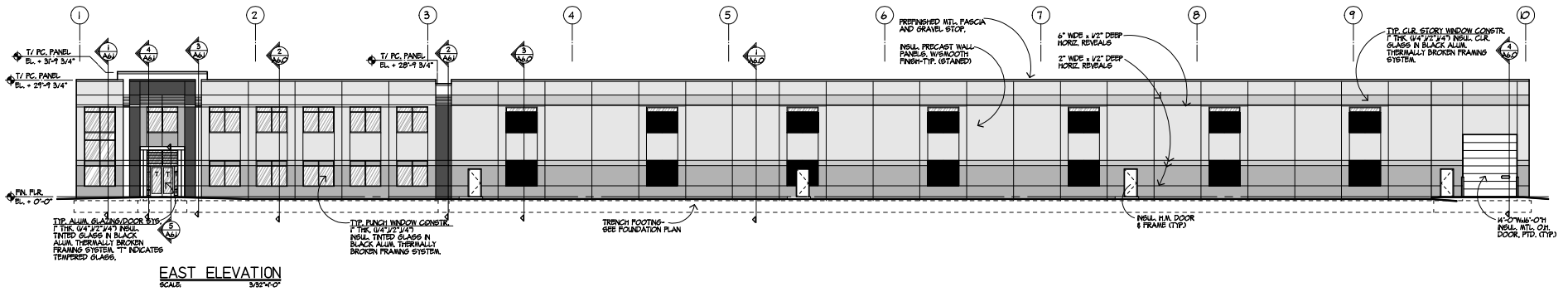
HARRIS ARCHITECTS INC. FIRM REGISTRATION #184-000-373

Exp: 11/30/2026  
Date: 03/17/2026

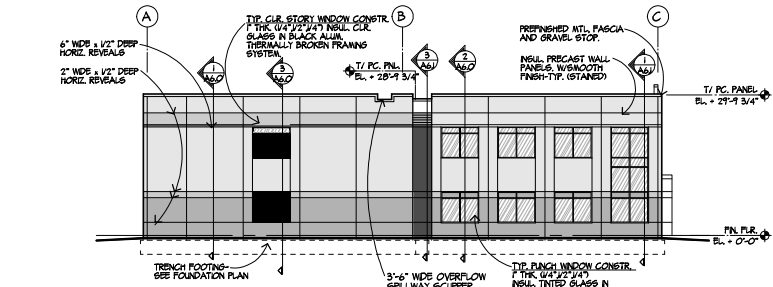
**Principle**  
CONSTRUCTION CORP.

**HARRIS ARCHITECTS INC.**  
100 WOODS ROAD BOONVILLE, ILLINOIS 62606  
CONTACT: Kelly P. Harris, P.E. / P.A.S.

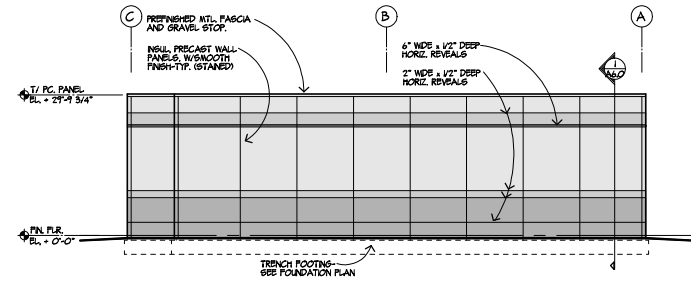
**GLOBE**  
TRANSPORTATION  
2240 Rand Road  
CH-15-20  
PROJECT NO. 22508  
DRAWN BY: R3H  
DATABASE: 22508.D8  
SHEET NO. A1.0



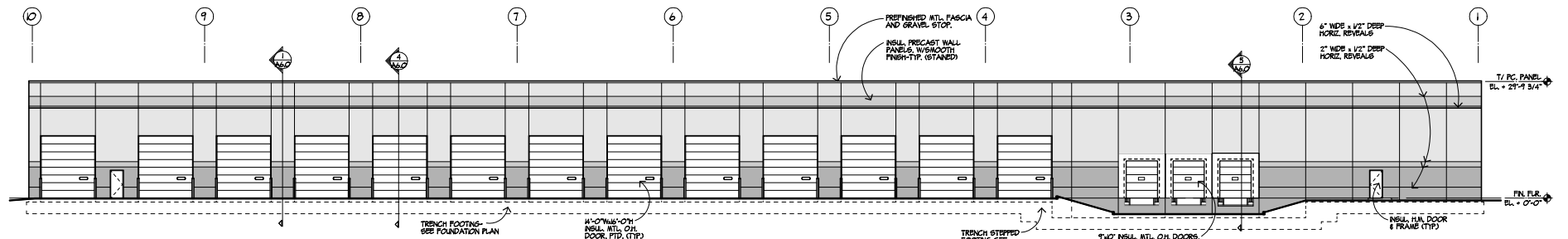
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SCALE: 3/32"=1'-0"



**SOUTH ELEVATION**  
SCALE: 3/32"=1'-0"



**NORTH ELEVATION**  
SCALE: 3/32"=1'-0"



**WEST ELEVATION**  
SCALE: 3/32"=1'-0"

COLOR LEGEND	
[White swatch]	SHERWIN WILLIAMS COLOR SW705 - CLAR WHITE
[Light Gray swatch]	SHERWIN WILLIAMS COLOR SW705 - REPOSE GRAY
[Medium Gray swatch]	SHERWIN WILLIAMS COLOR SW707 - DORIAN GRAY
[Dark Gray swatch]	SHERWIN WILLIAMS COLOR SW707 - SAUNTLET GRAY
[Blue swatch]	SHERWIN WILLIAMS COLOR SW667 - FRANK BLUE
[Black swatch]	SHERWIN WILLIAMS "HERALD" COLOR PAINT PRODUCT SW6250 - TREGORN BLACK
[Light Gray swatch]	SHEET INTL. COPING TYPICAL FAC-CLAD - BONE WHITE
[Dark Gray swatch]	SHEET INTL. COPING AT ENTRY FAC-CLAD - ANVARD BLUE

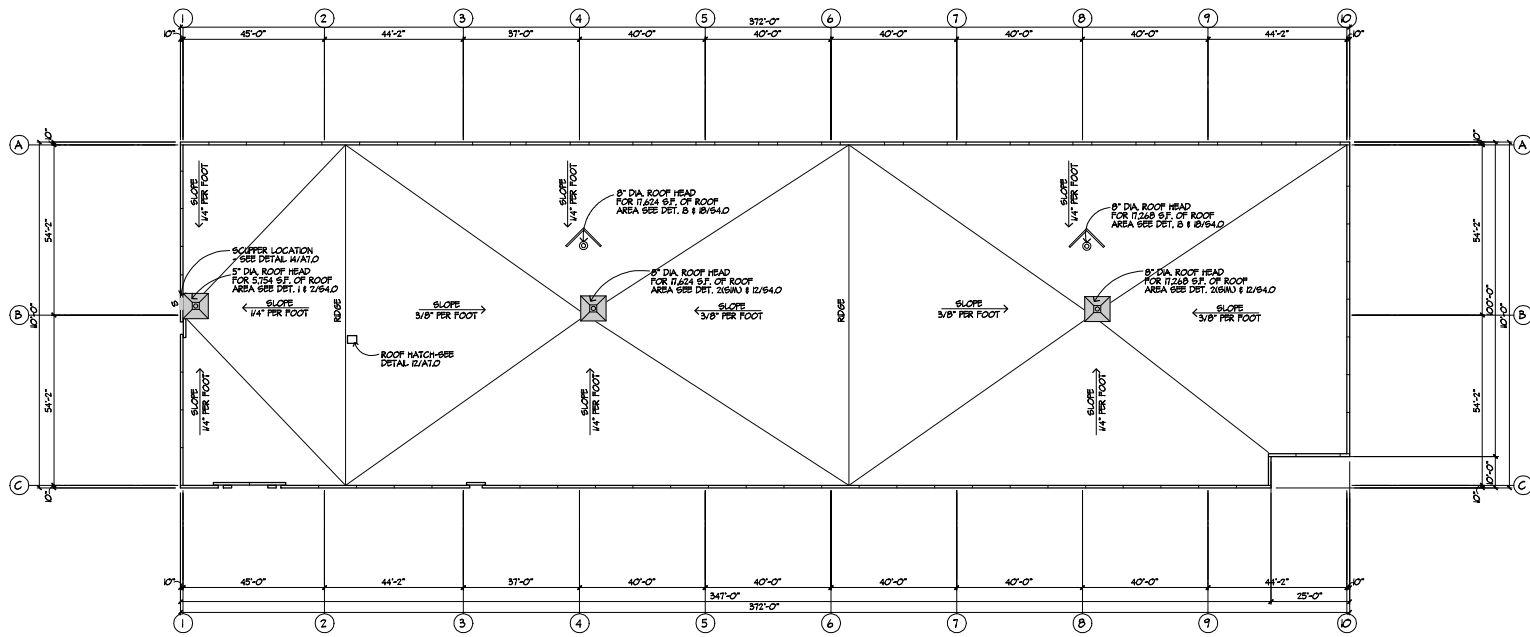
**Principle CONSTRUCTION CORP.**

**HARRIS ARCHITECTS INC.**  
110 WOODRIDGE ROAD, BOWLING GREEN, OHIO 43024  
CONTACT: D. HARRIS, PROJECT MANAGER

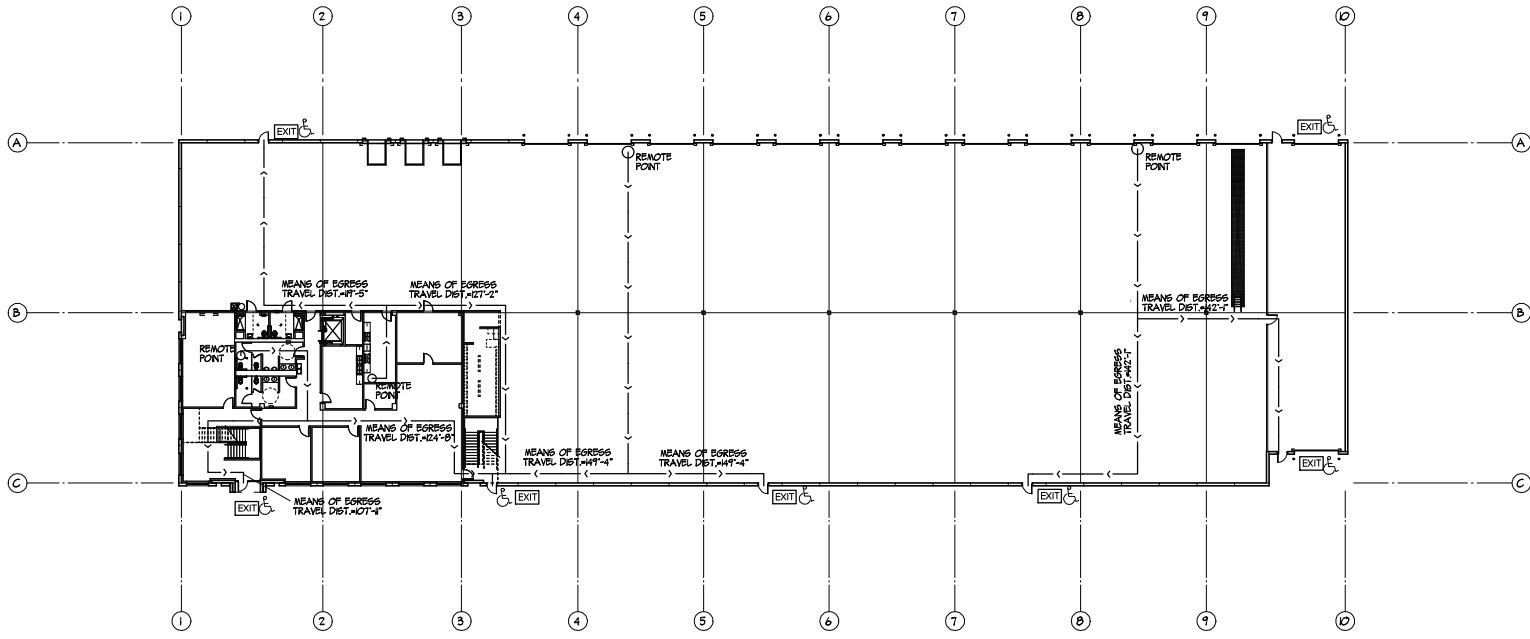
**GLOBE TRANSPORTATION**  
NEW TRUCK MAINTENANCE FACILITY FOR 2240 Rand Road  
CH-2524  
DESIGNED FOR TRUCK

PROJECT NO. 22502  
DRAWN BY: RDM  
DATABASE: 22502.DB

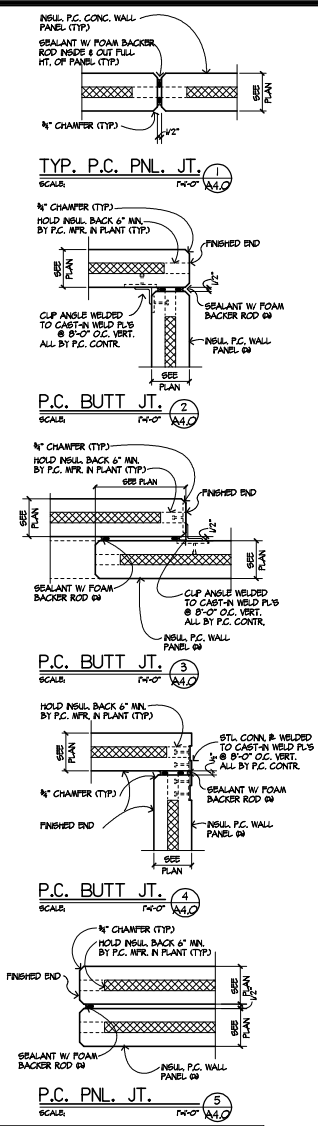
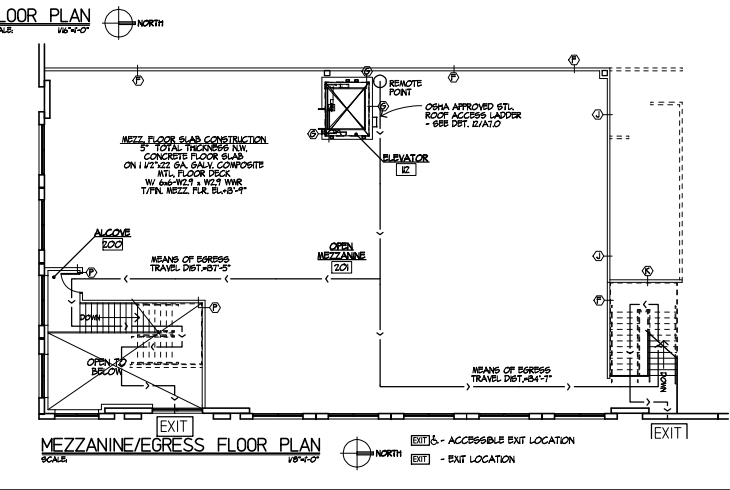
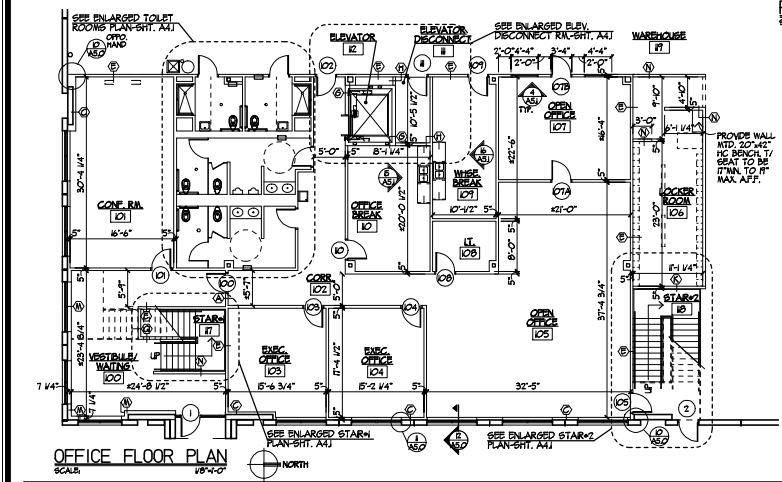
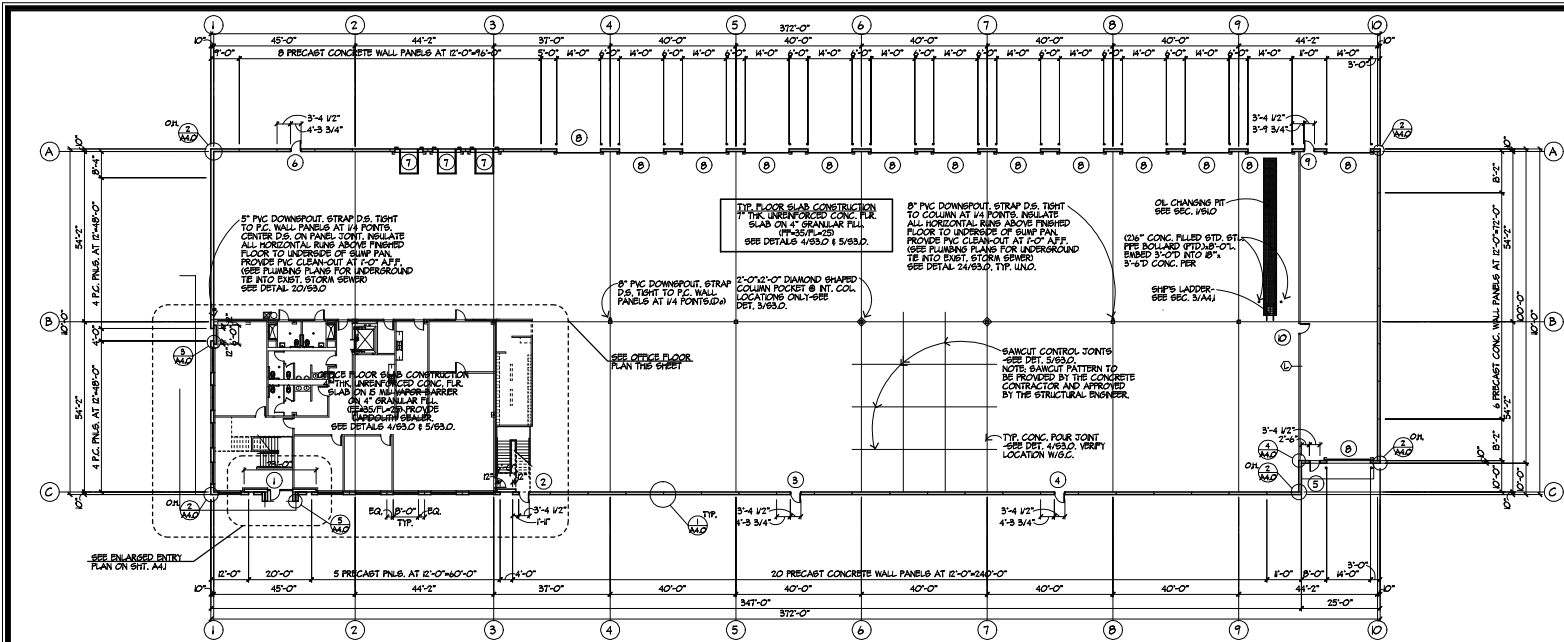
SHEET NO. **A2.0**



**ROOF PLAN**  
SCALE: 1/8"=1'-0"  
NORTH



**EGRESS PLAN**  
SCALE: 1/8"=1'-0"  
NORTH  
EXIT & - ACCESSIBLE EXIT LOCATION  
EXIT - EXIT LOCATION



PARTITION TYPES	
<p><b>A</b> <b>TYP. OFFICE PARTITION (TYP. UNO)</b> 5/8" GYP BOARD BOTH SIDES OF 3 5/8" METAL STUDS @ 16" O.C. - STUDS AND GYP BOARD - 6" ABOVE CLG. - BRACE TOP OF WALL AS REQUIRED - 3 1/2" SOUND INSULATION - FULL HEIGHT</p>	<p><b>D</b> <b>PLUMBING MET. WALLS</b> 1/2" WR. GYP. BD. ON 3 5/8" 20 GA. METAL STUDS @ 16" O.C. ABOVE ROOM SDE. 5/8" STD. GYP. BD. 1/2" THK. SDE AS APPLICABLE - STUDS &amp; GYP. BOARD UP TO 12" ABOVE CLG. - 3 1/2" SOUND INSULATION - FULL HEIGHT - REFER TO DETAIL 1/A/S/O</p>
<p><b>B</b> <b>TYP. OFF. T.L.T. RAIL PARTITION</b> 5/8" GYP BOARD BOTH SIDES OF 3 5/8" 20GA. METAL STUDS @ 16" O.C. - STUDS AND GYP BOARD - 12" ABOVE CLG. - BRACE TOP OF WALL AS REQUIRED - 3 1/2" SOUND INSULATION - FULL HEIGHT</p>	<p><b>E</b> <b>OFF. W/SH. DEMISING PARTITION</b> 5/8" GYP BOARD BOTH SIDES OF 3 5/8" 20GA. METAL STUDS @ 16" O.C. - STUDS AND GYP. BD. ON ONE SIDE FROM FN. FLR. TO UNDERSIDE OF MEZZ. GYP. BD. ON OPPOSITE SIDE FROM FN. FLR. TO UNDERSIDE OF MEZZ. (UNINTERRUPTED) TO PARTITION TYPE ABOVE ON MEZZ. - BRACE TOP OF WALL AS REQUIRED - 3 1/2" SOUND INSULATION - FULL HEIGHT</p>
<p><b>C</b> <b>FURRING AT EXTERIOR PRECAST</b> 5/8" GYP BOARD - TAPED AND PAINTED - ON 3 5/8" METAL STUDS @ 16" O.C. W/ 3/4" R-5 POLY FIBER INSULATION. HOLD FACE OF STUD 3/4" OFF INSIDE FACE OF PRECAST. - STUDS &amp; GYP. BD. UP TO 6" ABOVE CLG. - BRACE TOP OF WALL AS REQ'D. - REFER TO DETAILS 1/A/S/O</p>	<p><b>F</b> <b>1/2" HIGH MIN. KNEEWALL PARTITION</b> 5/8" GYP BOARD BOTH SIDES OF 3 5/8" 20GA. METAL STUDS @ 16" O.C. - STUDS AND GYP. BD. ON OPEN MEZZ. SDE FROM MEZZ. FN. FLR. TO 12" MIN. ABOVE MEZZ. FN. FLR. GYP. BD. ON W/SH. SDE CONTINUED (UNINTERRUPTED) FROM PARTITION BELOW. - 3 1/2" SOUND INSULATION - FULL HEIGHT - SEE DETAILS 1/A</p>
<p><b>G</b> <b>RATED ELEVATOR SHAFTWALL PARTITION</b> 5/8" GYP BOARD BOTH SIDES OF 3 5/8" 20GA. METAL STUDS @ 16" O.C. ON INSIDE FACE OF SHAFT WALL - STUDS AND GYP. BOARD TO UNDERSIDE OF ROOF/MEZZ. DECK BOTH SIDES - PROVIDE HOUR RATING - REFER TO DETAILS 2/A/S/O 1 2/A/S/O</p>	<p><b>H</b> <b>1 1/2" RATED PARTITION</b> 5/8" GYP BOARD BOTH SIDES OF 3 5/8" METAL STUDS @ 16" O.C. - STUDS AND GYP BOARD TO UNDERSIDE OF MEZZANINE - 3 1/2" SOUND INSULATION - FULL HEIGHT - PROVIDE HOUR RATING - REFER TO DETAILS 1/A/S/1 2/A/S/1</p>
<p><b>I</b> <b>6"-02H PARTITION</b> 5/8" GYP BOARD BOTH SIDES OF 3 5/8" 20GA. METAL STUDS @ 16" O.C. - STUDS AND GYP. BD. ON OPEN MEZZ. SDE FROM MEZZ. FN. FLR. TO 12" ABOVE MEZZ. FN. FLR. GYP. BD. ON W/SH. SDE CONTINUED (UNINTERRUPTED) FROM PARTITION BELOW. - 3 1/2" SOUND INSULATION - FULL HEIGHT - REFER TO DETAILS 1/A/S/O</p>	<p><b>J</b> <b>1 1/2" MET. PARTITION</b> 5/8" GYP BOARD BOTH SIDES OF 3 5/8" 20GA. METAL STUDS @ 16" O.C. - STUDS AND GYP. BD. ON BOTH SIDES FROM FN. FLR. TO 12" A.F.F. - 3 1/2" SOUND INSULATION - FULL HEIGHT - REFER TO DETAILS 1/A/S/O</p>
<p><b>K</b> <b>1 1/2" MET. PARTITION</b> 5/8" GYP BOARD BOTH SIDES OF 3 5/8" 20GA. METAL STUDS @ 16" O.C. - STUDS AND GYP. BD. ON BOTH SIDES FROM FN. FLR. TO 12" A.F.F. - 3 1/2" SOUND INSULATION - FULL HEIGHT - REFER TO DETAILS 1/A/S/O</p>	<p><b>L</b> <b>FULL HGT. MET. PNL. TRUCKWASH (BY OTHERS-SEE DRAWINGS BY OTHERS)</b> METAL WALL PANEL FROM FN. FLR. TO UNDERSIDE OF ROOF DECK. - 6" G/INT. PNL. MANIF. TO PROVIDE CONC. SUBROOF DECK (RESISTANT) INFORMATION FOR WALL CONSTRUCTION.</p>
<p><b>M</b> <b>HIGH FURRING AT EXTERIOR PRECAST</b> 5/8" GYP BOARD - TAPED AND PAINTED - ON 1/2" METAL STUDS @ 16" O.C. W/ 3/4" R-5 POLY FIBER BATT INSULATION. HOLD FACE OF STUD 3/4" OFF INSIDE FACE OF PRECAST. - STUDS &amp; GYP. BD. UP TO 6" ABOVE CLG. - BRACE TOP OF WALL AS REQ'D. - REFER TO DETAILS 1/A/S/O</p>	<p><b>N</b> <b>8"-02H PARTITION</b> 5/8" GYP BOARD BOTH SIDES OF 3 5/8" 20GA. METAL STUDS @ 16" O.C. - STUDS AND GYP. BD. UP TO 8'-0" A.F.F. - 3 1/2" SOUND INSULATION - FULL HEIGHT</p>
<p><b>O</b> <b>OFFICE/COMMON DEMISING PARTITION</b> 5/8" GYP BOARD BOTH SIDES OF 3 5/8" 20 GA. METAL STUDS @ 16" O.C. - STUDS AND GYP. BOARD FROM MEZZ. TO UNDERSIDE OF ROOF DECK BOTH SIDES - 3 1/2" SOUND BATT INSULATION - FULL HEIGHT - REFER TO DETAIL 1/A/S/O</p>	<p><b>P</b> <b>OFFICE/COMMON DEMISING PARTITION</b> 5/8" GYP BOARD BOTH SIDES OF 3 5/8" 20 GA. METAL STUDS @ 16" O.C. - STUDS AND GYP. BOARD FROM MEZZ. TO UNDERSIDE OF ROOF DECK BOTH SIDES - 3 1/2" SOUND BATT INSULATION - FULL HEIGHT - REFER TO DETAIL 1/A/S/O</p>

**PARTITION NOTES**

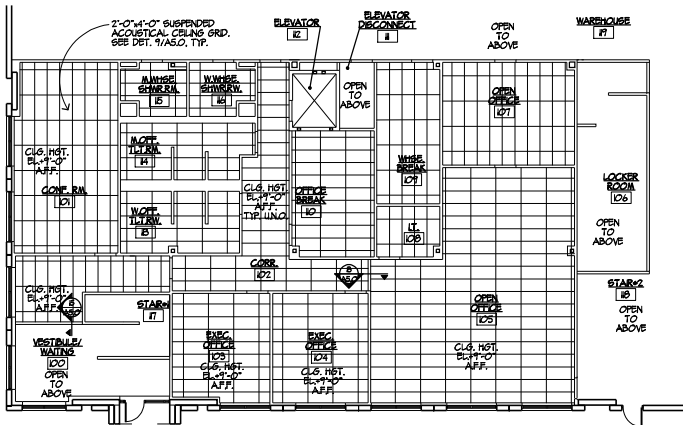
- BRACE ALL WALLS AND BOTTI FRAMING TO STRUCTURE ABOVE OR ADJACENT WALLS AS REQUIRED FOR RIGIDITY.
- ALL PLUMBING WALLS TO RECEIVE WR. SHEETROCK: UNO.
- R/W/WOOD WHERE CALLED FOR ON OFFICE PLAN IS TO BE COORDINATED GENERAL CONTRACTOR FOR LOCATION, SIZE AND CONFIGURATION. LOCATE R/W/WOOD ON STD. FRAMING AND SCREW GYP. BD. FINISH OVER R/W/WOOD.
- WALLS SHOWN SHADDED ON PLAN TO RECEIVE 3 1/2" SOUND ATTENUATION BATT-FULL HEIGHT OR AS NOTED IN THE PARTITION TYPE.

**Principle CONSTRUCTION CORP.**

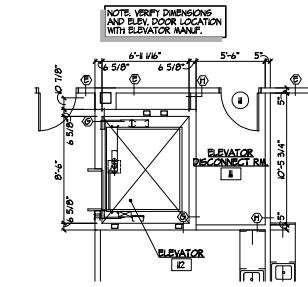
**HARRIS ARCHITECTS INC.**  
110 WESTERN ROAD, DOWNERS GROVE, ILL. 60528  
CONTACT: © 2018 HARRIS ARCHITECTS INC.

**GLOBE TRANSPORTATION**  
NEW TRUCK MAINTENANCE FACILITY FOR Z240 Rand Road

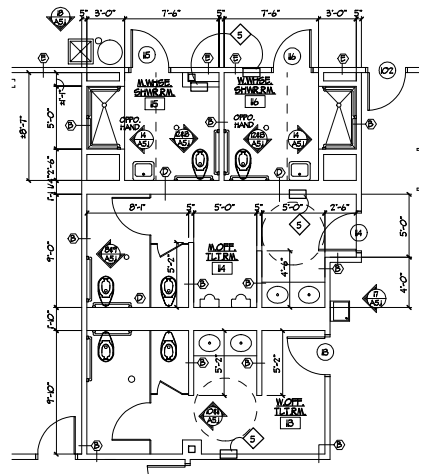
PROJECT NO. 22528  
DRAWN BY: R2H  
DATEBASE: 22528.DWG  
SHEET NO. A4.0



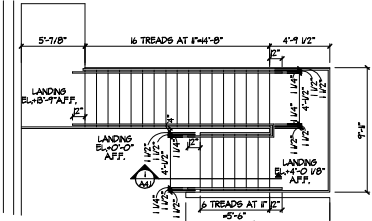
**REFLECTED CEILING PLAN**  
SCALE: 1/8"=1'-0"  
NORTH



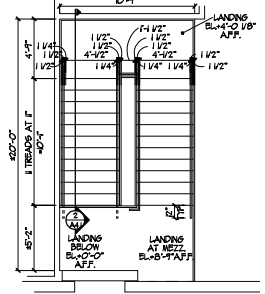
**ENLARGED ELEVATOR DISCONNECT ROOM**  
SCALE: 1/4"=1'-0"  
NORTH



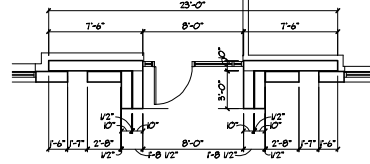
**ENLARGED TOILET ROOMS**  
SCALE: 1/4"=1'-0"  
NORTH



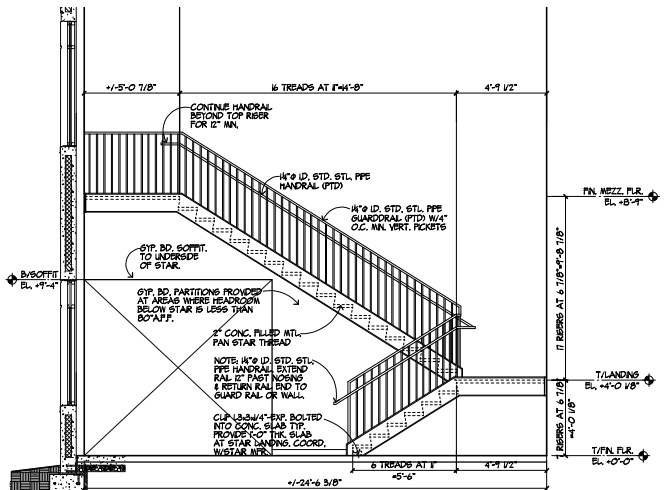
**STAIR#1 PLAN**  
SCALE: 1/4"=1'-0"  
NORTH



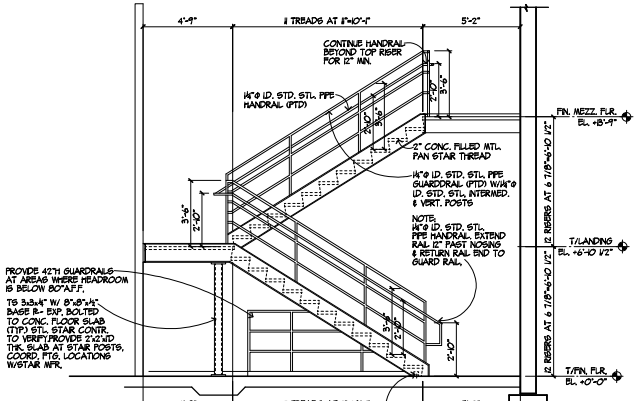
**STAIR#2 PLAN**  
SCALE: 1/4"=1'-0"  
NORTH



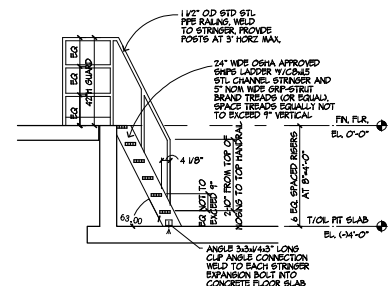
**ENLARGED ENTRY PLAN**  
SCALE: 1/4"=1'-0"  
NORTH



**STAIR ELEVATION**  
SCALE: 1/2"=1'-0"  
A1.1



**STAIR ELEVATION**  
SCALE: 1/2"=1'-0"  
A1.2



**SHIPS LADDER SECTION**  
SCALE: 1/2"=1'-0"  
A1.3

**Principle CONSTRUCTION CORP.**

**HARRIS ARCHITECTS INC.**  
16 WESTERN ROAD, BOSTON, MASS. 02116  
CONTACT: © THE PRINCIPLE PARTNERS, LLC

**GLOBE TRANSPORTATION**  
Peabody, Illinois

**NEW TRUCK MAINTENANCE FACILITY FOR Z240 Rand Road**

PROJECT NO. 22528  
DRAWN BY: RDM  
DATABASE: 22528.DB

SHEET NO. **A4.1**

DOOR SCHEDULE

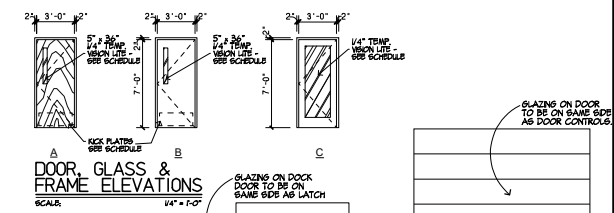
GENERAL NOTES:

- 1. ALL EXIT DOORS SHALL BE OPERABLE FROM THE INSIDE BY A LEVER OR PANIC BAR WITHOUT THE USE OF A KEY.
2. ALL DOORS AND HARDWARE SHALL COMPLY WITH THE LOCAL GOVERNING ACCESSIBILITY STANDARDS FOR FUNCTION TYPE AND MOUNTING HEIGHT REVISIONS.
3. PAINT ALL HOLLOW METAL DOORS AND FRAMES.
4. GO TO VERIFY MASTER KEYING AND LEVER FUNCTION (LOCKSTOPS) WITH OWNER.
5. ALL CLOSERS TO BE DELAYED ACTION TYPE.
6. PROVIDE SOLID WOOD BLOCKING BETWEEN STUDS AT ALL WALL-MOUNTED DOOR STOPS.
7. LOCKERS IN WOOD DOORS TO BE PAINTED.
8. LOCKERS IN WOOD DOORS TO BE STAINED.
9. ALL DOORS TO HAVE GLAZERS, EXCEPT THOSE WITH WEATHERSTRIPPING.
10. OPENINGS TO BE RATED INCLUDE DOORS, FRAMES AND HARDWARE, FOR CLASSES INDICATED.

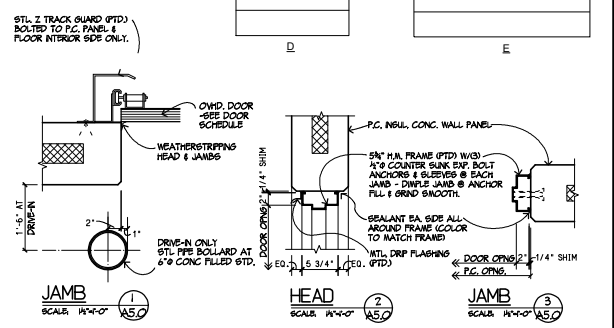
DOOR HARDWARE

Table with columns: FUNCTION, HINGERS, STOPS, INFILTRATION, LEAFS, ACCESSORIES, RATINGS, OVERHEAD DOORS, SECURITY, and MEC. Each column lists specific hardware and materials used for various door types.

Main door schedule table with columns: NO., SIZE, DOOR TYPE, FRAME, HEAD, JAMB, RBY TYPE, and grid locations. Lists specific door types and their specifications across a grid.



DOOR, GLASS & FRAME ELEVATIONS



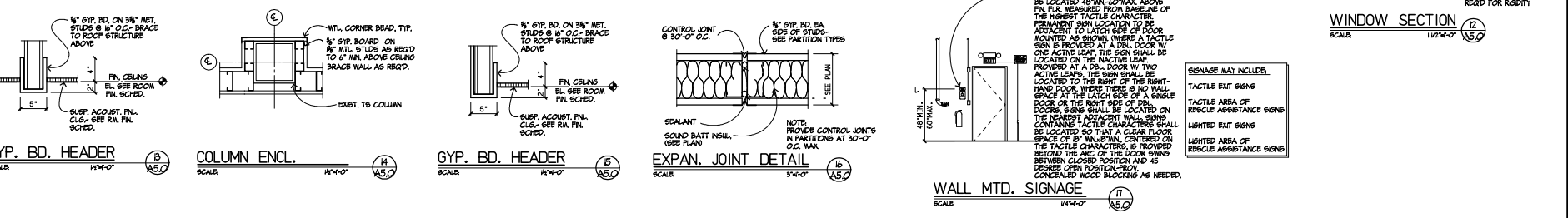
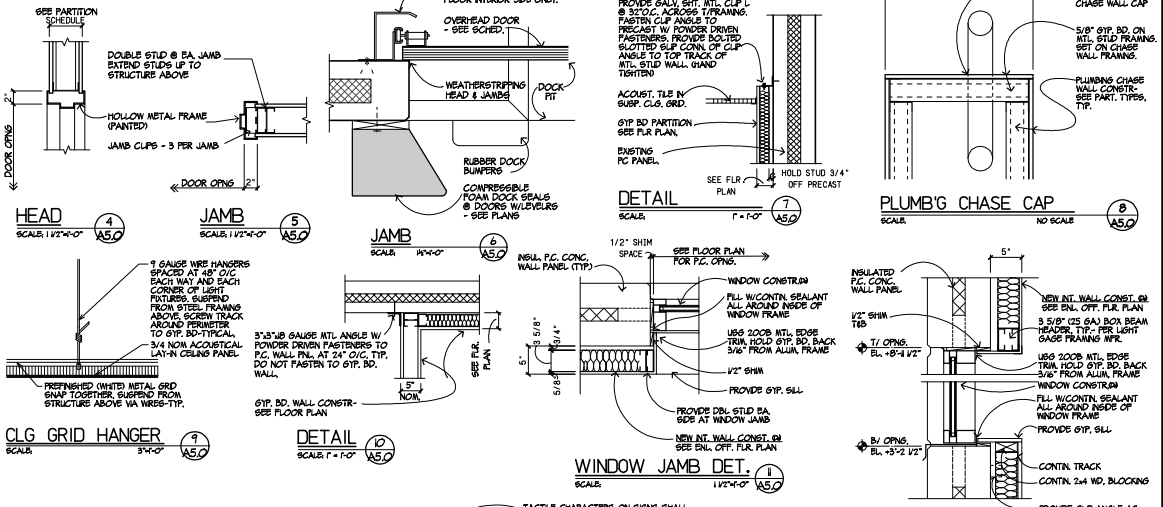
HEAD, JAMB, JAMB DET., WINDOW JAMB DET., WINDOW SECTION, WINDOW SIGNAGE

ROOM FINISH SCHEDULE

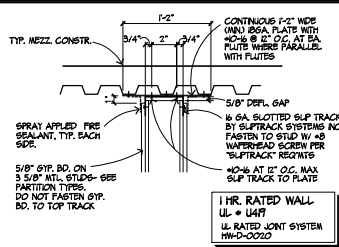
GENERAL NOTES:

- 1. PROVIDE CONCEALED WOOD BLOCKING IN WALLS AS REQ'D. TO INSTALL ALL HANGER CONNECTIONS TOILET PARTITIONS, ETC.
2. PROVIDE FINISH NID. ACCESS PANELS AS REQ'D. FOR ACCESS TO CONCEALED VALVES, ETC.
3. PROVIDE FIN. TRIMMED NO. BLOCKING AS REQ'D. BY LOCAL CODES & AUTHORITIES.

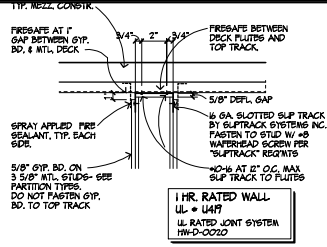
Room finish schedule table with columns: ROOM NAME, FLOOR, BASE, WALLS, CEILING, CLG. HGT., and MEC. Lists finishes for various rooms like conference room, executive office, and warehouse.



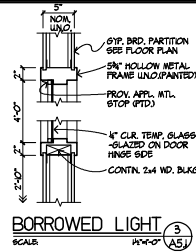
Vertical strip on the right side of the page containing logos for Principle Construction Corp., Harris Architects Inc., and GLOBE TRANSPORTATION, along with project and drawing information.



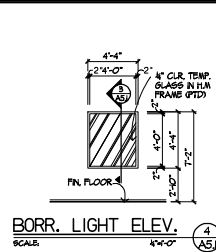
**TOP WALL DETAIL  
PARALLEL TO FLUTES**  
SCALE: 1/4"=1'-0" (A5)



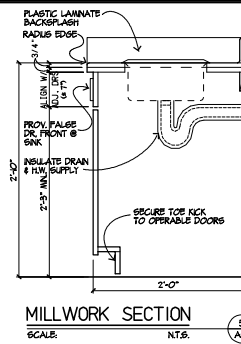
**TOP WALL DETAIL  
PERP. TO FLUTES**  
SCALE: 1/4"=1'-0" (A5)



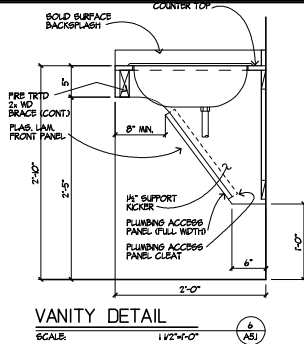
**BORROWED LIGHT**  
SCALE: 1/4"=1'-0" (A5)



**BORR. LIGHT ELEV.**  
SCALE: 1/4"=1'-0" (A5)

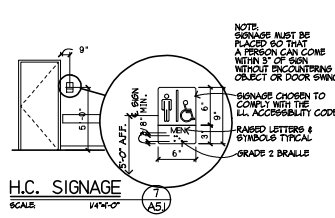


**MILLWORK SECTION**  
SCALE: N.T.S. (A5)

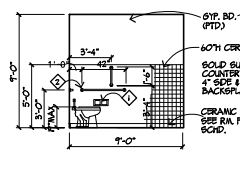


**VANITY DETAIL**  
SCALE: 1/2"=1'-0" (A5)

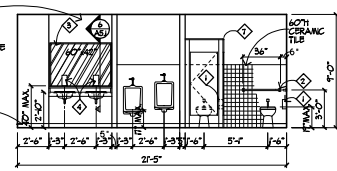
- TOILET ACCESSORIES**
- DOUBLE ROLL TOILET PAPER HOLDER
  - 1/2" O.D. ST. INCL. GRAB BARS
  - 3/4" REAR, 4" SIDE - TYP.
  - 4" PL. GLASS MIRROR IN STILT FRAME
  - 4" O.P. MAX. TO REFLECTIVE SURFACE
  - SURFACE INT. 3/8" DISPENSER
  - FT. DISPENSER/ DISPOSAL SEMI-RECESSSED
  - SEE ELEVATION (1A/5)
  - SURFACE INT. SANITARY NAPKIN DISPOSAL
  - FLOOR INT. TOILET PARTITIONS
  - PROVIDE BLOCKING AS REQUIRED FOR ALL WALL MOUNTED ACCESSORIES.



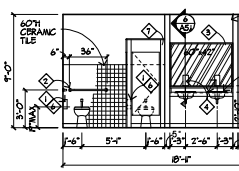
**H.C. SIGNAGE**  
SCALE: 1/4"=1'-0" (A5)



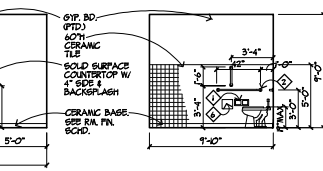
**MEN'S OFF. T.L.T. RM. #114**  
SCALE: 1/4"=1'-0" (A5)



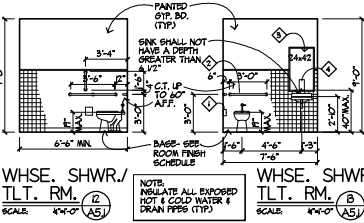
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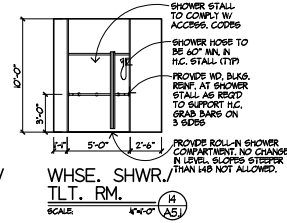
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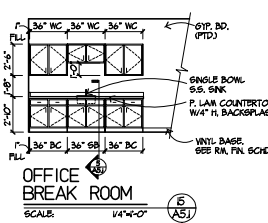
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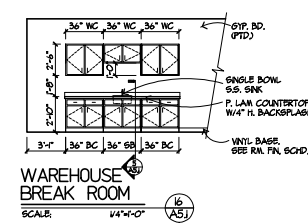
**WHSE. SHWR./ T.L.T. RM.**  
SCALE: 1/4"=1'-0" (A5)



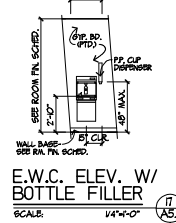
**WHSE. SHWR./ T.L.T. RM.**  
SCALE: 1/4"=1'-0" (A5)



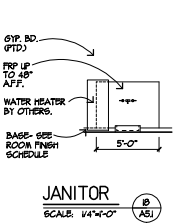
**OFFICE BREAK ROOM**  
SCALE: 1/4"=1'-0" (A5)



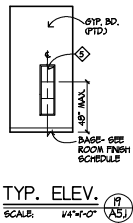
**WAREHOUSE BREAK ROOM**  
SCALE: 1/4"=1'-0" (A5)



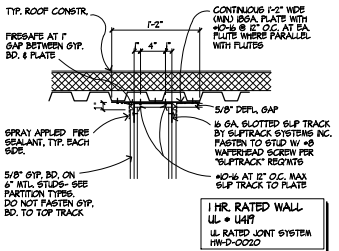
**E.W.C. ELEV. W/ BOTTLE FILLER**  
SCALE: 1/4"=1'-0" (A5)



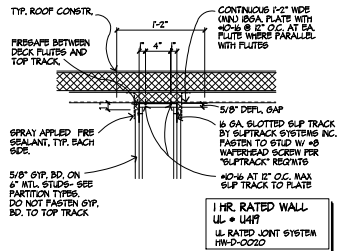
**JANITOR**  
SCALE: 1/4"=1'-0" (A5)



**TYP. ELEV.**  
SCALE: 1/4"=1'-0" (A5)



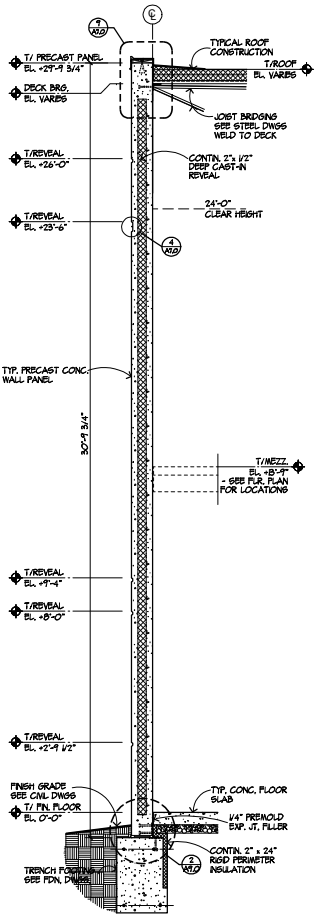
**TOP WALL DETAIL  
PARALLEL TO FLUTES**  
SCALE: 1/4"=1'-0" (A5)



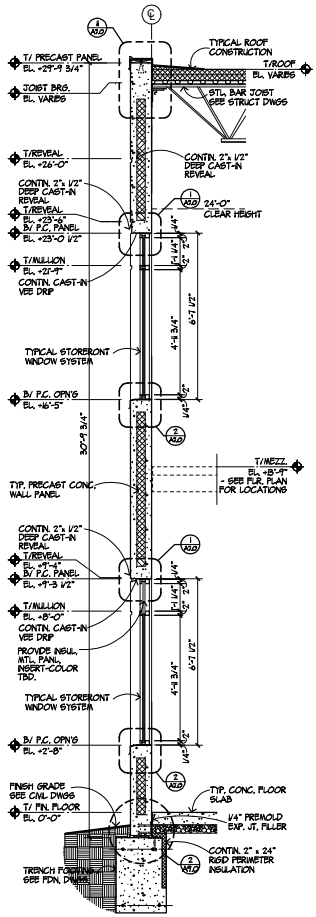
**TOP WALL DETAIL  
PARALLEL TO FLUTES**  
SCALE: 1/4"=1'-0" (A5)

**WALL SECTION NOTES**

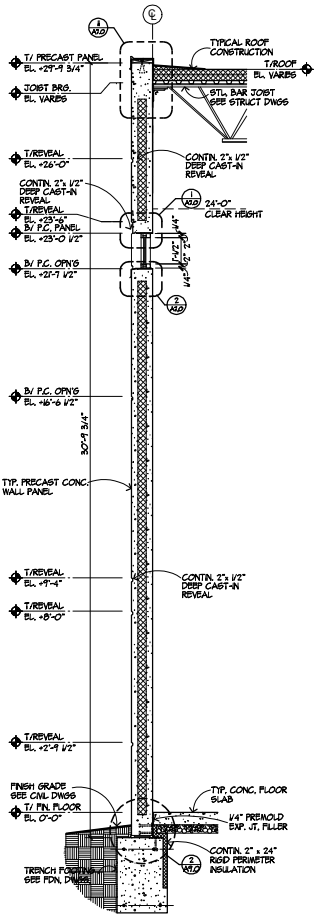
- TYPICAL ROOF CONSTRUCTION**  
BALLASTED SINGLE-PLY MEMBRANE EPDM ROOF (65 MIL ON 12) LAYERS 2" FOR A TOTAL OF 5" RIGID INSUL. (R=50.0) LTR ON 1/2" 2" GA. UNID. W/FS. ED. INTL. ROOF FLOOR ON OPEN W/ST. BAR JOISTS. PROVIDE CONTR. TAPERED INSL. AT PERIMETER OF BLDG. (TYP)
- TYPICAL SEGMENT SYSTEM**  
1/4" 1/2" 1/4" G/ST TINTED LOW-E GLASS, N ANOD. ALUM. THERMALLY BROKEN FRAMING SYSTEM (SEE SPECIFICATION SHEET).
- TYPICAL BRANCHED WINDOW OPENING**  
1/4" 1/2" 1/4" G/ST TINTED LOW-E GLASS, N ANOD. ALUM. THERMALLY BROKEN FRAMING SYSTEM (SEE SPECIFICATION SHEET).
- TYPICAL PRECAST WALL PANEL**  
1" SMOOTH FACE INSULATED PRECAST CONCRETE WALL PANELS W/ CONT. INSL. (R=2.2)
- P.C. MANUF. TO PROVIDE ALL SHORING, BRACING, OR DEADEN ANCHORS TO RESIST HORIZONTAL SHEAR & WIND LOADS. INTL. ROOF DECK IS SECURED IN PLACE & ALL PANELS HAVE BEEN BRACED. EACH PANEL SHALL BE FULL BRACED.**
- SEE BUILDING ELEVATIONS FOR ADDITIONAL REVEAL LOCATIONS.**
- SEE DETAILS, SHEET A7.0 FOR TYPICAL REVEAL PROFILES.**



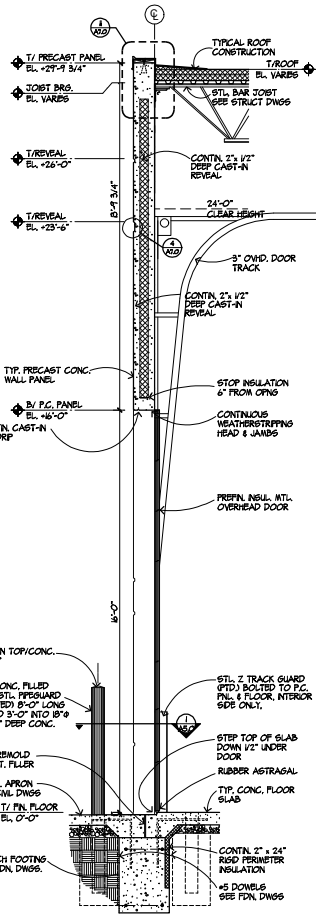
**WALL SECTION 1**  
SCALE: 1/2" = 1'-0"  
A6.0



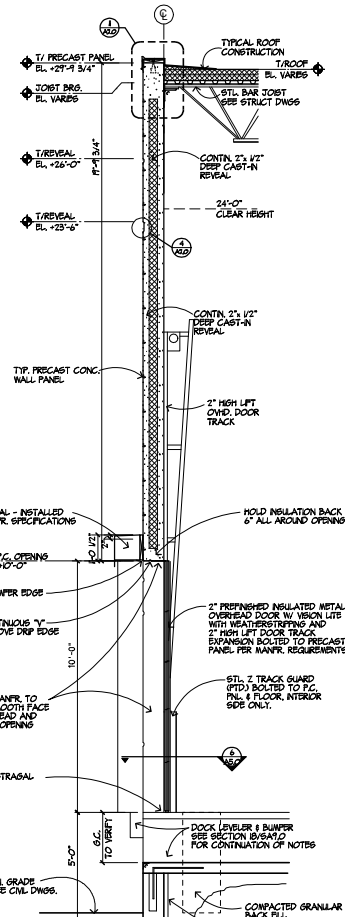
**WALL SECTION 2**  
SCALE: 1/2" = 1'-0"  
A6.0



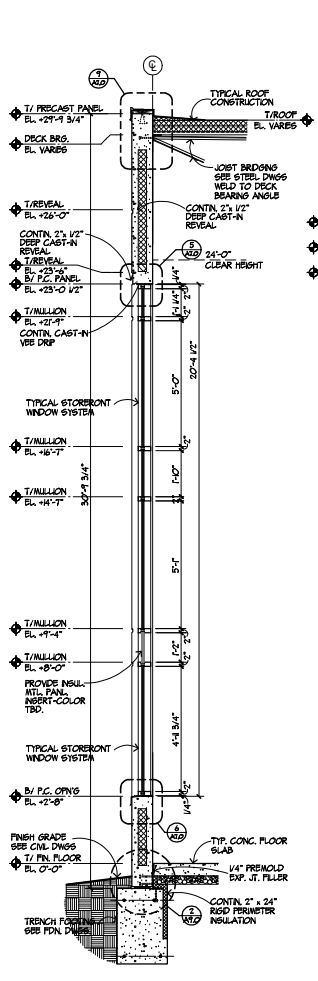
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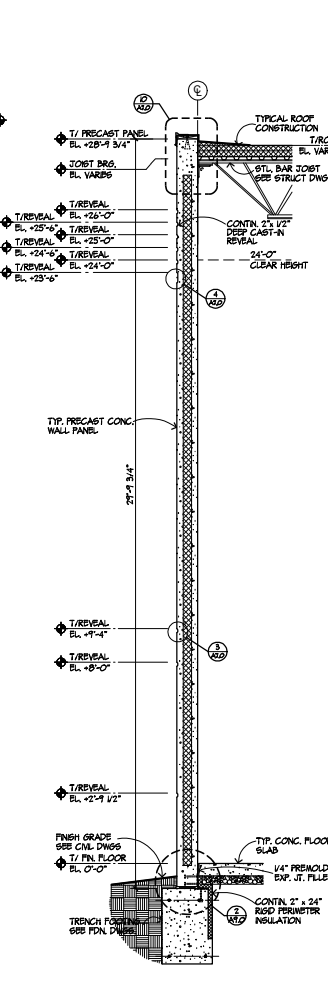
**WALL SECTION 4**  
SCALE: 1/2" = 1'-0"  
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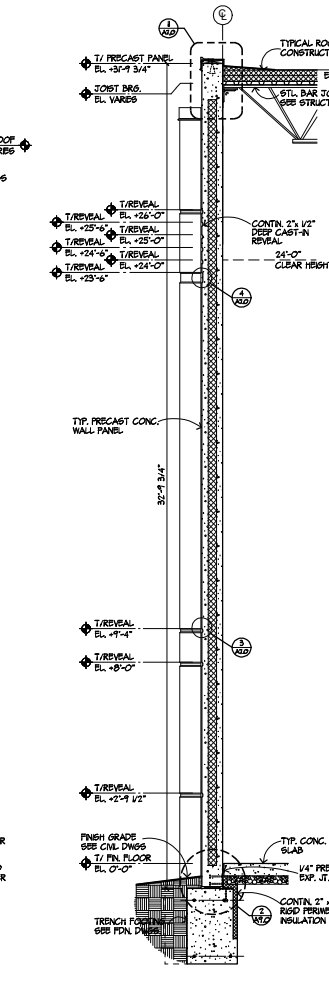
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A6.0



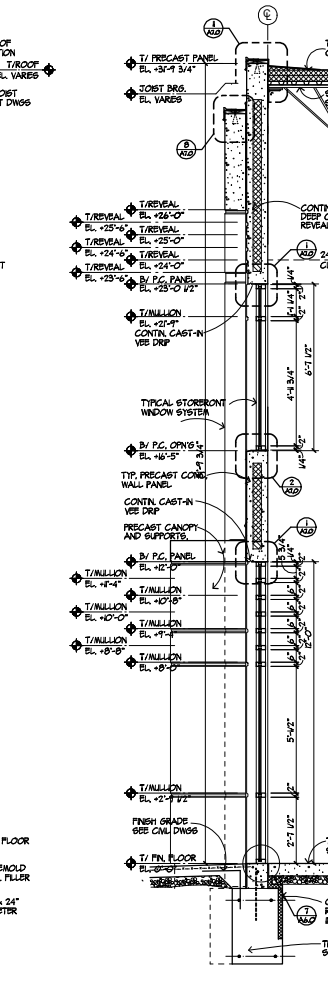
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SCALE: 1/2" = 1'-0"  
A6.1



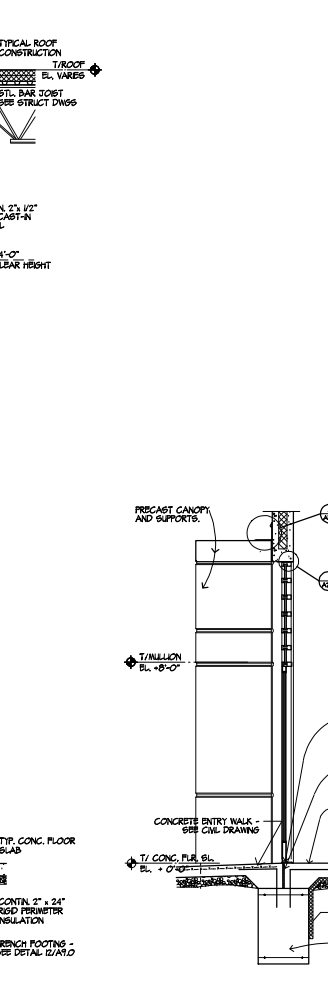
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A6.1



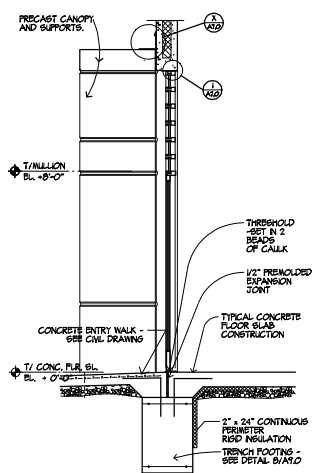
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A6.1

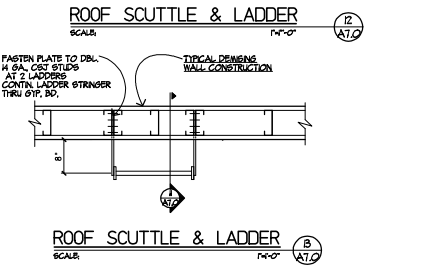
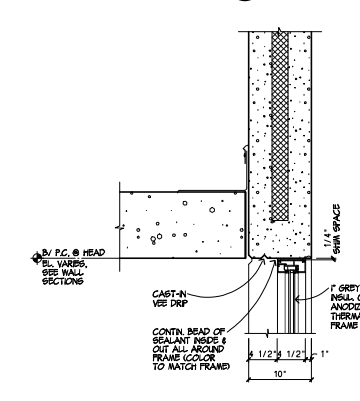
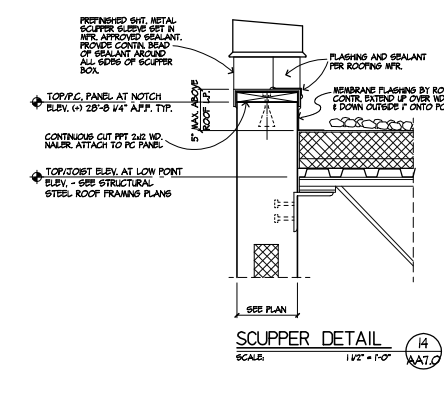
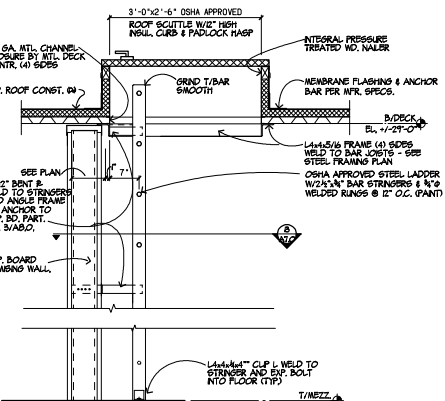
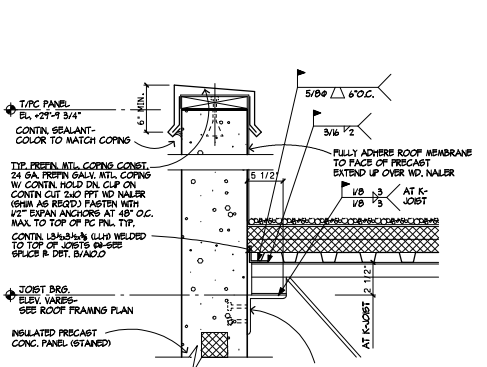
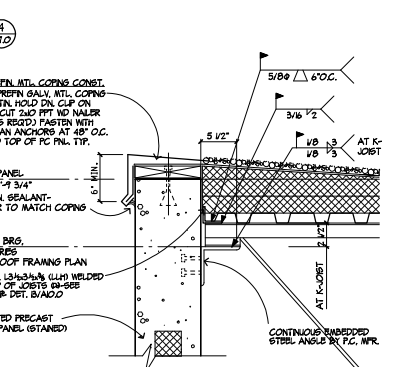
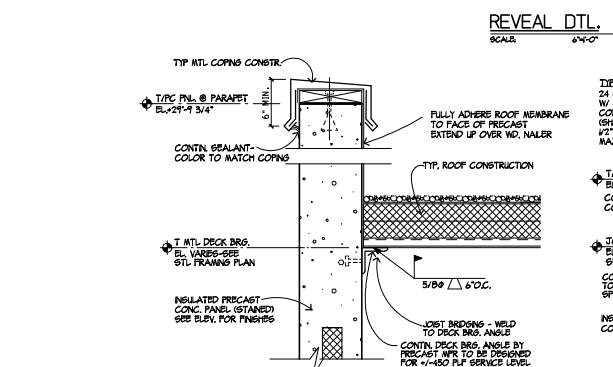
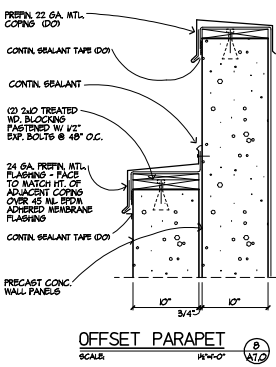
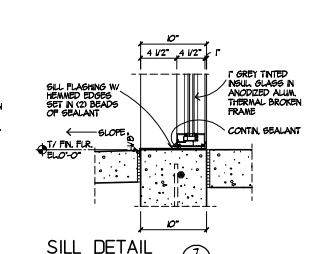
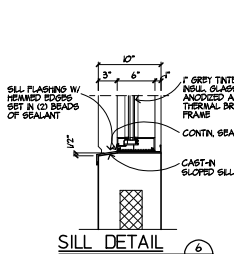
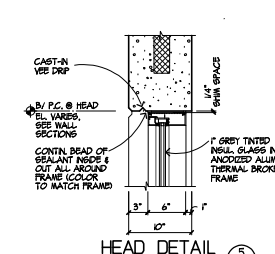
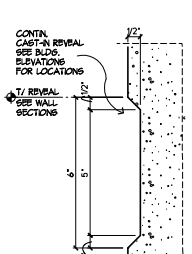
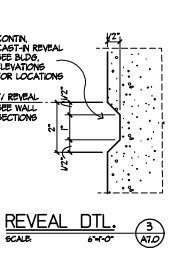
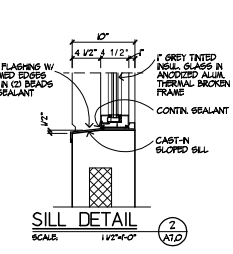
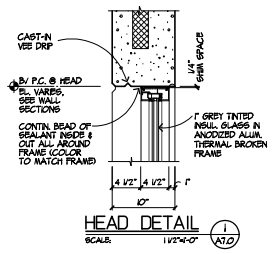


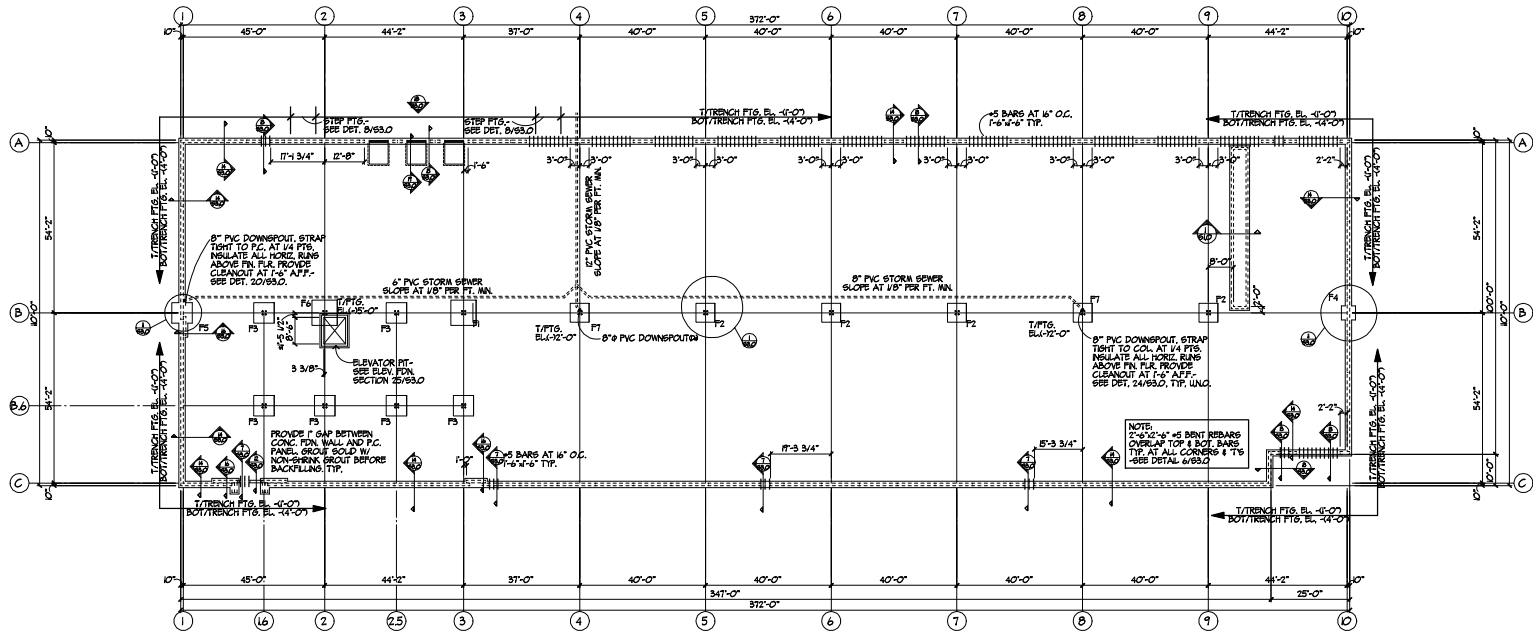
**WALL SECTION 4**  
SCALE: 1/2" = 1'-0"  
A6.1



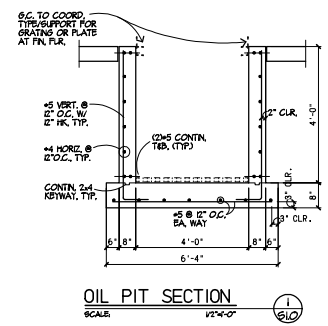
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SCALE: 1/2" = 1'-0"  
A6.1



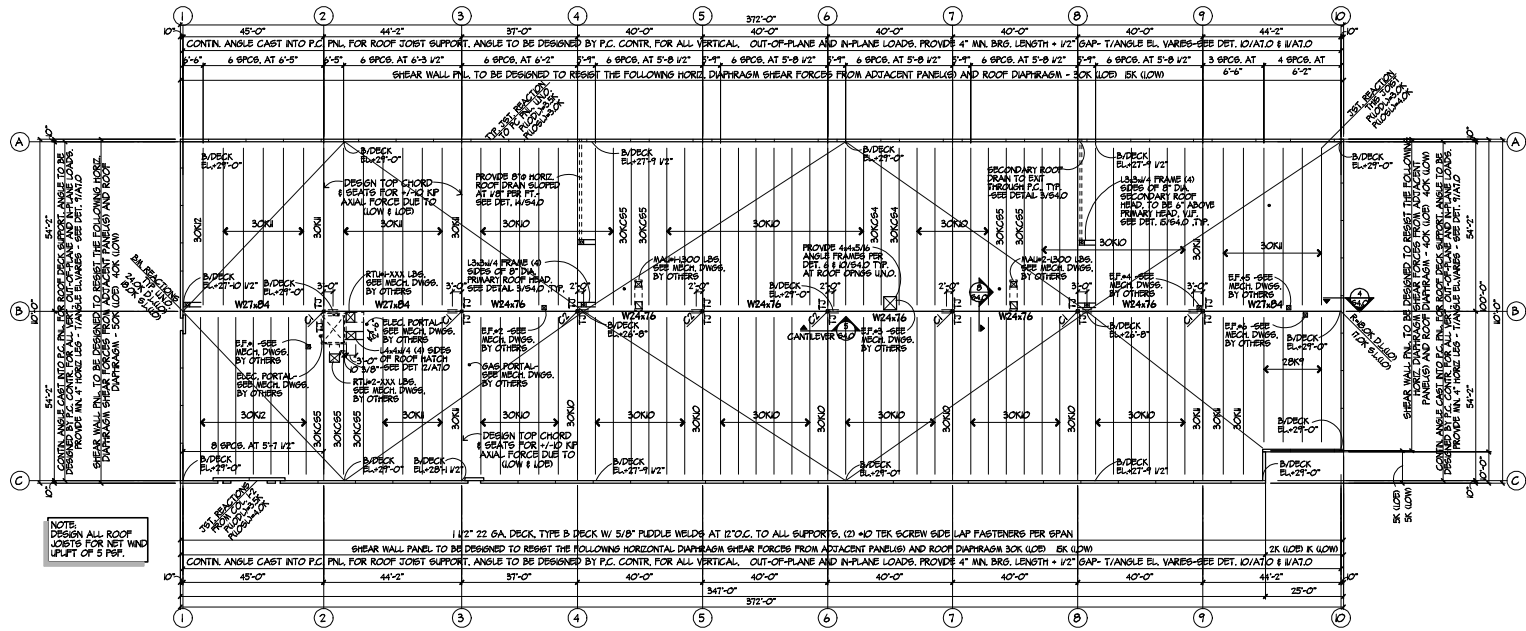




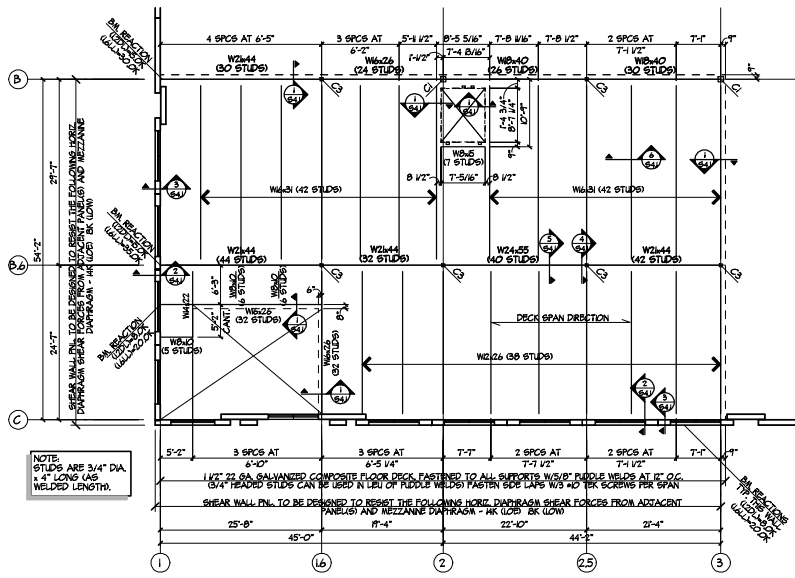
**FOUNDATION PLAN**  
SCALE: 1/8"=1'-0"



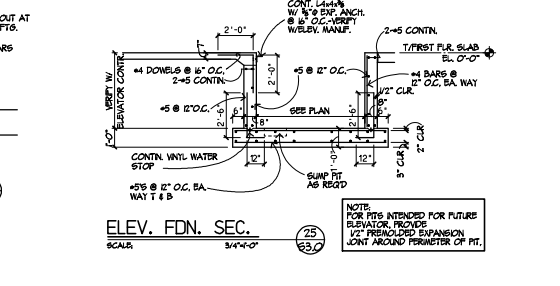
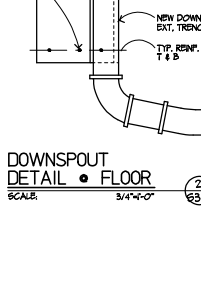
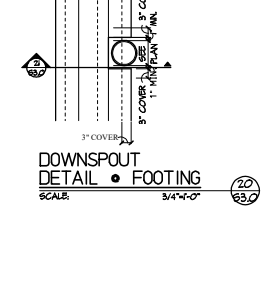
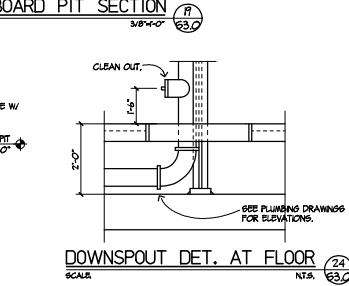
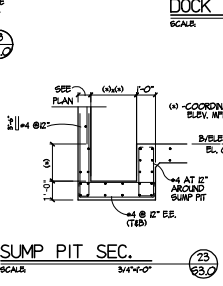
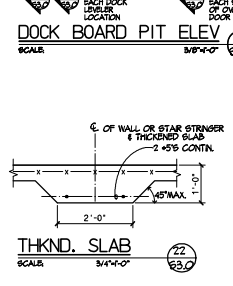
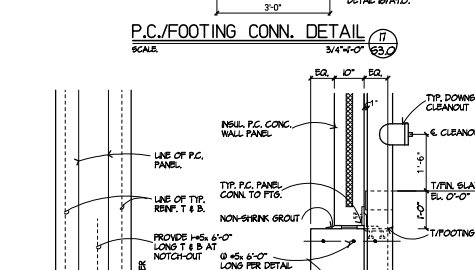
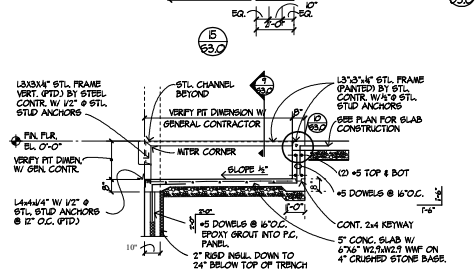
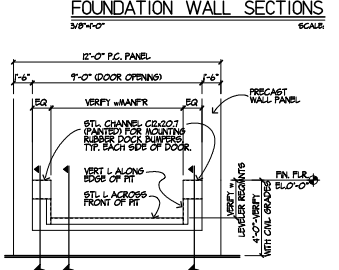
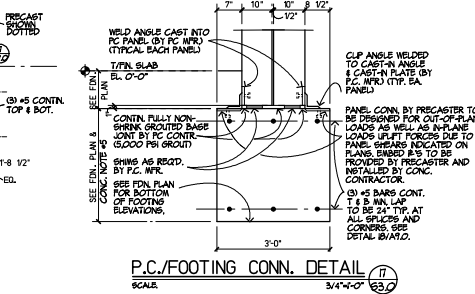
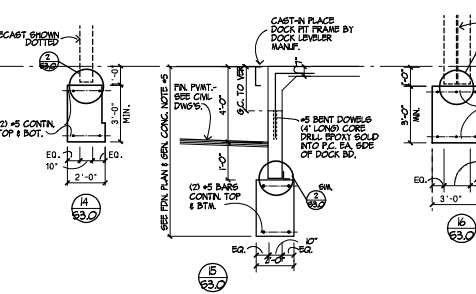
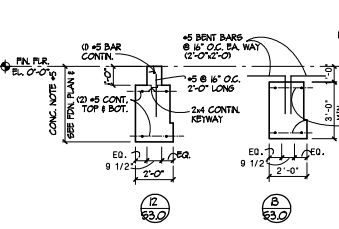
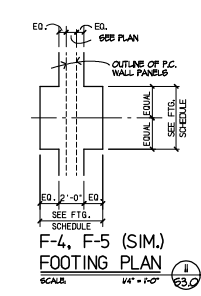
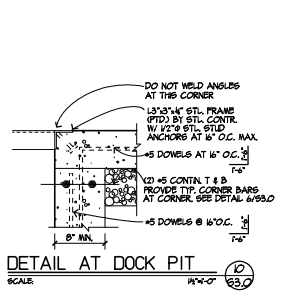
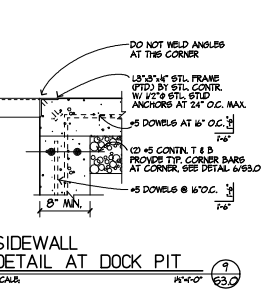
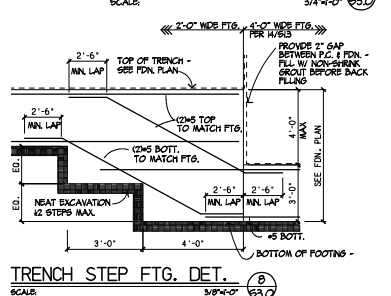
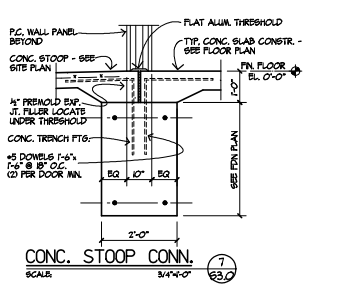
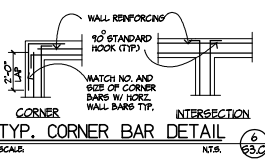
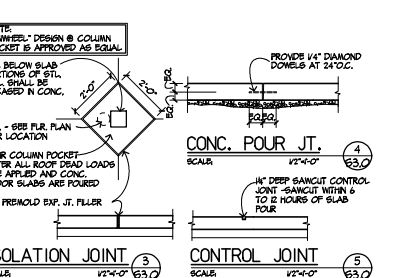
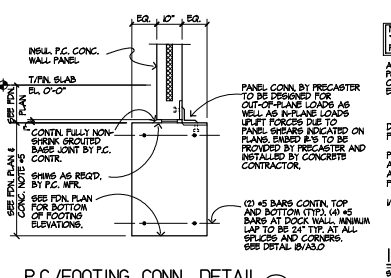
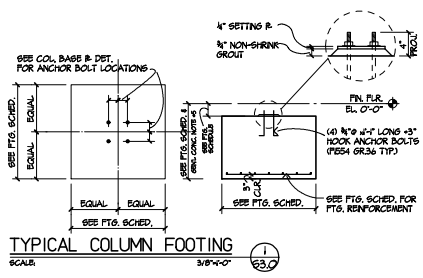
**OIL PIT SECTION**  
SCALE: 1/2"=1'-0"



**OVERALL ROOF FRAMING PLAN**  
SCALE: 1/8"=1'-0"



**MEZZANINE FRAMING PLAN**  
SCALE: 1/8"=1'-0"



### GENERAL CONCRETE NOTES

- Concrete design and specifications shall conform to the following current A.C.I. publications as minimum standards with applicable local codes:
  - A.C.I. 301 Specifications for Structural Concrete Formwork
  - A.C.I. 302 Guide for Concrete Form and Slab Construction
  - A.C.I. 304 Guide for Measuring, Mixing, Transporting and Placing Concrete
  - A.C.I. 305 Recommended Practice for Hot Weather Concreting
  - A.C.I. 306 Recommended Practice for Cold Weather Concreting
  - A.C.I. 308 Manual of Standard Practice for Detailing Reinforced Concrete
  - A.C.I. 308 Building Code Requirements for Reinforced Concrete
  - A.C.I. 308 Recommended Practice for Concrete Formwork
- All concrete shall develop minimum compressive strength at 28 days as follows:
  - Foundation walls, piers and footings . . . . . 3000 psi
  - Interior floor slabs . . . . . 4000 psi
  - Exterior slabs . . . . . 4000 psi (air-entrained 6% max)
- Concrete reinforcing bars shall conform to ASTM A-635, Grade 60, as a minimum and deformation according to ASTM A-305.
- Floor slab welded wire fabric shall conform to ASTM A-885.
- Concrete foundation design is based on a soil bearing capacity of 4000 psf on native soil or engineered fill per the geotechnical report. All foundations to be extended down to strata of this capacity. "Bottom of Footings" where called for on the plans are for frost protection only. Contractor shall retain the services of a soil engineer to verify the existence of minimum 4000 psf soil prior to placement of any concrete footings. All footings exposed to frost shall be a minimum of 42" below finish grade.
- For location and size of openings, sleeves, inserts, etc., refer to architectural, mechanical, electrical and structural drawings.
- Contractor shall perform necessary procedures to ensure concrete is protected from frost during the duration of construction. See footing schedule for special winter concreting construction.
- Conform to ASTM C31 and ASTM C39 for gathering and testing concrete sampling per ACI requirements.
- The interior concrete mix design for slabs on grade shall be provided by the concrete supplier and conform in general to the following:
  - a) f'c-4000 psi at 28 days. Flexural strength shall not be less than 600 psi at 28 days.
  - b) The concrete mix design shall be proportioned with a top size aggregate of 1 1/2" diameter #49 steel.
  - c) The combined aggregate grading shall be retained on the following sieve sizes according to the following percentages or as allowed to be varied by ACI 302.1 F-04. The concrete supplier is to submit a combined aggregate relative graph for archiving review.
 

1 1/2" - 0.42	5 - 8.8%
7" - 8.8%	15 - 8.8%
3/4" - 8.8%	100 - 8.8%
1/2" - 8.8%	100 - 8.8%
3/8" - 8.8%	100 - 15.52%
- The interior concrete slab mix design shall conform in general to the following:
  - Cement (Type II) 520 lb. max.
  - Coarse aggregate 2000 lb. min. (10c/y)
  - Fine Aggregate 265 lb. +/-
  - Water 265 lb. max.
  - Air Content 2% max. (entrapped air only)
  - Md Range W/R Grade or equal (ASTM C-39)
  - Water/Cement Ratio 0.50
  - Slump at placement 5" +/- 1" min/R/W
- Note: Place concrete to wet reinforcement. Do not mix. No water shall be added to mix on site without prior approval.
- Shrinkage 0.04% at 28 days per ASTM C567 Air Dried
- Fly ash is not acceptable for interior or exterior concrete network. Blast furnace slag is approved for use in mix.
- Submit separate hot and cold weather mix designs.
- Slump for interior and exterior slabs to be 5" +/- 1" Slump for all other concrete to be 4" +/- 1"
- Owner to provide geotechnical report by qualified testing agency. Report to include bearing capacity of soil, foundation recommendations, frost depth and any other particulars related to foundation and slab.
- Owner to forward (2) copies to Arch/Engineer for review.
- See plans for type and quantity of fire additive (if provided)
- Spray applied curing compounds to meet ASTM C-309

NOTE:

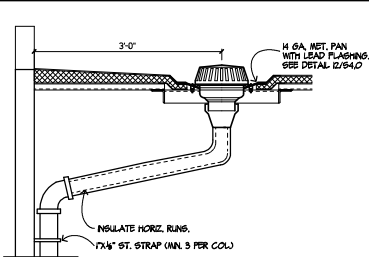
Backfill to be placed and compacted on an equal fill basis on each side of the foundation walls. Do not begin erection of steel framing, girts, precast, or any other exterior framing or envelope component until all foundation walls and column piers are laterally braced using compacted backfill of the type recommended in the geo-technical report using methods approved and recommended in the geotechnical report.

### FOOTING SCHEDULE

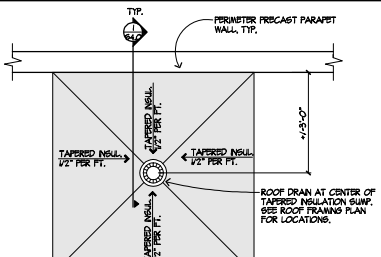
NO.	SIZE	REF. EA. WAY	SLY. TYPFR	SLY. BYPTS.	REMARKS
F-1	4'-0" x 12'-0" x 12'-0"	(1) - 2-#4	1-#4	1-#4	SEE DETAIL #53.0
F-2	4'-0" x 12'-0" x 12'-0"	(1) - 2-#4	1-#4	1-#4	SEE DETAIL #53.0
F-3	4'-0" x 12'-0" x 12'-0"	(1) - 2-#4	1-#4	1-#4	SEE DETAIL #53.0
F-4	4'-0" x 12'-0" x 12'-0"	(1) - 2-#4	1-#4	1-#4	SEE DETAIL #53.0
F-5	4'-0" x 12'-0" x 12'-0"	(1) - 2-#4	1-#4	1-#4	SEE DETAIL #53.0
F-6	4'-0" x 12'-0" x 12'-0"	(1) - 2-#4	1-#4	1-#4	SEE DETAIL #53.0

NOTE: DURING SUMMER CONSTRUCTION NO FROST IN THE GROUND TO THE MINIMUM FTG. THICKNESS MAY BE USED IN LIEU OF THE 4'-0" B/P/TG. ELEV.

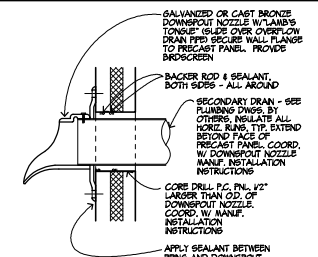
**Principle CONSTRUCTION CORP.**  
**HARRIS ARCHITECTS INC.**  
 2240 Rand Road  
 Peotone, Illinois  
**GLOBE TRANSPORTATION**  
 NEW TRUCK MAINTENANCE FACILITY FOR  
 2240 Rand Road  
 PROJECT NO. 22528  
 DRAWN BY: RDH  
 DATABASE: 22528.D8  
 SHEET NO. S3.0



**DOWNSPOUT DETAIL**  
SCALE: 1/2" = 1'-0" (64.0)



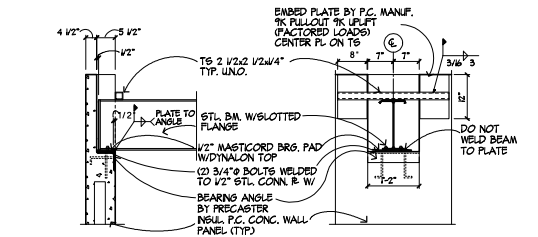
**ROOF DRAIN SUMP DETAIL**  
SCALE: 1/2" = 1'-0" (64.0)



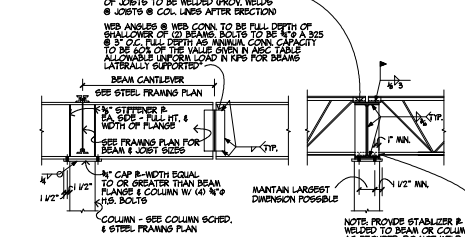
**SECONDARY DRAIN DETAIL**  
SCALE: 1/4" = 1'-0" (64.0)

**GENERAL STEEL NOTES**

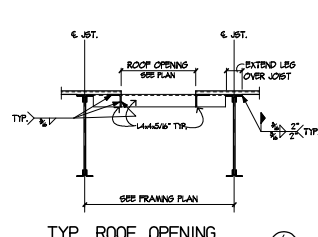
- All structural steel and miscellaneous steel to be ASTM-A36 unless noted otherwise. Steel pipe columns to be ASTM A500 GRADE B. All wide flange shapes to be ASTM A992-GR50 steel.
- All fabrication and erection of steel to be in accordance with A.I.S.C. Specification for Design, Fabrication, and Erection of Structural Steel for Buildings, unless otherwise shown or noted. All connections shall develop one-half of the allowable uniform tensile capacity of the member using wide flange and ASTM A325 H.S. bolts as a minimum.
- Steel contractor shall provide and maintain temporary shoring and bracing as required for all steel beams, girders, columns and links (supporting openings greater than 6'-0" in clear width) until such members or elements receive lateral support and bracing from permanent framing members.
- Precast erector/contractor shall provide and maintain temporary shoring and bracing as required to support all loading applied to panels until framing is complete, roof decking is installed and fastening is complete so that deck and steel framing may engage and resist lateral loading imparted by the connection of precast panels to the structure.
- General contractor shall provide and pay for services of a Registered Land Surveyor who, as work proceeds, shall check every major element for line, level and plumb. General contractor shall promptly report all deviations which are detected upon detection of deviations which exceed standards of A.I.S.C. Specifications for the Design, Fabrication and Erection of Structural Steel for Buildings, except as otherwise indicated.
- All welding to be in accordance with A.W.S. and A.I.S.C. specifications.
- All elevations represent joint bearing elevations (top of beams/girders) unless noted otherwise.
- See architectural drawings for miscellaneous steel, inlets, plates, etc.
- Verify all openings for mechanical equipment, etc., with mechanical contractors before erection of any steel. Provide frame for all of openings larger than 12" square, and provide all auxiliary framing as required.
- All steel joints and steel girders to be fabricated and erected in accordance with the Steel Erection Specifications and to be certified.
- Steel manufacturer shall design joint seats to resist the following forces acting independently or simultaneously, whichever produces the greatest stresses:
  - 6 PSF uniformly in field.
  - 6 PSF within 5' of building perimeter.
  - 15 PSF within 5' of building corner.
  - Joint manufacturer shall design joint seats to resist the following forces acting independently or simultaneously, whichever produces the greatest stresses:
    - A lateral load perpendicular to the joint span applied at the top of the seat and resisted at bearing (seat) rollers. Minimum load is 1.5 kips per square foot, and 2.0 kips per foot for seats bearing on exterior walls and beams or girders of expansion joints or the diagonal shear stress of the joint spacing as noted on the drawings, whichever is greater.
    - A wind uplift reaction of either 2.0 kips, or 5 PSF, or that reaction resulting from the net wind uplift noted on the drawings, whichever is greater.
  - All exterior walls on steel joists to have one shop coat of light gray mill inhibitive paint (including all miscellaneous steel). Field touch-up as required on all exposed steel. Steel exposed to weather shall be galvanized. Steel members are to be cleaned of all mud, markings, etc., after installation.
- Absolutely no holes shall be drilled or burned into top or bottom chords of open web steel joist joists.
- Extend bottom chords of all tie joists to 3/8" stiffener plate or clip L3x3x1/4" on column - do not weld. All joists on column line to be bolted corner-to-corner. Weld bolted joints of columns after column alignment has been completed.
- Roof deck to be 1/2" deep wide rib, 22 ga. metal deck (30.00), continuous over 3-span minimum, side laps to be fastened with min. 60 lbs. screws per span (as noted on roof deck fastening plan), to achieve design shear. Roof deck to be welded to supports w/ 5/16" paddle welds at 12" max. o.c. for 12" or noted on roof deck fastening plan). Provide continuous support for all metal deck.
- At free edges, casters, corners, angles, and areas of irregular shape. Coat metal deck with rust-inhibitive white paint (primer).
- Automatic fastening of deck is accepted as approved by architect, engineer and owner).
- Steel framing to be sloped uniformly to roof drains as indicated on steel plans.
- Steel equipment hangers are to be located at joint panel points.
- The following items to be supported by top chord of bar joists only: Electric conduit, gas piping, water piping, steel metal duct work, suspended gas fired unit heaters.
- Steel design, detailing, fabrication and erection to conform to all applicable regulations of the Occupational Safety and Health Administration (OSHA) including 29 CFR 1926 Subpart R known as "SCRFAC".
- Any steel member due to receive spray fireproofing is not to be drilled, painted or otherwise coated.
- Steel floor deck to be 3/8", 26 gauge std. steel centering, continuous over 3-span minimum. Deck and installation to comply with SDI specifications and requirements. Deck shall have galvanized finish.



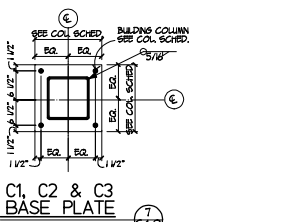
**TYP. BEAM BEARING DETAIL**  
SCALE: 3/4" = 1'-0" (64.0)



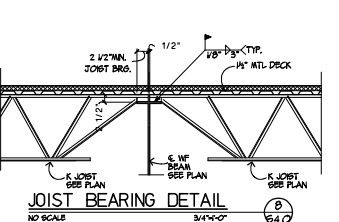
**TYPICAL BEAM CANTILEVER**  
SCALE: 3/4" = 1'-0" (64.0)



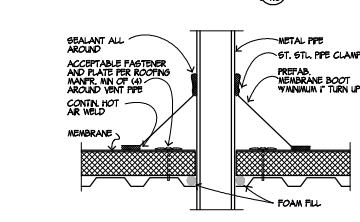
**TYP. ROOF OPENING**  
SCALE: 3/4" = 1'-0" (64.0)



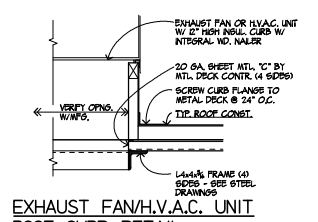
**C1, C2 & C3 BASE PLATE**  
SCALE: 3/4" = 1'-0" (64.0)



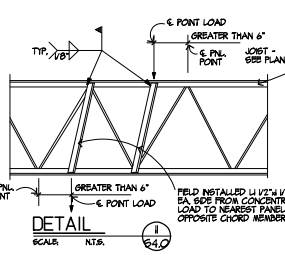
**JOIST BEARING DETAIL**  
NO SCALE (64.0)



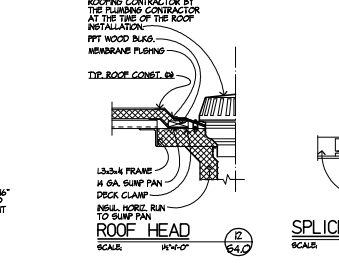
**PIPE BOOT DETAIL**  
SCALE: 1/2" = 1'-0" (64.0)



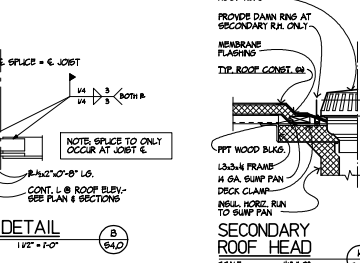
**EXHAUST FAN/H.V.A.C. UNIT ROOF CURB DETAIL**  
SCALE: 1/2" = 1'-0" (64.0)



**DETAIL**  
SCALE: NTS. (64.0)



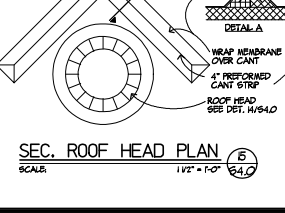
**ROOF HEAD**  
SCALE: 1/2" = 1'-0" (64.0)



**SPLICE DETAIL**  
SCALE: 1/2" = 1'-0" (64.0)



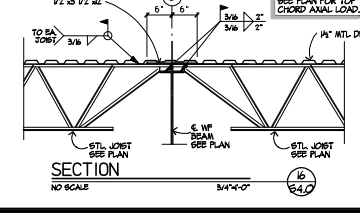
**SECONDARY ROOF HEAD**  
SCALE: 1/2" = 1'-0" (64.0)



**SEC. ROOF HEAD PLAN**  
SCALE: 1/2" = 1'-0" (64.0)



**SECTION**  
NO SCALE (64.0)



**COMPRESSION FLANGE STRUTS AT CANTILEVERED BEAMS**  
SCALE: 3/4" = 1'-0" (64.0)

COLUMN SCHEDULE					
NO.	SIZE	BASE PLATE	SETTING PLATE	CAP PLATE	REMARKS
C1	HSS8x4x1/2	3/4"x4"x2"	1/4"x4"x2"	3/4"	4-3/4" PESS 6R6 A.B.
C2	HSS8x4x1/2	3/4"x4"x2"	1/4"x4"x2"	3/4"	4-3/4" PESS 6R6 A.B.
C-3	HSS8x4x1/2	3/4"x4"x2"	1/4"x4"x2"	3/4"	4-3/4" PESS 6R6 A.B.

WAREHOUSE AREA		OFFICE AREA	
FLAT ROOF SNOW LOAD	21 PSF	FLAT ROOF SNOW LOAD	20 PSF
ROOFING	12 PSF	ROOFING	12 PSF
INSULATION AND METAL DECK	4 PSF	INSULATION AND METAL DECK	4 PSF
JOIST DEAD LOAD	3 PSF	JOIST DEAD LOAD	3 PSF
CEILING AND INSG.	3 PSF	CEILING AND INSG.	7 PSF
<b>TOTAL LOAD</b>	<b>43 PSF</b>	<b>TOTAL LOAD</b>	<b>47 PSF</b>

**ROOF DESIGN LOADS**

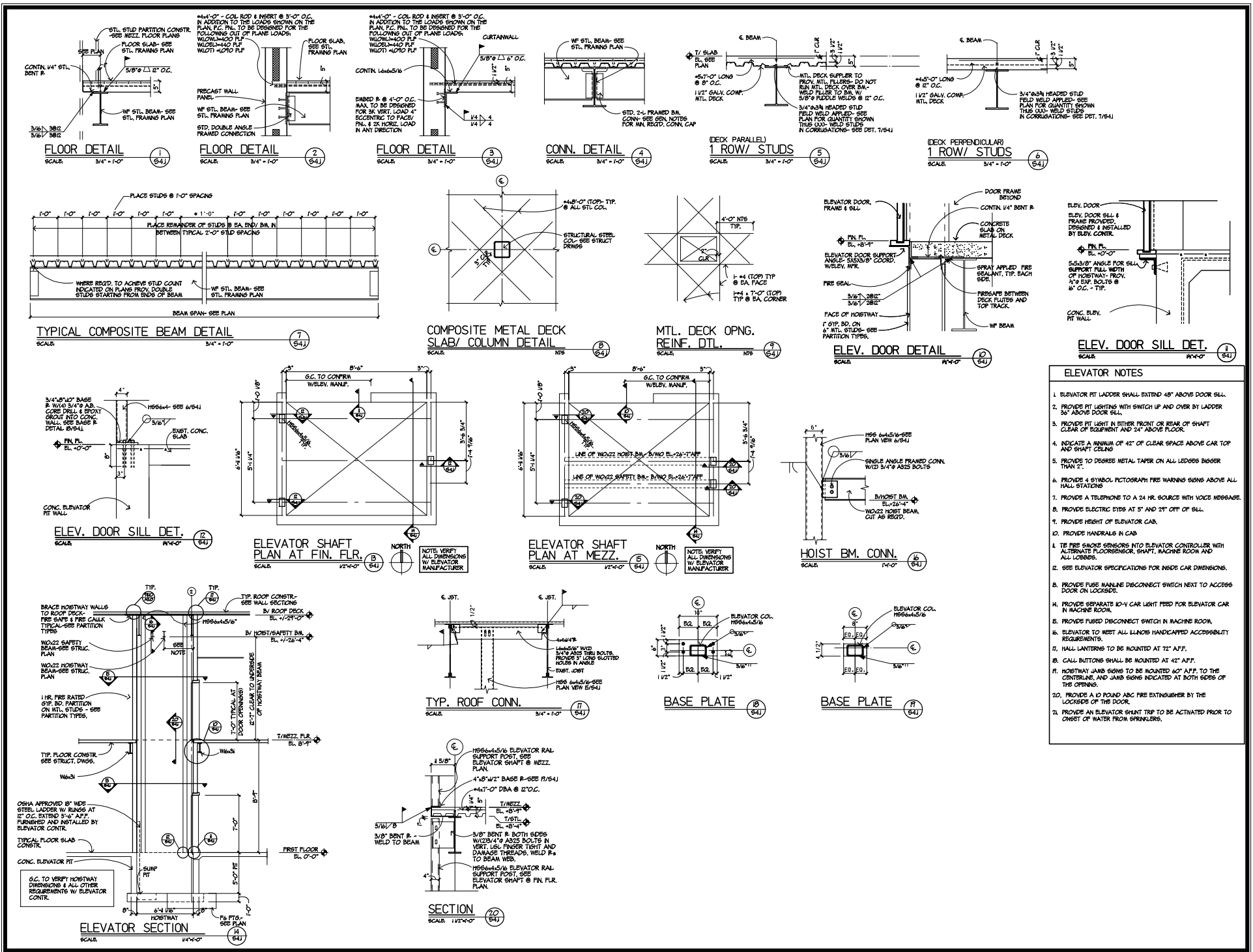
- GENERAL CONTRACTOR TO COORDINATE AND VERIFY WEIGHTS AND LOCATIONS OF ALL ROOF TOP EQUIPMENT WITH MECHANICAL CONTRACTOR. GEN. CONTR. PROVIDE INFORMATION TO ARCHITECT/ENGINEER FOR REVIEW OF STRUCTURAL BEAMS AND JOIST CONNECTIONS, BEAMS, COLUMNS, FOOTINGS, AND THE EFFECTS OF SNOW-DRIFTING.
- DESIGN-BUILD SUBCONTRACTORS TO COORDINATE AND VERIFY LOCATION OF BAR JOISTS AND BRIDGING LIMBS WITH BAR JOIST SHOP DRAWINGS. DESIGN-BUILD SUBCONTRACTORS TO COORDINATE AND VERIFY LOCATIONS OF LIGHT FIXTURES, DUCT DROPS, SPRINKLER HEADS, ETC.
- JOIST MANUFACTURER TO DESIGN ALL JOISTS AND JOIST ORDERS FOR LOADS IMPOSED BY PRE-ENGINEERED FRIMS. COORDINATE AND VERIFY WITH PRE PROTECTION DRAWINGS.
- BRIDGING INDICATED IS TO BE VERIFIED. JOIST MANUFACTURER TO DESIGN, LOCATE, SIZE AND INDICATE TYPE OF BRIDGING AND ITS TERMINATIONS ON SHOP DRAWINGS.

**Principle CONSTRUCTION CORP.**

**HARRIS ARCHITECTS INC.**  
1111 W. 12TH ST. SUITE 200  
DENVER, CO 80202  
TEL: 303.733.1111  
WWW.HARRISARCHITECTS.COM

**GLOBAL TRANSPORTATION**  
NEW TRUCK MAINTENANCE FACILITY FOR  
2240 Rand Road  
2017-2018

PROJECT NO. 22528  
DRAWN BY: RDL  
DATABASE: 22528.DB  
SHEET NO. S4.0



- ELEVATOR NOTES**
1. ELEVATOR FIT LADDER SHALL EXTEND 48" ABOVE DOOR SILL.
  2. PROVIDE FIT LIGHTS WITH SWITCH UP AND OVER BY LADDER 36" ABOVE DOOR SILL.
  3. PROVIDE FIT LIGHT IN EITHER FRONT OR REAR OF SHAFT CLEAR OF EQUIPMENT AND 24" ABOVE FLOOR.
  4. INDICATE A MINIMUM OF 42" OF CLEAR SPACE ABOVE CAR TOP AND SHAFT CEILING.
  5. PROVIDE TO DEGREE METAL TAPER ON ALL LEDGES BIGGER THAN 1".
  6. PROVIDE A SYMBOL PHOTOGRAPH FIRE WARNINGS SIGNS ABOVE ALL HALL STATIONS.
  7. PROVIDE A TELEPHONE TO A 24 HR. SOURCE WITH VOICE MESSAGE.
  8. PROVIDE ELECTRIC EYES AT 5' AND 24" OFF OF SILL.
  9. PROVIDE HEIGHT OF ELEVATOR CAR.
  10. PROVIDE HANDRAILS IN CAB.
  11. FIT FIRE SMOKE SENSORS INTO ELEVATOR CONTROLLER WITH ALTERNATE FLOORSENSOR, SHAFT, MACHINE ROOM AND ALL LOBBIES.
  12. SEE ELEVATOR SPECIFICATIONS FOR INSIDE CAR DIMENSIONS.
  13. PROVIDE FIRE MANUAL DISCONNECT SWITCH NEXT TO ACCESS DOOR ON LOCKSIDE.
  14. PROVIDE SEPARATE 10-4 CAR LIGHT FEED FOR ELEVATOR CAR IN MACHINE ROOM.
  15. PROVIDE FUSED DISCONNECT SWITCH IN MACHINE ROOM.
  16. ELEVATOR TO MEET ALL ILLINOIS HANDICAPPED ACCESSIBILITY REQUIREMENTS.
  17. HALL LANTERNS TO BE MOUNTED AT 72" AFF.
  18. CALL BUTTONS SHALL BE MOUNTED AT 42" AFF.
  19. HOISTWAY JAMB SIGNS TO BE MOUNTED 60" AFF. TO THE CENTERLINE, AND JAMB SIGNS INDICATED AT BOTH ENDS OF THE OPENING.
  20. PROVIDE A D ROUND ABC FIRE EXTINGUISHER BY THE LOCKSIDE OF THE DOOR.
  21. PROVIDE AN ELEVATOR SHUNT TRIP TO BE ACTIVATED PRIOR TO ONSET OF WATER FROM SPRINKLERS.

**Principle CONSTRUCTION CORP.**

**HARRIS ARCHITECTS INC.**  
160 WESTWOOD ROAD, DOWNERS GROVE, ILL. 60515  
CONTACT: G. HARRIS, PROJECT ARCHITECT

**GLOBE TRANSPORTATION**

**NEW TRUCK MAINTENANCE FACILITY FOR**  
2240 Rand Road  
CH-15-20  
SHELDON ROCK, ILLINOIS

PROJECT NO. 22508  
DRAWN BY: R31  
DATABASE: 22508.D8  
SHEET NO. S4.1

# SPECIFICATIONS

DOCK BUMPERS (WHERE NOT PART OF DOCK LEVELERS): 11.13.13  
 RITEFTE RH4035-11- 4" PROJECTION, 20"X11" LAMINATED RUBBER  
 RITEFTE RH4035-18F- 4" PROJECTION, 20"X11" STEEL FACED RUBBER  
 MCGUIRE, SERCO, BLUE GANT, AND KELLY ARE APPROVED EQUAL.

DOCK SEALS: 11.13.16.13  
 RITEFTE CLASSIC DOCK SEAL W/ HIGH PERFORMANCE HEAD CURTAIN W/ FULL ROPE ASSEMBLY. SIDE  
 PASS 17" WIDE TO BE 48.00". ANTI-SKID BLACK VINYL W/ TUBES REINFORCED CORNER WEAR BOOTS  
 PROVIDE ANTI-SKID HEAD PAD CONSTRUCTION AND HEAD PAD FOR OFF PROTECTION. INCLUDE SIDE  
 PAD MOUNTING BRACKETS APPROPRIATE FOR THE SIZE OF OPENING AND TYPE OF ADJUTING  
 SUBSTRATE. PROVIDE SUPPLEMENTAL PFT WOOD BUCKS OR FRAMING MEMBERS, AS REQUIRED, TO  
 FASTEN TO SUBSTRATE. PROVIDE YELLOW GUIDE STRIPS ALONG SIDE PADS. MCGUIRE, SERCO, AND  
 KELLY ARE APPROVED EQUAL.

DOCK LEVELERS: 11.13.19  
 RITEFTE RH4035 MECHANICAL DOCK LEVELER W/ 40,000 LB CAPACITY  
 PROVIDE TOE GUARDS, WEATHERGALD, AND 18" MIN. L.P. SIZE TO BE 6'-0"X6'-0". INCLUDE LAMINATED  
 RUBBER DOCK BUMPERS RH4035-11- 4" PROJECTION, 11" WIDE, AND 20" HIGH. INCLUDE W/INFRS INTERNAL  
 SAFETY STRUCTURE MAINTENANCE SUPPORT SYSTEMS FEATURE. MCGUIRE, SERCO, BLUE GANT, AND KELLY  
 ARE APPROVED EQUAL. GC TO COORDINATE THE LEVELER PFT DIMENSIONS W/ THE LEVELER SPECS.

**HYDRAULIC PASSENGER ELEVATOR SCHEDULE:**

SHALL MEET LOCAL, STATE AND A.N.S.I. REQUIREMENTS

CAPACITY:	3500 LBS
SPEED:	100 FPM UP, 100 FPM DOWN (MIN)
TRAVEL DISTANCE:	AS NOTED ON DRAWINGS
LANDINGS SERVED:	AS NOTED ON DRAWINGS
OPENINGS:	2
CONTROL SYSTEM:	TWO STORY COLLECTIVE
AUXILIARY OPERATIONS:	AS SPECIFIED, EMERGENCY POWER AS REQUIRED BY CODE
SIGNAL EQUIPMENT:	ILLUMINATED TYPE BUTTONS ON CAR AND AT HALL ENTRANCE
CLEAR CAR INSIDE:	6'-0" x 6'-0"
HOISTWAY ENTRANCES:	SINGLE LEAF, RIGHT/LEFT HAND, HORIZONTAL SLIDING (SEE DWGS)
HORIZONTAL SLIDING (1 SPEED):	8" LABEL
HOISTWAY ENTRANCE SIZE:	3'-0" WIDE x 7'-0" HIGH

PROVIDE ALL EQUIPMENT AS SPECIFIED BY ELEVATOR MANUFACTURER TO PROVIDE A FULLY OPERATIONAL AND COMPLETE SYSTEM  
 HYDRAULIC PASSENGER ELEVATOR SHALL BE MANUFACTURED BY THYSSEN KRUPP  
 ENDURA TWIN POST 2-STAGE HOLESLESS HYDRAULIC LOW-RISE WITH DRY POWER UNIT  
 ELEVATOR TO BE IN FULL COMPLIANCE WITH ALL APPLICABLE ACCESSIBILITY CODES.

GC TO COORDINATE FINISHES AND OPTIONS WITH OWNER. GC TO COORDINATE  
 PLACEMENT OF TRUCK AND BRACES IN HOISTWAY AS WELL AS POWER REQUIREMENTS,  
 PFT ACCESS LADDER AND MASONRY CONSTRUCTION WITH ELEVATOR CONSTRUCTION.

**FIRE SPRINKLERS: 21.00.00**

BUILDING TO BE EQUIPPED THROUGHOUT W/ AUTOMATIC FIRE SUPPRESSION SYSTEM. DESIGN PER  
 NFPA 13 FOR CLASS II COMMERCIAL, AS DERIVED BY NFPA 20. THE SYSTEM TO COMPLY W/ ALL  
 APPLICABLE CODES AND APPLICABLE NFPA STANDARDS. SEE DRAWINGS AND DESIGN BY OTHERS.

THE FIRE PROTECTION CONTRACTOR SHALL MEET W/ OWNER/TENANT AND THEIR INSURANCE  
 REPRESENTATIVE TO OBTAIN THE ORDERS FOR THE DESIGN OF THE SPRINKLER SYSTEM. DRAWINGS,  
 DESIGN, AND CALCULATIONS SHALL BE SUBMITTED TO THE OWNER. LOCAL PERMITS AND APPROVAL  
 FROM AHJ SHALL BE OBTAINED BY THE OWNER.



NEW TRUCK  
 MAINTENANCE  
 FACILITY FOR  
 2240 Rand Road

PROJECT NO.  
 22508  
 DRAWN BY:  
 RDP  
 DATABASE:  
 22508.D8

SHEET NO.  
 SP3



# SPECIFICATIONS



HARRIS ARCHITECTS INC.  
300 Adelaide Street West  
Toronto, Ontario M5H 1A3  
Tel: (416) 591-4400  
www.harrisarchitects.com



NEW YORK  
MAINTENANCE  
VEHICLE  
2240, Hard Road  
PROJECT NO. 2252  
DRAWN BY:  
RDM  
DATABASE:  
2252/20

**TUMB** 08 20

ANY FLOOR TILE OR LAMINATE OVER A JOINT ON OR SAWCUT JOINT, JOINT OF THE CONCRETE SUBSTRATE IS TO HAVE A FLOOR JOINT COVER DRESS TO OVER THE SUB JOINT FOR THE FULL LENGTH OF THE JOINT. THE CONTROL JOINT TO BE THE MANUFACTURERS STANDARD FOR THE LAMINATING MATERIAL. JOINT AND LENGTH OF FLOOR TILE CONTROL JOINT SHALL INCLUDE ALL NECESSARY ACCESSORIES TO PROVIDE A FULLY FINISHED FLOOR JOINT. SEE ALSO JOINT COORDINATE REQUIREMENTS FOR AN INSTALLATION THAT ALLOWED MOVEMENT OF THE SUBSTRATE WITHOUT DAMAGE, CRACKING, BUCKLING, OR ANY OTHER DEFECTS.

PROVIDE STAINLESS STEEL TRANSITION EDGES, REDUCERS, ETC. AS MANUFACTURED BY SHERRIN OR EQUAL. AT ALL EXPOSED EDGES OF TILE AND AT TRANSITIONS WITH OTHER FLOORING MATERIALS. WHERE APPLICABLE TRANSITIONS TO OTHER FLOORING SURFACES. PROVIDE W/IN TRANSITION STRIPS TO FORM EDGES OF TILE AND CARPET TRIMMING OR EQUAL. PROVIDE GOLD STRIP OF METAL TO FORM EDGES OF TILE OVER CONCRETE SUBSTRATE. DRILL AND DRIVE TIGHT DOOR SWAYS AT TOILET ROOMS. GASKET TO FLOOR BARriers TO EXTERIOR. TRANSITION STRIPS AND EDGES TO COMPLY WITH ACCESSIBILITY REQUIREMENTS.

PROVIDE A QUANTITY EQUAL TO LESS THAN 2% OF TOTAL MATERIAL. GC TO COORDINATE A STORAGE LOCATION WITH TENANT. GC TO SAFEGUARD ALL MATERIAL TALL TENANT TACKS POSSESSION OF SPACE.

FOR AN EASY FLOOR COVERING NOT OCCURRING OVER A GULL WITH A VAPOR BARRIER BENEATH, PROVIDE AN EASY TO REMOVE, FLEXIBLE VAPOR BARRIER OVER THE ENTIRE TAMPED, AND TO BE REPLACED BY ALTERNATE PERM PERMEABLE TO ELUITE THE PRODUCT? MEASURED VAPOR TRANSMISSION IS WITHIN THE FLOORING PRODUCT'S REQUIREMENTS, AS SET FORTH IN MANUFACTURER'S SPECIFICATIONS.

FOR FLOORING AND CERAMIC TILE: 08 13  
ALL FLOOR TILE TO BE INSTALLED PER TMA GUIDELINES IN 2-D PARTIAL INTERLOCK FLOORS OVER CONCRETE.

ALL WALL TILE TO BE INSTALLED PER TMA GUIDELINES IN 2-D PARTIAL INTERLOCK WALLS OVER OVER-ON METAL STUDS.  
ALL WALL TILE NOT EXTENDING FULL HEIGHT SHALL END WITH A BALUNITE TRIM.

UNTIL ALL AVAILABLE SANITARY CODE, INSIDE AND OUTSIDE CORNER TRIMS FOR SURFACE TRANSITIONS.

NOTE: BE SPECIFICALLY SCHEDULED, WALL SCHLUBER TRIM TRIMS AND TRANSITION STRIPS IN LEMUEL OF THE TRIM.

THE GROUT TO BE A CONTOUR BUILDING PRODUCTS; GEL TITE 100% SOLID COMMERCIAL EPOXY GROUT (BARRIER PRODUCT).

PROVIDE EXPANSION JOINTS AS RECOMMENDED BY TMA. ALIGNED OVER CONCRETE SABLOTS OR CONCRETE JOINTS BENEATH TILE.

**CERAMIC TILE FINISH** MAINTAIN PER MANUFACTURERS RECOMMENDATIONS. PROVIDE COVER BASE W/ TRANSITION STRIPS TO OVERLAP ALL TILE JOINTS AND BULGE OVER THE JOINT. OVERLAP AND WIDE TO TILE JOINT AS POSSIBLE. WHEREAS, AS MANUFACTURED BY THE EPOXY GROUT, OR OTHER PRODUCT MANUFACTURED BY MANUFACTURER. INSTALLATION SHALL COMPLY WITH MANUFACTURERS RECOMMENDATION, THE TMA, LOCAL AMERICAN CODE SPECIFICATION 133 AS MINIMUM STANDARD FOR CERAMIC TILE COEFFICIENT OF EXPANSION. TILE TO BE SET IN POLYURETHANE GROUT AS SPECIFIED IN EACH PORTION OF WALL. THE TILE SHALL BE SET IN ORGANIC ADHESIVE AND AN 1/8" X 1/8" X 1/8" GROUT.

**PARLOR MATERIALS** SHALL BE THE PRODUCT OF SHERRIN WALLS COMPANY OR APPROVED EQUAL. PART MATERIALS SHALL BE MANUFACTURED BY SHERRIN WALLS COMPANY OR APPROVED EQUAL AS DEFINED BY THE ARCHITECTURAL WOODWORK INSTITUTE (LUMBER CABINET CODE SHALL NOT BE USED). WHEREAS, FINISHED WALLS SHALL BE MANUFACTURED BY SHERRIN WALLS COMPANY OR APPROVED EQUAL. FINISHED WALLS WITH WHITE MELAMINE. EXCEPT DRAWERS TO BE BLENK MELAMINE SYSTEM 25MM OR EQUAL. AND DRAWER BOTTOMS SHALL BE 1/2" THICK 1/4" OR 1/2" PLY WITH WATER REPELLENT POLYURETHANE FINISH. POLYURETHANE FINISH TO BE APPLIED TO THE ENTIRE WALL SURFACE. ALL EXPOSED SURFACES. ALLEXPLODED Joints SHALL BE FINISHED PROVIDE STANDARD FINISHES FOR ALL EXPOSED SURFACES.

**INTERIOR DOORS** SHALL BE MANUFACTURED BY SHERRIN WALLS COMPANY OR APPROVED EQUAL AS DEFINED BY THE ARCHITECTURAL WOODWORK INSTITUTE (LUMBER CABINET CODE SHALL NOT BE USED). WHEREAS, FINISHED WALLS SHALL BE MANUFACTURED BY SHERRIN WALLS COMPANY OR APPROVED EQUAL. FINISHED WALLS WITH WHITE MELAMINE. EXCEPT DRAWERS TO BE BLENK MELAMINE SYSTEM 25MM OR EQUAL. AND DRAWER BOTTOMS SHALL BE 1/2" THICK 1/4" OR 1/2" PLY WITH WATER REPELLENT POLYURETHANE FINISH. POLYURETHANE FINISH TO BE APPLIED TO THE ENTIRE WALL SURFACE. ALL EXPOSED SURFACES. ALLEXPLODED Joints SHALL BE FINISHED PROVIDE STANDARD FINISHES FOR ALL EXPOSED SURFACES.

**INTERIOR SLABS** TO BE 20' X 24' PANELS AND FINISHES FINISHED, AND SPECIFIED 3/4" OR EQUAL BETWEEN INTERIOR STOLLS/AMS AND ALUMINUM FINISH. COLORS ARE TO MATCH ADJACENT MATERIALS.

**STRUCTURAL SEALS** AT EXTERIOR GLASS, METAL FINISHING, ETC. TO BE 20' W/ POLYURETHANE SEALING. ALL GLASS TO BE SUPPLIED WITH AN INDEPENDENT CERTIFICATION OF QUALITY BY MANUFACTURER AND APPROVED BY ARCHITECT AND BY MANUFACTURER AND APPROVED BY ARCHITECT.

**SEALS (RETRACT) SECTION JOINT** JOINT TREATMENT/CALKING.

**CALKING** AT FLOORS AND WALLS/FLOORS AT NON-RATED PENETRATIONS, AND OTHER PENETRATIONS, PROVIDE CANNERS OF 1/2" DIA. TO MATCH ALUMINUM AND CONCEALED VERTICAL Voids AS REQUIRED BY CALULING MANUFACTURER.

**VOIDS** BETWEEN THE EXTERIOR AND INTERIOR CAULK JOINTS IN THE BUILDING ENVELOPE TO BE FILLED WITH A NON-FRAGMENTING POLYURETHANE SEALING. PROVIDE CANNERS OF 1/2" DIA. TO MATCH ALUMINUM AND CONCEALED VERTICAL Voids AS REQUIRED BY CALULING MANUFACTURER.

**ALUMINUM WINDOW AND DOORS** 08 11.16  
EXTERIOR ALUMINUM FINISHING SHALL BE THERMALLY BROWN, 42" DEEP (MILION WITH) FINISHES TO MATCH EXTERIOR. PROVIDE CANNERS OF 1/2" DIA. TO MATCH ALUMINUM AND CONCEALED VERTICAL Voids AS REQUIRED BY CALULING MANUFACTURER.

**DOORS SHALL BE** KAMMERER 350', MEDIUM STYLE W/ 112" X 14" 1/2" 1/2" THICK TEMPERED TINTED GLASS OR 1/4" TEMPERED TINTED GLASS. SEE COLOR SCHEDULE FOR GLASS THICKNESS. PROVIDE 1/2" HIGH TOP PANELS. PROVIDE CANNERS OF 1/2" DIA. TO MATCH ALUMINUM AND CONCEALED VERTICAL Voids AS REQUIRED BY CALULING MANUFACTURER.

**DOORS SHALL BE** KAMMERER 350', MEDIUM STYLE W/ 112" X 14" 1/2" 1/2" THICK TEMPERED TINTED GLASS OR 1/4" TEMPERED TINTED GLASS. SEE COLOR SCHEDULE FOR GLASS THICKNESS. PROVIDE 1/2" HIGH TOP PANELS. PROVIDE CANNERS OF 1/2" DIA. TO MATCH ALUMINUM AND CONCEALED VERTICAL Voids AS REQUIRED BY CALULING MANUFACTURER.

**ALUMINUM WINDOW AND DOORS** 08 11.16  
EXTERIOR ALUMINUM FINISHING SHALL BE THERMALLY BROWN, 42" DEEP (MILION WITH) FINISHES TO MATCH EXTERIOR. PROVIDE CANNERS OF 1/2" DIA. TO MATCH ALUMINUM AND CONCEALED VERTICAL Voids AS REQUIRED BY CALULING MANUFACTURER.

**DOORS SHALL BE** KAMMERER 350', MEDIUM STYLE W/ 112" X 14" 1/2" 1/2" THICK TEMPERED TINTED GLASS OR 1/4" TEMPERED TINTED GLASS. SEE COLOR SCHEDULE FOR GLASS THICKNESS. PROVIDE 1/2" HIGH TOP PANELS. PROVIDE CANNERS OF 1/2" DIA. TO MATCH ALUMINUM AND CONCEALED VERTICAL Voids AS REQUIRED BY CALULING MANUFACTURER.

**ALUMINUM WINDOW AND DOORS** 08 11.16  
EXTERIOR ALUMINUM FINISHING SHALL BE THERMALLY BROWN, 42" DEEP (MILION WITH) FINISHES TO MATCH EXTERIOR. PROVIDE CANNERS OF 1/2" DIA. TO MATCH ALUMINUM AND CONCEALED VERTICAL Voids AS REQUIRED BY CALULING MANUFACTURER.

**DOORS SHALL BE** KAMMERER 350', MEDIUM STYLE W/ 112" X 14" 1/2" 1/2" THICK TEMPERED TINTED GLASS OR 1/4" TEMPERED TINTED GLASS. SEE COLOR SCHEDULE FOR GLASS THICKNESS. PROVIDE 1/2" HIGH TOP PANELS. PROVIDE CANNERS OF 1/2" DIA. TO MATCH ALUMINUM AND CONCEALED VERTICAL Voids AS REQUIRED BY CALULING MANUFACTURER.

**ALUMINUM WINDOW AND DOORS** 08 11.16  
EXTERIOR ALUMINUM FINISHING SHALL BE THERMALLY BROWN, 42" DEEP (MILION WITH) FINISHES TO MATCH EXTERIOR. PROVIDE CANNERS OF 1/2" DIA. TO MATCH ALUMINUM AND CONCEALED VERTICAL Voids AS REQUIRED BY CALULING MANUFACTURER.

**DOORS SHALL BE** KAMMERER 350', MEDIUM STYLE W/ 112" X 14" 1/2" 1/2" THICK TEMPERED TINTED GLASS OR 1/4" TEMPERED TINTED GLASS. SEE COLOR SCHEDULE FOR GLASS THICKNESS. PROVIDE 1/2" HIGH TOP PANELS. PROVIDE CANNERS OF 1/2" DIA. TO MATCH ALUMINUM AND CONCEALED VERTICAL Voids AS REQUIRED BY CALULING MANUFACTURER.

**ALUMINUM WINDOW AND DOORS** 08 11.16  
EXTERIOR ALUMINUM FINISHING SHALL BE THERMALLY BROWN, 42" DEEP (MILION WITH) FINISHES TO MATCH EXTERIOR. PROVIDE CANNERS OF 1/2" DIA. TO MATCH ALUMINUM AND CONCEALED VERTICAL Voids AS REQUIRED BY CALULING MANUFACTURER.

**DOOR HARDWARE** 08 11 30

PROVIDE THE FOLLOWING WHEREWHERE INDICATED IN THE DOOR SCHEDULE. MASTER KEY SYSTEM (THIS SHOULD BE BEST COMPLY) AND PROVIDED BY OWNER. GC TO COORDINATE MASTER KEYING WITH CONVENTION. ALL EXTERIOR DOORS TO HAVE KEYS LOCK (YANKEE 110). APPROPRIATE AND APPLICABLE TO THEIR FUNCTION. SCHEDULE OVER DURIN AND LOCK TO BE PROVIDED BY THE SUB CONTRACTOR. ELECTRONIC DOOR CONTROLS SHALL BE FULL SECURE (V-ES) UNLESS OTHERWISE NOTED ABOVE.

DOOR HARDWARE TO BE BRMA GRADE AND CAPABLE OF SERVING HEAVY USE IN AN INDUSTRIAL BUILDING ENVIRONMENT. PROVIDE CANNERS OF 1/2" DIA. TO MATCH ALUMINUM AND CONCEALED VERTICAL Voids AS REQUIRED BY CALULING MANUFACTURER.

**EXTERIOR FULL HANDLE** 08 11 30  
DOOR HARDWARE TO BE BRMA GRADE AND CAPABLE OF SERVING HEAVY USE IN AN INDUSTRIAL BUILDING ENVIRONMENT. PROVIDE CANNERS OF 1/2" DIA. TO MATCH ALUMINUM AND CONCEALED VERTICAL Voids AS REQUIRED BY CALULING MANUFACTURER.

**LOCKSET (EXTERIOR)** 08 11 30  
DOOR HARDWARE TO BE BRMA GRADE AND CAPABLE OF SERVING HEAVY USE IN AN INDUSTRIAL BUILDING ENVIRONMENT. PROVIDE CANNERS OF 1/2" DIA. TO MATCH ALUMINUM AND CONCEALED VERTICAL Voids AS REQUIRED BY CALULING MANUFACTURER.

**LOCKSET (INTERIOR)** 08 11 30  
DOOR HARDWARE TO BE BRMA GRADE AND CAPABLE OF SERVING HEAVY USE IN AN INDUSTRIAL BUILDING ENVIRONMENT. PROVIDE CANNERS OF 1/2" DIA. TO MATCH ALUMINUM AND CONCEALED VERTICAL Voids AS REQUIRED BY CALULING MANUFACTURER.

**PASSAGE SET** 08 11 30  
DOOR HARDWARE TO BE BRMA GRADE AND CAPABLE OF SERVING HEAVY USE IN AN INDUSTRIAL BUILDING ENVIRONMENT. PROVIDE CANNERS OF 1/2" DIA. TO MATCH ALUMINUM AND CONCEALED VERTICAL Voids AS REQUIRED BY CALULING MANUFACTURER.

**PASSAGE SET** 08 11 30  
DOOR HARDWARE TO BE BRMA GRADE AND CAPABLE OF SERVING HEAVY USE IN AN INDUSTRIAL BUILDING ENVIRONMENT. PROVIDE CANNERS OF 1/2" DIA. TO MATCH ALUMINUM AND CONCEALED VERTICAL Voids AS REQUIRED BY CALULING MANUFACTURER.

**STOREROOM LOCK** 08 11 30  
DOOR HARDWARE TO BE BRMA GRADE AND CAPABLE OF SERVING HEAVY USE IN AN INDUSTRIAL BUILDING ENVIRONMENT. PROVIDE CANNERS OF 1/2" DIA. TO MATCH ALUMINUM AND CONCEALED VERTICAL Voids AS REQUIRED BY CALULING MANUFACTURER.

**STOREROOM LOCK** 08 11 30  
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**HOLLOW METAL DOORS AND FRAMES** 08 11 31

ALL DOOR FRAMES SHALL BE 1/4" STEEL FRAMES MORTISED, DRILLED, AND CAPRED TO RECEIVE GROUND LIVERY LAMBS. CLEARLY MARKED. PROVIDE PROTECTOR FOR FULL TYPE IN WHICH FRAMES TO BE FULLY VENTED. HORIZONTAL SLAB AT FLOOR LEVEL TO BE 4" HIGH FRAM PROLE OR EQUAL TO ACCEPT OR APPROPRIATE WALL TIE. OVALYRUL FULL PROLE; MASONRY, OR METAL, PURPOSE.

ALL FRAMES TO BE FULLY VENTED. CORNERS METAL, AND GROUND MOUTH. ALL LABEL DOORS AND GROUND MOUTH. PROVIDE CANNERS OF 1/2" DIA. TO MATCH ALUMINUM AND CONCEALED VERTICAL Voids AS REQUIRED BY CALULING MANUFACTURER.

**HOLLOW METAL DOORS SHALL BE** FLUSH BLENK 18 GA. SHEET STEEL (18 GA. FOR EXTERIOR DOORS). PROVIDE CANNERS OF 1/2" DIA. TO MATCH ALUMINUM AND CONCEALED VERTICAL Voids AS REQUIRED BY CALULING MANUFACTURER.

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**VAPOR BARRIER (BENEATH CONC SLAB)** 07 21 16

SHALL BE 15 MIL THICK POLYETHYLENE VAPOR BARRIER WHERE INDICATED. SHALL BE APPLIED TO ALL FLOOR LAYERS UNDER FLOORING. JOINTS SHALL BE LAPPED A MINIMUM OF 12" AND SEaled WITH AN APPROVED ADHESIVE. REPAIR OR REPLACE TORN, PUNCTURED, OR DAMAGED FLOOR TO REPAIR TO ORIGINAL CONDITION. PROVIDE CANNERS OF 1/2" DIA. TO MATCH ALUMINUM AND CONCEALED VERTICAL Voids AS REQUIRED BY CALULING MANUFACTURER.

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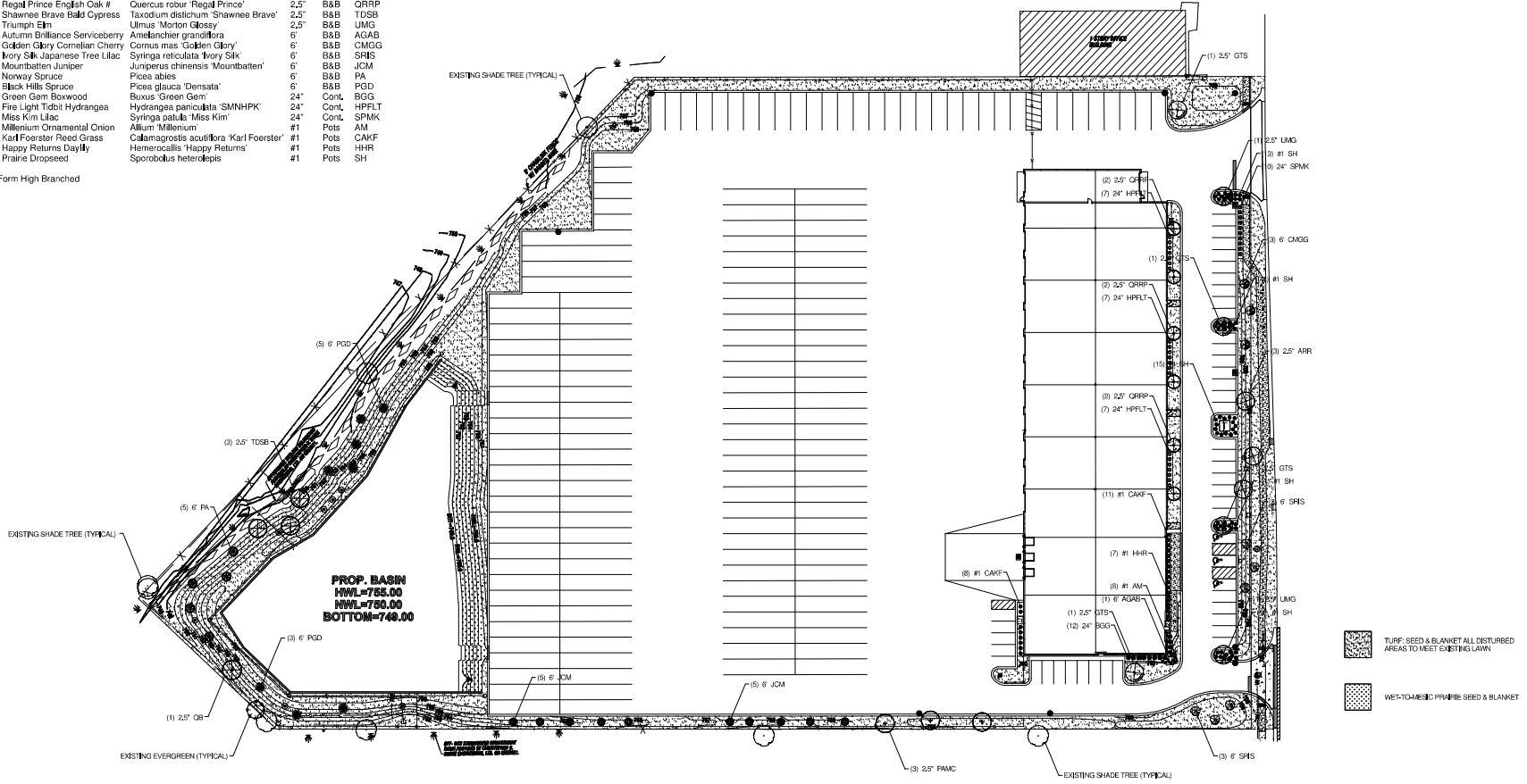
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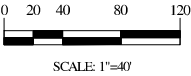
**PLANT LIST**

Qty.	Common Name	Botanical Name	Size	Remarks	Key
3	Redpointe Maple	Acer rubrum 'Redpointe'	2.5'	B&B	ARR
4	Skyline Locust	Gleditsia triacanthos 'Skyline'	2.5'	B&B	GTS
3	Exclamation London Planetree	Platanus acerifolia 'Morton Circle'	2.5'	B&B	PAMC
1	Swamp White Oak	Quercus bicolor	2.5'	B&B	OB
6	Regal Prince English Oak #	Quercus robur 'Regal Prince'	2.5'	B&B	QRRP
3	Shawnee Brave Bald Cypress	Taxodium distichum 'Shawnee Brave'	2.5'	B&B	TDSB
2	Triumph Elm	Ulmus 'Morton Glossy'	2.5'	B&B	UMG
1	Autumn Brilliance Serviceberry	Amelanchier grandiflora	6'	B&B	AGAB
3	Golden Glory Cornelian Cherry	Cornus mas 'Golden Glory'	6'	B&B	CMGG
6	Ivory Silk Japanese Tree Lilac	Syringa reticulata 'Ivory Silk'	6'	B&B	SRS
10	Mountain Juniper	Juniperus chinensis 'Mountain'	6'	B&B	JCM
5	Norway Spruce	Picea abies	6'	B&B	PA
8	Black Hills Spruce	Picea glauca 'Densata'	6'	B&B	PGD
12	Green Gem Boxwood	Buxus 'Green Gem'	24"	Cont.	BGG
21	Fire Light Tidbit Hydrangea	Hydrangea paniculata 'SMNHPK'	24"	Cont.	HPFLT
10	Miss Kim Lilac	Syringa patula 'Miss Kim'	24"	Cont.	SPMK
8	Millenium Ornamental Onion	Allium 'Millenium'	#1	Pots	AM
19	Karl Foerster Reed Grass	Calamagrostis acutiflora 'Karl Foerster'	#1	Pots	CAKF
7	Happy Returns Daylily	Hemerocallis 'Happy Returns'	#1	Pots	HHR
50	Prairie Dropseed	Sporobolus heterodopsis	#1	Pots	SH

# Tree Form High Branched



TURF, SEED & BLANKET ALL DISTURBED AREAS TO MEET EXISTING LAWN  
 WEI-TOM-BOIC PRAIRIE SEED & BLANKET



REVISIONS:  
 03.16.26 (VILLAGE REVIEW)

**DOWDEN DESIGN GROUP**  
 LANDSCAPE ARCHITECTURE, DESIGN & PLANNING  
 PO BOX 415, LIBERTYVILLE, IL 60048  
 DOWDENDESIGNGROUP.COM PHONE: (847) 382-1254

**GLOBE TRANSPORTATION**  
 2240-2266 RAND ROAD  
 PALATINE, ILLINOIS

LANDSCAPE PLAN

DATE: 02.02.26  
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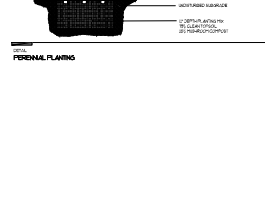
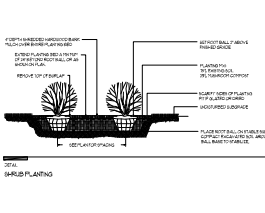
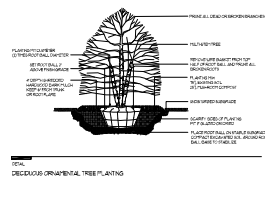
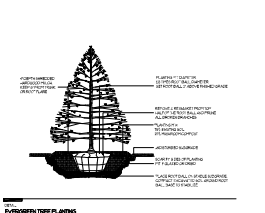
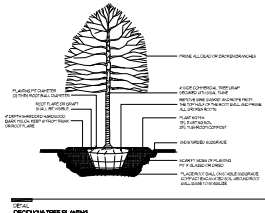


**L101**

**GENERAL NOTES**

- ALL DIMENSIONS AND SITE CONDITIONS ARE TO BE VERIFIED IN THE FIELD BY THE CONTRACTOR. NOTIFY THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES PRIOR TO STARTING WORK. SITE PLAN ARCHITECTURE PLAN AND THE SURVEY THESE PROVIDED BY OTHERS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS.
- SPECIES AND SIZES OF PLANTS LISTED IN THE PLANT LIST ARE SUBJECT TO AVAILABILITY AT THE TIME OF INSTALLATION. IF SUBSTITUTIONS ARE REQUIRED, THE CONTRACTOR SHALL SUBMIT REQUESTS TO THE LANDSCAPE ARCHITECT FOR APPROVAL.
- ALL OVERHEAD AND UNDERGROUND UTILITIES ARE TO BE LOCATED PRIOR TO DIGGING OR EXCAVATION. IF UTILITIES OR OTHER OBSTRUCTIONS ARE DISCOVERED TO CONFLICT WITH GRADING, PLANT OR MATERIALS PLACEMENT, NOTIFY THE LANDSCAPE ARCHITECT SO THAT ADJUSTMENTS MAY BE MADE PRIOR TO PROCEEDING.
- CONTRACTOR SHALL TAKE ALL PRECAUTIONS TO PROTECT EXISTING PLANTS, LAWN AREA, FENCES, SITE FEATURES AND PAVING TO REMAIN. ANY DAMAGE TO THESE EXISTING AREAS OR FEATURES SHALL BE REPAIRED BY THE CONTRACTOR AT THEIR OWN RISK. DAMAGED LAWN AREAS SHALL BE TILLED, RE-GRADED, TOPSOIL ADDED AS NEEDED AND BE RESEED WITH SOO.
- IMPORTED TOPSOIL FOR THIS PROJECT SHALL BE FRANKLIN LOAM OR SANDY LOAM, COMPRISED OF BETWEEN 10% AND 50% SILT, 10% AND 15% CLAY, AND 30% AND 60% SAND. THE PH LEVEL SHALL BE BETWEEN 6.0 AND 7.0 AND THE ORGANIC MATTER CONTENT SHALL BE BETWEEN 3% AND 6%. TOPSOIL SHALL BE FREE OF ROCKS, STONES, LARGE CLUMPS, ROOTS, LEAVES AND DEBRIS, AND SHALL NOT BE DELIVERED WHILE IN A FROZEN OR MUDDY CONDITION. CONTRACTOR SHALL PROVIDE A RECENT SOIL TEST ANALYSIS FOR ALL SOIL TO BE USED. THE ANALYSIS MUST INCLUDE THE INFORMATION REQUESTED ABOVE.
- SEED SHALL BE A BLEND OF KENTUCKY BLUEGRASS, PERENNIAL RYEGRASS, TALL FESCUE, AND FINE FESCUE.
- ALL TREES ARE TO HAVE FRESHLY DUG, BALLED AND UNCLAMPED ROOT BALLS WITH SIZES THAT MEET THE STANDARDS OF THE AMERICAN NURSERYMEN'S ASSOCIATION. DECIDUOUS AND EVERGREEN SHRUBS THAT EITHER HAVE FRESHLY DUG, BALLED AND UNCLAMPED ROOT BALLS OR MAY BE CONTAINER GROWN. ALL PERENNIALS, ORNAMENTAL GRASSES AND GROUNDCOVERS MUST BE CONTAINER GROWN. CONTAINER GROWN MATERIALS SHALL HAVE BEEN GROWN IN THEIR CURRENT CONTAINER FOR A PERIOD OF NO LESS THAN 90 DAYS.
- ALL TREES SHALL BE INSPECTED BY THE LANDSCAPE ARCHITECT AT THE NURSERY, PRIOR TO DIGGING. TREES THAT ARE ACCEPTABLE WILL BE SEALED. ALL SEALS APPLIED BY THE CONTRACTOR. ALL TREES MUST HAVE REMAIN ON THE TREES AND ARE NOT TO BE REMOVED BY THE CONTRACTOR. ALL TREES MUST HAVE REAL SURFACE AT THE POINT OF ACCEPTANCE OR BE INTERNATIONALLY RECORDED. SHRUBS IN TREES WILL NOT BE ACCEPTED WITHOUT PRIOR APPROVAL FROM THE LANDSCAPE ARCHITECT.
- ALL SHRUBS MUST MEET THE MINIMUM SIZES GIVEN IN THE PLANT LIST AND BE SPECIMEN QUALITY SHRUBS THAT DO NOT MEET THESE GUIDELINES WILL BE REJECTED.
- PLANT MATERIAL SHALL ONLY BE INSTALLED WITHIN THE FOLLOWING DATES: MAY 1 THROUGH NOVEMBER 1.
- TEST TREE PITS AND PLANT BEDS FOR ADEQUATE DRAINAGE. FILL PLANT PIT WITH 12" OF WATER. IF WATER LEVEL DOES NOT DROP 1/4" IN 24 HOURS, NOTIFY THE LANDSCAPE ARCHITECT OF DRAINAGE ISSUES.
- PLANTING MIX FOR ALL PLANTINGS SHALL BE A BLEND OF 50% IMPORTED TOPSOIL AND (2) 3" SOIL AMENDMENT. ACCEPTABLE AMENDMENTS INCLUDE ONE STEP SOIL CONDITIONER OR PROSO PLANTER MIX FROM HIGHEST QUALITY OR APPROVED EQUAL. BLENDING OF PLANTING MIX COMPONENTS SHALL BE COMPLETED OUTSIDE OF THE PLANTING PITS, PRIOR TO PLANTING.
- AREAS DESIGNATED WITH GRAVEL, IS TO HAVE A 4" DEPTH OF AN ANGULAR DECORATIVE GRAVEL OVER A FILTER FABRIC. GRAVEL TO BE DARK COLOR, 3/4" TO 1" DIA. SUBMIT SAMPLES FOR OWNER APPROVAL.
- EXCAVATE PARKING LOT ISLANDS AND CURBED PLANTERS TO A DEPTH OF 2". BACKFILL WITH A 2" DEPTH OF TOPSOIL AND A 2" DEPTH OF PLANTING MIX. BERRY PLANTERS AND ISLANDS TO A HEIGHT OF 3" ABOVE TOP OF CURB TO PREVENT POONDING.
- ALL PLANT BEDS ARE TO BE UELI, SHAPED SPADE OUT EDGES, 3" DEPTH, UNLES OR IN CURVES AS SHOWN ON THE DRAWINGS.
- ALL PLANT MATERIAL, INCLUDING SEED, SHALL BE MAINTAINED BY THE CONTRACTOR UNTIL ACCEPTANCE IS GRANTED. MAINTENANCE SHALL INCLUDE WATERING, WEEDING, PRUNING, SPRAYING, SPRAYING, MULCHING, AND SO ON.
- THE CONTRACTOR SHALL REQUEST AN INSPECTION OF LANDSCAPE PLANTING UPON SUBSTANTIAL COMPLETION FOR ACCEPTANCE. REQUEST MUST BE SUBMITTED TO LANDSCAPE ARCHITECT AT LEAST TEN DAYS PRIOR TO AN ANTICIPATED INSPECTION. UPON INSPECTION THE LANDSCAPE ARCHITECT SHALL PREPARE A PUNCH LIST OF UNACCEPTABLE OR OUTSTANDING ITEMS. AFTER THE ITEMS HAVE BEEN SATISFACTORILY COMPLETED AND REVIEWED, THE LANDSCAPE ARCHITECT WILL RECOMMEND ACCEPTANCE. SEED SHALL BE REVIEWED FOR ACCEPTANCE, ONLY AFTER THEY HAVE FULLY ROOTED AND HAVE BEEN YOUNG AT LEAST TWICE.
- ALL PLANT MATERIAL SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FROM DATE OF ACCEPTANCE. AT OR NEAR THE END OF THE GUARANTEE PERIOD, THE CONTRACTOR SHALL REQUEST AN INSPECTION OF LANDSCAPE PLANTING FOR FINAL ACCEPTANCE. REQUEST MUST BE SUBMITTED TO LANDSCAPE ARCHITECT AT LEAST TEN DAYS PRIOR TO AN ANTICIPATED INSPECTION. UPON INSPECTION THE LANDSCAPE ARCHITECT SHALL PREPARE A PUNCH LIST OF UNACCEPTABLE ITEMS. AFTER THE ITEMS HAVE BEEN SATISFACTORILY COMPLETED AND REVIEWED AND APPROVED, THE LANDSCAPE ARCHITECT WILL RECOMMEND FINAL ACCEPTANCE.

Botanical Name	Common Name	PLS	Seeds Oz	Seeds/SO FT
<b>Wet-to-Mesic Prairie Mix</b>				
		Quince/Asps		
<b>Permanent Grasses:</b>				
<i>Andropogon gerardii</i>	Big Bluestem	16,000	6187.5	3.01
<i>Catachrya canadensis</i>	Bluestem Grass	1,000	94500	2.17
<i>Carex lurida</i>	Botchbrush Sedge	3,000	12000	0.83
<i>Carex stricta</i>	Common Tussock Sedge	0.75	187500	3.23
<i>Carex vaginoides</i>	Brown Fox Sedge	2.25	125500	5.74
<i>Elymus virginicus</i>	Virginia Wild Eye	24.00	4375	2.41
<i>Juncus dudleyi</i>	Dudley's Rush	0.25	227000	13.03
<i>Panicum virgatum</i>	Switch Grass	3.00	283500	1.20
<i>Stipus stramineus</i>	Dark Green Rush	1.00	187500	4.30
<i>Sorghum nutans</i>	Indian Grass	8.00	8515.625	1.56
<i>Spartina pectinata</i>	Prairie Cord Grass	2.00	15750	0.72
		<b>Total</b>	<b>60.00</b>	<b>38.30</b>
<b>Temporary Cover:</b>				
<i>Avena sativa</i>	Common oat		512.00	1125
		<b>Total</b>	<b>512.00</b>	<b>13.22</b>
<b>Forbs:</b>				
<i>Asclepias incarnata</i>	Swamp Milkweed	2.00	4540	0.21
<i>Asclepias syriaca</i>	Common Milkweed	2.20	4000	0.18
<i>Baptisia lactea</i>	White Wild Indigo	1.00	1600	0.04
<i>Chamaecrista fasciculata</i>	Partridge Pea	8.00	3800	0.70
<i>Coreopsis lanceolata</i>	Black Coreopsis	4.00	12500	1.15
<i>Coreopsis tricolor</i>	Full Coreopsis	1.00	11500	0.26
<i>Desmodium illinoense</i>	Illinois Tick, Tickleaf	0.50	4250	0.05
<i>Doelvingia umbellata</i>	Flax-Top Aster	0.50	31500	3.62
<i>Echinacea purpurea</i>	Black-Headed Purple Coneflower	4.00	8600	0.61
<i>Eryngium yuccifolium</i>	Rattlesnake Master	2.00	8000	0.27
<i>Helium autumnale</i>	Sneezeweed	1.00	141750	3.25
<i>Hesanthus grosseserratus</i>	Sawtooth Sunflower	0.50	12500	0.14
<i>Lespedeza capitata</i>	Round-Headed Bush Clover	1.50	10000	0.24
<i>Liatis spicata</i>	Marsh Bleeding Star	1.00	12000	0.28
<i>Monarda fistulosa</i>	Wild Bergamot	1.00	78000	1.79
<i>Oligenium rigidum</i>	Stiff Goldenrod	1.00	48000	1.08
<i>Parthenium integrifolium</i>	Wild Quinine	1.00	5800	0.16
<i>Penstemon digitalis</i>	Fogwove Beard Tongue	1.00	115000	2.64
<i>Physalopsis virginiana</i>	Obedient Plant	0.25	25000	0.14
<i>Pyroanthemum virginianum</i>	Common Mountain Mint	0.50	331250	3.80
<i>Rubus odorata</i>	Yellow-Coneflower	4.00	22500	2.92
<i>Rubuskea hirta</i>	Black-Eyed Susan	4.00	110000	10.10
<i>Rubuskea laciniata</i>	Wild Golden Glow	1.00	15000	0.24
<i>Rubuskea submontana</i>	Sweet Black-Eyed Susan	0.50	40000	0.53
<i>Senna hebecarpa</i>	Wild Senna	2.25	1400	0.07
<i>Silphium integrifolium</i>	Rebin Weed	1.00	4000	0.09
<i>Silphium laciniatum</i>	Compass Plant	3.00	650	0.04
<i>Silphium perfoliatum</i>	Cap Herb	2.20	2100	0.10
<i>Silphium laciniatum</i>	Prairie Dock	1.00	1100	0.03
<i>Solidago juncea</i>	Early Goldenrod	0.25	140250	0.81
<i>Solidago rigida</i>	Rough Goldenrod	0.25	82500	0.53
<i>Symphoricarpos lanceolatum</i>	Panicle Aster	0.50	141750	1.83
<i>Symphoricarpos novae-angliae</i>	New England Aster	0.50	76000	0.87
<i>Tradescantia ohensis</i>	Common Spiderwort	1.25	8000	0.23
<i>Veronica fasciculata</i>	Common Ironweed	3.00	21875	1.21
<i>Veronicastrum virginicum</i>	Culver's Root	0.25	75000	4.30
<i>Zizia aurea</i>	Culver's Alexanders	1.00	12000	0.28
		<b>Total</b>	<b>95.50</b>	<b>44.56</b>



REVISIONS:

**DOWDEN DESIGN GROUP**  
 LANDSCAPE ARCHITECTURE, DESIGN & PLANNING  
 P.O. BOX 415, LIBERTYVILLE, IL 60468  
 DOWDENDSIGNGROUP.COM, PHONE: (847) 962-1254

**GLOBE TRANSPORTATION**  
 2940-2266 RAND ROAD  
 PALATKA, ILLINOIS

LANDSCAPE NOTES

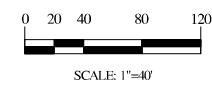
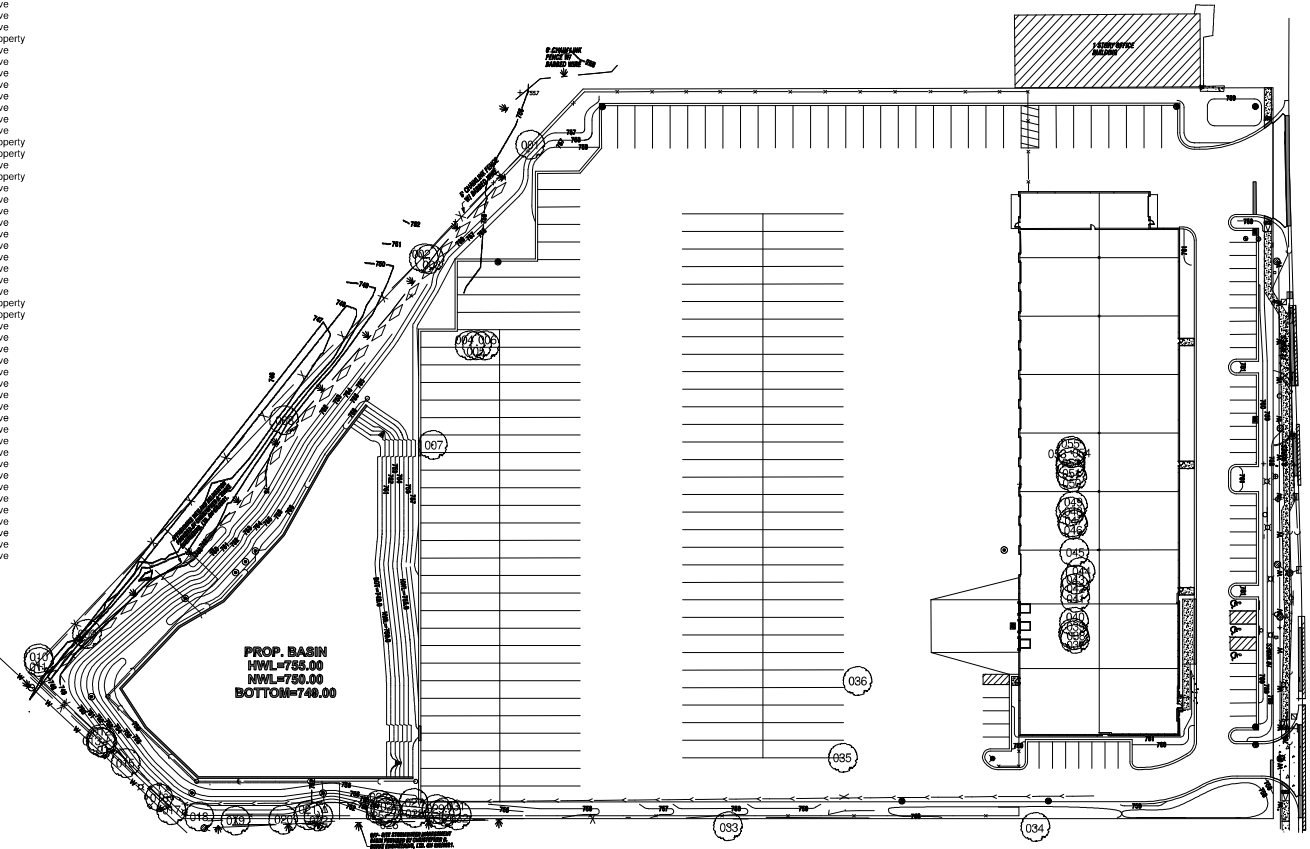
DATE: 02.02.25  
 SCALE: NONE  
 DRAWN: CJD



L102

**TREE INVENTORY**

Tree #	Common Name	Botanical Name	Size	Condition	Action
001	Box Elder	Acer negundo	8"	Poor	Remove
002	Box Elder	Acer negundo	9"	Poor	Remove
003	Box Elder	Acer negundo	12"	Poor	Remove
004	Box Elder	Acer negundo	7"	Poor	Remove
005	Chokcherry	Prunus virginiana	10"	Poor	Remove
006	Box Elder	Acer negundo	8"	Poor	Remove
007	Box Elder	Acer negundo	8"	Dead	Remove
008	Silver Maple	Acer saccharinum	7"	Poor	Remove
009	Box Elder	Acer negundo	6"	Poor	Remove
010	Silver Maple	Acer saccharinum	7"	Poor	Off Property
011	Silver Maple	Acer saccharinum	8"	Poor	Remove
012	Box Elder	Acer negundo	6"	Poor	Remove
013	Chokcherry	Prunus virginiana	8"	Poor	Remove
014	Hackberry	Celtis occidentalis	8"	Poor	Remove
015	Box Elder	Acer negundo	10"	Dead	Remove
016	Juniper	Juniperus chinensis	14"	Poor	Remove
017	Chokcherry	Prunus virginiana	8"	Poor	Remove
018	Box Elder	Acer negundo	8"	Poor	Remove
019	Silver Maple	Acer saccharinum	9"	Poor	Off Property
020	Box Elder	Acer negundo	7"	Poor	Off Property
021	Box Elder	Acer negundo	7"	Poor	Remove
022	Chokcherry	Prunus virginiana	8"	Poor	Off Property
023	Box Elder	Acer negundo	7"	Poor	Remove
024	Box Elder	Acer negundo	7"	Poor	Remove
025	Tree of Heaven	Ailanthus altissima	7"	Poor	Remove
026	Chokcherry	Prunus virginiana	8"	Poor	Remove
027	Box Elder	Acer negundo	7"	Poor	Remove
028	Box Elder	Acer negundo	7"	Poor	Remove
029	Mulberry	Morus alba	8"	Poor	Remove
030	Mulberry	Morus alba	8"	Poor	Remove
031	Mulberry	Morus alba	7"	Poor	Remove
032	Mulberry	Morus alba	8"	Poor	Remove
033	Box Elder	Acer negundo	9"	Poor	Off Property
034	Box Elder	Acer negundo	7"	Poor	Off Property
035	Box Elder	Acer negundo	7"	Poor	Remove
036	Mulberry	Morus alba	8"	Poor	Remove
037	Box Elder	Acer negundo	7"	Dead	Remove
038	Box Elder	Acer negundo	6"	Poor	Remove
039	Box Elder	Acer negundo	6"	Poor	Remove
040	Box Elder	Acer negundo	5"	Poor	Remove
041	Box Elder	Acer negundo	5"	Poor	Remove
042	Box Elder	Acer negundo	4"	Dead	Remove
043	Box Elder	Acer negundo	6"	Poor	Remove
044	Box Elder	Acer negundo	4"	Poor	Remove
045	Box Elder	Acer negundo	5"	Poor	Remove
046	Box Elder	Acer negundo	5"	Poor	Remove
047	Box Elder	Acer negundo	6"	Poor	Remove
048	Box Elder	Acer negundo	6"	Poor	Remove
049	Box Elder	Acer negundo	7"	Poor	Remove
050	Box Elder	Acer negundo	4"	Poor	Remove
051	Box Elder	Acer negundo	4"	Poor	Remove
052	Box Elder	Acer negundo	6"	Poor	Remove
053	Box Elder	Acer negundo	5"	Poor	Remove
054	Box Elder	Acer negundo	5"	Poor	Remove
055	Box Elder	Acer negundo	4"	Poor	Remove



REVISIONS:

**DOWDEN DESIGN GROUP**  
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**GLOBE TRANSPORTATION**  
 2240-2266 RAND ROAD  
 PALATINE, ILLINOIS

TREE SURVEY

DATE: 02/02/25  
 SCALE: T-07  
 DRAWN: CD



**L103**

**GT Palatine II, LLC  
2240 N Rand Rd  
Palatine, IL 60074  
Primary Owner: Bakhtierzhon Mominov  
Date: February 13, 2026**



**GT Palatine II, LLC plans to operate a transportation and logistics business from the above-referenced property. The facility will serve as a dispatch, fleet management, and operational support location for vehicles serving Palatine and the surrounding Chicago suburbs.**

**Hours of operation will be 7:00 a.m. to 7:00 p.m. daily.**

**On-site activities will include:**

- Routine truck maintenance conducted indoors, preventative service, all spectra of the repairs in compliance with all safety and environmental regulations.**
- A truck and trailer wash, utilizing proper drainage and wastewater management systems.**
- Designated truck and employee parking, including overflow parking areas contained entirely within the property to prevent congestion on public roadways.**
- Indoor storage for operational supplies, parts, and equipment associated with transportation services.**

**GT Palatine II, LLC anticipates employing approximately 60–70 employees, contributing to local job creation and economic growth. The company is committed to maintaining an orderly site, complying with all applicable zoning and regulatory requirements, and operating in a manner that minimizes impact on surrounding properties.**

A handwritten signature in black ink, appearing to read "Bakhtierzhon Mominov", is located below the text.

**Sincerely,**

**Bakhtierzhon Mominov**

# Traffic Impact Study

## Proposed Industrial Development

Palatine, Illinois



Prepared For:



February 10, 2026

# 1. Introduction

This report summarizes the methodologies, results, and findings of a traffic impact study conducted by Kenig, Lindgren, O’Hara, Aboona, Inc. (KLOA, Inc.) for a proposed industrial development to be located in Palatine, Illinois. The site, which currently contains Mundo Autos and CMI Contractors Material, Inc., is located on the west side of Rand Road south of Lake Cook Road and is proposed to contain an approximately 44,911 square-foot industrial building with passenger vehicle and truck parking spaces. Access will be provided off Rand Road at two locations.

The purpose of this study was to examine background traffic conditions, assess the impact that the proposed development will have on traffic conditions in the area, and determine if any roadway or access improvements are necessary to accommodate traffic generated by the proposed development.

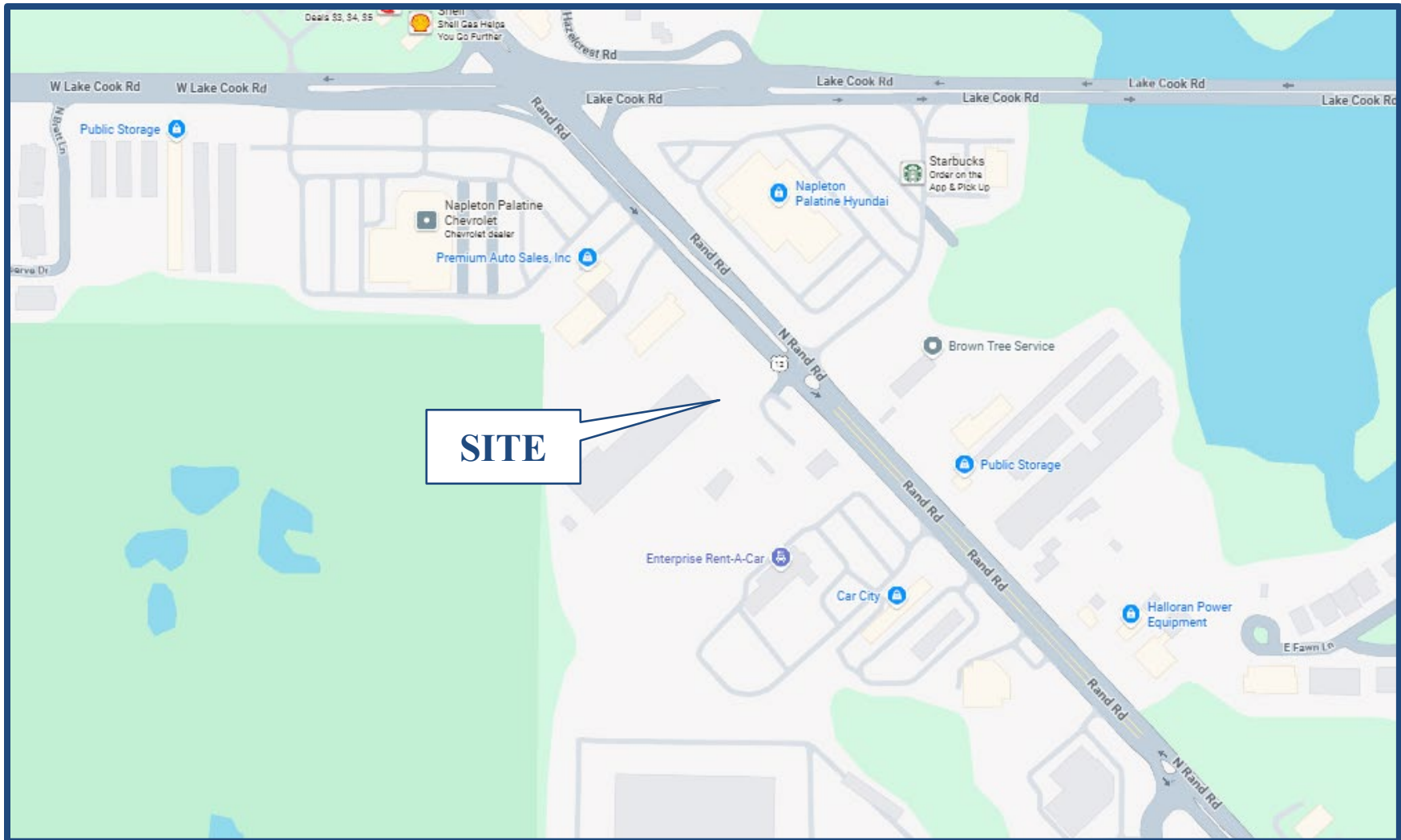
**Figure 1** shows the location of the site in relation to the area roadway system while **Figure 2** shows an aerial view of the site.

The sections of this report present the following:

- Existing roadway conditions
- A description of the proposed development
- Directional distribution of the development traffic
- Vehicle trip generation for the development
- Future traffic conditions including access to the development
- Traffic analyses for the weekday morning and weekday evening peak hours
- Recommendations with respect to adequacy of the site access and adjacent roadway system

Traffic capacity analyses were conducted for the weekday morning and evening peak hours for the following conditions:

1. Existing Conditions – Analyzes the capacity of the existing roadway system using existing peak hour traffic volumes in the surrounding area.
2. No-Build Conditions – Analyzes the capacity of the existing roadway system using existing peak hour traffic volumes increased by an ambient area growth factor not attributable to any particular development.
3. Projected Conditions – Analyzes the capacity of the future roadway system using the projected traffic volumes that include the existing traffic volumes, ambient area growth not attributable to any particular development, and the increase in traffic estimated to be generated by the proposed development.



Site Location

Figure 1



Aerial View of Site

Figure 2

## 2. Existing Conditions

Existing transportation conditions in the vicinity of the site were documented based on field visits conducted by KLOA, Inc. in order to obtain a database for projecting future conditions. The following provides a description of the geographical location of the site, physical characteristics of the area roadway system including lane usage and traffic control devices, and existing peak hour traffic volumes.

### Site Location

The site, which currently contains Mundo Autos and CMI Contractors Material, Inc., is bounded by Spring Align to the northwest, Rand Road to the northeast, Enterprise to the southeast, Deer Grove Forest Preserve to the west, and UPS to the south. Land uses in the site are a mixture of commercial, residential, and industrial and include Chevrolet of Palatine and Avers Auto Sales to the north, Car City and Palatine Motors to the south, and Hyundai of Palatine, Brown Tree Service, International Auto Brokers, and Public Storage on the northeast side of Rand Road.

### Existing Roadway System Characteristics

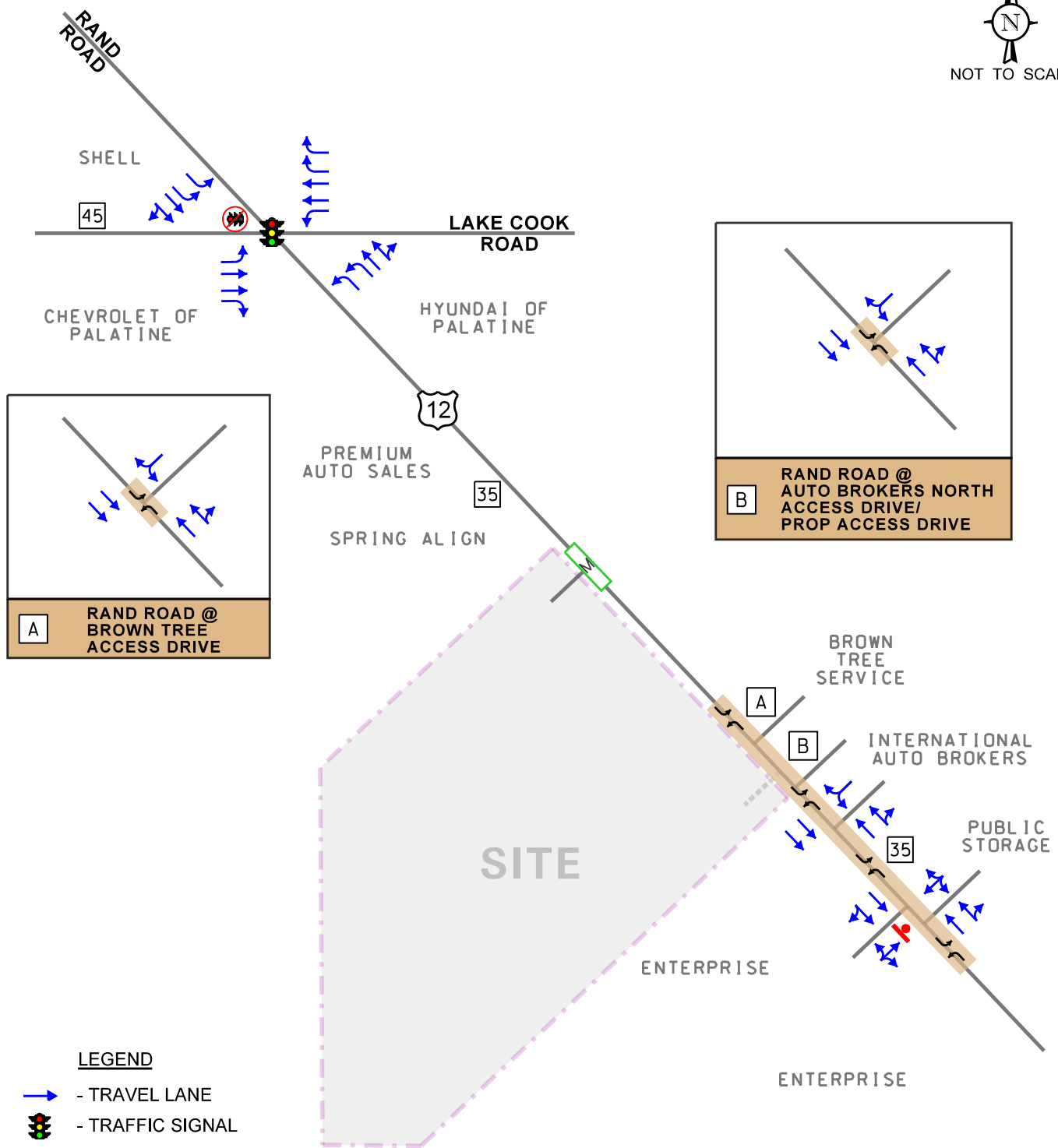
The characteristics of the existing roadways near the development are described below and illustrated in **Figure 3**.

*Rand Road (U.S. Route 12)* is a northwest-southeast, principal arterial roadway that provides two lanes in each direction generally divided by a two-way left-turn lane. At its signalized intersection with Lake Cook Road, Rand Road provides dual left-turn lanes, a through lane, and a shared through/right-turn lane on both approaches. At its unsignalized intersections with the access drives south of Lake Cook Road, Rand Road provides two lanes in each direction. For approximately 700 feet south of Lake Cook Road, Rand Road is divided by a barrier median. South of the barrier median, Rand Road is divided by a two-way left-turn lane. This turn lane serves numerous access drives including the Auto Land Group, International Auto Brokers, Enterprise, and Public Storage access drives that are analyzed in this study. Rand Road is under the jurisdiction of the Illinois Department of Transportation (IDOT), designated as a Strategic Regional Arterial (SRA) route, has a posted speed limit of 35 miles per hour, and carries an annual average daily traffic (AADT) volume of 44,900 vehicles northwest of Lake Cook Road and 27,400 vehicles southeast of Lake Cook Road (IDOT 2023).

*Lake Cook Road* is an east-west, principal arterial roadway that provides two lanes in each direction. At its signalized intersection with Rand Road, Lake Cook Road provides an exclusive left-turn lane, two through lanes, an exclusive right-turn lane on the eastbound approach and an exclusive left-turn lane, two through lanes, and dual right-turn lanes on the westbound approach. Lake Cook Road is under the jurisdiction of the Cook County Division of Transportation and Highways (CCDoTH), has a posted speed limit of 45 miles per hour, and carries an AADT volume of 17,200 vehicles west of Rand Road and 39,900 vehicles east of Rand Road (IDOT 2022). East of Rand Road, Lake Cook Road is designated as an SRA route.



NOT TO SCALE



Industrial Development  
Palatine, Illinois

### Existing Roadway Characteristics



Job No: 25-373

Figure: 3

## Existing Traffic Volumes

In order to determine current traffic conditions within the study area, KLOA, Inc. conducted peak period traffic counts utilizing Miovision Scout Collection Units at the following intersections:

- Rand Road with Lake Cook Road
- Rand Road with the Auto Broker north access drive
- Rand Road with the Auto Brokers south access drive

The traffic counts at the intersection of Rand Road with Lake Cook Road and the counts at the access drives were conducted on Tuesday, January 6, 2026 during the weekday morning (6:00 A.M. to 9:00 A.M.) and weekday evening (4:00 P.M. to 7:00 P.M.) peak periods. The results of the traffic counts show that the peak hours of traffic generally occur between 7:15 A.M. and 8:15 A.M. during the weekday morning peak period and between 4:30 P.M. and 5:30 P.M. during the weekday evening peak period. Copies of the traffic count summary sheets are included in the Appendix. The existing traffic volumes, inclusive of heavy vehicles, are illustrated in **Figure 4**. The existing heavy vehicle traffic volumes are illustrated in **Figure 5**.

## Crash Summary

KLOA, Inc. obtained crash data for the most recent available past five years (2018 to 2022) at the intersection of Rand Road with Lake Cook Road. A review of the crash data revealed no fatalities were reported at the intersection during the review period. A summary of the crash data for the intersection is shown in **Table 1**.<sup>1</sup>

Table 1

### RAND ROAD WITH LAKE COOK ROAD - CRASH SUMMARY

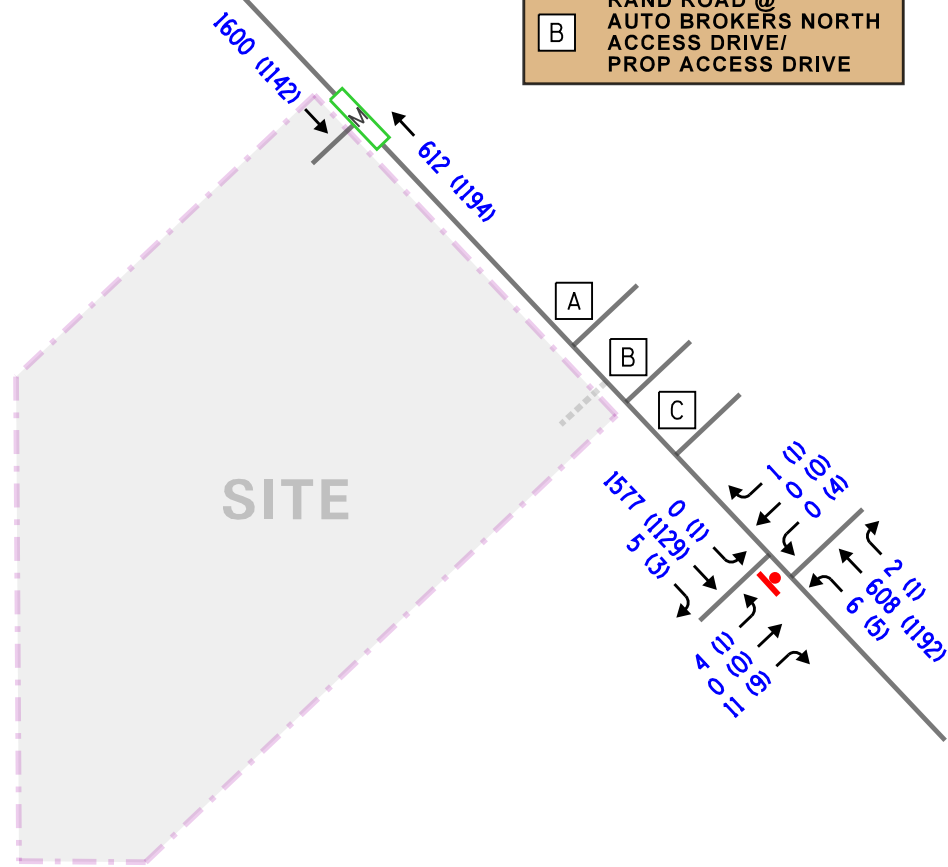
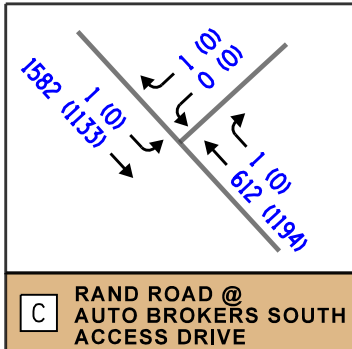
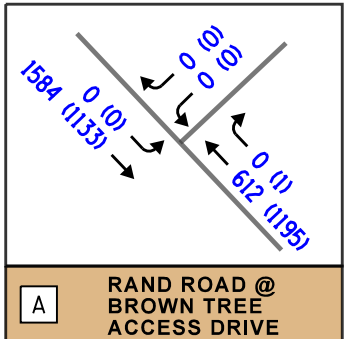
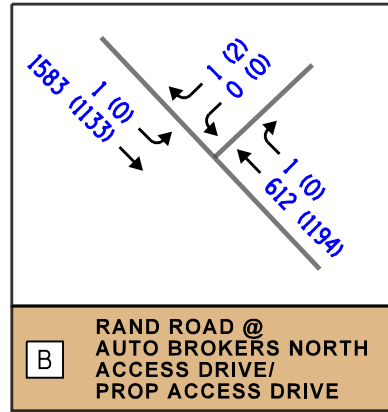
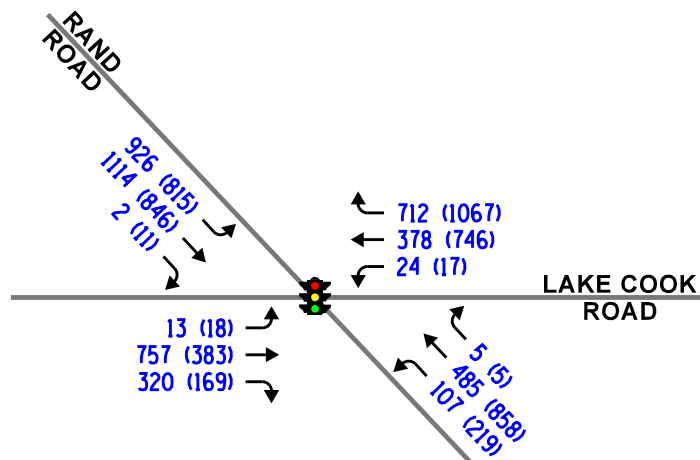
Year	Type of Crash								Severity		
	A	HO	O	RE	S	T	Other	Total	PD	I	F
2020	1	0	0	13	1	8	0	23	19	7	0
2021	0	0	1	13	5	5	0	24	23	1	0
2022	2	0	0	15	0	6	0	23	18	5	0
2023	0	0	0	16	3	8	0	27	26	2	0
2024	0	0	0	8	0	7	0	15	15	0	0
<b>Total</b>	1	0	0	13	1	8	0	23	19	7	0
<b>Avg</b>	<b>&lt;1.0</b>	<b>&lt;1.0</b>	<b>&lt;1.0</b>	<b>13.2</b>	<b>2</b>	<b>7.2</b>	<b>&lt;1.0</b>	<b>23.2</b>	<b>21</b>	<b>3</b>	<b>&lt;1.0</b>

A – Angle; HO – Head On; O – Object; RE – Rear End; S – Sideswipe; T – Turning  
 PD – Property Damage; I – Injury; F – Fatal

<sup>1</sup> IDOT DISCLAIMER: The motor vehicle crash data referenced herein was provided by the Illinois Department of Transportation. Any conclusions drawn from analysis of the aforementioned data are the sole responsibility of the data recipient(s).



NOT TO SCALE



**LEGEND**

- 00** - AM PEAK HOUR (7:15-8:15 AM)
- (00)** - PM PEAK HOUR (4:30-5:30 PM)

Industrial  
Development  
Palatine, Illinois

Existing Traffic Volumes

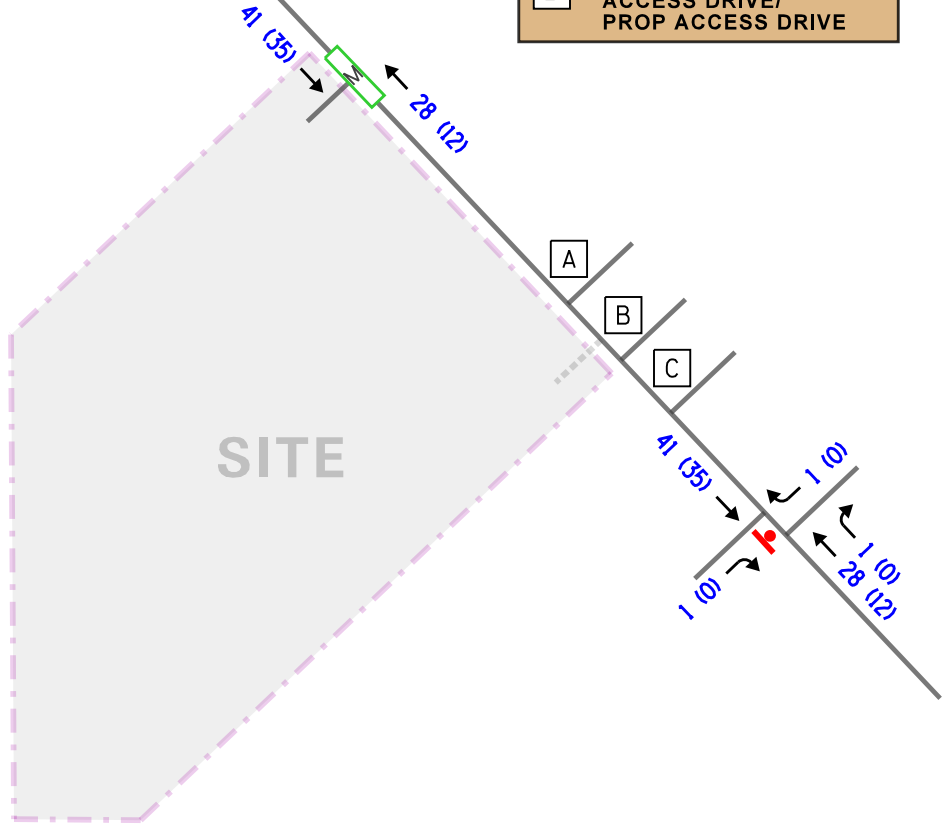
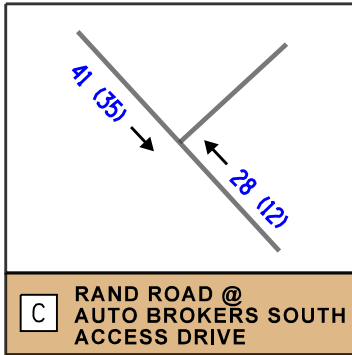
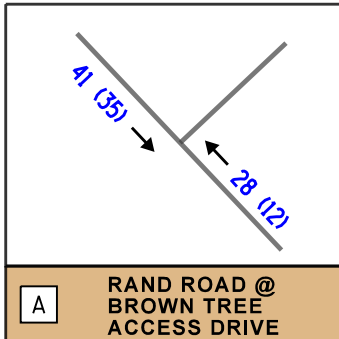
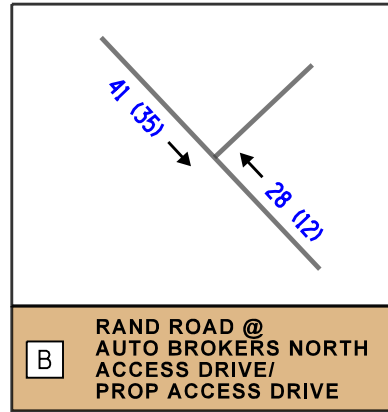
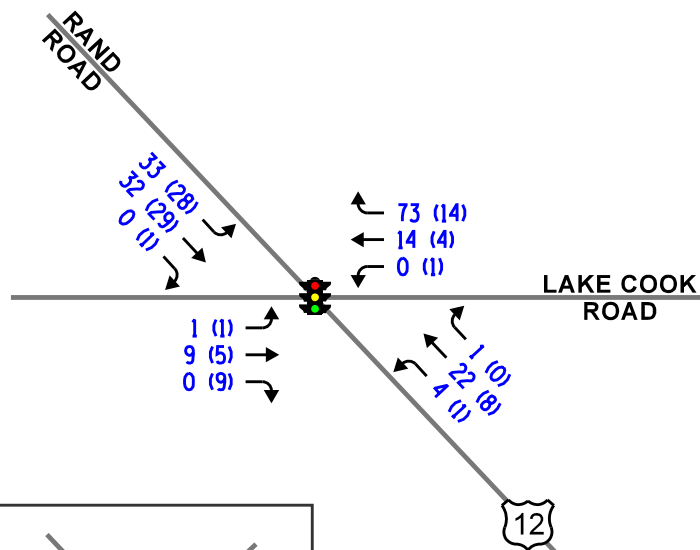


Job No: 25-373

Figure: 4



NOT TO SCALE



**LEGEND**

- 00** - AM PEAK HOUR (7:15-8:15 AM)
- (00)** - PM PEAK HOUR (4:30-5:30 PM)

Industrial Development  
Palatine, Illinois

Existing Traffic Volumes  
Trucks



Job No: 25-373

Figure: 5

### 3. Traffic Characteristics of the Proposed Development

In order to properly evaluate future traffic conditions in the surrounding area, it was necessary to determine the traffic characteristics of the proposed development, including the directional distribution and volumes of traffic that it will generate.

#### Proposed Site and Development Plan

As indicated earlier, the site will be redeveloped with a warehousing and transportation services facility that will contain a 58,000 square-foot building. Access to the facility is proposed to be provided as follows:

- A full-movement access drive on the southwest side of Rand Road located approximately 1,045 feet southeast of Lake Cook Road that will serve the employee parking lots. This access drive will provide one inbound lane and one outbound lane with outbound movements under stop sign control. This access drive will replace an existing access drive at this location. Inbound left-turn movements at this access drive can be accommodated within the existing two-way left-turn lane on Rand Road. Truck access will not be permitted at this access drive and signage indicating as such will be provided.
- A right-in/right-out access drive on the southwest side of Rand Road located approximately 515 feet south of Lake Cook Road that will serve the employee parking lots and truck loading bays. This access drive will provide one inbound lane and one outbound lane restricted to right-turn movements only via the barrier median on Rand Road. Outbound movements will be under stop sign control. This access drive will replace an existing access drive at this location.

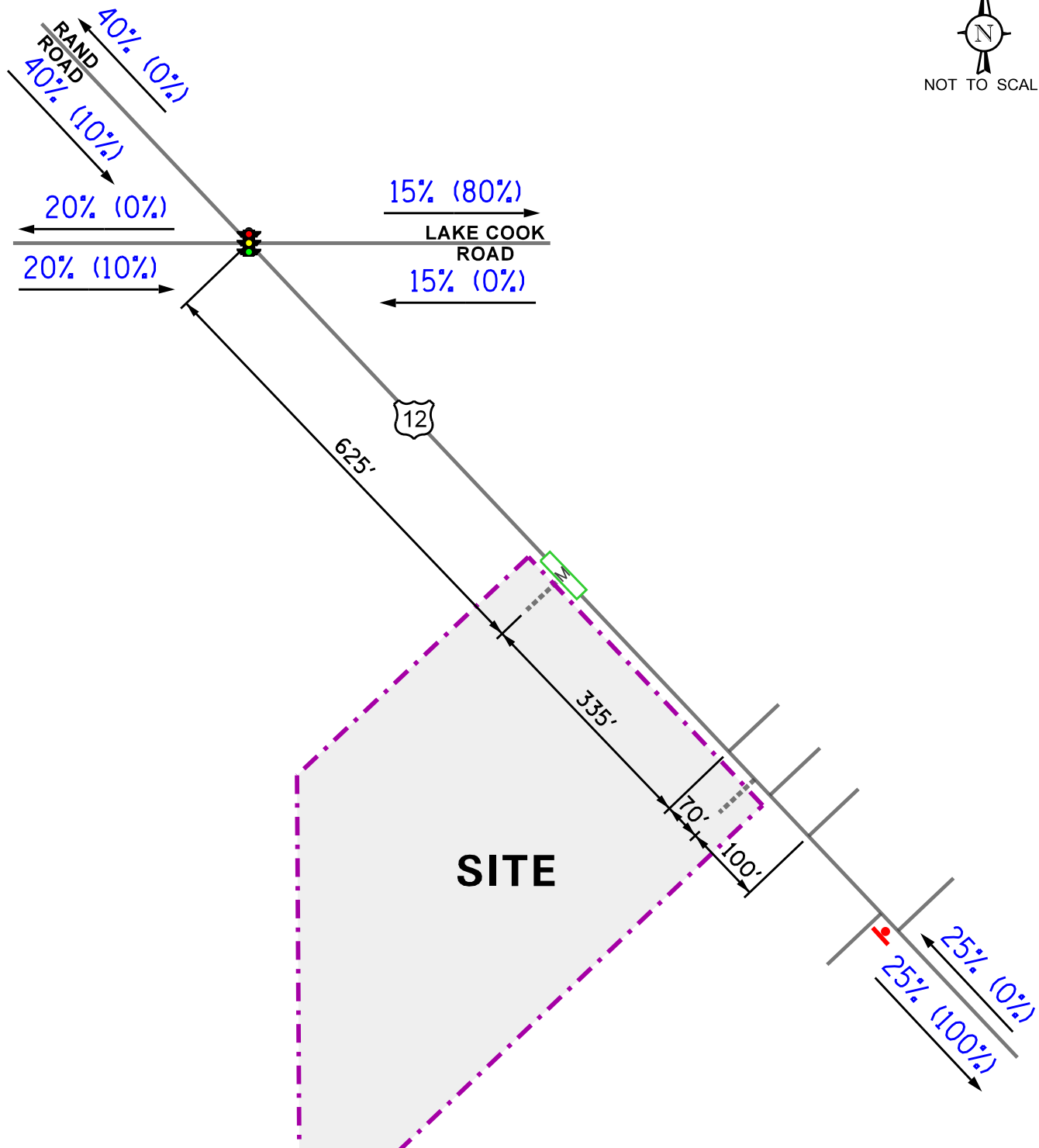
It should be noted that the proposed facility will replace five existing access drives along the site frontage, of which two are full-movement access drives. This reduction in conflict points will improve safety and traffic flow on Rand Road. This is especially true given the proximity of the facility to the signalized intersection of Rand Road with Lake Cook Road and the proximity of the other numerous existing access drives on Rand Road. A copy of the preliminary site plan is included in the Appendix.

#### Directional Distribution

The directions from which traffic will approach and depart the site were estimated based on existing travel patterns, as determined from the traffic counts. **Figure 6** illustrates the directional distribution of the site-generated traffic. Figure 6 also shows the distance, in feet, between the existing and proposed access intersections.



NOT TO SCALE



**LEGEND**

- 00%** - PERCENT DISTRIBUTION - PASSENGER VEHICLES
- (00%)** - PERCENT DISTRIBUTION - TRUCKS
- 00'** - DISTANCE IN FEET

Industrial Development  
Palatine, Illinois

Directional Distribution



Job No: 25-373

Figure: 6

## Development Traffic Generation

The volume of traffic estimated to be generated by the proposed development was based on trip generation rates published by the Institute of Transportation Engineers (ITE) in its 12<sup>th</sup> Edition of the *Trip Generation Manual*. The total trips anticipated by the development of the weekday morning and evening peak hours as well as the weekday daily traffic volumes are shown in **Table 2**.

Table 2

### ESTIMATED DEVELOPMENT-GENERATED TRAFFIC VOLUMES

ITE Land-Use Code	Type/Size	Weekday Morning Peak Hour			Weekday Evening Peak Hour			Weekday Daily Trips
		In	Out	Total	In	Out	Total	
150	Warehouse (44,911 sq. ft)	14	4	18	7	18	25	62

## 4. Projected Traffic Conditions

The total projected traffic volumes include the existing traffic volumes, increase in background traffic due to ambient growth, and the traffic estimated to be generated by the proposed subject development.

### Development Traffic Assignment

The estimated weekday morning and evening traffic volumes that will be generated by the proposed development were assigned to the roadway system in accordance with the previously described directional distribution (Figure 6). The new passenger traffic assignment for the development is illustrated in **Figure 7**.

### Background (No-Build) Traffic Conditions

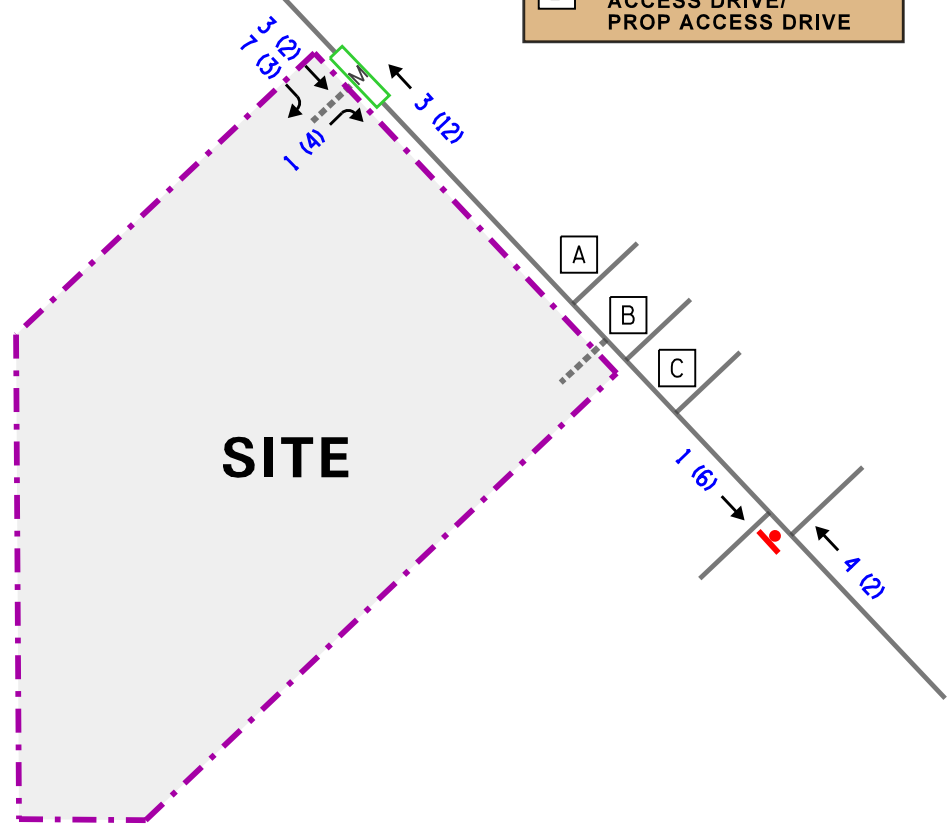
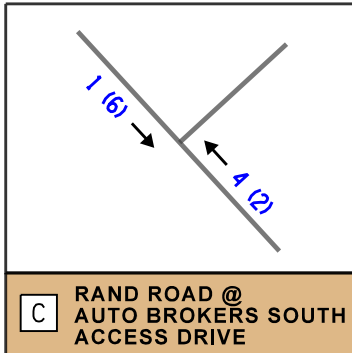
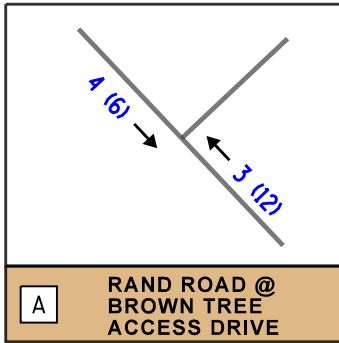
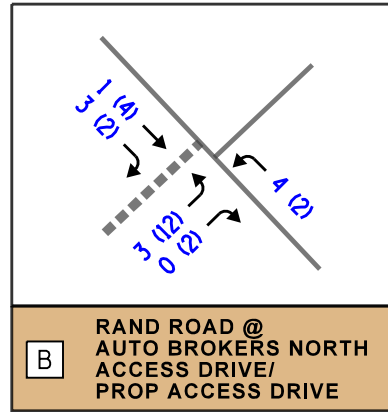
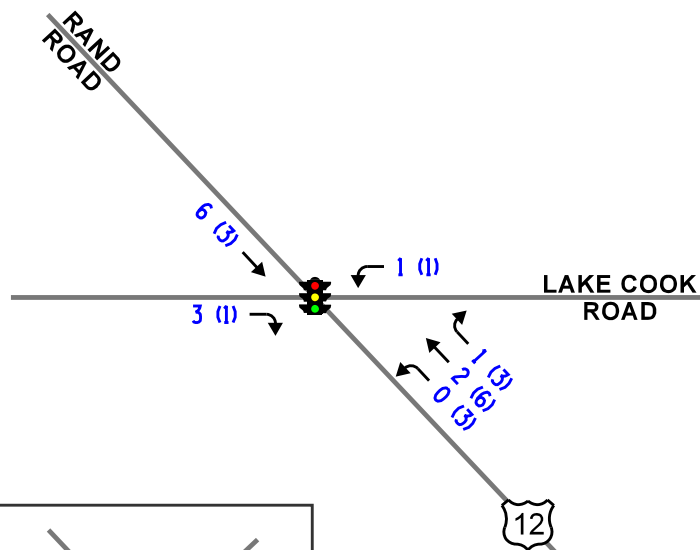
The existing traffic volumes (Figure 4) were increased by a regional growth factor to account for the increase in existing traffic related to regional growth in the area (i.e., not attributable to any planned development). Based on AADT projections provided by the Chicago Metropolitan Agency for Planning (CMAP), the existing traffic volumes were increased by an annually compounded growth rate of 0.3 percent per year for six years (buildout year plus five years) for a total of approximately three percent. The projected Year 2031 no-build traffic volumes, which include the projected existing traffic volumes increased by the regional growth factor, are illustrated in **Figure 8**.

### Total Projected Traffic Volumes

The development-generated traffic (Figures 7 and 8) was added to the Year 2031 no-build traffic volumes to determine the projected Year 2031 total projected traffic volumes, as shown in **Figure 9**.



NOT TO SCALE



**LEGEND**

00 - AM PEAK HOUR (7:15-8:15 AM)

(00) - PM PEAK HOUR (4:30-5:30 PM)

Industrial  
Development  
Palatine, Illinois

Site-Generated Traffic Volumes

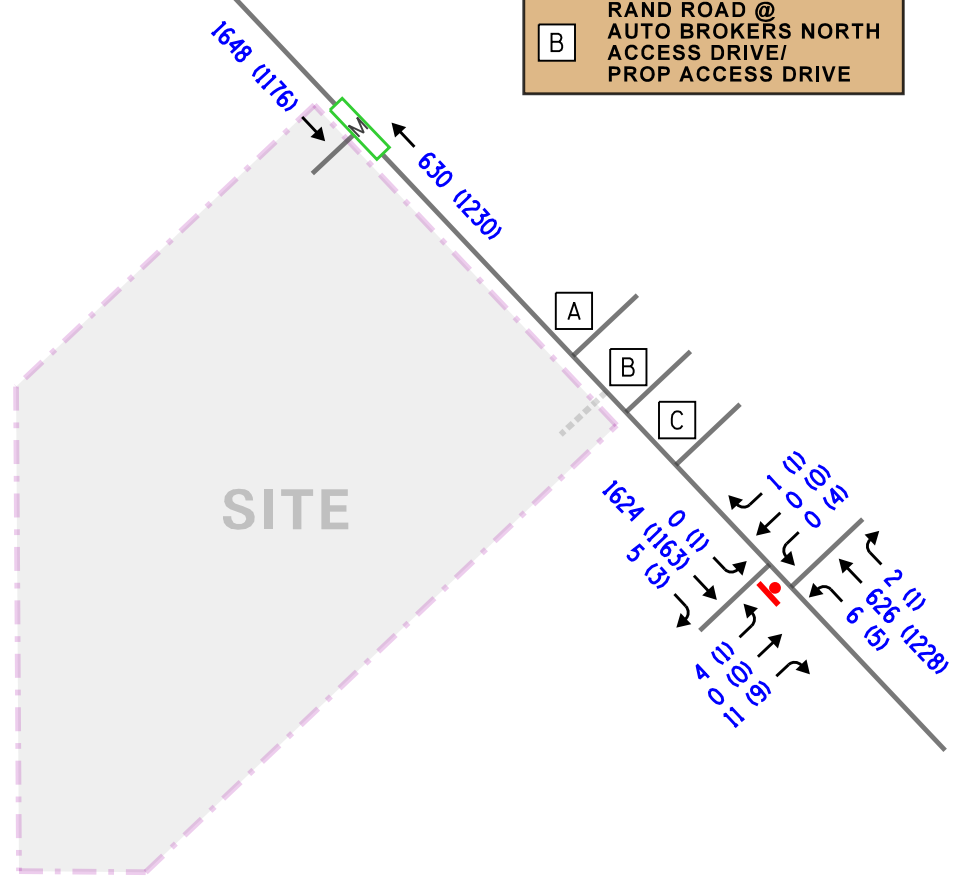
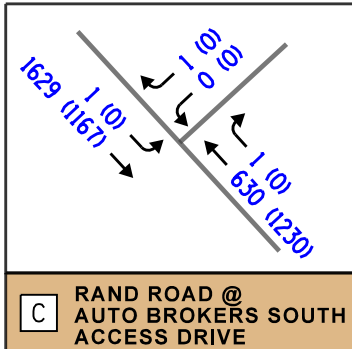
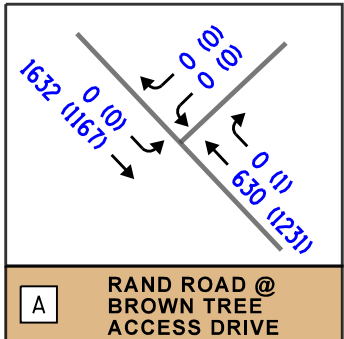
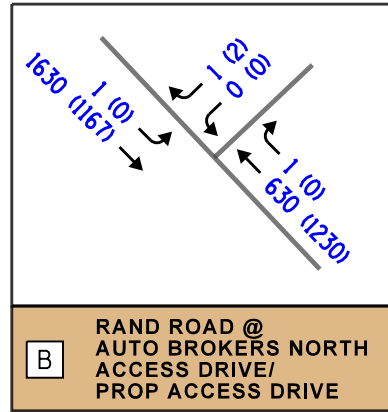
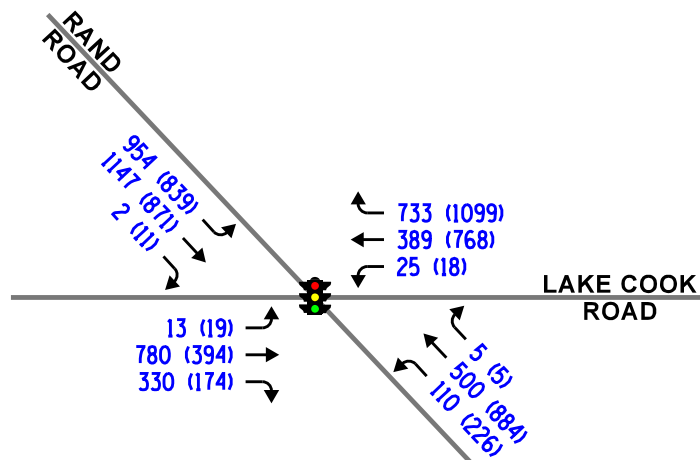


Job No: 25-373

Figure: 7



NOT TO SCALE



**LEGEND**

- 00** - AM PEAK HOUR (7:15-8:15 AM)
- (00)** - PM PEAK HOUR (4:30-5:30 PM)

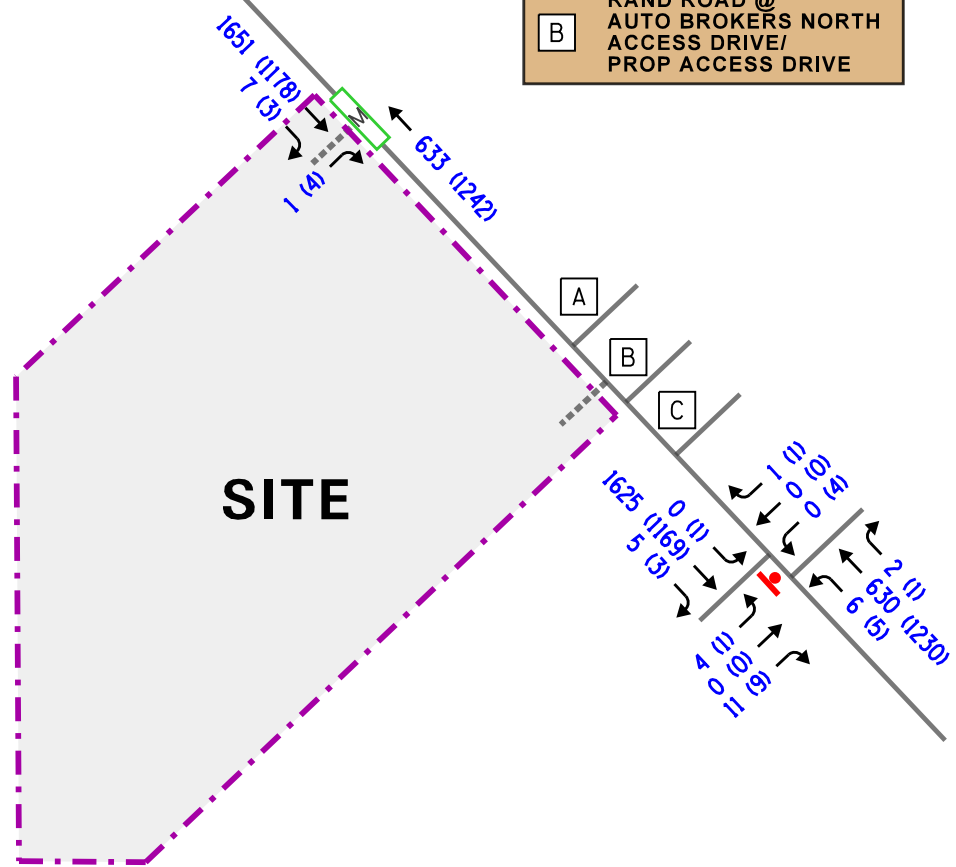
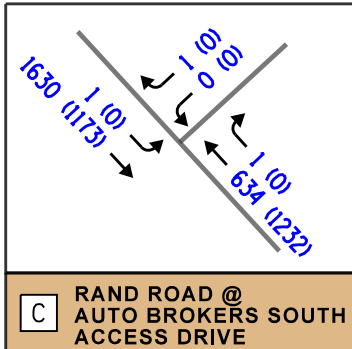
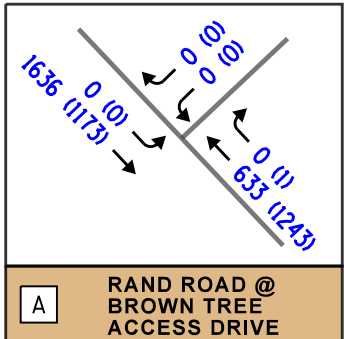
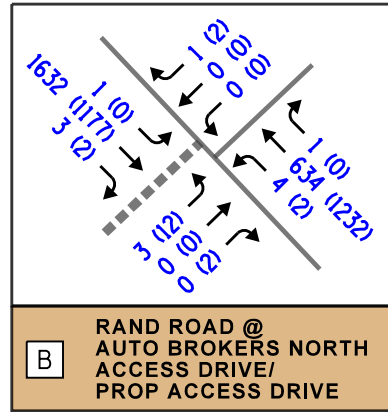
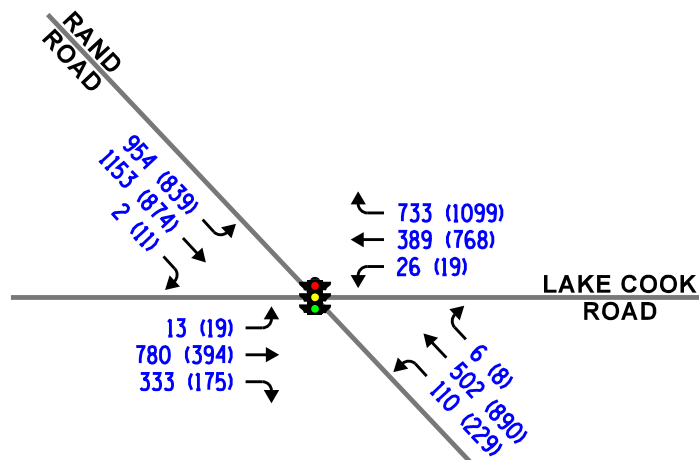
Industrial  
Development  
Palatine, Illinois

Year 2031 No-Build Traffic Volumes

Job No: 25-373      Figure: 8



NOT TO SCALE



**LEGEND**

- 00** - AM PEAK HOUR (7:15-8:15 AM)
- (00)** - PM PEAK HOUR (4:30-5:30 PM)

Industrial  
Development  
Palatine, Illinois

Year 2031 Total Traffic Volumes



Job No: 25-373

Figure: 9

## 5. Traffic Analysis and Recommendations

The following provides an evaluation conducted for the weekday morning and evening peak hours. The analysis includes conducting capacity analyses to determine how well the roadway system and access drives are projected to operate and whether any roadway improvements or modifications are required.

### Traffic Analyses

Roadway and adjacent or nearby intersection analyses were performed for the weekday morning and evening peak hours for the existing, Year 2031 no-build, and Year 2031 total projected traffic volumes.

The traffic analyses were performed using the methodologies outlined in the Transportation Research Board's *Highway Capacity Manual (HCM)*, 7<sup>th</sup> Edition and analyzed using Synchro/SimTraffic 12 software. The analysis for the traffic-signal controlled intersections were accomplished using actual cycle lengths and phasings to determine the average overall vehicle delay and levels of service.

The analyses for the unsignalized intersections determine the average control delay to vehicles at an intersection. Control delay is the elapsed time from a vehicle joining the queue at a stop sign (includes the time required to decelerate to a stop) until its departure from the stop sign and resumption of free flow speed. The methodology analyzes each intersection approach controlled by a stop sign and considers traffic volumes on all approaches and lane characteristics.

The ability of an intersection to accommodate traffic flow is expressed in terms of level of service, which is assigned a letter from A to F based on the average control delay experienced by vehicles passing through the intersection. The *Highway Capacity Manual* definitions for levels of service and the corresponding control delay for signalized intersections and unsignalized intersections are included in the Appendix of this report.

Summaries of the traffic analysis results showing the level of service and overall intersection delay (measured in seconds) for the existing, Year 2031 no-build, and Year 2031 total projected conditions are presented in **Tables 3** through **6**. A discussion of each intersection follows. Summary sheets for the capacity analyses are included in the Appendix.

Table 3

CAPACITY ANALYSIS RESULTS - RAND ROAD WITH LAKE COOK ROAD - SIGNALIZED

	Peak Hour	Eastbound (Lake Cook Road)			Westbound (Lake Cook Road)			Northwest-bound (Rand Road)		Southeast-bound (Rand Road)		Overall
		L	T	R	L	T	R	L	T/R	L	T/R	
Existing Conditions	Weekday Morning Peak Hour	C 34.9	E 59.9	D 42.7	D 37.4	D 46.3	C 21.4	F 99+	C 28.2	E 73.8	D 40.9	D 52.4
		D – 54.5			C – 30.2			E – 65.0		D – 46.8		
Existing Conditions	Weekday Evening Peak Hour	D 36.9	D 46.3	C 30.9	C 34.9	E 59.3	C 28.3	E 76.1	C 28.2	E 74.4	D 49.8	D 47.3
		D – 41.4			D – 41.0			D – 51.5		D – 54.8		
No-Build Conditions	Weekday Morning Peak Hour	C 34.9	E 60.3	D 42.8	D 37.8	D 46.1	C 21.7	F 99+	C 29.2	E 74.0	D 41.1	E 56.1
		D – 54.9			C – 30.3			E – 73.4		D – 47.0		
No-Build Conditions	Weekday Evening Peak Hour	D 37.4	D 48.3	C 32.4	D 35.2	E 60.0	C 29.1	F 84.1	C 28.8	E 74.7	D 50.8	D 49.4
		D – 43.2			D – 41.8			E – 55.8		E – 55.6		
Total Projected Conditions	Weekday Morning Peak Hour	C 34.9	E 60.4	D 43.1	D 38.0	D 46.1	C 21.7	F 99+	C 29.3	E 74.0	D 41.2	E 56.1
		D – 55.0			C – 30.3			E – 73.3		D – 47.0		
Total Projected Conditions	Weekday Evening Peak Hour	D 37.4	D 48.3	C 32.4	D 35.3	E 60.0	C 29.1	F 84.1	C 29.0	E 74.7	D 51.2	D 49.5
		D – 43.2			D – 41.8			E – 55.8		E – 56.0		

Letter denotes Level of Service      L – Left-Turns      R – Right-Turns  
 Delay is measured in seconds.      T – Through

Table 4

## CAPACITY ANALYSIS RESULTS – UNSIGNALIZED - EXISTING CONDITIONS

Intersection	Weekday Morning Peak Hour		Weekday Evening Peak Hour	
	LOS	Delay	LOS	Delay
<b>Rand Road &amp; Brown Tree Access Drive</b>				
• Southwest-bound Approach	-	-	-	-
• Southeast-bound Left Turn	-	-	-	-
<b>Site South Access Drive/North Access Drive &amp; Rand Road</b>				
• Southwest-bound Approach	B	10.5	B	14.0
• Southeast-bound Left Turn	A	8.9	-	-
<b>Rand Road with Auto Broker South Access Drive</b>				
• Southwest-bound	B	10.6	-	-
• Southeast-bound Left Turn	A	9.0	-	-
<b>Rand Road with the Enterprise Access Drive and the Public Storage Access Drive</b>				
• Northeast-bound Approach	D	28.2	C	15.8
• Southwest-bound Approach	B	10.4	D	30.6
• Northwest -bound Left Turn	B	14.8	B	11.3
• Southeast-bound Left Turn	-	-	B	11.7
LOS = Level of Service Delay is measured in seconds.		1 – All-way stop control 2 – Two-way stop control		

Table 5

CAPACITY ANALYSIS RESULTS – UNSIGNALIZED – NO-BUILD CONDITIONS

Intersection	Weekday Morning Peak Hour		Weekday Evening Peak Hour	
	LOS	Delay	LOS	Delay
<b>Rand Road &amp; Brown Tree Access Drive</b>				
• Southwest-bound Approach	-	-	-	-
• Southeast-bound Left Turn	-	-	-	-
<b>Site South Access Drive/North Access Drive &amp; Rand Road</b>				
• Southwest-bound Approach	B	10.6	B	14.2
• Southeast-bound Left Turn	A	9.0	-	-
<b>Rand Road with Auto Broker South Access Drive</b>				
• Southwest-bound	B	10.6	-	-
• Southeast-bound Left Turn	A	9.1	-	-
<b>Rand Road with the Enterprise Access Drive and the Public Storage Access Drive</b>				
• Northeast-bound Approach	D	29.8	C	16.1
• Southwest-bound Approach	B	10.5	D	32.0
• Northwest -bound Left Turn	C	15.3	B	11.5
• Southeast-bound Left Turn	-	-	B	11.9
LOS = Level of Service Delay is measured in seconds.		1 – All-way stop control 2 – Two-way stop control		

Table 6

CAPACITY ANALYSIS RESULTS–UNSIGNALIZED - TOTAL PROJECTED CONDITIONS

Intersection	Weekday Morning Peak Hour		Weekday Evening Peak Hour	
	LOS	Delay	LOS	Delay
<b>Site North Access Drive &amp; Rand Road</b>				
• Northeast-bound Approach	C	17.3	B	13.5
<b>Rand Road &amp; Brown Tree Access Drive</b>				
• Southwest-bound Approach	-	-	-	-
• Southeast-bound Left Turn	-	-	-	-
<b>Site South Access Drive/North Access Drive &amp; Rand Road</b>				
• Southwest-bound Approach	B	10.6	B	14.3
• Northeast-bound Approach	F	59.9	E	36.0
• Southeast-bound Left Turn	A	9.0	-	-
• Northwest-bound Left Turn	C	16.1	B	12.0
<b>Rand Road with Auto Broker South Access Drive</b>				
• Southwest-bound	B	10.7	-	-
• Southeast-bound Left Turn	A	9.1	-	-
<b>Rand Road with the Enterprise Access Drive and the Public Storage Access Drive</b>				
• Northeast-bound Approach	D	29.8	C	16.2
• Southwest-bound Approach	B	10.5	D	32.2
• Northwest -bound Left Turn	C	15.3	B	11.6
• Southeast-bound Left Turn	-	-	B	11.9
LOS = Level of Service Delay is measured in seconds.	1 – All-way stop control 2 – Two-way stop control			

## Discussion and Recommendations

The following summarizes how the intersections are projected to operate and identifies any roadway and traffic control improvements necessary to accommodate the development-generated traffic.

### *Rand Road with Lake Cook Road*

The results of the capacity analysis indicate that overall, this intersection currently operates at Level of Service (LOS) D during the weekday morning and weekday evening peak hours. Further, all approaches operate at LOS E or better during both peak hours. Under Year 2031 no-build traffic conditions, this intersection is projected to operate at LOS E during the weekday morning and LOS D during weekday evening peak hours with increases in delay of approximately four seconds or less.

Under Year 2031 total projected traffic conditions, this intersection is projected to continue to operate at LOS E during the weekday morning peak and LOS D during weekday evening peak hours with no increases in delay over no-build conditions. Further, all approaches are projected to continue to operate at the no-build levels of service during both peak hours. It should be noted that the northwest-and southeast bound approaches are projected to operate at LOS E during both weekday morning and evening peak hour. However, the increase in delay is less than one second over no-build conditions. Further, the northwest-bound through/right-turn movement is projected to continue to operate with a volume to capacity (v/c) ratio of less than one during both peak hours and 95<sup>th</sup> percentile queues for this movement are projected to increase by approximately one vehicle during the peak hours over no-build conditions.

Overall, the proposed development will increase the volume of traffic at this intersection by less than one-half percent and thus the traffic estimated to be generated by the proposed development will have a limited impact on the operations of this intersection.

### *Rand Road with Site North Access Drive*

As proposed, a right-in/right-out access drive will be provided on the southwest side of Rand Road located approximately 625 feet south of Lake Cook Road. This access drive will provide one inbound lane and one outbound lane restricted to right-turn movements only via the barrier median on Rand Road. Outbound movements will be under stop sign control. This access drive will replace an existing access drive at this location. The results of the capacity analyses indicate that outbound movements from the access drive are projected to operate at LOS C or better during the weekday morning and weekday evening peak hours. As such, this access drive will be adequate in accommodating the traffic estimated to be generated by the proposed development.

### *Rand Road with Proposed Site South Access Drive*

The results of the capacity analyses indicate that the critical movement at this intersection currently operates at LOS B or better during both weekday morning and evening peak hours. Under Year 2031 no-build conditions, the critical movements are projected to continue to operate at the same LOS during both peak hours.

Under Year 2031 total projected conditions, all of the critical movements are projected to continue to operate at LOS C or better during the peak hours except for outbound movements from the proposed access drive which are projected to operate at LOS F during the weekday morning peak hour and LOS E during the weekday evening peak hours. However, this level of service is expected for an access drive that has an unsignalized intersection with a major roadway such as Rand Road. As such, this access drive will be adequate in accommodating the traffic estimated to be generated by the proposed development.

#### *Rand Road with the Auto Broker South Access Drive*

The results of the capacity analyses indicate that the critical movement at this intersection currently operates at LOS B or better during both weekday morning and evening peak hour. Under the Year 2031 no-build and total projected conditions, the critical movements are projected to continue to operate at the existing LOS during both peak hours. As such, the volume of traffic estimated to be generated by the proposed development will have a limited impact on the operations of this access drive.

#### *Rand Road with the Enterprise Access Drive and the Public Storage Access Drive*

The results of the capacity analyses show that the critical movements at this intersection currently operate at LOS D or better during the weekday morning and weekday evening peak hours. Under Year 2031 no-build and total projected conditions, all critical movements are projected to continue to operate at LOS D or better during both peak hours. As such the intersection has sufficient reserve capacity to accommodate the development-generated traffic.

## 6. Conclusion

Based on the proposed plan and the preceding evaluation, the following conclusions and recommendations are made:

- The development is projected to increase the daily traffic volumes on US Route 12 by less than one percent.
- A limited volume of traffic is projected to travel to/from Lake Cook Road.
- The proposed access drives will be adequate in accommodating traffic entering and exiting the site.
- The reduction in the number of access drives from five to two will reduce traffic conflicts and improve the safety of the traffic flow on Rand Road.

# Appendix

Traffic Count Summary Sheets

Site Plan

ITE Trip Generation Sheets

CMAP 2050 Projections Letter

Level of Service Criteria

Capacity Analysis Summary Sheets

## Traffic Count Summary Sheets



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Rosemont, Illinois, United States 60018  
(847)518-9990 skazemzadehazad@kloainc.com

Count Name: Rand Rd and Northern Access  
Site Code:  
Start Date: 01/06/2026  
Page No: 1

### Turning Movement Data

Start Time	Eastbound Approach Eastbound						Access Dr Westbound						Rand Rd Northbound						Rand Rd Southbound						Int. Total
	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	
6:00 AM	0	0	0	0	0	0	0	0	0	2	0	2	0	0	56	1	0	57	0	4	190	0	0	194	253
6:15 AM	0	0	0	0	0	0	0	0	0	2	0	2	0	0	74	9	0	83	0	7	227	0	0	234	319
6:30 AM	0	0	0	0	0	0	0	0	0	5	1	5	0	0	114	7	0	121	0	8	254	0	0	262	388
6:45 AM	0	0	0	0	0	0	0	0	0	7	1	7	0	0	112	6	0	118	0	6	307	0	0	313	438
Hourly Total	0	0	0	0	0	0	0	0	0	16	2	16	0	0	356	23	0	379	0	25	978	0	0	1003	1398
7:00 AM	0	0	0	0	0	0	0	0	0	3	0	3	0	0	116	4	0	120	1	7	331	0	0	339	462
7:15 AM	0	0	0	0	0	0	0	2	0	5	0	7	0	0	130	2	0	132	1	6	354	0	0	361	500
7:30 AM	0	0	0	0	0	0	0	4	0	6	2	10	0	0	146	7	0	153	0	10	442	0	0	452	615
7:45 AM	0	0	0	0	0	0	0	4	0	9	0	13	0	0	154	8	0	162	0	7	402	0	0	409	584
Hourly Total	0	0	0	0	0	0	0	10	0	23	2	33	0	0	546	21	0	567	2	30	1529	0	0	1561	2161
8:00 AM	0	0	0	1	0	1	0	7	0	5	0	12	0	0	157	8	0	165	1	8	369	0	0	378	556
8:15 AM	0	0	0	0	0	0	0	0	0	7	1	7	0	0	138	4	0	142	0	8	319	0	0	327	476
8:30 AM	0	0	0	0	0	0	0	5	0	5	0	10	0	0	165	6	0	171	0	7	303	0	0	310	491
8:45 AM	0	0	0	0	0	0	1	3	0	4	0	8	0	0	166	9	1	175	0	9	323	0	0	332	515
Hourly Total	0	0	0	1	0	1	1	15	0	21	1	37	0	0	626	27	1	653	1	32	1314	0	0	1347	2038
*** BREAK ***	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
4:00 PM	0	0	0	0	0	0	0	8	0	3	2	11	0	0	315	2	0	317	1	2	289	0	0	292	620
4:15 PM	0	0	0	0	0	0	0	1	0	4	0	5	0	0	272	5	0	277	1	4	281	0	0	286	568
4:30 PM	0	0	0	0	0	0	0	3	0	7	1	10	0	0	280	4	0	284	0	2	270	0	0	272	566
4:45 PM	0	0	0	1	0	1	0	1	0	5	0	6	0	0	281	13	0	294	1	7	311	0	0	319	620
Hourly Total	0	0	0	1	0	1	0	13	0	19	3	32	0	0	1148	24	0	1172	3	15	1151	0	0	1169	2374
5:00 PM	0	0	0	0	0	0	0	2	0	8	0	10	0	0	295	4	0	299	3	3	279	0	0	285	594
5:15 PM	0	0	0	0	0	0	0	3	0	5	0	8	0	0	313	5	0	318	0	2	264	0	0	266	592
5:30 PM	0	0	0	0	0	0	0	3	0	2	0	5	0	0	277	0	0	277	0	2	273	0	0	275	557
5:45 PM	0	0	0	0	0	0	0	1	0	3	0	4	0	0	225	5	0	230	0	2	221	0	0	223	457
Hourly Total	0	0	0	0	0	0	0	9	0	18	0	27	0	0	1110	14	0	1124	3	9	1037	0	0	1049	2200
6:00 PM	0	0	0	0	0	0	0	2	0	3	0	5	0	0	173	6	0	179	0	2	208	0	0	210	394
6:15 PM	0	0	0	0	0	0	0	1	0	3	0	4	0	0	198	6	0	204	0	1	201	0	0	202	410
6:30 PM	0	0	0	0	0	0	0	3	0	2	0	5	0	0	186	6	0	192	0	2	221	0	0	223	420
6:45 PM	0	0	0	0	0	0	0	1	0	5	0	6	0	0	160	4	0	164	0	6	176	0	0	182	352
Hourly Total	0	0	0	0	0	0	0	7	0	13	0	20	0	0	717	22	0	739	0	11	806	0	0	817	1576
Grand Total	0	0	0	2	0	2	1	54	0	110	8	165	0	0	4503	131	1	4634	9	122	6815	0	0	6946	11747
Approach %	0.0	0.0	0.0	100.0	-	-	0.6	32.7	0.0	66.7	-	-	0.0	0.0	97.2	2.8	-	-	0.1	1.8	98.1	0.0	-	-	-
Total %	0.0	0.0	0.0	0.0	-	0.0	0.0	0.5	0.0	0.9	-	1.4	0.0	0.0	38.3	1.1	-	39.4	0.1	1.0	58.0	0.0	-	59.1	-
Lights	0	0	0	1	-	1	1	52	0	110	-	163	0	0	4380	130	-	4510	9	119	6565	0	-	6693	11367

% Lights	-	-	-	50.0	-	50.0	100.0	96.3	-	100.0	-	98.8	-	-	97.3	99.2	-	97.3	100.0	97.5	96.3	-	-	96.4	96.8
Buses	0	0	0	0	-	0	0	0	0	0	-	0	0	0	7	0	-	7	0	0	11	0	-	11	18
% Buses	-	-	-	0.0	-	0.0	0.0	0.0	-	0.0	-	0.0	-	-	0.2	0.0	-	0.2	0.0	0.0	0.2	-	-	0.2	0.2
Single-Unit Trucks	0	0	0	0	-	0	0	1	0	0	-	1	0	0	70	1	-	71	0	0	166	0	-	166	238
% Single-Unit Trucks	-	-	-	0.0	-	0.0	0.0	1.9	-	0.0	-	0.6	-	-	1.6	0.8	-	1.5	0.0	0.0	2.4	-	-	2.4	2.0
Articulated Trucks	0	0	0	1	-	1	0	0	0	0	-	0	0	0	46	0	-	46	0	3	73	0	-	76	123
% Articulated Trucks	-	-	-	50.0	-	50.0	0.0	0.0	-	0.0	-	0.0	-	-	1.0	0.0	-	1.0	0.0	2.5	1.1	-	-	1.1	1.0
Bicycles on Road	0	0	0	0	-	0	0	1	0	0	-	1	0	0	0	0	-	0	0	0	0	0	-	0	1
% Bicycles on Road	-	-	-	0.0	-	0.0	0.0	1.9	-	0.0	-	0.6	-	-	0.0	0.0	-	0.0	0.0	0.0	0.0	-	-	0.0	0.0
Pedestrians	-	-	-	-	0	-	-	-	-	-	8	-	-	-	-	-	1	-	-	-	-	-	0	-	-
% Pedestrians	-	-	-	-	-	-	-	-	-	-	100.0	-	-	-	-	-	100.0	-	-	-	-	-	-	-	-



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Count Name: Rand Rd and Northern Access  
Site Code:  
Start Date: 01/06/2026  
Page No: 3

### Turning Movement Peak Hour Data (7:15 AM)

Start Time	Eastbound Approach Eastbound						Access Dr Westbound						Rand Rd Northbound						Rand Rd Southbound						Int. Total
	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	
7:15 AM	0	0	0	0	0	0	0	2	0	5	0	7	0	0	130	2	0	132	1	6	354	0	0	361	500
7:30 AM	0	0	0	0	0	0	0	4	0	6	2	10	0	0	146	7	0	153	0	10	442	0	0	452	615
7:45 AM	0	0	0	0	0	0	0	4	0	9	0	13	0	0	154	8	0	162	0	7	402	0	0	409	584
8:00 AM	0	0	0	1	0	1	0	7	0	5	0	12	0	0	157	8	0	165	1	8	369	0	0	378	556
Total	0	0	0	1	0	1	0	17	0	25	2	42	0	0	587	25	0	612	2	31	1567	0	0	1600	2255
Approach %	0.0	0.0	0.0	100.0	-	-	0.0	40.5	0.0	59.5	-	-	0.0	0.0	95.9	4.1	-	-	0.1	1.9	97.9	0.0	-	-	-
Total %	0.0	0.0	0.0	0.0	-	0.0	0.0	0.8	0.0	1.1	-	1.9	0.0	0.0	26.0	1.1	-	27.1	0.1	1.4	69.5	0.0	-	71.0	-
PHF	0.000	0.000	0.000	0.250	-	0.250	0.000	0.607	0.000	0.694	-	0.808	0.000	0.000	0.935	0.781	-	0.927	0.500	0.775	0.886	0.000	-	0.885	0.917
Lights	0	0	0	1	-	1	0	16	0	25	-	41	0	0	557	25	-	582	2	30	1523	0	-	1555	2179
% Lights	-	-	-	100.0	-	100.0	-	94.1	-	100.0	-	97.6	-	-	94.9	100.0	-	95.1	100.0	96.8	97.2	-	-	97.2	96.6
Buses	0	0	0	0	-	0	0	0	0	0	-	0	0	0	2	0	-	2	0	0	4	0	-	4	6
% Buses	-	-	-	0.0	-	0.0	-	0.0	-	0.0	-	0.0	-	-	0.3	0.0	-	0.3	0.0	0.0	0.3	-	-	0.3	0.3
Single-Unit Trucks	0	0	0	0	-	0	0	1	0	0	-	1	0	0	19	0	-	19	0	0	24	0	-	24	44
% Single-Unit Trucks	-	-	-	0.0	-	0.0	-	5.9	-	0.0	-	2.4	-	-	3.2	0.0	-	3.1	0.0	0.0	1.5	-	-	1.5	2.0
Articulated Trucks	0	0	0	0	-	0	0	0	0	0	-	0	0	0	9	0	-	9	0	1	16	0	-	17	26
% Articulated Trucks	-	-	-	0.0	-	0.0	-	0.0	-	0.0	-	0.0	-	-	1.5	0.0	-	1.5	0.0	3.2	1.0	-	-	1.1	1.2
Bicycles on Road	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0	0
% Bicycles on Road	-	-	-	0.0	-	0.0	-	0.0	-	0.0	-	0.0	-	-	0.0	0.0	-	0.0	0.0	0.0	0.0	-	-	0.0	0.0
Pedestrians	-	-	-	-	0	-	-	-	-	-	2	-	-	-	-	-	0	-	-	-	-	-	0	-	-
% Pedestrians	-	-	-	-	-	-	-	-	-	-	100.0	-	-	-	-	-	-	-	-	-	-	-	-	-	-



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Count Name: Rand Rd and Northern Access  
Site Code:  
Start Date: 01/06/2026  
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### Turning Movement Peak Hour Data (4:30 PM)

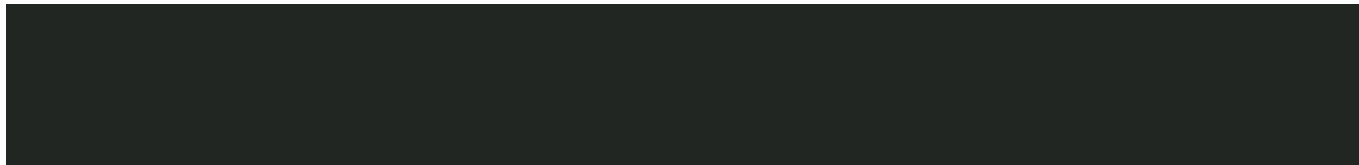
Start Time	Eastbound Approach Eastbound						Access Dr Westbound						Rand Rd Northbound						Rand Rd Southbound						Int. Total
	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	
4:30 PM	0	0	0	0	0	0	0	3	0	7	1	10	0	0	280	4	0	284	0	2	270	0	0	272	566
4:45 PM	0	0	0	1	0	1	0	1	0	5	0	6	0	0	281	13	0	294	1	7	311	0	0	319	620
5:00 PM	0	0	0	0	0	0	0	2	0	8	0	10	0	0	295	4	0	299	3	3	279	0	0	285	594
5:15 PM	0	0	0	0	0	0	0	3	0	5	0	8	0	0	313	5	0	318	0	2	264	0	0	266	592
Total	0	0	0	1	0	1	0	9	0	25	1	34	0	0	1169	26	0	1195	4	14	1124	0	0	1142	2372
Approach %	0.0	0.0	0.0	100.0	-	-	0.0	26.5	0.0	73.5	-	-	0.0	0.0	97.8	2.2	-	-	0.4	1.2	98.4	0.0	-	-	-
Total %	0.0	0.0	0.0	0.0	-	0.0	0.0	0.4	0.0	1.1	-	1.4	0.0	0.0	49.3	1.1	-	50.4	0.2	0.6	47.4	0.0	-	48.1	-
PHF	0.000	0.000	0.000	0.250	-	0.250	0.000	0.750	0.000	0.781	-	0.850	0.000	0.000	0.934	0.500	-	0.939	0.333	0.500	0.904	0.000	-	0.895	0.956
Lights	0	0	0	0	-	0	0	9	0	25	-	34	0	0	1157	26	-	1183	4	14	1088	0	-	1106	2323
% Lights	-	-	-	0.0	-	0.0	-	100.0	-	100.0	-	100.0	-	-	99.0	100.0	-	99.0	100.0	100.0	96.8	-	-	96.8	97.9
Buses	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0	0	0	1	0	-	1	1
% Buses	-	-	-	0.0	-	0.0	-	0.0	-	0.0	-	0.0	-	-	0.0	0.0	-	0.0	0.0	0.0	0.1	-	-	0.1	0.0
Single-Unit Trucks	0	0	0	0	-	0	0	0	0	0	-	0	0	0	7	0	-	7	0	0	25	0	-	25	32
% Single-Unit Trucks	-	-	-	0.0	-	0.0	-	0.0	-	0.0	-	0.0	-	-	0.6	0.0	-	0.6	0.0	0.0	2.2	-	-	2.2	1.3
Articulated Trucks	0	0	0	1	-	1	0	0	0	0	-	0	0	0	5	0	-	5	0	0	10	0	-	10	16
% Articulated Trucks	-	-	-	100.0	-	100.0	-	0.0	-	0.0	-	0.0	-	-	0.4	0.0	-	0.4	0.0	0.0	0.9	-	-	0.9	0.7
Bicycles on Road	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0	0
% Bicycles on Road	-	-	-	0.0	-	0.0	-	0.0	-	0.0	-	0.0	-	-	0.0	0.0	-	0.0	0.0	0.0	0.0	-	-	0.0	0.0
Pedestrians	-	-	-	-	0	-	-	-	-	-	1	-	-	-	-	-	0	-	-	-	-	-	0	-	-
% Pedestrians	-	-	-	-	-	-	-	-	-	-	100.0	-	-	-	-	-	-	-	-	-	-	-	-	-	-

**Study Name** Rand Rd And Southern Access Dr  
**Start Date** Tuesday, January 06, 2026 6:00 AM  
**End Date** Tuesday, January 06, 2026 7:00 PM  
**Site Code**

## Report Summary

Time Period	Class.	Northbound						Southbound						
		U	T	BR	HR	I	O	U	HL	BL	T	I	O	U
<b>Peak 1</b>	Lights	0	581	0	0	581	1505	0	0	0	1505	1505	581	0
Specified Period	%	0%	95%	0%	0%	95%	97%	0%	0%	0%	97%	97%	95%	0%
7:15 AM - 8:15 AM	Buses	0	2	0	0	2	4	0	0	0	4	4	2	0
One Hour Peak	%	0%	0%	0%	0%	0%	0%	0%	0%	0%	0%	0%	0%	0%
7:15 AM - 8:15 AM	ngle-Unit Truc	0	21	0	0	21	25	0	0	0	25	25	21	0
	%	0%	3%	0%	0%	3%	2%	0%	0%	0%	2%	2%	3%	0%
	ticulated Truc	0	6	0	0	6	17	0	0	0	17	17	6	0
	%	0%	1%	0%	0%	1%	1%	0%	0%	0%	1%	1%	1%	0%
	icycles on Roa	0	1	0	0	1	0	0	0	0	0	0	1	0
	%	0%	0%	0%	0%	0%	0%	0%	0%	0%	0%	0%	0%	0%
	<b>Total</b>	<b>0</b>	<b>611</b>	<b>0</b>	<b>0</b>	<b>611</b>	<b>1551</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>1551</b>	<b>1551</b>	<b>611</b>	<b>0</b>
	PHF	0	0.9	0	0	0.9	0.88	0	0	0	0.88	0.88	0.9	0
	Approach %					28%	72%					72%	28%	
<b>Peak 2</b>	Lights	0	1194	0	0	1194	1074	0	0	0	1074	1074	1194	0
Specified Period	%	0%	99%	0%	0%	99%	96%	0%	0%	0%	96%	96%	99%	0%
4:30 PM - 5:30 PM	Buses	0	0	0	0	0	0	0	0	0	0	0	0	0
One Hour Peak	%	0%	0%	0%	0%	0%	0%	0%	0%	0%	0%	0%	0%	0%
4:30 PM - 5:30 PM	ngle-Unit Truc	0	8	0	0	8	27	0	0	0	27	27	8	0
	%	0%	1%	0%	0%	1%	2%	0%	0%	0%	2%	2%	1%	0%
	ticulated Truc	0	5	0	0	5	12	0	0	0	12	12	5	0
	%	0%	0%	0%	0%	0%	1%	0%	0%	0%	1%	1%	0%	0%
	icycles on Roa	0	0	0	0	0	0	0	0	0	0	0	0	0
	%	0%	0%	0%	0%	0%	0%	0%	0%	0%	0%	0%	0%	0%

<b>Total</b>	<b>0</b>	<b>1207</b>	<b>0</b>	<b>0</b>	<b>1207</b>	<b>1113</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>1113</b>	<b>1113</b>	<b>1207</b>	<b>0</b>
PHF	0	0.96	0	0	0.96	0.9	0	0	0	0.9	0.9	0.96	0
Approach %					52%	48%					48%	52%	



Northwestbound					Southwestbound						Crosswalk			
HL	BR	R	I	O	U	L	BL	HR	I	O	Total		pedestria	Total
0	0	0	0	0	0	0	0	0	0	0	2086	S	0	0
0%	0%	0%	0%	0%	0%	0%	0%	0%	0%	0%	96%		0%	
0	0	0	0	0	0	0	0	0	0	0	6	N	0	0
0%	0%	0%	0%	0%	0%	0%	0%	0%	0%	0%	0%		0%	
0	0	0	0	0	0	0	0	0	0	0	46	SE	0	0
0%	0%	0%	0%	0%	0%	0%	0%	0%	0%	0%	2%		0%	
0	0	0	0	0	0	0	0	0	0	0	23	NE	1	1
0%	0%	0%	0%	0%	0%	0%	0%	0%	0%	0%	1%		100%	
0	0	0	0	0	0	0	0	0	0	0	1		1	1
0%	0%	0%	0%	0%	0%	0%	0%	0%	0%	0%	0%			
<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>2162</b>			
0	0	0	0	0	0	0	0	0	0	0	0.91			
			0%	0%					0%	0%				
0	0	0	0	0	0	0	0	0	0	0	2268	S	0	0
0%	0%	0%	0%	0%	0%	0%	0%	0%	0%	0%	98%		0%	
0	0	0	0	0	0	0	0	0	0	0	0	N	0	0
0%	0%	0%	0%	0%	0%	0%	0%	0%	0%	0%	0%		0%	
0	0	0	0	0	0	0	0	0	0	0	35	SE	0	0
0%	0%	0%	0%	0%	0%	0%	0%	0%	0%	0%	2%		0%	
0	0	0	0	0	0	0	0	0	0	0	17	NE	1	1
0%	0%	0%	0%	0%	0%	0%	0%	0%	0%	0%	1%		100%	
0	0	0	0	0	0	0	0	0	0	0	0		1	1
0%	0%	0%	0%	0%	0%	0%	0%	0%	0%	0%	0%			

0	0	0	0	0	0	0	0	0	0	0	0	2320
0	0	0	0	0	0	0	0	0	0	0	0	0.95
			0%	0%						0%	0%	



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Count Name: Rand+with+Lake+Cook TMC  
Site Code:  
Start Date: 01/06/2026  
Page No: 1

### Turning Movement Data

Start Time	Lake cook Rd Eastbound						Lake cook Rd Westbound						Rand Rd Northbound						Rand Rd Southbound						Int. Total
	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	
6:00 AM	0	0	95	21	0	116	0	2	32	123	0	157	0	2	46	0	0	48	0	184	173	0	0	357	678
6:15 AM	0	0	131	22	0	153	0	3	59	145	0	207	0	17	66	1	0	84	0	172	187	1	0	360	804
6:30 AM	0	1	156	42	1	199	0	4	73	205	0	282	0	6	95	0	0	101	0	197	208	0	0	405	987
6:45 AM	0	0	148	43	0	191	0	5	86	164	0	255	0	18	98	1	0	117	0	242	243	0	0	485	1048
Hourly Total	0	1	530	128	1	659	0	14	250	637	0	901	0	43	305	2	0	350	0	795	811	1	0	1607	3517
7:00 AM	0	9	177	61	0	247	0	8	69	163	0	240	0	14	95	1	0	110	0	242	236	0	0	478	1075
7:15 AM	0	8	206	62	0	276	0	5	74	176	0	255	0	28	97	2	0	127	0	230	253	1	0	484	1142
7:30 AM	0	2	208	97	0	307	0	4	91	168	2	263	0	24	121	0	0	145	0	209	296	0	0	505	1220
7:45 AM	0	1	156	89	0	246	0	7	112	182	0	301	0	27	134	3	0	164	0	226	303	0	0	529	1240
Hourly Total	0	20	747	309	0	1076	0	24	346	689	2	1059	0	93	447	6	0	546	0	907	1088	1	0	1996	4677
8:00 AM	0	2	187	72	0	261	2	6	101	186	0	295	0	28	133	0	0	161	0	261	262	1	0	524	1241
8:15 AM	0	2	195	50	0	247	0	4	92	194	0	290	0	38	103	2	0	143	0	233	253	1	0	487	1167
8:30 AM	0	2	162	36	2	200	1	6	109	217	0	333	0	28	110	2	2	140	0	236	226	2	0	464	1137
8:45 AM	0	0	171	78	0	249	1	6	113	205	2	325	0	41	112	1	0	154	0	194	218	0	0	412	1140
Hourly Total	0	6	715	236	2	957	4	22	415	802	2	1243	0	135	458	5	2	598	0	924	959	4	0	1887	4685
*** BREAK ***	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
4:00 PM	0	2	110	53	0	165	5	0	172	266	1	443	0	33	184	5	0	222	0	197	230	3	0	430	1260
4:15 PM	0	4	98	62	0	164	0	0	182	237	0	419	0	43	172	2	0	217	0	180	234	3	0	417	1217
4:30 PM	0	9	97	45	0	151	1	2	187	265	0	455	0	52	191	1	0	244	0	198	206	7	0	411	1261
4:45 PM	0	4	81	47	0	132	0	4	172	252	0	428	0	55	185	3	0	243	0	211	224	1	0	436	1239
Hourly Total	0	19	386	207	0	612	6	6	713	1020	1	1745	0	183	732	11	0	926	0	786	894	14	0	1694	4977
5:00 PM	0	0	99	32	0	131	0	6	190	271	0	467	0	50	243	0	0	293	0	218	213	2	0	433	1324
5:15 PM	0	5	106	45	2	156	0	4	197	279	0	480	0	62	239	1	0	302	0	188	203	1	0	392	1330
5:30 PM	0	1	102	41	0	144	0	5	179	238	0	422	0	45	238	1	0	284	0	178	200	3	0	381	1231
5:45 PM	0	3	90	34	0	127	0	2	213	175	0	390	2	61	135	2	0	200	0	151	172	2	0	325	1042
Hourly Total	0	9	397	152	2	558	0	17	779	963	0	1759	2	218	855	4	0	1079	0	735	788	8	0	1531	4927
6:00 PM	0	3	76	31	0	110	0	3	226	185	0	414	0	76	97	2	0	175	0	118	159	1	0	278	977
6:15 PM	1	3	72	48	0	124	0	6	187	163	0	356	1	91	111	3	0	206	0	121	146	0	0	267	953
6:30 PM	0	4	72	35	0	111	0	1	168	165	0	334	0	63	147	5	0	215	0	101	162	2	0	265	925
6:45 PM	0	2	59	36	0	97	0	2	128	163	0	293	0	51	137	2	0	190	0	114	141	4	0	259	839
Hourly Total	1	12	279	150	0	442	0	12	709	676	0	1397	1	281	492	12	0	786	0	454	608	7	0	1069	3694
Grand Total	1	67	3054	1182	5	4304	10	95	3212	4787	5	8104	3	953	3289	40	2	4285	0	4601	5148	35	0	9784	26477
Approach %	0.0	1.6	71.0	27.5	-	-	0.1	1.2	39.6	59.1	-	-	0.1	22.2	76.8	0.9	-	-	0.0	47.0	52.6	0.4	-	-	-
Total %	0.0	0.3	11.5	4.5	-	16.3	0.0	0.4	12.1	18.1	-	30.6	0.0	3.6	12.4	0.2	-	16.2	0.0	17.4	19.4	0.1	-	37.0	-
Lights	1	63	3009	1147	-	4220	8	92	3148	4541	-	7789	3	939	3195	32	-	4169	0	4423	4929	34	-	9386	25564

% Lights	100.0	94.0	98.5	97.0	-	98.0	80.0	96.8	98.0	94.9	-	96.1	100.0	98.5	97.1	80.0	-	97.3	-	96.1	95.7	97.1	-	95.9	96.6
Buses	0	0	10	7	-	17	0	0	19	5	-	24	0	1	5	1	-	7	0	0	6	0	-	6	54
% Buses	0.0	0.0	0.3	0.6	-	0.4	0.0	0.0	0.6	0.1	-	0.3	0.0	0.1	0.2	2.5	-	0.2	-	0.0	0.1	0.0	-	0.1	0.2
Single-Unit Trucks	0	4	19	26	-	49	1	1	31	108	-	141	0	12	52	5	-	69	0	86	144	1	-	231	490
% Single-Unit Trucks	0.0	6.0	0.6	2.2	-	1.1	10.0	1.1	1.0	2.3	-	1.7	0.0	1.3	1.6	12.5	-	1.6	-	1.9	2.8	2.9	-	2.4	1.9
Articulated Trucks	0	0	16	2	-	18	1	2	14	133	-	150	0	1	37	1	-	39	0	92	69	0	-	161	368
% Articulated Trucks	0.0	0.0	0.5	0.2	-	0.4	10.0	2.1	0.4	2.8	-	1.9	0.0	0.1	1.1	2.5	-	0.9	-	2.0	1.3	0.0	-	1.6	1.4
Bicycles on Road	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	1	-	1	0	0	0	0	-	0	1
% Bicycles on Road	0.0	0.0	0.0	0.0	-	0.0	0.0	0.0	0.0	0.0	-	0.0	0.0	0.0	0.0	2.5	-	0.0	-	0.0	0.0	0.0	-	0.0	0.0
Pedestrians	-	-	-	-	5	-	-	-	-	-	5	-	-	-	-	-	2	-	-	-	-	-	0	-	-
% Pedestrians	-	-	-	-	100.0	-	-	-	-	-	100.0	-	-	-	-	-	100.0	-	-	-	-	-	-	-	-



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9575 W. Higgins Rd., Suite 400

Rosemont, Illinois, United States 60018  
(847)518-9990 skazemzadehazad@kloainc.com

Count Name: Rand+with+Lake+Cook TMC  
Site Code:  
Start Date: 01/06/2026  
Page No: 3

### Turning Movement Peak Hour Data (7:15 AM)

Start Time	Lake cook Rd Eastbound						Lake cook Rd Westbound						Rand Rd Northbound						Rand Rd Southbound						Int. Total
	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	
7:15 AM	0	8	206	62	0	276	0	5	74	176	0	255	0	28	97	2	0	127	0	230	253	1	0	484	1142
7:30 AM	0	2	208	97	0	307	0	4	91	168	2	263	0	24	121	0	0	145	0	209	296	0	0	505	1220
7:45 AM	0	1	156	89	0	246	0	7	112	182	0	301	0	27	134	3	0	164	0	226	303	0	0	529	1240
8:00 AM	0	2	187	72	0	261	2	6	101	186	0	295	0	28	133	0	0	161	0	261	262	1	0	524	1241
Total	0	13	757	320	0	1090	2	22	378	712	2	1114	0	107	485	5	0	597	0	926	1114	2	0	2042	4843
Approach %	0.0	1.2	69.4	29.4	-	-	0.2	2.0	33.9	63.9	-	-	0.0	17.9	81.2	0.8	-	-	0.0	45.3	54.6	0.1	-	-	-
Total %	0.0	0.3	15.6	6.6	-	22.5	0.0	0.5	7.8	14.7	-	23.0	0.0	2.2	10.0	0.1	-	12.3	0.0	19.1	23.0	0.0	-	42.2	-
PHF	0.000	0.406	0.910	0.825	-	0.888	0.250	0.786	0.844	0.957	-	0.925	0.000	0.955	0.905	0.417	-	0.910	0.000	0.887	0.919	0.500	-	0.965	0.976
Lights	0	12	745	316	-	1073	2	22	362	639	-	1025	0	102	463	3	-	568	0	893	1081	2	-	1976	4642
% Lights	-	92.3	98.4	98.8	-	98.4	100.0	100.0	95.8	89.7	-	92.0	-	95.3	95.5	60.0	-	95.1	-	96.4	97.0	100.0	-	96.8	95.8
Buses	0	0	3	4	-	7	0	0	2	0	-	2	0	1	0	1	-	2	0	0	1	0	-	1	12
% Buses	-	0.0	0.4	1.3	-	0.6	0.0	0.0	0.5	0.0	-	0.2	-	0.9	0.0	20.0	-	0.3	-	0.0	0.1	0.0	-	0.0	0.2
Single-Unit Trucks	0	1	5	0	-	6	0	0	14	38	-	52	0	4	17	1	-	22	0	18	22	0	-	40	120
% Single-Unit Trucks	-	7.7	0.7	0.0	-	0.6	0.0	0.0	3.7	5.3	-	4.7	-	3.7	3.5	20.0	-	3.7	-	1.9	2.0	0.0	-	2.0	2.5
Articulated Trucks	0	0	4	0	-	4	0	0	0	35	-	35	0	0	5	0	-	5	0	15	10	0	-	25	69
% Articulated Trucks	-	0.0	0.5	0.0	-	0.4	0.0	0.0	0.0	4.9	-	3.1	-	0.0	1.0	0.0	-	0.8	-	1.6	0.9	0.0	-	1.2	1.4
Bicycles on Road	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0	0
% Bicycles on Road	-	0.0	0.0	0.0	-	0.0	0.0	0.0	0.0	0.0	-	0.0	-	0.0	0.0	0.0	-	0.0	-	0.0	0.0	0.0	-	0.0	0.0
Pedestrians	-	-	-	-	0	-	-	-	-	-	2	-	-	-	-	-	0	-	-	-	-	-	0	-	-
% Pedestrians	-	-	-	-	-	-	-	-	-	-	100.0	-	-	-	-	-	-	-	-	-	-	-	-	-	-



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Start Date: 01/06/2026  
Page No: 4

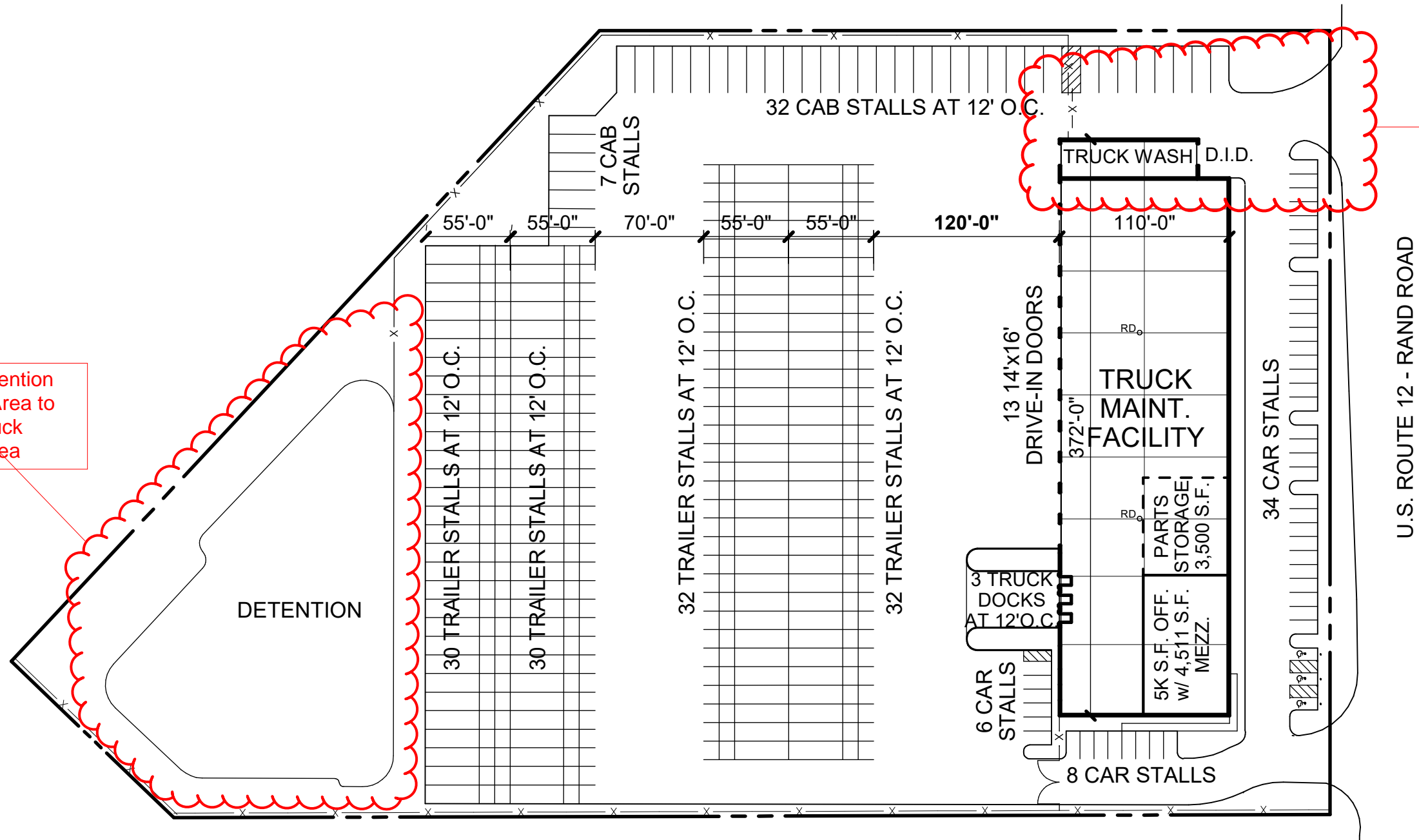
### Turning Movement Peak Hour Data (4:30 PM)

Start Time	Lake cook Rd Eastbound						Lake cook Rd Westbound						Rand Rd Northbound						Rand Rd Southbound						Int. Total
	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	U-Turn	Left	Thru	Right	Peds	App. Total	
4:30 PM	0	9	97	45	0	151	1	2	187	265	0	455	0	52	191	1	0	244	0	198	206	7	0	411	1261
4:45 PM	0	4	81	47	0	132	0	4	172	252	0	428	0	55	185	3	0	243	0	211	224	1	0	436	1239
5:00 PM	0	0	99	32	0	131	0	6	190	271	0	467	0	50	243	0	0	293	0	218	213	2	0	433	1324
5:15 PM	0	5	106	45	2	156	0	4	197	279	0	480	0	62	239	1	0	302	0	188	203	1	0	392	1330
Total	0	18	383	169	2	570	1	16	746	1067	0	1830	0	219	858	5	0	1082	0	815	846	11	0	1672	5154
Approach %	0.0	3.2	67.2	29.6	-	-	0.1	0.9	40.8	58.3	-	-	0.0	20.2	79.3	0.5	-	-	0.0	48.7	50.6	0.7	-	-	-
Total %	0.0	0.3	7.4	3.3	-	11.1	0.0	0.3	14.5	20.7	-	35.5	0.0	4.2	16.6	0.1	-	21.0	0.0	15.8	16.4	0.2	-	32.4	-
PHF	0.000	0.500	0.903	0.899	-	0.913	0.250	0.667	0.947	0.956	-	0.953	0.000	0.883	0.883	0.417	-	0.896	0.000	0.935	0.944	0.393	-	0.959	0.969
Lights	0	17	378	160	-	555	0	15	742	1053	-	1810	0	218	849	5	-	1072	0	787	817	10	-	1614	5051
% Lights	-	94.4	98.7	94.7	-	97.4	0.0	93.8	99.5	98.7	-	98.9	-	99.5	99.0	100.0	-	99.1	-	96.6	96.6	90.9	-	96.5	98.0
Buses	0	0	0	0	-	0	0	0	0	0	-	0	0	0	1	0	-	1	0	0	0	0	-	0	1
% Buses	-	0.0	0.0	0.0	-	0.0	0.0	0.0	0.0	0.0	-	0.0	-	0.0	0.1	0.0	-	0.1	-	0.0	0.0	0.0	-	0.0	0.0
Single-Unit Trucks	0	1	3	9	-	13	0	0	2	7	-	9	0	1	3	0	-	4	0	7	19	1	-	27	53
% Single-Unit Trucks	-	5.6	0.8	5.3	-	2.3	0.0	0.0	0.3	0.7	-	0.5	-	0.5	0.3	0.0	-	0.4	-	0.9	2.2	9.1	-	1.6	1.0
Articulated Trucks	0	0	2	0	-	2	1	1	2	7	-	11	0	0	5	0	-	5	0	21	10	0	-	31	49
% Articulated Trucks	-	0.0	0.5	0.0	-	0.4	100.0	6.3	0.3	0.7	-	0.6	-	0.0	0.6	0.0	-	0.5	-	2.6	1.2	0.0	-	1.9	1.0
Bicycles on Road	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0	0	0	0	0	-	0	0
% Bicycles on Road	-	0.0	0.0	0.0	-	0.0	0.0	0.0	0.0	0.0	-	0.0	-	0.0	0.0	0.0	-	0.0	-	0.0	0.0	0.0	-	0.0	0.0
Pedestrians	-	-	-	-	2	-	-	-	-	-	0	-	-	-	-	-	0	-	-	-	-	-	0	-	-
% Pedestrians	-	-	-	-	100.0	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-

## Site Plan

Minimize Detention  
Open Pond Area to  
Maximize Truck  
Pavement Area

Truck Wash  
Entrance/Egress to  
Rand Road



**SITE AREA (±7.80 AC.)**

<b>DETENTION</b>	TBD
<b>BUILDING AREA</b>	
OFFICE	5,015 S.F.
MEZZANINE	4,491 S.F.
PARTS STORAGE	3,500 S.F.
WAREHOUSE	31,905 S.F.
<b>TOTAL BUILDING AREA</b>	<b>44,911 S.F.</b>

**PARKING**

CAR PARKING PROVIDED	48 CARS
CAB STALLS	39 STALLS
TRAILER STALLS	124 STALLS
<b>DRIVE IN OVERHEAD DOORS</b>	<b>14 DOORS</b>
<b>TOTAL EXTERIOR DOCKS</b>	<b>3 DOCKS</b>
<b>CLEAR HEIGHT</b>	<b>24'-0"</b>

CONCEPTUAL NEW FACILITY FOR:

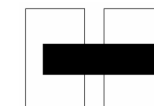
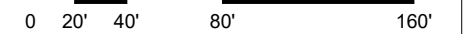
**OFF./TRUCK MAINT./WHSE.**

PALATINE, ILLINOIS

**SCHEME A**

**SITE PLAN**

225128 RDH 11-13-2025



**HARRIS ARCHITECTS, INC.**

WWW.HARRISARCHITECTS.COM

847.303.1155

Page 217 of 328

## ITE Trip Generation Sheets

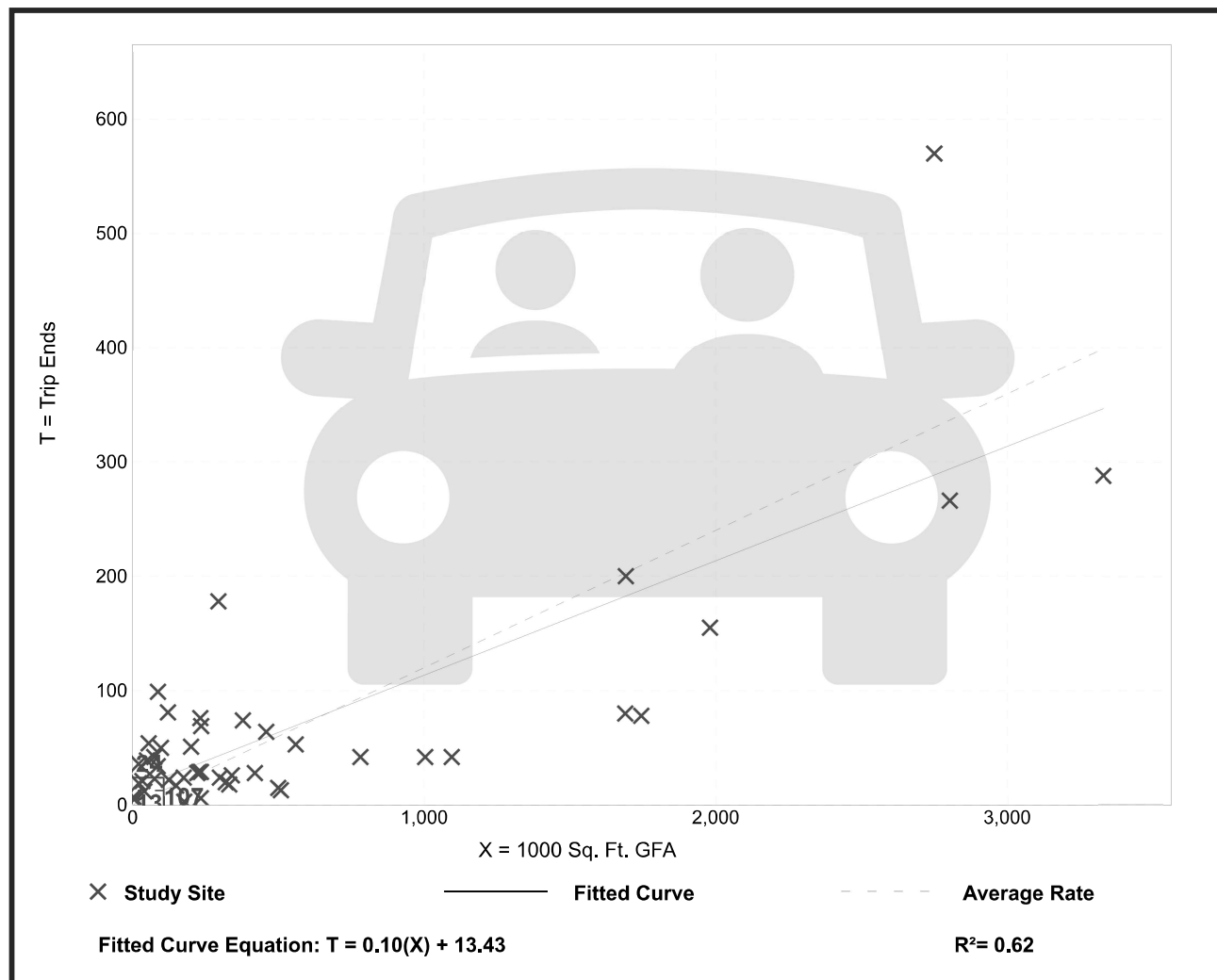
# Warehouse (150)

**Vehicle Trip Ends vs: 1000 Sq. Ft. GFA**  
**On a: Weekday,**  
**Peak Hour of Adjacent Street Traffic,**  
**One Hour Between 7 and 9 a.m.**  
**Setting/Location: General Urban/Suburban**  
 Number of Studies: 47  
 Avg. 1000 Sq. Ft. GFA: 559  
 Directional Distribution: 77% entering, 23% exiting

## Vehicle Trip Generation per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	Standard Deviation
0.12	0.02 - 1.80	0.14

## Data Plot and Equation



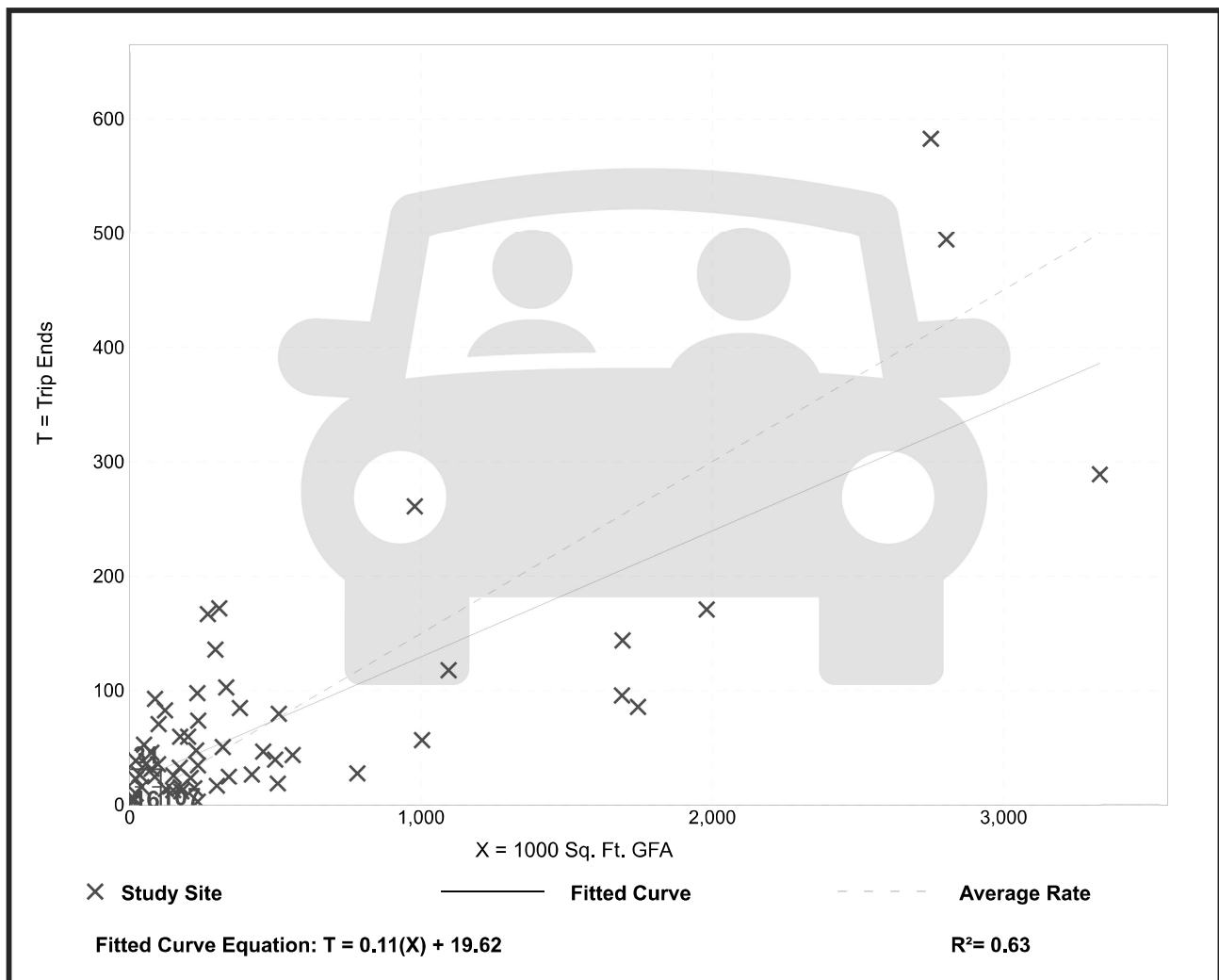
# Warehouse (150)

**Vehicle Trip Ends vs: 1000 Sq. Ft. GFA**  
**On a: Weekday,**  
**Peak Hour of Adjacent Street Traffic,**  
**One Hour Between 4 and 6 p.m.**  
**Setting/Location: General Urban/Suburban**  
 Number of Studies: 58  
 Avg. 1000 Sq. Ft. GFA: 503  
 Directional Distribution: 28% entering, 72% exiting

## Vehicle Trip Generation per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	Standard Deviation
0.15	0.01 - 1.80	0.15

## Data Plot and Equation



# Warehouse (150)

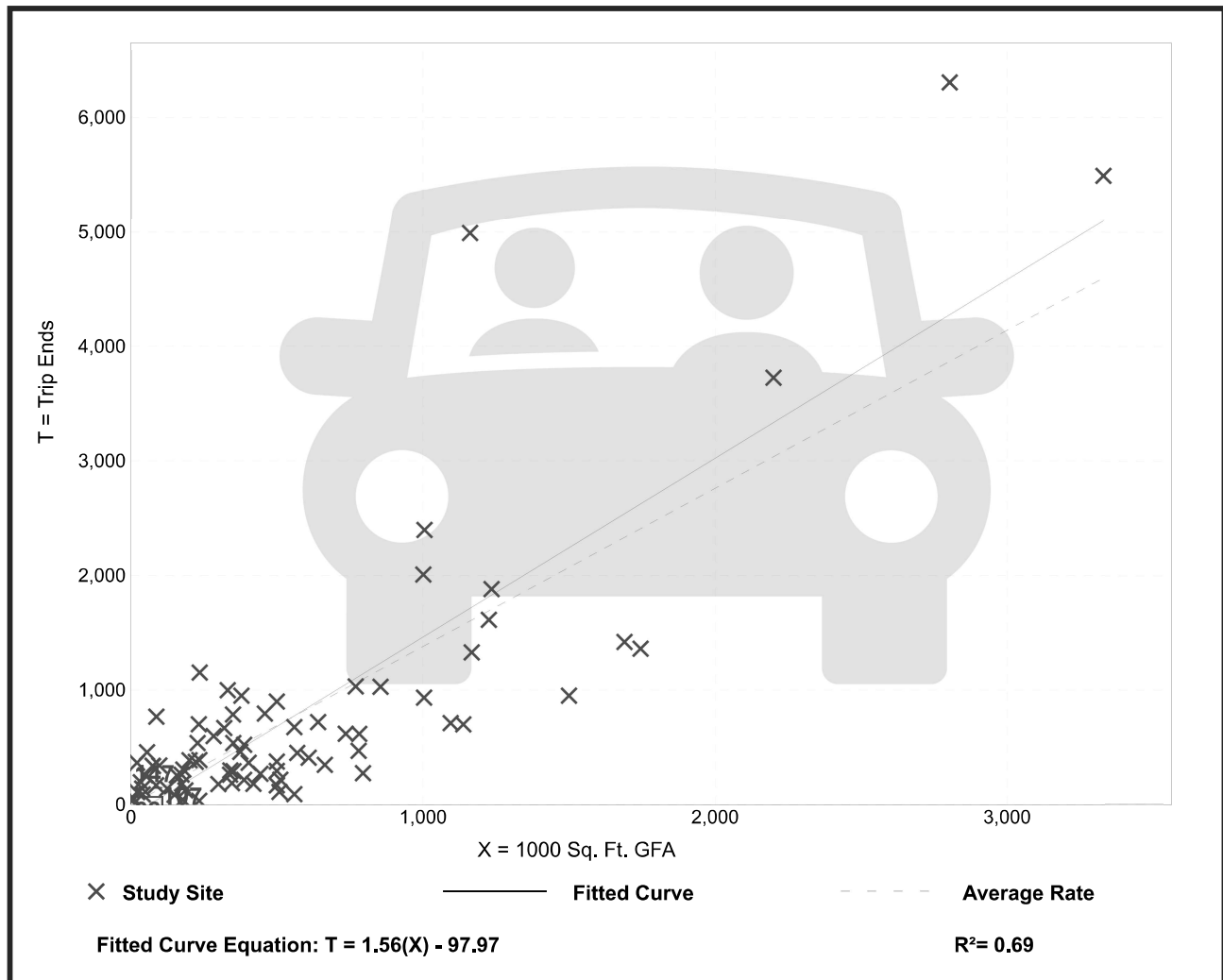
**Vehicle Trip Ends vs: 1000 Sq. Ft. GFA**  
**On a: Weekday**

**Setting/Location: General Urban/Suburban**  
Number of Studies: 81  
Avg. 1000 Sq. Ft. GFA: 554  
Directional Distribution: 50% entering, 50% exiting

## Vehicle Trip Generation per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	Standard Deviation
1.38	0.15 - 16.93	1.05

## Data Plot and Equation



# CMAP 2050 Projections Letter



February 22, 2024

Ryan May  
Project Coordinator  
Kenig, Lindgren, O'Hara and Aboona, Inc.  
9575 West Higgins Road  
Suite 400  
Rosemont, IL 60018

**Subject: Lake Cook Road @ Rand Road (US 12)**  
IDOT

Dear Ms. May:

In response to a request made on your behalf and dated February 21, 2024, we have developed year 2050 average daily traffic (ADT) projections for the subject location.

ROAD SEGMENT	Current ADT	Year 2050 ADT
Lake Cook Rd east of Rand Rd	39,900	43,900
Lake Cook Rd west of Rand Rd	17,200	21,000
Rand Rd north of Lake Cook Rd	41,600	45,400
Rand Rd south of Lake Cook Rd	24,600	28,200

Traffic projections are developed using existing ADT data provided in the request letter and the results from the December 2023 CMAP Travel Demand Analysis. The regional travel model uses CMAP 2050 socioeconomic projections and assumes the implementation of the ON TO 2050 Comprehensive Regional Plan for the Northeastern Illinois area. The provision of this data in support of your request does not constitute a CMAP endorsement of the proposed development or any subsequent developments.

If you have any questions, please call me at (312) 386-8806 or email me at [jrodriguez@cmap.illinois.gov](mailto:jrodriguez@cmap.illinois.gov)

Jose Rodriguez, PTP, AICP  
Senior Planner, Research & Analysis

cc: Rios (IDOT)  
2024\_TrafficForecasts\Palatine\ck-28-24\ck-28-24.docx

## Level of Service Criteria

## LEVEL OF SERVICE CRITERIA

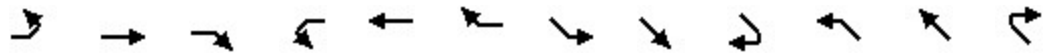
Signalized Intersections		
Level of Service	Interpretation	Average Control Delay (seconds per vehicle)
A	Favorable progression. Most vehicles arrive during the green indication and travel through the intersection without stopping.	≤10
B	Good progression, with more vehicles stopping than for Level of Service A.	> 10 - 20
C	Individual cycle failures (i.e., one or more queued vehicles are not able to depart as a result of insufficient capacity during the cycle) may begin to appear. Number of vehicles stopping is significant, although many vehicles still pass through the intersection without stopping.	> 20 - 35
D	The volume-to-capacity ratio is high and either progression is ineffective or the cycle length is too long. Many vehicles stop and individual cycle failures are noticeable.	> 35 - 55
E	Progression is unfavorable. The volume-to-capacity ratio is high and the cycle length is long. Individual cycle failures are frequent.	> 55 - 80
F	The volume-to-capacity ratio is very high, progression is very poor, and the cycle length is long. Most cycles fail to clear the queue.	> 80
Unsignalized Intersections		
Level of Service	Average Total Delay (sec/veh)	
A	0 - 10	
B	> 10 - 15	
C	> 15 - 25	
D	> 25 - 35	
E	> 35 - 50	
F	> 50	

Source: *Highway Capacity Manual*, 7<sup>th</sup> Edition.

Capacity Analysis Summary Sheets  
Existing Weekday Morning Peak Hour

Lanes, Volumes, Timings  
1: Rand Road & Lake Cook Road

02/09/2026



Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	SEL	SET	SER	NWL	NWT	NWR
Lane Configurations												
Traffic Volume (vph)	13	757	320	24	378	712	926	1114	2	107	485	5
Future Volume (vph)	13	757	320	24	378	712	926	1114	2	107	485	5
Ideal Flow (vphpl)	1900	2000	1900	1900	2000	1900	1900	1900	1900	1900	1900	1900
Lane Width (ft)	12	12	12	12	12	12	12	12	12	12	12	12
Grade (%)		0%			0%			0%			0%	
Storage Length (ft)	190		505	140		505	670		0	215		0
Storage Lanes	1		1	1		2	2		0	2		0
Taper Length (ft)	140			90			290			300		
Lane Util. Factor	1.00	0.95	1.00	1.00	0.95	0.88	0.97	0.95	0.95	0.97	0.95	0.95
Ped Bike Factor												
Frt			0.850			0.850						0.998
Flt Protected	0.950			0.950			0.950			0.950		
Satd. Flow (prot)	1687	3725	1599	1805	3654	2584	3367	3505	0	3335	3452	0
Flt Permitted	0.442			0.115			0.950			0.950		
Satd. Flow (perm)	785	3725	1599	218	3654	2584	3367	3505	0	3335	3452	0
Right Turn on Red			No			No			No			No
Satd. Flow (RTOR)												
Link Speed (mph)		45			45			35				35
Link Distance (ft)		2957			2627			1774				588
Travel Time (s)		44.8			39.8			34.6				11.5
Confl. Peds. (#/hr)												
Confl. Bikes (#/hr)												
Peak Hour Factor	0.98	0.98	0.98	0.98	0.98	0.98	0.98	0.98	0.98	0.98	0.98	0.98
Growth Factor	100%	100%	100%	100%	100%	100%	100%	100%	100%	100%	100%	100%
Heavy Vehicles (%)	7%	2%	1%	0%	4%	10%	4%	3%	0%	5%	4%	40%
Bus Blockages (#/hr)	0	0	0	0	0	0	0	0	0	0	0	0
Parking (#/hr)												
Mid-Block Traffic (%)		0%			0%			0%				0%
Shared Lane Traffic (%)												
Lane Group Flow (vph)	13	772	327	24	386	727	945	1139	0	109	500	0
Turn Type	pm+pt	NA	pm+ov	pm+pt	NA	pm+ov	Prot	NA		Prot	NA	
Protected Phases	7	4	5	3	8	1	1	6		5	2	
Permitted Phases	4		4	8		8						
Detector Phase	7	4	5	3	8	1	1	6		5	2	
Switch Phase												
Minimum Initial (s)	3.0	15.0	3.0	3.0	15.0	3.0	3.0	15.0		3.0	15.0	
Minimum Split (s)	6.5	21.0	7.5	6.5	21.0	7.5	7.5	21.0		7.5	21.0	
Total Split (s)	13.5	39.0	22.5	13.5	39.0	42.0	42.0	75.0		22.5	55.5	
Total Split (%)	9.0%	26.0%	15.0%	9.0%	26.0%	28.0%	28.0%	50.0%		15.0%	37.0%	
Yellow Time (s)	3.5	4.5	3.5	3.5	4.5	3.5	3.5	4.5		3.5	4.5	
All-Red Time (s)	0.0	1.5	1.0	0.0	1.5	1.0	1.0	1.5		1.0	1.5	
Lost Time Adjust (s)	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0		0.0	0.0	
Total Lost Time (s)	3.5	6.0	4.5	3.5	6.0	4.5	4.5	6.0		4.5	6.0	
Lead/Lag	Lead	Lag	Lead	Lead	Lag	Lead	Lead	Lag		Lead	Lag	
Lead-Lag Optimize?	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes		Yes	Yes	
Recall Mode	None	None	None	None	None	None	None	C-Min		None	C-Min	
Act Effct Green (s)	45.3	38.7	55.0	46.8	41.1	85.7	38.6	77.8		10.3	49.5	
Actuated g/C Ratio	0.30	0.26	0.37	0.31	0.27	0.57	0.26	0.52		0.07	0.33	

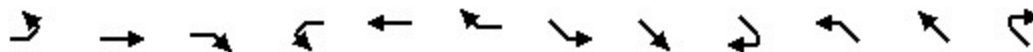
25-373 - Industrial Development - Palatine  
Existing Weekday Morning Peak Hour

Synchro 12 Report

Lanes, Volumes, Timings

1: Rand Road & Lake Cook Road

02/09/2026



Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	SEL	SET	SER	NWL	NWT	NWR
v/c Ratio	0.05	0.80	0.56	0.17	0.39	0.49	1.09	0.63		0.48	0.44	
Control Delay (s/veh)	34.9	59.9	42.7	37.4	46.3	21.4	109.3	28.2		73.8	40.9	
Queue Delay	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0		0.0	0.0	
Total Delay (s/veh)	34.9	59.9	42.7	37.4	46.3	21.4	109.3	28.2		73.8	40.9	
LOS	C	E	D	D	D	C	F	C		E	D	
Approach Delay (s/veh)		54.5			30.2			65.0			46.8	
Approach LOS		D			C			E			D	
Queue Length 50th (ft)	9	383	261	16	153	215	~547	415		54	202	
Queue Length 95th (ft)	26	#500	365	39	224	326	#682	511		86	256	
Internal Link Dist (ft)		2877			2547			1694			508	
Turn Bay Length (ft)	190		505	140		505	670			215		
Base Capacity (vph)	306	960	668	175	1000	1476	866	1819		400	1139	
Starvation Cap Reductn	0	0	0	0	0	0	0	0		0	0	
Spillback Cap Reductn	0	0	0	0	0	0	0	0		0	0	
Storage Cap Reductn	0	0	0	0	0	0	0	0		0	0	
Reduced v/c Ratio	0.04	0.80	0.49	0.14	0.39	0.49	1.09	0.63		0.27	0.44	

Intersection Summary

Area Type: Other  
 Cycle Length: 150  
 Actuated Cycle Length: 150  
 Offset: 79.5 (53%), Referenced to phase 2:NWT and 6:SET, Start of Green  
 Natural Cycle: 80  
 Control Type: Actuated-Coordinated  
 Maximum v/c Ratio: 1.09  
 Intersection Signal Delay (s/veh): 52.4 Intersection LOS: D  
 Intersection Capacity Utilization 73.7% ICU Level of Service D  
 Analysis Period (min) 15  
 ~ Volume exceeds capacity, queue is theoretically infinite.  
 Queue shown is maximum after two cycles.  
 # 95th percentile volume exceeds capacity, queue may be longer.  
 Queue shown is maximum after two cycles.

Splits and Phases: 1: Rand Road & Lake Cook Road



Intersection						
Int Delay, s/veh	0					
Movement	SET	SER	NWL	NWT	NEL	NER
Lane Configurations	↑↑			↑↑		↑
Traffic Vol, veh/h	1600	0	0	612	0	0
Future Vol, veh/h	1600	0	0	612	0	0
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Stop	Stop
RT Channelized	-	None	-	None	-	None
Storage Length	-	-	-	-	-	0
Veh in Median Storage, #	0	-	-	0	0	-
Grade, %	0	-	-	0	0	-
Peak Hour Factor	95	95	95	95	95	95
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	1684	0	0	644	0	0

Major/Minor	Major1	Major2	Minor1			
Conflicting Flow All	0	0	-	-	-	842
Stage 1	-	-	-	-	-	-
Stage 2	-	-	-	-	-	-
Critical Hdwy	-	-	-	-	-	6.94
Critical Hdwy Stg 1	-	-	-	-	-	-
Critical Hdwy Stg 2	-	-	-	-	-	-
Follow-up Hdwy	-	-	-	-	-	3.32
Pot Cap-1 Maneuver	-	-	0	-	0	308
Stage 1	-	-	0	-	0	-
Stage 2	-	-	0	-	0	-
Platoon blocked, %	-	-	-	-	-	-
Mov Cap-1 Maneuver	-	-	-	-	-	308
Mov Cap-2 Maneuver	-	-	-	-	-	-
Stage 1	-	-	-	-	-	-
Stage 2	-	-	-	-	-	-

Approach	SE	NW	NE
HCM Ctrl Dly, s/v	0	0	0
HCM LOS			A

Minor Lane/Major Mvmt	NELn1	NWT	SET	SER
Capacity (veh/h)	-	-	-	-
HCM Lane V/C Ratio	-	-	-	-
HCM Ctrl Dly (s/v)	0	-	-	-
HCM Lane LOS	A	-	-	-
HCM 95th %tile Q(veh)	-	-	-	-

Intersection						
Int Delay, s/veh	0					
Movement	SEL	SET	NWT	NWR	SWL	SWR
Lane Configurations						
Traffic Vol, veh/h	0	1584	612	1	0	0
Future Vol, veh/h	0	1584	612	1	0	0
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Stop	Stop
RT Channelized	-	None	-	None	-	None
Storage Length	50	-	-	-	0	-
Veh in Median Storage, #	-	0	0	-	1	-
Grade, %	-	0	0	-	0	-
Peak Hour Factor	91	91	91	91	91	91
Heavy Vehicles, %	0	4	4	0	0	0
Mvmt Flow	0	1741	673	1	0	0

Major/Minor	Major1	Major2	Minor2		
Conflicting Flow All	674	0	-	0	1543 337
Stage 1	-	-	-	-	673 -
Stage 2	-	-	-	-	870 -
Critical Hdwy	4.1	-	-	-	6.8 6.9
Critical Hdwy Stg 1	-	-	-	-	5.8 -
Critical Hdwy Stg 2	-	-	-	-	5.8 -
Follow-up Hdwy	2.2	-	-	-	3.5 3.3
Pot Cap-1 Maneuver	927	-	-	-	108 665
Stage 1	-	-	-	-	474 -
Stage 2	-	-	-	-	375 -
Platoon blocked, %		-	-	-	
Mov Cap-1 Maneuver	927	-	-	-	108 665
Mov Cap-2 Maneuver	-	-	-	-	239 -
Stage 1	-	-	-	-	474 -
Stage 2	-	-	-	-	375 -

Approach	SE	NW	SW
HCM Ctrl Dly, s/v	0	0	0
HCM LOS			A

Minor Lane/Major Mvmt	NWT	NWR	SEL	SETSWLn1
Capacity (veh/h)	-	-	927	-
HCM Lane V/C Ratio	-	-	-	-
HCM Ctrl Dly (s/v)	-	-	0	0
HCM Lane LOS	-	-	A	A
HCM 95th %tile Q(veh)	-	-	0	-

Intersection												
Int Delay, s/veh	0											
Movement	SEL	SET	SER	NWL	NWT	NWR	NEL	NET	NER	SWL	SWT	SWR
Lane Configurations	↖	↗			↖↗			↕			↕	
Traffic Vol, veh/h	1	1583	0	0	612	1	0	0	0	0	0	1
Future Vol, veh/h	1	1583	0	0	612	1	0	0	0	0	0	1
Conflicting Peds, #/hr	0	0	0	0	0	0	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Free	Free	Stop	Stop	Stop	Stop	Stop	Stop
RT Channelized	-	-	None	-	-	None	-	-	None	-	-	None
Storage Length	25	-	-	-	-	-	-	-	-	-	-	-
Veh in Median Storage, #	-	0	-	-	0	-	-	1	-	-	1	-
Grade, %	-	0	-	-	0	-	-	0	-	-	0	-
Peak Hour Factor	89	89	89	89	89	89	89	89	89	89	89	89
Heavy Vehicles, %	0	4	2	2	1	2	2	2	2	0	2	0
Mvmt Flow	1	1779	0	0	688	1	0	0	0	0	0	1

Major/Minor	Major1			Major2			Minor1			Minor2		
Conflicting Flow All	689	0	0	1779	0	0	2125	2470	889	1580	2469	344
Stage 1	-	-	-	-	-	-	1781	1781	-	688	688	-
Stage 2	-	-	-	-	-	-	344	689	-	892	1781	-
Critical Hdwy	4.1	-	-	4.14	-	-	7.54	6.54	6.94	7.5	6.54	6.9
Critical Hdwy Stg 1	-	-	-	-	-	-	6.54	5.54	-	6.5	5.54	-
Critical Hdwy Stg 2	-	-	-	-	-	-	6.54	5.54	-	6.5	5.54	-
Follow-up Hdwy	2.2	-	-	2.22	-	-	3.52	4.02	3.32	3.5	4.02	3.3
Pot Cap-1 Maneuver	915	-	-	345	-	-	28	30	286	75	30	657
Stage 1	-	-	-	-	-	-	85	133	-	407	445	-
Stage 2	-	-	-	-	-	-	645	445	-	307	133	-
Platoon blocked, %	-	-	-	-	-	-	-	-	-	-	-	-
Mov Cap-1 Maneuver	915	-	-	345	-	-	28	30	286	75	30	657
Mov Cap-2 Maneuver	-	-	-	-	-	-	73	103	-	193	103	-
Stage 1	-	-	-	-	-	-	85	133	-	407	445	-
Stage 2	-	-	-	-	-	-	644	445	-	307	133	-

Approach	SE	NW	NE	SW
HCM Ctrl Dly, s/v	0.01	0	0	10.48
HCM LOS			A	B

Minor Lane/Major Mvmt	NELn1	NWL	NWT	NWR	SEL	SET	SERSWLn1
Capacity (veh/h)	-	345	-	-	915	-	657
HCM Lane V/C Ratio	-	-	-	-	0.001	-	0.002
HCM Ctrl Dly (s/v)	0	0	-	-	8.9	-	10.5
HCM Lane LOS	A	A	-	-	A	-	B
HCM 95th %tile Q(veh)	-	0	-	-	0	-	0

Intersection						
Int Delay, s/veh	0					
Movement	SEL	SET	NWT	NWR	SWL	SWR
Lane Configurations						
Traffic Vol, veh/h	1	1582	612	1	0	1
Future Vol, veh/h	1	1582	612	1	0	1
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Stop	Stop
RT Channelized	-	None	-	None	-	None
Storage Length	25	-	-	-	0	-
Veh in Median Storage, #	-	0	0	-	1	-
Grade, %	-	0	0	-	0	-
Peak Hour Factor	87	87	87	87	87	87
Heavy Vehicles, %	0	0	0	4	0	0
Mvmt Flow	1	1818	703	1	0	1

Major/Minor	Major1	Major2	Minor2		
Conflicting Flow All	705	0	-	0	1616 352
Stage 1	-	-	-	-	704 -
Stage 2	-	-	-	-	911 -
Critical Hdwy	4.1	-	-	-	6.8 6.9
Critical Hdwy Stg 1	-	-	-	-	5.8 -
Critical Hdwy Stg 2	-	-	-	-	5.8 -
Follow-up Hdwy	2.2	-	-	-	3.5 3.3
Pot Cap-1 Maneuver	903	-	-	-	96 650
Stage 1	-	-	-	-	457 -
Stage 2	-	-	-	-	357 -
Platoon blocked, %		-	-	-	
Mov Cap-1 Maneuver	903	-	-	-	96 650
Mov Cap-2 Maneuver	-	-	-	-	226 -
Stage 1	-	-	-	-	456 -
Stage 2	-	-	-	-	357 -

Approach	SE	NW	SW
HCM Ctrl Dly, s/v	0.01	0	10.55
HCM LOS			B

Minor Lane/Major Mvmt	NWT	NWR	SEL	SETSWLn1
Capacity (veh/h)	-	-	903	- 650
HCM Lane V/C Ratio	-	-	0.001	- 0.002
HCM Ctrl Dly (s/v)	-	-	9	- 10.6
HCM Lane LOS	-	-	A	- B
HCM 95th %tile Q(veh)	-	-	0	- 0

Intersection												
Int Delay, s/veh	0.2											
Movement	SEL	SET	SER	NWL	NWT	NWR	NEL	NET	NER	SWL	SWT	SWR
Lane Configurations	↖	↗		↖	↗			↕			↕	
Traffic Vol, veh/h	0	1577	5	6	608	2	4	0	11	0	0	1
Future Vol, veh/h	0	1577	5	6	608	2	4	0	11	0	0	1
Conflicting Peds, #/hr	0	0	0	0	0	0	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Free	Free	Stop	Stop	Stop	Stop	Stop	Stop
RT Channelized	-	-	None	-	-	None	-	-	None	-	-	None
Storage Length	25	-	-	50	-	-	-	-	-	-	-	-
Veh in Median Storage, #	-	0	-	-	0	-	-	1	-	-	1	-
Grade, %	-	0	-	-	0	-	-	0	-	-	0	-
Peak Hour Factor	92	92	92	92	92	92	92	92	92	92	92	92
Heavy Vehicles, %	0	7	50	0	4	0	0	0	9	0	0	0
Mvmt Flow	0	1714	5	7	661	2	4	0	12	0	0	1

Major/Minor	Major1			Major2			Minor1			Minor2		
Conflicting Flow All	663	0	0	1720	0	0	2060	2393	860	1532	2395	332
Stage 1	-	-	-	-	-	-	1717	1717	-	675	675	-
Stage 2	-	-	-	-	-	-	343	676	-	857	1720	-
Critical Hdwy	4.1	-	-	4.1	-	-	7.5	6.5	7.08	7.5	6.5	6.9
Critical Hdwy Stg 1	-	-	-	-	-	-	6.5	5.5	-	6.5	5.5	-
Critical Hdwy Stg 2	-	-	-	-	-	-	6.5	5.5	-	6.5	5.5	-
Follow-up Hdwy	2.2	-	-	2.2	-	-	3.5	4	3.39	3.5	4	3.3
Pot Cap-1 Maneuver	935	-	-	373	-	-	33	34	286	81	34	670
Stage 1	-	-	-	-	-	-	95	146	-	415	456	-
Stage 2	-	-	-	-	-	-	651	456	-	323	146	-
Platoon blocked, %	-	-	-	-	-	-	-	-	-	-	-	-
Mov Cap-1 Maneuver	935	-	-	373	-	-	32	34	286	77	34	670
Mov Cap-2 Maneuver	-	-	-	-	-	-	82	112	-	192	108	-
Stage 1	-	-	-	-	-	-	95	146	-	407	448	-
Stage 2	-	-	-	-	-	-	638	448	-	309	146	-

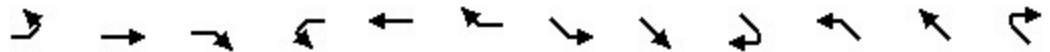
Approach	SE	NW	NE	SW
HCM Ctrl Dly, s/v	0	0.14	28.22	10.38
HCM LOS			D	B

Minor Lane/Major Mvmt	NELn1	NWL	NWT	NWR	SEL	SET	SERSWLn1
Capacity (veh/h)	171	373	-	-	935	-	670
HCM Lane V/C Ratio	0.095	0.017	-	-	-	-	0.002
HCM Ctrl Dly (s/v)	28.2	14.8	-	-	0	-	10.4
HCM Lane LOS	D	B	-	-	A	-	B
HCM 95th %tile Q(veh)	0.3	0.1	-	-	0	-	0

Capacity Analysis Summary Sheets  
Existing Weekday Evening Peak Hour

Lanes, Volumes, Timings  
1: Rand Road & Lake Cook Road

02/09/2026



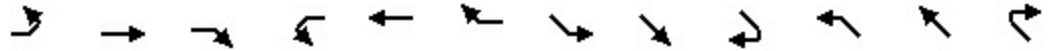
Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	SEL	SET	SER	NWL	NWT	NWR
Lane Configurations												
Traffic Volume (vph)	18	383	169	14	746	1067	815	846	11	219	858	5
Future Volume (vph)	18	383	169	14	746	1067	815	846	11	219	858	5
Ideal Flow (vphpl)	1900	2000	1900	1900	2000	1900	1900	1900	1900	1900	1900	1900
Lane Width (ft)	12	12	12	12	12	12	12	12	12	12	12	12
Grade (%)		0%			0%			0%			0%	
Storage Length (ft)	190		505	140		505	670		0	215		0
Storage Lanes	1		1	1		2	2		0	2		0
Taper Length (ft)	140			90			290			300		
Lane Util. Factor	1.00	0.95	1.00	1.00	0.95	0.88	0.97	0.95	0.95	0.97	0.95	0.95
Ped Bike Factor												
Frt			0.850			0.850		0.998			0.999	
Flt Protected	0.950			0.950			0.950			0.950		
Satd. Flow (prot)	1703	3762	1538	1736	3762	2814	3400	3495	0	3467	3571	0
Flt Permitted	0.117			0.432			0.950			0.950		
Satd. Flow (perm)	210	3762	1538	789	3762	2814	3400	3495	0	3467	3571	0
Right Turn on Red			No			No			No			No
Satd. Flow (RTOR)												
Link Speed (mph)		45			45			35			35	
Link Distance (ft)		2957			2627			1774			588	
Travel Time (s)		44.8			39.8			34.6			11.5	
Confl. Peds. (#/hr)												
Confl. Bikes (#/hr)												
Peak Hour Factor	0.97	0.97	0.97	0.97	0.97	0.97	0.97	0.97	0.97	0.97	0.97	0.97
Growth Factor	100%	100%	100%	100%	100%	100%	100%	100%	100%	100%	100%	100%
Heavy Vehicles (%)	6%	1%	5%	4%	1%	1%	3%	3%	9%	1%	1%	0%
Bus Blockages (#/hr)	0	0	0	0	0	0	0	0	0	0	0	0
Parking (#/hr)												
Mid-Block Traffic (%)		0%			0%			0%			0%	
Shared Lane Traffic (%)												
Lane Group Flow (vph)	19	395	174	14	769	1100	840	883	0	226	890	0
Turn Type	pm+pt	NA	pm+ov	pm+pt	NA	pm+ov	Prot	NA		Prot	NA	
Protected Phases	7	4	5	3	8	1	1	6		5	2	
Permitted Phases	4		4	8		8						
Detector Phase	7	4	5	3	8	1	1	6		5	2	
Switch Phase												
Minimum Initial (s)	3.0	15.0	3.0	3.0	15.0	3.0	3.0	15.0		3.0	15.0	
Minimum Split (s)	6.5	21.0	7.5	6.5	21.0	7.5	7.5	21.0		7.5	21.0	
Total Split (s)	13.5	39.0	22.5	13.5	39.0	42.0	42.0	75.0		22.5	55.5	
Total Split (%)	9.0%	26.0%	15.0%	9.0%	26.0%	28.0%	28.0%	50.0%		15.0%	37.0%	
Yellow Time (s)	3.5	4.5	3.5	3.5	4.5	3.5	3.5	4.5		3.5	4.5	
All-Red Time (s)	0.0	1.5	1.0	0.0	1.5	1.0	1.0	1.5		1.0	1.5	
Lost Time Adjust (s)	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0		0.0	0.0	
Total Lost Time (s)	3.5	6.0	4.5	3.5	6.0	4.5	4.5	6.0		4.5	6.0	
Lead/Lag	Lead	Lag	Lead	Lead	Lag	Lead	Lead	Lag		Lead	Lag	
Lead-Lag Optimize?	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes		Yes	Yes	
Recall Mode	None	None	None	None	None	None	None	C-Min		None	C-Min	
Act Effct Green (s)	46.6	41.0	61.8	45.3	38.7	83.4	38.7	73.4		14.9	49.5	
Actuated g/C Ratio	0.31	0.27	0.41	0.30	0.26	0.56	0.26	0.49		0.10	0.33	

25-373 - Industrial Development - Palatine  
Existing Weekday Evening Peak Hour

Synchro 12 Report

Lanes, Volumes, Timings  
1: Rand Road & Lake Cook Road

02/09/2026



Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	SEL	SET	SER	NWL	NWT	NWR
v/c Ratio	0.14	0.38	0.27	0.05	0.79	0.70	0.96	0.52		0.66	0.76	
Control Delay (s/veh)	36.9	46.3	30.9	34.9	59.3	28.3	76.1	28.2		74.4	49.8	
Queue Delay	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0		0.0	0.0	
Total Delay (s/veh)	36.9	46.3	30.9	34.9	59.3	28.3	76.1	28.2		74.4	49.8	
LOS	D	D	C	C	E	C	E	C		E	D	
Approach Delay (s/veh)		41.4			41.0			51.5			54.8	
Approach LOS		D			D			D			D	
Queue Length 50th (ft)	13	157	104	9	381	458	425	311		111	409	
Queue Length 95th (ft)	33	228	177	27	#488	567	#566	389		154	491	
Internal Link Dist (ft)		2877			2547			1694			508	
Turn Bay Length (ft)	190		505	140		505	670			215		
Base Capacity (vph)	166	1027	666	311	969	1564	878	1709		416	1178	
Starvation Cap Reductn	0	0	0	0	0	0	0	0		0	0	
Spillback Cap Reductn	0	0	0	0	0	0	0	0		0	0	
Storage Cap Reductn	0	0	0	0	0	0	0	0		0	0	
Reduced v/c Ratio	0.11	0.38	0.26	0.05	0.79	0.70	0.96	0.52		0.54	0.76	

Intersection Summary

Area Type: Other  
 Cycle Length: 150  
 Actuated Cycle Length: 150  
 Offset: 79.5 (53%), Referenced to phase 2:NWT and 6:SET, Start of Green  
 Natural Cycle: 90  
 Control Type: Actuated-Coordinated  
 Maximum v/c Ratio: 0.96  
 Intersection Signal Delay (s/veh): 47.3      Intersection LOS: D  
 Intersection Capacity Utilization 80.5%      ICU Level of Service D  
 Analysis Period (min) 15  
 # 95th percentile volume exceeds capacity, queue may be longer.  
 Queue shown is maximum after two cycles.

Splits and Phases: 1: Rand Road & Lake Cook Road



Intersection						
Int Delay, s/veh	0					
Movement	SET	SER	NWL	NWT	NEL	NER
Lane Configurations	↑↑			↑↑		↑
Traffic Vol, veh/h	1142	0	0	1194	0	0
Future Vol, veh/h	1142	0	0	1194	0	0
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Stop	Stop
RT Channelized	-	None	-	None	-	None
Storage Length	-	-	-	-	-	0
Veh in Median Storage, #	0	-	-	0	0	-
Grade, %	0	-	-	0	0	-
Peak Hour Factor	95	95	95	95	95	95
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	1202	0	0	1257	0	0

Major/Minor	Major1	Major2	Minor1			
Conflicting Flow All	0	0	-	-	-	601
Stage 1	-	-	-	-	-	-
Stage 2	-	-	-	-	-	-
Critical Hdwy	-	-	-	-	-	6.94
Critical Hdwy Stg 1	-	-	-	-	-	-
Critical Hdwy Stg 2	-	-	-	-	-	-
Follow-up Hdwy	-	-	-	-	-	3.32
Pot Cap-1 Maneuver	-	-	0	-	0	443
Stage 1	-	-	0	-	0	-
Stage 2	-	-	0	-	0	-
Platoon blocked, %	-	-	-	-	-	-
Mov Cap-1 Maneuver	-	-	-	-	-	443
Mov Cap-2 Maneuver	-	-	-	-	-	-
Stage 1	-	-	-	-	-	-
Stage 2	-	-	-	-	-	-

Approach	SE	NW	NE
HCM Ctrl Dly, s/v	0	0	0
HCM LOS			A

Minor Lane/Major Mvmt	NELn1	NWT	SET	SER
Capacity (veh/h)	-	-	-	-
HCM Lane V/C Ratio	-	-	-	-
HCM Ctrl Dly (s/v)	0	-	-	-
HCM Lane LOS	A	-	-	-
HCM 95th %tile Q(veh)	-	-	-	-

Intersection						
Int Delay, s/veh	0					
Movement	SEL	SET	NWT	NWR	SWL	SWR
Lane Configurations						
Traffic Vol, veh/h	0	1133	1195	1	0	0
Future Vol, veh/h	0	1133	1195	1	0	0
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Stop	Stop
RT Channelized	-	None	-	None	-	None
Storage Length	50	-	-	-	0	-
Veh in Median Storage, #	-	0	0	-	1	-
Grade, %	-	0	0	-	0	-
Peak Hour Factor	91	91	91	91	91	91
Heavy Vehicles, %	0	4	4	0	0	0
Mvmt Flow	0	1245	1313	1	0	0

Major/Minor	Major1	Major2	Minor2		
Conflicting Flow All	1314	0	-	0	1936 657
Stage 1	-	-	-	-	1314 -
Stage 2	-	-	-	-	623 -
Critical Hdwy	4.1	-	-	-	6.8 6.9
Critical Hdwy Stg 1	-	-	-	-	5.8 -
Critical Hdwy Stg 2	-	-	-	-	5.8 -
Follow-up Hdwy	2.2	-	-	-	3.5 3.3
Pot Cap-1 Maneuver	533	-	-	-	59 412
Stage 1	-	-	-	-	219 -
Stage 2	-	-	-	-	503 -
Platoon blocked, %		-	-	-	
Mov Cap-1 Maneuver	533	-	-	-	59 412
Mov Cap-2 Maneuver	-	-	-	-	161 -
Stage 1	-	-	-	-	219 -
Stage 2	-	-	-	-	503 -

Approach	SE	NW	SW
HCM Ctrl Dly, s/v	0	0	0
HCM LOS			A

Minor Lane/Major Mvmt	NWT	NWR	SEL	SETSWLn1
Capacity (veh/h)	-	-	533	-
HCM Lane V/C Ratio	-	-	-	-
HCM Ctrl Dly (s/v)	-	-	0	0
HCM Lane LOS	-	-	A	A
HCM 95th %tile Q(veh)	-	-	0	-

Intersection												
Int Delay, s/veh	0											
Movement	SEL	SET	SER	NWL	NWT	NWR	NEL	NET	NER	SWL	SWT	SWR
Lane Configurations	↖	↗			↖↗			↔			↔	
Traffic Vol, veh/h	0	1133	0	0	1194	0	0	0	0	0	0	2
Future Vol, veh/h	0	1133	0	0	1194	0	0	0	0	0	0	2
Conflicting Peds, #/hr	0	0	0	0	0	0	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Free	Free	Stop	Stop	Stop	Stop	Stop	Stop
RT Channelized	-	-	None	-	-	None	-	-	None	-	-	None
Storage Length	25	-	-	-	-	-	-	-	-	-	-	-
Veh in Median Storage, #	-	0	-	-	0	-	-	1	-	-	1	-
Grade, %	-	0	-	-	0	-	-	0	-	-	0	-
Peak Hour Factor	89	89	89	89	89	89	89	89	89	89	89	89
Heavy Vehicles, %	0	4	2	2	1	2	2	2	2	0	2	0
Mvmt Flow	0	1273	0	0	1342	0	0	0	0	0	0	2

Major/Minor	Major1			Major2			Minor1			Minor2		
Conflicting Flow All	1342	0	0	1273	0	0	1944	2615	637	1978	2615	671
Stage 1	-	-	-	-	-	-	1273	1273	-	1342	1342	-
Stage 2	-	-	-	-	-	-	671	1342	-	637	1273	-
Critical Hdwy	4.1	-	-	4.14	-	-	7.54	6.54	6.94	7.5	6.54	6.9
Critical Hdwy Stg 1	-	-	-	-	-	-	6.54	5.54	-	6.5	5.54	-
Critical Hdwy Stg 2	-	-	-	-	-	-	6.54	5.54	-	6.5	5.54	-
Follow-up Hdwy	2.2	-	-	2.22	-	-	3.52	4.02	3.32	3.5	4.02	3.3
Pot Cap-1 Maneuver	520	-	-	541	-	-	39	24	420	38	24	404
Stage 1	-	-	-	-	-	-	177	237	-	163	219	-
Stage 2	-	-	-	-	-	-	412	219	-	437	237	-
Platoon blocked, %	-	-	-	-	-	-	-	-	-	-	-	-
Mov Cap-1 Maneuver	520	-	-	541	-	-	39	24	420	38	24	404
Mov Cap-2 Maneuver	-	-	-	-	-	-	127	115	-	122	115	-
Stage 1	-	-	-	-	-	-	177	237	-	163	219	-
Stage 2	-	-	-	-	-	-	410	219	-	437	237	-

Approach	SE	NW	NE	SW
HCM Ctrl Dly, s/v	0	0	0	13.97
HCM LOS			A	B

Minor Lane/Major Mvmt	NELn1	NWL	NWT	NWR	SEL	SET	SERSWLn1
Capacity (veh/h)	-	541	-	-	520	-	404
HCM Lane V/C Ratio	-	-	-	-	-	-	0.006
HCM Ctrl Dly (s/v)	0	0	-	-	0	-	14
HCM Lane LOS	A	A	-	-	A	-	B
HCM 95th %tile Q(veh)	-	0	-	-	0	-	0

Intersection						
Int Delay, s/veh	0					
Movement	SEL	SET	NWT	NWR	SWL	SWR
Lane Configurations						
Traffic Vol, veh/h	0	1133	1194	0	0	0
Future Vol, veh/h	0	1133	1194	0	0	0
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Stop	Stop
RT Channelized	-	None	-	None	-	None
Storage Length	25	-	-	-	0	-
Veh in Median Storage, #	-	0	0	-	1	-
Grade, %	-	0	0	-	0	-
Peak Hour Factor	87	87	87	87	87	87
Heavy Vehicles, %	0	0	0	4	0	0
Mvmt Flow	0	1302	1372	0	0	0

Major/Minor	Major1	Major2	Minor2		
Conflicting Flow All	1372	0	-	0	2024 686
Stage 1	-	-	-	-	1372 -
Stage 2	-	-	-	-	651 -
Critical Hdwy	4.1	-	-	-	6.8 6.9
Critical Hdwy Stg 1	-	-	-	-	5.8 -
Critical Hdwy Stg 2	-	-	-	-	5.8 -
Follow-up Hdwy	2.2	-	-	-	3.5 3.3
Pot Cap-1 Maneuver	506	-	-	-	51 394
Stage 1	-	-	-	-	204 -
Stage 2	-	-	-	-	486 -
Platoon blocked, %		-	-	-	
Mov Cap-1 Maneuver	506	-	-	-	51 394
Mov Cap-2 Maneuver	-	-	-	-	150 -
Stage 1	-	-	-	-	204 -
Stage 2	-	-	-	-	486 -

Approach	SE	NW	SW
HCM Ctrl Dly, s/v	0	0	0
HCM LOS			A

Minor Lane/Major Mvmt	NWT	NWR	SEL	SETSWLn1
Capacity (veh/h)	-	-	506	-
HCM Lane V/C Ratio	-	-	-	-
HCM Ctrl Dly (s/v)	-	-	0	0
HCM Lane LOS	-	-	A	A
HCM 95th %tile Q(veh)	-	-	0	-

Intersection												
Int Delay, s/veh	0.2											
Movement	SEL	SET	SER	NWL	NWT	NWR	NEL	NET	NER	SWL	SWT	SWR
Lane Configurations	↖	↗		↖	↗			↕			↕	
Traffic Vol, veh/h	1	1129	3	5	1192	1	1	0	9	4	0	1
Future Vol, veh/h	1	1129	3	5	1192	1	1	0	9	4	0	1
Conflicting Peds, #/hr	0	0	0	0	0	0	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Free	Free	Stop	Stop	Stop	Stop	Stop	Stop
RT Channelized	-	-	None	-	-	None	-	-	None	-	-	None
Storage Length	25	-	-	50	-	-	-	-	-	-	-	-
Veh in Median Storage, #	-	0	-	-	0	-	-	1	-	-	1	-
Grade, %	-	0	-	-	0	-	-	0	-	-	0	-
Peak Hour Factor	92	92	92	92	92	92	92	92	92	92	92	92
Heavy Vehicles, %	0	7	50	0	4	0	0	0	9	0	0	0
Mvmt Flow	1	1227	3	5	1296	1	1	0	10	4	0	1

Major/Minor	Major1			Major2			Minor1			Minor2		
Conflicting Flow All	1297	0	0	1230	0	0	1890	2539	615	1923	2540	648
Stage 1	-	-	-	-	-	-	1231	1231	-	1307	1307	-
Stage 2	-	-	-	-	-	-	659	1308	-	616	1233	-
Critical Hdwy	4.1	-	-	4.1	-	-	7.5	6.5	7.08	7.5	6.5	6.9
Critical Hdwy Stg 1	-	-	-	-	-	-	6.5	5.5	-	6.5	5.5	-
Critical Hdwy Stg 2	-	-	-	-	-	-	6.5	5.5	-	6.5	5.5	-
Follow-up Hdwy	2.2	-	-	2.2	-	-	3.5	4	3.39	3.5	4	3.3
Pot Cap-1 Maneuver	541	-	-	573	-	-	44	28	417	41	28	418
Stage 1	-	-	-	-	-	-	191	252	-	172	232	-
Stage 2	-	-	-	-	-	-	424	232	-	450	251	-
Platoon blocked, %	-	-	-	-	-	-	-	-	-	-	-	-
Mov Cap-1 Maneuver	541	-	-	573	-	-	43	27	417	40	27	418
Mov Cap-2 Maneuver	-	-	-	-	-	-	136	122	-	126	121	-
Stage 1	-	-	-	-	-	-	191	251	-	170	229	-
Stage 2	-	-	-	-	-	-	419	229	-	438	251	-

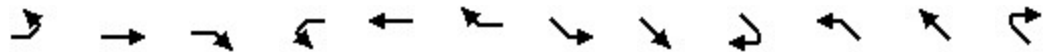
Approach	SE			NW			NE			SW		
HCM Ctrl Dly, s/v	0.01			0.05			15.75			30.6		
HCM LOS							C			D		

Minor Lane/Major Mvmt	NELn1	NWL	NWT	NWR	SEL	SET	SERSWLn1
Capacity (veh/h)	346	573	-	-	541	-	146
HCM Lane V/C Ratio	0.031	0.009	-	-	0.002	-	0.037
HCM Ctrl Dly (s/v)	15.7	11.3	-	-	11.7	-	30.6
HCM Lane LOS	C	B	-	-	B	-	D
HCM 95th %tile Q(veh)	0.1	0	-	-	0	-	0.1

Capacity Analysis Summary Sheets  
Year 2031 No-Build Weekday Morning Peak Hour

Lanes, Volumes, Timings  
1: Rand Road & Lake Cook Road

02/09/2026



Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	SEL	SET	SER	NWL	NWT	NWR
Lane Configurations												
Traffic Volume (vph)	13	780	330	25	389	733	954	1147	2	110	500	5
Future Volume (vph)	13	780	330	25	389	733	954	1147	2	110	500	5
Ideal Flow (vphpl)	1900	2000	1900	1900	2000	1900	1900	1900	1900	1900	1900	1900
Lane Width (ft)	12	12	12	12	12	12	12	12	12	12	12	12
Grade (%)		0%			0%			0%			0%	
Storage Length (ft)	190		505	140		505	670		0	215		0
Storage Lanes	1		1	1		2	2		0	2		0
Taper Length (ft)	140			90			290			300		
Lane Util. Factor	1.00	0.95	1.00	1.00	0.95	0.88	0.97	0.95	0.95	0.97	0.95	0.95
Ped Bike Factor												
Frt			0.850			0.850						0.999
Flt Protected	0.950			0.950			0.950			0.950		
Satd. Flow (prot)	1687	3725	1599	1805	3654	2584	3367	3505	0	3335	3456	0
Flt Permitted	0.435			0.105			0.950			0.950		
Satd. Flow (perm)	772	3725	1599	200	3654	2584	3367	3505	0	3335	3456	0
Right Turn on Red			No			No			No			No
Satd. Flow (RTOR)												
Link Speed (mph)		45			45			35				35
Link Distance (ft)		2957			2627			1774				588
Travel Time (s)		44.8			39.8			34.6				11.5
Confl. Peds. (#/hr)												
Confl. Bikes (#/hr)												
Peak Hour Factor	0.98	0.98	0.98	0.98	0.98	0.98	0.98	0.98	0.98	0.98	0.98	0.98
Growth Factor	100%	100%	100%	100%	100%	100%	100%	100%	100%	100%	100%	100%
Heavy Vehicles (%)	7%	2%	1%	0%	4%	10%	4%	3%	0%	5%	4%	40%
Bus Blockages (#/hr)	0	0	0	0	0	0	0	0	0	0	0	0
Parking (#/hr)												
Mid-Block Traffic (%)		0%			0%			0%				0%
Shared Lane Traffic (%)												
Lane Group Flow (vph)	13	796	337	26	397	748	973	1172	0	112	515	0
Turn Type	pm+pt	NA	pm+ov	pm+pt	NA	pm+ov	Prot	NA		Prot	NA	
Protected Phases	7	4	5	3	8	1	1	6		5	2	
Permitted Phases	4		4	8		8						
Detector Phase	7	4	5	3	8	1	1	6		5	2	
Switch Phase												
Minimum Initial (s)	3.0	15.0	3.0	3.0	15.0	3.0	3.0	15.0		3.0	15.0	
Minimum Split (s)	6.5	21.0	7.5	6.5	21.0	7.5	7.5	21.0		7.5	21.0	
Total Split (s)	13.5	39.0	22.5	13.5	39.0	42.0	42.0	75.0		22.5	55.5	
Total Split (%)	9.0%	26.0%	15.0%	9.0%	26.0%	28.0%	28.0%	50.0%		15.0%	37.0%	
Yellow Time (s)	3.5	4.5	3.5	3.5	4.5	3.5	3.5	4.5		3.5	4.5	
All-Red Time (s)	0.0	1.5	1.0	0.0	1.5	1.0	1.0	1.5		1.0	1.5	
Lost Time Adjust (s)	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0		0.0	0.0	
Total Lost Time (s)	3.5	6.0	4.5	3.5	6.0	4.5	4.5	6.0		4.5	6.0	
Lead/Lag	Lead	Lag	Lead	Lead	Lag	Lead	Lead	Lag		Lead	Lag	
Lead-Lag Optimize?	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes		Yes	Yes	
Recall Mode	None	None	None	None	None	None	None	C-Min		None	C-Min	
Act Effct Green (s)	45.8	39.2	55.6	47.5	41.7	85.7	38.0	77.1		10.4	49.5	
Actuated g/C Ratio	0.31	0.26	0.37	0.32	0.28	0.57	0.25	0.51		0.07	0.33	

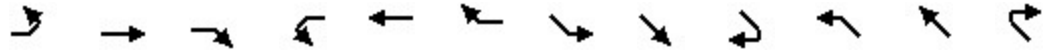
25-373 - Industrial Development - Palatine  
No-Build Weekday Morning Peak Hour

Synchro 12 Report

Lanes, Volumes, Timings

1: Rand Road & Lake Cook Road

02/09/2026

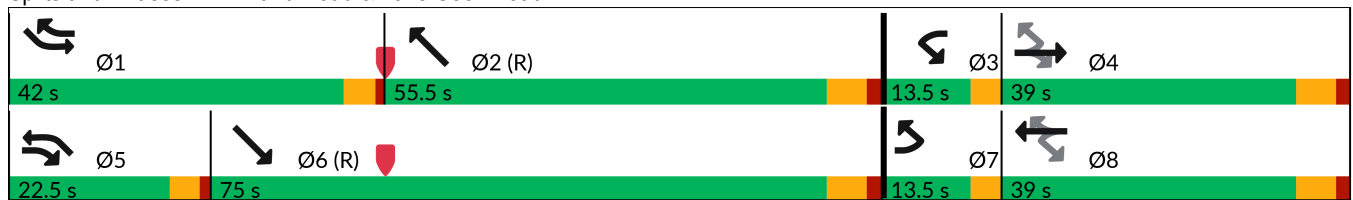


Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	SEL	SET	SER	NWL	NWT	NWR
v/c Ratio	0.05	0.82	0.57	0.19	0.39	0.51	1.14	0.65		0.48	0.45	
Control Delay (s/veh)	34.9	60.3	42.8	37.8	46.1	21.7	126.6	29.2		74.0	41.1	
Queue Delay	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0		0.0	0.0	
Total Delay (s/veh)	34.9	60.3	42.8	37.8	46.1	21.7	126.6	29.2		74.0	41.1	
LOS	C	E	D	D	D	C	F	C		E	D	
Approach Delay (s/veh)		54.9			30.3			73.4			47.0	
Approach LOS		D			C			E			D	
Queue Length 50th (ft)	9	399	271	17	158	224	~577	433		55	208	
Queue Length 95th (ft)	26	#530	378	41	231	338	#712	533		87	265	
Internal Link Dist (ft)		2877			2547			1694			508	
Turn Bay Length (ft)	190		505	140		505	670			215		
Base Capacity (vph)	306	973	673	171	1015	1476	853	1801		400	1140	
Starvation Cap Reductn	0	0	0	0	0	0	0	0		0	0	
Spillback Cap Reductn	0	0	0	0	0	0	0	0		0	0	
Storage Cap Reductn	0	0	0	0	0	0	0	0		0	0	
Reduced v/c Ratio	0.04	0.82	0.50	0.15	0.39	0.51	1.14	0.65		0.28	0.45	

Intersection Summary

Area Type: Other  
 Cycle Length: 150  
 Actuated Cycle Length: 150  
 Offset: 79.5 (53%), Referenced to phase 2:NWT and 6:SET, Start of Green  
 Natural Cycle: 90  
 Control Type: Actuated-Coordinated  
 Maximum v/c Ratio: 1.14  
 Intersection Signal Delay (s/veh): 56.1      Intersection LOS: E  
 Intersection Capacity Utilization 75.7%      ICU Level of Service D  
 Analysis Period (min) 15  
 ~ Volume exceeds capacity, queue is theoretically infinite.  
 Queue shown is maximum after two cycles.  
 # 95th percentile volume exceeds capacity, queue may be longer.  
 Queue shown is maximum after two cycles.

Splits and Phases: 1: Rand Road & Lake Cook Road



Intersection						
Int Delay, s/veh	0					
Movement	SET	SER	NWL	NWT	NEL	NER
Lane Configurations	↑↑			↑↑		↑
Traffic Vol, veh/h	1648	0	0	630	0	0
Future Vol, veh/h	1648	0	0	630	0	0
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Stop	Stop
RT Channelized	-	None	-	None	-	None
Storage Length	-	-	-	-	-	0
Veh in Median Storage, #	0	-	-	0	0	-
Grade, %	0	-	-	0	0	-
Peak Hour Factor	95	95	95	95	95	95
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	1735	0	0	663	0	0

Major/Minor	Major1	Major2	Minor1			
Conflicting Flow All	0	0	-	-	-	867
Stage 1	-	-	-	-	-	-
Stage 2	-	-	-	-	-	-
Critical Hdwy	-	-	-	-	-	6.94
Critical Hdwy Stg 1	-	-	-	-	-	-
Critical Hdwy Stg 2	-	-	-	-	-	-
Follow-up Hdwy	-	-	-	-	-	3.32
Pot Cap-1 Maneuver	-	-	0	-	0	296
Stage 1	-	-	0	-	0	-
Stage 2	-	-	0	-	0	-
Platoon blocked, %	-	-	-	-	-	-
Mov Cap-1 Maneuver	-	-	-	-	-	296
Mov Cap-2 Maneuver	-	-	-	-	-	-
Stage 1	-	-	-	-	-	-
Stage 2	-	-	-	-	-	-

Approach	SE	NW	NE
HCM Ctrl Dly, s/v	0	0	0
HCM LOS			A

Minor Lane/Major Mvmt	NELn1	NWT	SET	SER
Capacity (veh/h)	-	-	-	-
HCM Lane V/C Ratio	-	-	-	-
HCM Ctrl Dly (s/v)	0	-	-	-
HCM Lane LOS	A	-	-	-
HCM 95th %tile Q(veh)	-	-	-	-

Intersection						
Int Delay, s/veh	0					
Movement	SEL	SET	NWT	NWR	SWL	SWR
Lane Configurations						
Traffic Vol, veh/h	0	1632	630	1	0	0
Future Vol, veh/h	0	1632	630	1	0	0
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Stop	Stop
RT Channelized	-	None	-	None	-	None
Storage Length	50	-	-	-	0	-
Veh in Median Storage, #	-	0	0	-	1	-
Grade, %	-	0	0	-	0	-
Peak Hour Factor	91	91	91	91	91	91
Heavy Vehicles, %	0	4	4	0	0	0
Mvmt Flow	0	1793	692	1	0	0

Major/Minor	Major1	Major2	Minor2		
Conflicting Flow All	693	0	-	0	1590 347
Stage 1	-	-	-	-	693 -
Stage 2	-	-	-	-	897 -
Critical Hdwy	4.1	-	-	-	6.8 6.9
Critical Hdwy Stg 1	-	-	-	-	5.8 -
Critical Hdwy Stg 2	-	-	-	-	5.8 -
Follow-up Hdwy	2.2	-	-	-	3.5 3.3
Pot Cap-1 Maneuver	911	-	-	-	100 655
Stage 1	-	-	-	-	463 -
Stage 2	-	-	-	-	363 -
Platoon blocked, %		-	-	-	
Mov Cap-1 Maneuver	911	-	-	-	100 655
Mov Cap-2 Maneuver	-	-	-	-	231 -
Stage 1	-	-	-	-	463 -
Stage 2	-	-	-	-	363 -

Approach	SE	NW	SW
HCM Ctrl Dly, s/v	0	0	0
HCM LOS			A

Minor Lane/Major Mvmt	NWT	NWR	SEL	SETSWLn1
Capacity (veh/h)	-	-	911	-
HCM Lane V/C Ratio	-	-	-	-
HCM Ctrl Dly (s/v)	-	-	0	0
HCM Lane LOS	-	-	A	A
HCM 95th %tile Q(veh)	-	-	0	-

Intersection												
Int Delay, s/veh	0											
Movement	SEL	SET	SER	NWL	NWT	NWR	NEL	NET	NER	SWL	SWT	SWR
Lane Configurations	↖	↗			↖↗			↕			↕	
Traffic Vol, veh/h	1	1630	0	0	630	1	0	0	0	0	0	1
Future Vol, veh/h	1	1630	0	0	630	1	0	0	0	0	0	1
Conflicting Peds, #/hr	0	0	0	0	0	0	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Free	Free	Stop	Stop	Stop	Stop	Stop	Stop
RT Channelized	-	-	None	-	-	None	-	-	None	-	-	None
Storage Length	25	-	-	-	-	-	-	-	-	-	-	-
Veh in Median Storage, #	-	0	-	-	0	-	-	1	-	-	1	-
Grade, %	-	0	-	-	0	-	-	0	-	-	0	-
Peak Hour Factor	89	89	89	89	89	89	89	89	89	89	89	89
Heavy Vehicles, %	0	4	2	2	1	2	2	2	2	0	2	0
Mvmt Flow	1	1831	0	0	708	1	0	0	0	0	0	1

Major/Minor	Major1			Major2			Minor1			Minor2		
Conflicting Flow All	709	0	0	1831	0	0	2188	2543	916	1626	2542	354
Stage 1	-	-	-	-	-	-	1834	1834	-	708	708	-
Stage 2	-	-	-	-	-	-	354	709	-	918	1834	-
Critical Hdwy	4.1	-	-	4.14	-	-	7.54	6.54	6.94	7.5	6.54	6.9
Critical Hdwy Stg 1	-	-	-	-	-	-	6.54	5.54	-	6.5	5.54	-
Critical Hdwy Stg 2	-	-	-	-	-	-	6.54	5.54	-	6.5	5.54	-
Follow-up Hdwy	2.2	-	-	2.22	-	-	3.52	4.02	3.32	3.5	4.02	3.3
Pot Cap-1 Maneuver	899	-	-	329	-	-	25	27	275	69	27	648
Stage 1	-	-	-	-	-	-	79	125	-	396	436	-
Stage 2	-	-	-	-	-	-	636	435	-	296	125	-
Platoon blocked, %	-	-	-	-	-	-	-	-	-	-	-	-
Mov Cap-1 Maneuver	899	-	-	329	-	-	25	27	275	69	27	648
Mov Cap-2 Maneuver	-	-	-	-	-	-	68	97	-	185	97	-
Stage 1	-	-	-	-	-	-	79	125	-	396	436	-
Stage 2	-	-	-	-	-	-	635	435	-	296	125	-

Approach	SE	NW	NE	SW
HCM Ctrl Dly, s/v	0.01	0	0	10.57
HCM LOS			A	B

Minor Lane/Major Mvmt	NELn1	NWL	NWT	NWR	SEL	SET	SERSWLn1
Capacity (veh/h)	-	329	-	-	899	-	648
HCM Lane V/C Ratio	-	-	-	-	0.001	-	0.002
HCM Ctrl Dly (s/v)	0	0	-	-	9	-	10.6
HCM Lane LOS	A	A	-	-	A	-	B
HCM 95th %tile Q(veh)	-	0	-	-	0	-	0

Intersection						
Int Delay, s/veh	0					
Movement	SEL	SET	NWT	NWR	SWL	SWR
Lane Configurations						
Traffic Vol, veh/h	1	1629	630	1	0	1
Future Vol, veh/h	1	1629	630	1	0	1
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Stop	Stop
RT Channelized	-	None	-	None	-	None
Storage Length	25	-	-	-	0	-
Veh in Median Storage, #	-	0	0	-	1	-
Grade, %	-	0	0	-	0	-
Peak Hour Factor	87	87	87	87	87	87
Heavy Vehicles, %	0	0	0	4	0	0
Mvmt Flow	1	1872	724	1	0	1

Major/Minor	Major1	Major2	Minor2		
Conflicting Flow All	725	0	-	0	1663 363
Stage 1	-	-	-	-	725 -
Stage 2	-	-	-	-	939 -
Critical Hdwy	4.1	-	-	-	6.8 6.9
Critical Hdwy Stg 1	-	-	-	-	5.8 -
Critical Hdwy Stg 2	-	-	-	-	5.8 -
Follow-up Hdwy	2.2	-	-	-	3.5 3.3
Pot Cap-1 Maneuver	887	-	-	-	90 640
Stage 1	-	-	-	-	446 -
Stage 2	-	-	-	-	346 -
Platoon blocked, %		-	-	-	
Mov Cap-1 Maneuver	887	-	-	-	90 640
Mov Cap-2 Maneuver	-	-	-	-	218 -
Stage 1	-	-	-	-	445 -
Stage 2	-	-	-	-	346 -

Approach	SE	NW	SW
HCM Ctrl Dly, s/v	0.01	0	10.64
HCM LOS			B

Minor Lane/Major Mvmt	NWT	NWR	SEL	SETSWLn1
Capacity (veh/h)	-	-	887	- 640
HCM Lane V/C Ratio	-	-	0.001	- 0.002
HCM Ctrl Dly (s/v)	-	-	9.1	- 10.6
HCM Lane LOS	-	-	A	- B
HCM 95th %tile Q(veh)	-	-	0	- 0

Intersection												
Int Delay, s/veh	0.2											
Movement	SEL	SET	SER	NWL	NWT	NWR	NEL	NET	NER	SWL	SWT	SWR
Lane Configurations	↖	↗		↖	↗			↕			↕	
Traffic Vol, veh/h	0	1624	5	6	626	2	4	0	11	0	0	1
Future Vol, veh/h	0	1624	5	6	626	2	4	0	11	0	0	1
Conflicting Peds, #/hr	0	0	0	0	0	0	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Free	Free	Stop	Stop	Stop	Stop	Stop	Stop
RT Channelized	-	-	None	-	-	None	-	-	None	-	-	None
Storage Length	25	-	-	50	-	-	-	-	-	-	-	-
Veh in Median Storage, #	-	0	-	-	0	-	-	1	-	-	1	-
Grade, %	-	0	-	-	0	-	-	0	-	-	0	-
Peak Hour Factor	92	92	92	92	92	92	92	92	92	92	92	92
Heavy Vehicles, %	0	7	50	0	4	0	0	0	9	0	0	0
Mvmt Flow	0	1765	5	7	680	2	4	0	12	0	0	1

Major/Minor	Major1			Major2			Minor1			Minor2		
Conflicting Flow All	683	0	0	1771	0	0	2121	2464	885	1577	2465	341
Stage 1	-	-	-	-	-	-	1768	1768	-	695	695	-
Stage 2	-	-	-	-	-	-	353	696	-	883	1771	-
Critical Hdwy	4.1	-	-	4.1	-	-	7.5	6.5	7.08	7.5	6.5	6.9
Critical Hdwy Stg 1	-	-	-	-	-	-	6.5	5.5	-	6.5	5.5	-
Critical Hdwy Stg 2	-	-	-	-	-	-	6.5	5.5	-	6.5	5.5	-
Follow-up Hdwy	2.2	-	-	2.2	-	-	3.5	4	3.39	3.5	4	3.3
Pot Cap-1 Maneuver	920	-	-	357	-	-	29	31	274	75	31	660
Stage 1	-	-	-	-	-	-	89	138	-	404	447	-
Stage 2	-	-	-	-	-	-	642	446	-	311	138	-
Platoon blocked, %	-	-	-	-	-	-	-	-	-	-	-	-
Mov Cap-1 Maneuver	920	-	-	357	-	-	29	30	274	71	30	660
Mov Cap-2 Maneuver	-	-	-	-	-	-	76	105	-	185	101	-
Stage 1	-	-	-	-	-	-	89	138	-	396	439	-
Stage 2	-	-	-	-	-	-	629	438	-	298	138	-

Approach	SE	NW	NE	SW
HCM Ctrl Dly, s/v	0	0.14	29.76	10.46
HCM LOS			D	B

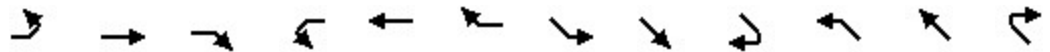
Minor Lane/Major Mvmt	NELn1	NWL	NWT	NWR	SEL	SET	SERSWLn1
Capacity (veh/h)	162	357	-	-	920	-	660
HCM Lane V/C Ratio	0.101	0.018	-	-	-	-	0.002
HCM Ctrl Dly (s/v)	29.8	15.3	-	-	0	-	10.5
HCM Lane LOS	D	C	-	-	A	-	B
HCM 95th %tile Q(veh)	0.3	0.1	-	-	0	-	0

Capacity Analysis Summary Sheets  
Year 2031 No-Build Weekday Evening Peak Hour

Lanes, Volumes, Timings

1: Rand Road & Lake Cook Road

02/09/2026



Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	SEL	SET	SER	NWL	NWT	NWR
Lane Configurations												
Traffic Volume (vph)	19	394	174	18	768	1099	839	871	11	226	884	5
Future Volume (vph)	19	394	174	18	768	1099	839	871	11	226	884	5
Ideal Flow (vphpl)	1900	2000	1900	1900	2000	1900	1900	1900	1900	1900	1900	1900
Lane Width (ft)	12	12	12	12	12	12	12	12	12	12	12	12
Grade (%)		0%			0%			0%			0%	
Storage Length (ft)	190		505	140		505	670		0	215		0
Storage Lanes	1		1	1		2	2		0	2		0
Taper Length (ft)	140			90			290			300		
Lane Util. Factor	1.00	0.95	1.00	1.00	0.95	0.88	0.97	0.95	0.95	0.97	0.95	0.95
Ped Bike Factor												
Frt			0.850			0.850		0.998				0.999
Flt Protected	0.950			0.950			0.950			0.950		
Satd. Flow (prot)	1703	3762	1538	1736	3762	2814	3400	3495	0	3467	3571	0
Flt Permitted	0.104			0.397			0.950			0.950		
Satd. Flow (perm)	186	3762	1538	725	3762	2814	3400	3495	0	3467	3571	0
Right Turn on Red			No			No			No			No
Satd. Flow (RTOR)												
Link Speed (mph)		45			45			35				35
Link Distance (ft)		2957			2627			1774				588
Travel Time (s)		44.8			39.8			34.6				11.5
Confl. Peds. (#/hr)												
Confl. Bikes (#/hr)												
Peak Hour Factor	0.97	0.97	0.97	0.97	0.97	0.97	0.97	0.97	0.97	0.97	0.97	0.97
Growth Factor	100%	100%	100%	100%	100%	100%	100%	100%	100%	100%	100%	100%
Heavy Vehicles (%)	6%	1%	5%	4%	1%	1%	3%	3%	9%	1%	1%	0%
Bus Blockages (#/hr)	0	0	0	0	0	0	0	0	0	0	0	0
Parking (#/hr)												
Mid-Block Traffic (%)		0%			0%			0%				0%
Shared Lane Traffic (%)												
Lane Group Flow (vph)	20	406	179	19	792	1133	865	909	0	233	916	0
Turn Type	pm+pt	NA	pm+ov	pm+pt	NA	pm+ov	Prot	NA		Prot	NA	
Protected Phases	7	4	5	3	8	1	1	6		5	2	
Permitted Phases	4		4	8		8						
Detector Phase	7	4	5	3	8	1	1	6		5	2	
Switch Phase												
Minimum Initial (s)	3.0	15.0	3.0	3.0	15.0	3.0	3.0	15.0		3.0	15.0	
Minimum Split (s)	6.5	21.0	7.5	6.5	21.0	7.5	7.5	21.0		7.5	21.0	
Total Split (s)	13.5	39.0	22.5	13.5	39.0	42.0	42.0	75.0		22.5	55.5	
Total Split (%)	9.0%	26.0%	15.0%	9.0%	26.0%	28.0%	28.0%	50.0%		15.0%	37.0%	
Yellow Time (s)	3.5	4.5	3.5	3.5	4.5	3.5	3.5	4.5		3.5	4.5	
All-Red Time (s)	0.0	1.5	1.0	0.0	1.5	1.0	1.0	1.5		1.0	1.5	
Lost Time Adjust (s)	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0		0.0	0.0	
Total Lost Time (s)	3.5	6.0	4.5	3.5	6.0	4.5	4.5	6.0		4.5	6.0	
Lead/Lag	Lead	Lag	Lead	Lead	Lag	Lead	Lead	Lag		Lead	Lag	
Lead-Lag Optimize?	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes		Yes	Yes	
Recall Mode	None	None	None	None	None	None	None	C-Min		None	C-Min	
Act Effct Green (s)	46.1	39.1	60.2	45.9	39.0	83.4	38.4	72.8		15.1	49.5	
Actuated g/C Ratio	0.31	0.26	0.40	0.31	0.26	0.56	0.26	0.49		0.10	0.33	

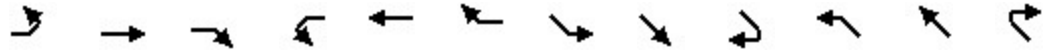
25-373 - Industrial Development - Palatine  
No-Build Weekday Evening Peak Hour

Synchro 12 Report

Lanes, Volumes, Timings

1: Rand Road & Lake Cook Road

02/09/2026

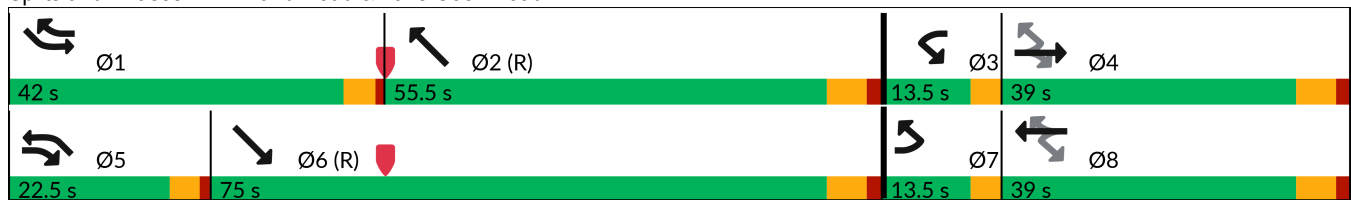


Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	SEL	SET	SER	NWL	NWT	NWR
v/c Ratio	0.16	0.41	0.29	0.07	0.81	0.72	0.99	0.54		0.67	0.78	
Control Delay (s/veh)	37.4	48.3	32.4	35.2	60.0	29.1	84.1	28.8		74.7	50.8	
Queue Delay	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0		0.0	0.0	
Total Delay (s/veh)	37.4	48.3	32.4	35.2	60.0	29.1	84.1	28.8		74.7	50.8	
LOS	D	D	C	D	E	C	F	C		E	D	
Approach Delay (s/veh)		43.2			41.8			55.8			55.6	
Approach LOS		D			D			E			E	
Queue Length 50th (ft)	13	178	121	13	395	481	~460	324		114	425	
Queue Length 95th (ft)	34	236	183	33	#515	597	#592	404		159	509	
Internal Link Dist (ft)		2877			2547			1694			508	
Turn Bay Length (ft)	190		505	140		505	670			215		
Base Capacity (vph)	160	980	646	296	977	1564	870	1697		416	1178	
Starvation Cap Reductn	0	0	0	0	0	0	0	0		0	0	
Spillback Cap Reductn	0	0	0	0	0	0	0	0		0	0	
Storage Cap Reductn	0	0	0	0	0	0	0	0		0	0	
Reduced v/c Ratio	0.13	0.41	0.28	0.06	0.81	0.72	0.99	0.54		0.56	0.78	

Intersection Summary

Area Type: Other  
 Cycle Length: 150  
 Actuated Cycle Length: 150  
 Offset: 79.5 (53%), Referenced to phase 2:NWT and 6:SET, Start of Green  
 Natural Cycle: 90  
 Control Type: Actuated-Coordinated  
 Maximum v/c Ratio: 0.99  
 Intersection Signal Delay (s/veh): 49.4      Intersection LOS: D  
 Intersection Capacity Utilization 82.4%      ICU Level of Service E  
 Analysis Period (min) 15  
 ~ Volume exceeds capacity, queue is theoretically infinite.  
 Queue shown is maximum after two cycles.  
 # 95th percentile volume exceeds capacity, queue may be longer.  
 Queue shown is maximum after two cycles.

Splits and Phases: 1: Rand Road & Lake Cook Road



Intersection						
Int Delay, s/veh	0					
Movement	SET	SER	NWL	NWT	NEL	NER
Lane Configurations	↑↑			↑↑		↑
Traffic Vol, veh/h	1176	0	0	1230	0	0
Future Vol, veh/h	1176	0	0	1230	0	0
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Stop	Stop
RT Channelized	-	None	-	None	-	None
Storage Length	-	-	-	-	-	0
Veh in Median Storage, #	0	-	-	0	0	-
Grade, %	0	-	-	0	0	-
Peak Hour Factor	95	95	95	95	95	95
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	1238	0	0	1295	0	0

Major/Minor	Major1	Major2	Minor1
Conflicting Flow All	0	0	- - - 619
Stage 1	-	-	- - -
Stage 2	-	-	- - -
Critical Hdwy	-	-	- - - 6.94
Critical Hdwy Stg 1	-	-	- - -
Critical Hdwy Stg 2	-	-	- - -
Follow-up Hdwy	-	-	- - - 3.32
Pot Cap-1 Maneuver	-	- 0	- 0 432
Stage 1	-	- 0	- 0 -
Stage 2	-	- 0	- 0 -
Platoon blocked, %	-	-	-
Mov Cap-1 Maneuver	-	-	- - - 432
Mov Cap-2 Maneuver	-	-	- - -
Stage 1	-	-	- - -
Stage 2	-	-	- - -

Approach	SE	NW	NE
HCM Ctrl Dly, s/v	0	0	0
HCM LOS			A

Minor Lane/Major Mvmt	NELn1	NWT	SET	SER
Capacity (veh/h)	-	-	-	-
HCM Lane V/C Ratio	-	-	-	-
HCM Ctrl Dly (s/v)	0	-	-	-
HCM Lane LOS	A	-	-	-
HCM 95th %tile Q(veh)	-	-	-	-

Intersection						
Int Delay, s/veh	0					
Movement	SEL	SET	NWT	NWR	SWL	SWR
Lane Configurations						
Traffic Vol, veh/h	0	1167	1231	1	0	0
Future Vol, veh/h	0	1167	1231	1	0	0
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Stop	Stop
RT Channelized	-	None	-	None	-	None
Storage Length	50	-	-	-	0	-
Veh in Median Storage, #	-	0	0	-	1	-
Grade, %	-	0	0	-	0	-
Peak Hour Factor	91	91	91	91	91	91
Heavy Vehicles, %	0	4	4	0	0	0
Mvmt Flow	0	1282	1353	1	0	0

Major/Minor	Major1	Major2	Minor2		
Conflicting Flow All	1354	0	-	0	1995 677
Stage 1	-	-	-	-	1353 -
Stage 2	-	-	-	-	641 -
Critical Hdwy	4.1	-	-	-	6.8 6.9
Critical Hdwy Stg 1	-	-	-	-	5.8 -
Critical Hdwy Stg 2	-	-	-	-	5.8 -
Follow-up Hdwy	2.2	-	-	-	3.5 3.3
Pot Cap-1 Maneuver	515	-	-	-	54 400
Stage 1	-	-	-	-	209 -
Stage 2	-	-	-	-	492 -
Platoon blocked, %		-	-	-	
Mov Cap-1 Maneuver	515	-	-	-	54 400
Mov Cap-2 Maneuver	-	-	-	-	154 -
Stage 1	-	-	-	-	209 -
Stage 2	-	-	-	-	492 -

Approach	SE	NW	SW
HCM Ctrl Dly, s/v	0	0	0
HCM LOS			A

Minor Lane/Major Mvmt	NWT	NWR	SEL	SETSWLn1
Capacity (veh/h)	-	-	515	-
HCM Lane V/C Ratio	-	-	-	-
HCM Ctrl Dly (s/v)	-	-	0	0
HCM Lane LOS	-	-	A	A
HCM 95th %tile Q(veh)	-	-	0	-

Intersection												
Int Delay, s/veh	0											
Movement	SEL	SET	SER	NWL	NWT	NWR	NEL	NET	NER	SWL	SWT	SWR
Lane Configurations	↖	↗			↖↗			↔			↔	
Traffic Vol, veh/h	0	1167	0	0	1230	0	0	0	0	0	0	2
Future Vol, veh/h	0	1167	0	0	1230	0	0	0	0	0	0	2
Conflicting Peds, #/hr	0	0	0	0	0	0	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Free	Free	Stop	Stop	Stop	Stop	Stop	Stop
RT Channelized	-	-	None	-	-	None	-	-	None	-	-	None
Storage Length	25	-	-	-	-	-	-	-	-	-	-	-
Veh in Median Storage, #	-	0	-	-	0	-	-	1	-	-	1	-
Grade, %	-	0	-	-	0	-	-	0	-	-	0	-
Peak Hour Factor	89	89	89	89	89	89	89	89	89	89	89	89
Heavy Vehicles, %	0	4	2	2	1	2	2	2	2	0	2	0
Mvmt Flow	0	1311	0	0	1382	0	0	0	0	0	0	2

Major/Minor	Major1			Major2			Minor1			Minor2		
Conflicting Flow All	1382	0	0	1311	0	0	2002	2693	656	2038	2693	691
Stage 1	-	-	-	-	-	-	1311	1311	-	1382	1382	-
Stage 2	-	-	-	-	-	-	691	1382	-	656	1311	-
Critical Hdwy	4.1	-	-	4.14	-	-	7.54	6.54	6.94	7.5	6.54	6.9
Critical Hdwy Stg 1	-	-	-	-	-	-	6.54	5.54	-	6.5	5.54	-
Critical Hdwy Stg 2	-	-	-	-	-	-	6.54	5.54	-	6.5	5.54	-
Follow-up Hdwy	2.2	-	-	2.22	-	-	3.52	4.02	3.32	3.5	4.02	3.3
Pot Cap-1 Maneuver	502	-	-	523	-	-	35	21	408	34	21	392
Stage 1	-	-	-	-	-	-	168	227	-	154	210	-
Stage 2	-	-	-	-	-	-	401	210	-	426	227	-
Platoon blocked, %	-	-	-	-	-	-	-	-	-	-	-	-
Mov Cap-1 Maneuver	502	-	-	523	-	-	35	21	408	34	21	392
Mov Cap-2 Maneuver	-	-	-	-	-	-	121	109	-	115	109	-
Stage 1	-	-	-	-	-	-	168	227	-	154	210	-
Stage 2	-	-	-	-	-	-	399	210	-	426	227	-

Approach	SE	NW	NE	SW
HCM Ctrl Dly, s/v	0	0	0	14.24
HCM LOS			A	B

Minor Lane/Major Mvmt	NELn1	NWL	NWT	NWR	SEL	SET	SERSWLn1
Capacity (veh/h)	-	523	-	-	502	-	392
HCM Lane V/C Ratio	-	-	-	-	-	-	0.006
HCM Ctrl Dly (s/v)	0	0	-	-	0	-	14.2
HCM Lane LOS	A	A	-	-	A	-	B
HCM 95th %tile Q(veh)	-	0	-	-	0	-	0

Intersection						
Int Delay, s/veh	0					
Movement	SEL	SET	NWT	NWR	SWL	SWR
Lane Configurations	↘	↑↑	↑↑		↘	
Traffic Vol, veh/h	0	1167	1230	0	0	0
Future Vol, veh/h	0	1167	1230	0	0	0
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Stop	Stop
RT Channelized	-	None	-	None	-	None
Storage Length	25	-	-	-	0	-
Veh in Median Storage, #	-	0	0	-	1	-
Grade, %	-	0	0	-	0	-
Peak Hour Factor	87	87	87	87	87	87
Heavy Vehicles, %	0	0	0	4	0	0
Mvmt Flow	0	1341	1414	0	0	0

Major/Minor	Major1	Major2	Minor2
Conflicting Flow All	1414	0	0 2084 707
Stage 1	-	-	- 1414 -
Stage 2	-	-	- 671 -
Critical Hdwy	4.1	-	- 6.8 6.9
Critical Hdwy Stg 1	-	-	- 5.8 -
Critical Hdwy Stg 2	-	-	- 5.8 -
Follow-up Hdwy	2.2	-	- 3.5 3.3
Pot Cap-1 Maneuver	488	-	- 47 382
Stage 1	-	-	- 194 -
Stage 2	-	-	- 475 -
Platoon blocked, %	-	-	-
Mov Cap-1 Maneuver	488	-	- 47 382
Mov Cap-2 Maneuver	-	-	- 143 -
Stage 1	-	-	- 194 -
Stage 2	-	-	- 475 -

Approach	SE	NW	SW
HCM Ctrl Dly, s/v	0	0	0
HCM LOS			A

Minor Lane/Major Mvmt	NWT	NWR	SEL	SETSWLn1
Capacity (veh/h)	-	-	488	-
HCM Lane V/C Ratio	-	-	-	-
HCM Ctrl Dly (s/v)	-	-	0	0
HCM Lane LOS	-	-	A	A
HCM 95th %tile Q(veh)	-	-	0	-

Intersection												
Int Delay, s/veh	0.2											
Movement	SEL	SET	SER	NWL	NWT	NWR	NEL	NET	NER	SWL	SWT	SWR
Lane Configurations	↖	↗		↖	↗			↕			↕	
Traffic Vol, veh/h	1	1163	3	5	1228	1	1	0	9	4	0	1
Future Vol, veh/h	1	1163	3	5	1228	1	1	0	9	4	0	1
Conflicting Peds, #/hr	0	0	0	0	0	0	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Free	Free	Stop	Stop	Stop	Stop	Stop	Stop
RT Channelized	-	-	None	-	-	None	-	-	None	-	-	None
Storage Length	25	-	-	50	-	-	-	-	-	-	-	-
Veh in Median Storage, #	-	0	-	-	0	-	-	1	-	-	1	-
Grade, %	-	0	-	-	0	-	-	0	-	-	0	-
Peak Hour Factor	92	92	92	92	92	92	92	92	92	92	92	92
Heavy Vehicles, %	0	7	50	0	4	0	0	0	9	0	0	0
Mvmt Flow	1	1264	3	5	1335	1	1	0	10	4	0	1

Major/Minor	Major1			Major2			Minor1			Minor2		
Conflicting Flow All	1336	0	0	1267	0	0	1946	2615	634	1980	2616	668
Stage 1	-	-	-	-	-	-	1268	1268	-	1346	1346	-
Stage 2	-	-	-	-	-	-	678	1347	-	634	1270	-
Critical Hdwy	4.1	-	-	4.1	-	-	7.5	6.5	7.08	7.5	6.5	6.9
Critical Hdwy Stg 1	-	-	-	-	-	-	6.5	5.5	-	6.5	5.5	-
Critical Hdwy Stg 2	-	-	-	-	-	-	6.5	5.5	-	6.5	5.5	-
Follow-up Hdwy	2.2	-	-	2.2	-	-	3.5	4	3.39	3.5	4	3.3
Pot Cap-1 Maneuver	523	-	-	555	-	-	40	25	406	37	25	406
Stage 1	-	-	-	-	-	-	181	242	-	162	222	-
Stage 2	-	-	-	-	-	-	413	222	-	438	241	-
Platoon blocked, %	-	-	-	-	-	-	-	-	-	-	-	-
Mov Cap-1 Maneuver	523	-	-	555	-	-	39	24	406	36	24	406
Mov Cap-2 Maneuver	-	-	-	-	-	-	129	116	-	119	115	-
Stage 1	-	-	-	-	-	-	181	241	-	161	220	-
Stage 2	-	-	-	-	-	-	408	220	-	427	241	-

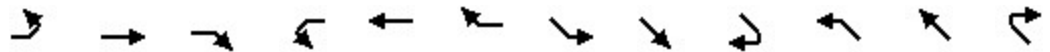
Approach	SE			NW			NE			SW		
HCM Ctrl Dly, s/v	0.01			0.05			16.14			32.06		
HCM LOS							C			D		

Minor Lane/Major Mvmt	NELn1	NWL	NWT	NWR	SEL	SET	SERSWLn1
Capacity (veh/h)	334	555	-	-	523	-	138
HCM Lane V/C Ratio	0.033	0.01	-	-	0.002	-	0.039
HCM Ctrl Dly (s/v)	16.1	11.5	-	-	11.9	-	32.1
HCM Lane LOS	C	B	-	-	B	-	D
HCM 95th %tile Q(veh)	0.1	0	-	-	0	-	0.1

Capacity Analysis Summary Sheets  
Year 2031 Total Projected Weekday Morning Peak Hour

Lanes, Volumes, Timings  
1: Rand Road & Lake Cook Road

02/09/2026



Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	SEL	SET	SER	NWL	NWT	NWR
Lane Configurations												
Traffic Volume (vph)	13	780	333	26	389	733	954	1153	2	110	502	6
Future Volume (vph)	13	780	333	26	389	733	954	1153	2	110	502	6
Ideal Flow (vphpl)	1900	2000	1900	1900	2000	1900	1900	1900	1900	1900	1900	1900
Lane Width (ft)	12	12	12	12	12	12	12	12	12	12	12	12
Grade (%)		0%			0%			0%			0%	
Storage Length (ft)	190		505	140		505	670		0	215		0
Storage Lanes	1		1	1		2	2		0	2		0
Taper Length (ft)	140			90			290			300		
Lane Util. Factor	1.00	0.95	1.00	1.00	0.95	0.88	0.97	0.95	0.95	0.97	0.95	0.95
Ped Bike Factor												
Frt			0.850			0.850						0.998
Flt Protected	0.950			0.950			0.950			0.950		
Satd. Flow (prot)	1687	3725	1599	1805	3654	2584	3367	3505	0	3335	3450	0
Flt Permitted	0.435			0.105			0.950			0.950		
Satd. Flow (perm)	772	3725	1599	200	3654	2584	3367	3505	0	3335	3450	0
Right Turn on Red			No			No			No			No
Satd. Flow (RTOR)												
Link Speed (mph)		45			45			35				35
Link Distance (ft)		2957			2627			1774				588
Travel Time (s)		44.8			39.8			34.6				11.5
Confl. Peds. (#/hr)												
Confl. Bikes (#/hr)												
Peak Hour Factor	0.98	0.98	0.98	0.98	0.98	0.98	0.98	0.98	0.98	0.98	0.98	0.98
Growth Factor	100%	100%	100%	100%	100%	100%	100%	100%	100%	100%	100%	100%
Heavy Vehicles (%)	7%	2%	1%	0%	4%	10%	4%	3%	0%	5%	4%	40%
Bus Blockages (#/hr)	0	0	0	0	0	0	0	0	0	0	0	0
Parking (#/hr)												
Mid-Block Traffic (%)		0%			0%			0%				0%
Shared Lane Traffic (%)												
Lane Group Flow (vph)	13	796	340	27	397	748	973	1179	0	112	518	0
Turn Type	pm+pt	NA	pm+ov	pm+pt	NA	pm+ov	Prot	NA		Prot	NA	
Protected Phases	7	4	5	3	8	1	1	6		5	2	
Permitted Phases	4		4	8		8						
Detector Phase	7	4	5	3	8	1	1	6		5	2	
Switch Phase												
Minimum Initial (s)	3.0	15.0	3.0	3.0	15.0	3.0	3.0	15.0		3.0	15.0	
Minimum Split (s)	6.5	21.0	7.5	6.5	21.0	7.5	7.5	21.0		7.5	21.0	
Total Split (s)	13.5	39.0	22.5	13.5	39.0	42.0	42.0	75.0		22.5	55.5	
Total Split (%)	9.0%	26.0%	15.0%	9.0%	26.0%	28.0%	28.0%	50.0%		15.0%	37.0%	
Yellow Time (s)	3.5	4.5	3.5	3.5	4.5	3.5	3.5	4.5		3.5	4.5	
All-Red Time (s)	0.0	1.5	1.0	0.0	1.5	1.0	1.0	1.5		1.0	1.5	
Lost Time Adjust (s)	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0		0.0	0.0	
Total Lost Time (s)	3.5	6.0	4.5	3.5	6.0	4.5	4.5	6.0		4.5	6.0	
Lead/Lag	Lead	Lag	Lead	Lead	Lag	Lead	Lead	Lag		Lead	Lag	
Lead-Lag Optimize?	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes		Yes	Yes	
Recall Mode	None	None	None	None	None	None	None	C-Min		None	C-Min	
Act Effct Green (s)	45.8	39.2	55.6	47.5	41.7	85.7	38.0	77.1		10.4	49.5	
Actuated g/C Ratio	0.31	0.26	0.37	0.32	0.28	0.57	0.25	0.51		0.07	0.33	

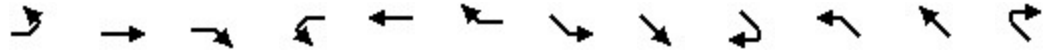
25-373 - Industrial Development - Palatine  
Projected Weekday Morning Peak Hour

Synchro 12 Report

Lanes, Volumes, Timings

1: Rand Road & Lake Cook Road

02/09/2026

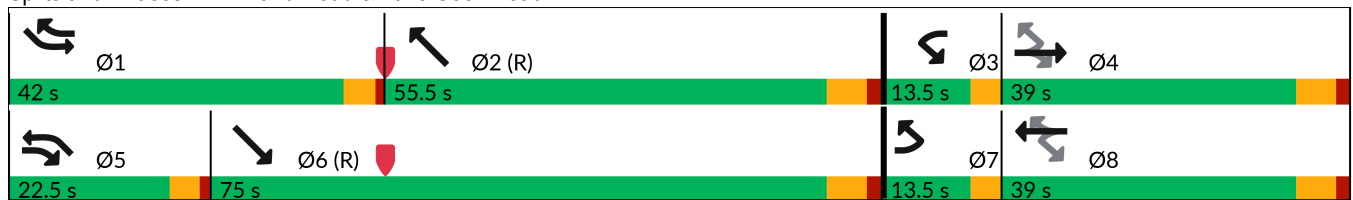


Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	SEL	SET	SER	NWL	NWT	NWR
v/c Ratio	0.05	0.82	0.57	0.20	0.39	0.51	1.14	0.65		0.48	0.46	
Control Delay (s/veh)	34.9	60.4	43.1	38.0	46.1	21.7	126.6	29.3		74.0	41.2	
Queue Delay	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0		0.0	0.0	
Total Delay (s/veh)	34.9	60.4	43.1	38.0	46.1	21.7	126.6	29.3		74.0	41.2	
LOS	C	E	D	D	D	C	F	C		E	D	
Approach Delay (s/veh)		55.0			30.3			73.3			47.0	
Approach LOS		D			C			E			D	
Queue Length 50th (ft)	9	399	275	18	158	224	~577	437		55	210	
Queue Length 95th (ft)	26	#531	382	42	231	338	#712	537		87	266	
Internal Link Dist (ft)		2877			2547			1694			508	
Turn Bay Length (ft)	190		505	140		505	670			215		
Base Capacity (vph)	306	972	673	171	1015	1476	853	1801		400	1138	
Starvation Cap Reductn	0	0	0	0	0	0	0	0		0	0	
Spillback Cap Reductn	0	0	0	0	0	0	0	0		0	0	
Storage Cap Reductn	0	0	0	0	0	0	0	0		0	0	
Reduced v/c Ratio	0.04	0.82	0.51	0.16	0.39	0.51	1.14	0.65		0.28	0.46	

Intersection Summary

Area Type: Other  
 Cycle Length: 150  
 Actuated Cycle Length: 150  
 Offset: 79.5 (53%), Referenced to phase 2:NWT and 6:SET, Start of Green  
 Natural Cycle: 90  
 Control Type: Actuated-Coordinated  
 Maximum v/c Ratio: 1.14  
 Intersection Signal Delay (s/veh): 56.1 Intersection LOS: E  
 Intersection Capacity Utilization 76.6% ICU Level of Service D  
 Analysis Period (min) 15  
 ~ Volume exceeds capacity, queue is theoretically infinite.  
 Queue shown is maximum after two cycles.  
 # 95th percentile volume exceeds capacity, queue may be longer.  
 Queue shown is maximum after two cycles.

Splits and Phases: 1: Rand Road & Lake Cook Road



Intersection						
Int Delay, s/veh	0					
Movement	SET	SER	NWL	NWT	NEL	NER
Lane Configurations	↑↑			↑↑		↑
Traffic Vol, veh/h	1651	7	0	633	0	1
Future Vol, veh/h	1651	7	0	633	0	1
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Stop	Stop
RT Channelized	-	None	-	None	-	None
Storage Length	-	-	-	-	-	0
Veh in Median Storage, #	0	-	-	0	0	-
Grade, %	0	-	-	0	0	-
Peak Hour Factor	95	95	95	95	95	95
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	1738	7	0	666	0	1

Major/Minor	Major1	Major2	Minor1			
Conflicting Flow All	0	0	-	-	-	873
Stage 1	-	-	-	-	-	-
Stage 2	-	-	-	-	-	-
Critical Hdwy	-	-	-	-	-	6.94
Critical Hdwy Stg 1	-	-	-	-	-	-
Critical Hdwy Stg 2	-	-	-	-	-	-
Follow-up Hdwy	-	-	-	-	-	3.32
Pot Cap-1 Maneuver	-	-	0	-	0	294
Stage 1	-	-	0	-	0	-
Stage 2	-	-	0	-	0	-
Platoon blocked, %	-	-	-	-	-	-
Mov Cap-1 Maneuver	-	-	-	-	-	294
Mov Cap-2 Maneuver	-	-	-	-	-	-
Stage 1	-	-	-	-	-	-
Stage 2	-	-	-	-	-	-

Approach	SE	NW	NE
HCM Ctrl Dly, s/v	0	0	17.31
HCM LOS			C

Minor Lane/Major Mvmt	NELn1	NWT	SET	SER
Capacity (veh/h)	294	-	-	-
HCM Lane V/C Ratio	0.004	-	-	-
HCM Ctrl Dly (s/v)	17.3	-	-	-
HCM Lane LOS	C	-	-	-
HCM 95th %tile Q(veh)	0	-	-	-

Intersection						
Int Delay, s/veh	0					
Movement	SEL	SET	NWT	NWR	SWL	SWR
Lane Configurations						
Traffic Vol, veh/h	0	1636	633	0	0	0
Future Vol, veh/h	0	1636	633	0	0	0
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Stop	Stop
RT Channelized	-	None	-	None	-	None
Storage Length	50	-	-	-	0	-
Veh in Median Storage, #	-	0	0	-	1	-
Grade, %	-	0	0	-	0	-
Peak Hour Factor	91	91	91	91	91	91
Heavy Vehicles, %	0	4	4	0	0	0
Mvmt Flow	0	1798	696	0	0	0

Major/Minor	Major1	Major2	Minor2		
Conflicting Flow All	696	0	-	0	1595 348
Stage 1	-	-	-	-	696 -
Stage 2	-	-	-	-	899 -
Critical Hdwy	4.1	-	-	-	6.8 6.9
Critical Hdwy Stg 1	-	-	-	-	5.8 -
Critical Hdwy Stg 2	-	-	-	-	5.8 -
Follow-up Hdwy	2.2	-	-	-	3.5 3.3
Pot Cap-1 Maneuver	910	-	-	-	100 654
Stage 1	-	-	-	-	461 -
Stage 2	-	-	-	-	363 -
Platoon blocked, %		-	-	-	
Mov Cap-1 Maneuver	910	-	-	-	100 654
Mov Cap-2 Maneuver	-	-	-	-	230 -
Stage 1	-	-	-	-	461 -
Stage 2	-	-	-	-	363 -

Approach	SE	NW	SW
HCM Ctrl Dly, s/v	0	0	0
HCM LOS			A

Minor Lane/Major Mvmt	NWT	NWR	SEL	SETSWLn1
Capacity (veh/h)	-	-	910	-
HCM Lane V/C Ratio	-	-	-	-
HCM Ctrl Dly (s/v)	-	-	0	0
HCM Lane LOS	-	-	A	A
HCM 95th %tile Q(veh)	-	-	0	-

Intersection												
Int Delay, s/veh	0.2											
Movement	SEL	SET	SER	NWL	NWT	NWR	NEL	NET	NER	SWL	SWT	SWR
Lane Configurations	↖	↗			↖↗			↔			↔	
Traffic Vol, veh/h	3	1632	1	4	634	1	1	0	0	0	0	3
Future Vol, veh/h	3	1632	1	4	634	1	1	0	0	0	0	3
Conflicting Peds, #/hr	0	0	0	0	0	0	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Free	Free	Stop	Stop	Stop	Stop	Stop	Stop
RT Channelized	-	-	None	-	-	None	-	-	None	-	-	None
Storage Length	25	-	-	-	-	-	-	-	-	-	-	-
Veh in Median Storage, #	-	0	-	-	0	-	-	1	-	-	1	-
Grade, %	-	0	-	-	0	-	-	0	-	-	0	-
Peak Hour Factor	89	89	89	89	89	89	89	89	89	89	89	89
Heavy Vehicles, %	0	4	2	2	1	2	2	2	2	0	2	0
Mvmt Flow	3	1834	1	4	712	1	1	0	0	0	0	3

Major/Minor	Major1			Major2			Minor1			Minor2		
Conflicting Flow All	713	0	0	1835	0	0	2206	2563	917	1646	2563	357
Stage 1	-	-	-	-	-	-	1841	1841	-	722	722	-
Stage 2	-	-	-	-	-	-	365	722	-	924	1842	-
Critical Hdwy	4.1	-	-	4.14	-	-	7.54	6.54	6.94	7.5	6.54	6.9
Critical Hdwy Stg 1	-	-	-	-	-	-	6.54	5.54	-	6.5	5.54	-
Critical Hdwy Stg 2	-	-	-	-	-	-	6.54	5.54	-	6.5	5.54	-
Follow-up Hdwy	2.2	-	-	2.22	-	-	3.52	4.02	3.32	3.5	4.02	3.3
Pot Cap-1 Maneuver	896	-	-	328	-	-	25	26	274	67	26	646
Stage 1	-	-	-	-	-	-	78	124	-	389	429	-
Stage 2	-	-	-	-	-	-	626	429	-	294	124	-
Platoon blocked, %	-	-	-	-	-	-	-	-	-	-	-	-
Mov Cap-1 Maneuver	896	-	-	328	-	-	24	25	274	66	25	646
Mov Cap-2 Maneuver	-	-	-	-	-	-	67	95	-	179	92	-
Stage 1	-	-	-	-	-	-	78	124	-	382	422	-
Stage 2	-	-	-	-	-	-	613	422	-	293	124	-

Approach	SE			NW			NE			SW		
HCM Ctrl Dly, s/v	0.02			0.37			59.94			10.61		
HCM LOS							F			B		

Minor Lane/Major Mvmt	NELn1	NWL	NWT	NWR	SEL	SET	SERSWLn1
Capacity (veh/h)	67	22	-	-	896	-	646
HCM Lane V/C Ratio	0.017	0.014	-	-	0.004	-	0.005
HCM Ctrl Dly (s/v)	59.9	16.1	0.3	-	9	-	10.6
HCM Lane LOS	F	C	A	-	A	-	B
HCM 95th %tile Q(veh)	0.1	0	-	-	0	-	0

Intersection						
Int Delay, s/veh	0					
Movement	SEL	SET	NWT	NWR	SWL	SWR
Lane Configurations						
Traffic Vol, veh/h	1	1630	634	1	0	1
Future Vol, veh/h	1	1630	634	1	0	1
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Stop	Stop
RT Channelized	-	None	-	None	-	None
Storage Length	25	-	-	-	0	-
Veh in Median Storage, #	-	0	0	-	1	-
Grade, %	-	0	0	-	0	-
Peak Hour Factor	87	87	87	87	87	87
Heavy Vehicles, %	0	0	0	4	0	0
Mvmt Flow	1	1874	729	1	0	1

Major/Minor	Major1	Major2	Minor2		
Conflicting Flow All	730	0	-	0	1668 365
Stage 1	-	-	-	-	729 -
Stage 2	-	-	-	-	939 -
Critical Hdwy	4.1	-	-	-	6.8 6.9
Critical Hdwy Stg 1	-	-	-	-	5.8 -
Critical Hdwy Stg 2	-	-	-	-	5.8 -
Follow-up Hdwy	2.2	-	-	-	3.5 3.3
Pot Cap-1 Maneuver	883	-	-	-	89 638
Stage 1	-	-	-	-	443 -
Stage 2	-	-	-	-	345 -
Platoon blocked, %		-	-	-	
Mov Cap-1 Maneuver	883	-	-	-	89 638
Mov Cap-2 Maneuver	-	-	-	-	217 -
Stage 1	-	-	-	-	443 -
Stage 2	-	-	-	-	345 -

Approach	SE	NW	SW
HCM Ctrl Dly, s/v	0.01	0	10.66
HCM LOS			B

Minor Lane/Major Mvmt	NWT	NWR	SEL	SETSWLn1
Capacity (veh/h)	-	-	883	- 638
HCM Lane V/C Ratio	-	-	0.001	- 0.002
HCM Ctrl Dly (s/v)	-	-	9.1	- 10.7
HCM Lane LOS	-	-	A	- B
HCM 95th %tile Q(veh)	-	-	0	- 0

Intersection												
Int Delay, s/veh	0.2											
Movement	SEL	SET	SER	NWL	NWT	NWR	NEL	NET	NER	SWL	SWT	SWR
Lane Configurations	↖	↗		↖	↗			↕			↕	
Traffic Vol, veh/h	0	1625	5	6	630	2	4	0	11	0	0	1
Future Vol, veh/h	0	1625	5	6	630	2	4	0	11	0	0	1
Conflicting Peds, #/hr	0	0	0	0	0	0	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Free	Free	Stop	Stop	Stop	Stop	Stop	Stop
RT Channelized	-	-	None	-	-	None	-	-	None	-	-	None
Storage Length	25	-	-	50	-	-	-	-	-	-	-	-
Veh in Median Storage, #	-	0	-	-	0	-	-	1	-	-	1	-
Grade, %	-	0	-	-	0	-	-	0	-	-	0	-
Peak Hour Factor	92	92	92	92	92	92	92	92	92	92	92	92
Heavy Vehicles, %	0	7	50	0	4	0	0	0	9	0	0	0
Mvmt Flow	0	1766	5	7	685	2	4	0	12	0	0	1

Major/Minor	Major1			Major2			Minor1			Minor2		
Conflicting Flow All	687	0	0	1772	0	0	2124	2469	886	1582	2471	343
Stage 1	-	-	-	-	-	-	1769	1769	-	699	699	-
Stage 2	-	-	-	-	-	-	355	700	-	883	1772	-
Critical Hdwy	4.1	-	-	4.1	-	-	7.5	6.5	7.08	7.5	6.5	6.9
Critical Hdwy Stg 1	-	-	-	-	-	-	6.5	5.5	-	6.5	5.5	-
Critical Hdwy Stg 2	-	-	-	-	-	-	6.5	5.5	-	6.5	5.5	-
Follow-up Hdwy	2.2	-	-	2.2	-	-	3.5	4	3.39	3.5	4	3.3
Pot Cap-1 Maneuver	916	-	-	356	-	-	29	31	274	75	31	658
Stage 1	-	-	-	-	-	-	88	138	-	401	445	-
Stage 2	-	-	-	-	-	-	640	444	-	311	137	-
Platoon blocked, %	-	-	-	-	-	-	-	-	-	-	-	-
Mov Cap-1 Maneuver	916	-	-	356	-	-	29	30	274	70	30	658
Mov Cap-2 Maneuver	-	-	-	-	-	-	76	105	-	184	101	-
Stage 1	-	-	-	-	-	-	88	138	-	394	437	-
Stage 2	-	-	-	-	-	-	628	436	-	298	137	-

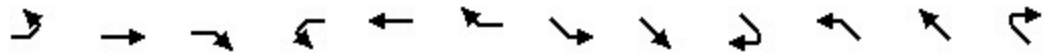
Approach	SE	NW	NE	SW
HCM Ctrl Dly, s/v	0	0.14	29.8	10.48
HCM LOS			D	B

Minor Lane/Major Mvmt	NELn1	NWL	NWT	NWR	SEL	SET	SERSWLn1
Capacity (veh/h)	161	356	-	-	916	-	658
HCM Lane V/C Ratio	0.101	0.018	-	-	-	-	0.002
HCM Ctrl Dly (s/v)	29.8	15.3	-	-	0	-	10.5
HCM Lane LOS	D	C	-	-	A	-	B
HCM 95th %tile Q(veh)	0.3	0.1	-	-	0	-	0

Capacity Analysis Summary Sheets  
Year 2031 Total Projected Weekday Evening Peak Hour

Lanes, Volumes, Timings  
1: Rand Road & Lake Cook Road

02/09/2026



Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	SEL	SET	SER	NWL	NWT	NWR
Lane Configurations												
Traffic Volume (vph)	19	394	175	19	768	1099	839	874	11	229	890	8
Future Volume (vph)	19	394	175	19	768	1099	839	874	11	229	890	8
Ideal Flow (vphpl)	1900	2000	1900	1900	2000	1900	1900	1900	1900	1900	1900	1900
Lane Width (ft)	12	12	12	12	12	12	12	12	12	12	12	12
Grade (%)		0%			0%			0%			0%	
Storage Length (ft)	190		505	140		505	670		0	215		0
Storage Lanes	1		1	1		2	2		0	2		0
Taper Length (ft)	140			90			290			300		
Lane Util. Factor	1.00	0.95	1.00	1.00	0.95	0.88	0.97	0.95	0.95	0.97	0.95	0.95
Ped Bike Factor												
Frt			0.850			0.850		0.998			0.999	
Flt Protected	0.950			0.950			0.950			0.950		
Satd. Flow (prot)	1703	3762	1538	1736	3762	2814	3400	3495	0	3467	3571	0
Flt Permitted	0.104			0.397			0.950			0.950		
Satd. Flow (perm)	186	3762	1538	725	3762	2814	3400	3495	0	3467	3571	0
Right Turn on Red			No			No			No			No
Satd. Flow (RTOR)												
Link Speed (mph)		45			45			35			35	
Link Distance (ft)		2957			2627			1774			588	
Travel Time (s)		44.8			39.8			34.6			11.5	
Confl. Peds. (#/hr)												
Confl. Bikes (#/hr)												
Peak Hour Factor	0.97	0.97	0.97	0.97	0.97	0.97	0.97	0.97	0.97	0.97	0.97	0.97
Growth Factor	100%	100%	100%	100%	100%	100%	100%	100%	100%	100%	100%	100%
Heavy Vehicles (%)	6%	1%	5%	4%	1%	1%	3%	3%	9%	1%	1%	0%
Bus Blockages (#/hr)	0	0	0	0	0	0	0	0	0	0	0	0
Parking (#/hr)												
Mid-Block Traffic (%)		0%			0%			0%			0%	
Shared Lane Traffic (%)												
Lane Group Flow (vph)	20	406	180	20	792	1133	865	912	0	236	926	0
Turn Type	pm+pt	NA	pm+ov	pm+pt	NA	pm+ov	Prot	NA		Prot	NA	
Protected Phases	7	4	5	3	8	1	1	6		5	2	
Permitted Phases	4		4	8		8						
Detector Phase	7	4	5	3	8	1	1	6		5	2	
Switch Phase												
Minimum Initial (s)	3.0	15.0	3.0	3.0	15.0	3.0	3.0	15.0		3.0	15.0	
Minimum Split (s)	6.5	21.0	7.5	6.5	21.0	7.5	7.5	21.0		7.5	21.0	
Total Split (s)	13.5	39.0	22.5	13.5	39.0	42.0	42.0	75.0		22.5	55.5	
Total Split (%)	9.0%	26.0%	15.0%	9.0%	26.0%	28.0%	28.0%	50.0%		15.0%	37.0%	
Yellow Time (s)	3.5	4.5	3.5	3.5	4.5	3.5	3.5	4.5		3.5	4.5	
All-Red Time (s)	0.0	1.5	1.0	0.0	1.5	1.0	1.0	1.5		1.0	1.5	
Lost Time Adjust (s)	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0		0.0	0.0	
Total Lost Time (s)	3.5	6.0	4.5	3.5	6.0	4.5	4.5	6.0		4.5	6.0	
Lead/Lag	Lead	Lag	Lead	Lead	Lag	Lead	Lead	Lag		Lead	Lag	
Lead-Lag Optimize?	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes		Yes	Yes	
Recall Mode	None	None	None	None	None	None	None	C-Min		None	C-Min	
Act Effct Green (s)	46.1	39.1	60.2	45.9	39.0	83.4	38.4	72.7		15.2	49.5	
Actuated g/C Ratio	0.31	0.26	0.40	0.31	0.26	0.56	0.26	0.48		0.10	0.33	

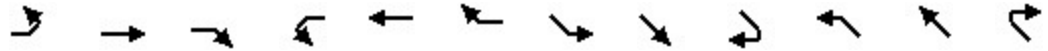
25-373 - Industrial Development - Palatine  
Projected Weekday Evening Peak Hour

Synchro 12 Report

Lanes, Volumes, Timings

1: Rand Road & Lake Cook Road

02/09/2026

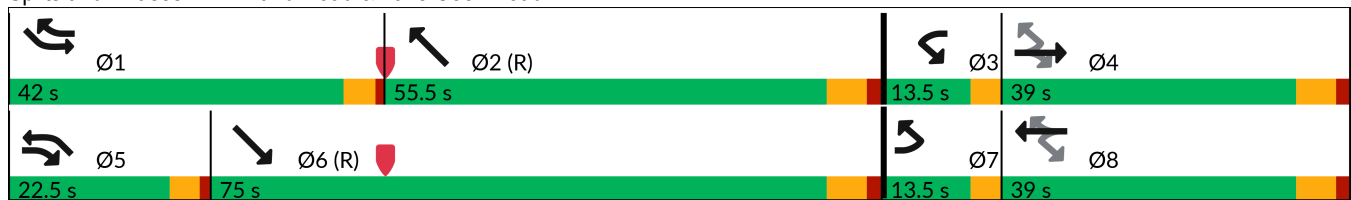


Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	SEL	SET	SER	NWL	NWT	NWR
v/c Ratio	0.16	0.41	0.29	0.07	0.81	0.72	0.99	0.54		0.67	0.79	
Control Delay (s/veh)	37.4	48.3	32.4	35.3	60.0	29.1	84.1	29.0		74.7	51.2	
Queue Delay	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0		0.0	0.0	
Total Delay (s/veh)	37.4	48.3	32.4	35.3	60.0	29.1	84.1	29.0		74.7	51.2	
LOS	D	D	C	D	E	C	F	C		E	D	
Approach Delay (s/veh)		43.2			41.8			55.8			56.0	
Approach LOS		D			D			E			E	
Queue Length 50th (ft)	13	178	122	13	395	481	~460	327		116	431	
Queue Length 95th (ft)	34	236	184	34	#515	597	#592	406		161	516	
Internal Link Dist (ft)		2877			2547			1694			508	
Turn Bay Length (ft)	190		505	140		505	670			215		
Base Capacity (vph)	159	979	646	296	977	1564	870	1694		416	1178	
Starvation Cap Reductn	0	0	0	0	0	0	0	0		0	0	
Spillback Cap Reductn	0	0	0	0	0	0	0	0		0	0	
Storage Cap Reductn	0	0	0	0	0	0	0	0		0	0	
Reduced v/c Ratio	0.13	0.41	0.28	0.07	0.81	0.72	0.99	0.54		0.57	0.79	

Intersection Summary

Area Type: Other  
 Cycle Length: 150  
 Actuated Cycle Length: 150  
 Offset: 79.5 (53%), Referenced to phase 2:NWT and 6:SET, Start of Green  
 Natural Cycle: 90  
 Control Type: Actuated-Coordinated  
 Maximum v/c Ratio: 0.99  
 Intersection Signal Delay (s/veh): 49.5  
 Intersection LOS: D  
 Intersection Capacity Utilization 82.7%  
 ICU Level of Service E  
 Analysis Period (min) 15  
 ~ Volume exceeds capacity, queue is theoretically infinite.  
 Queue shown is maximum after two cycles.  
 # 95th percentile volume exceeds capacity, queue may be longer.  
 Queue shown is maximum after two cycles.

Splits and Phases: 1: Rand Road & Lake Cook Road



Intersection						
Int Delay, s/veh	0					
Movement	SET	SER	NWL	NWT	NEL	NER
Lane Configurations	↑↑			↑↑		↑
Traffic Vol, veh/h	1178	3	0	1242	0	4
Future Vol, veh/h	1178	3	0	1242	0	4
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Stop	Stop
RT Channelized	-	None	-	None	-	None
Storage Length	-	-	-	-	-	0
Veh in Median Storage, #	0	-	-	0	0	-
Grade, %	0	-	-	0	0	-
Peak Hour Factor	95	95	95	95	95	95
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	1240	3	0	1307	0	4

Major/Minor	Major1	Major2	Minor1			
Conflicting Flow All	0	0	-	-	-	622
Stage 1	-	-	-	-	-	-
Stage 2	-	-	-	-	-	-
Critical Hdwy	-	-	-	-	-	6.94
Critical Hdwy Stg 1	-	-	-	-	-	-
Critical Hdwy Stg 2	-	-	-	-	-	-
Follow-up Hdwy	-	-	-	-	-	3.32
Pot Cap-1 Maneuver	-	-	0	-	0	430
Stage 1	-	-	0	-	0	-
Stage 2	-	-	0	-	0	-
Platoon blocked, %	-	-	-	-	-	-
Mov Cap-1 Maneuver	-	-	-	-	-	430
Mov Cap-2 Maneuver	-	-	-	-	-	-
Stage 1	-	-	-	-	-	-
Stage 2	-	-	-	-	-	-

Approach	SE	NW	NE
HCM Ctrl Dly, s/v	0	0	13.46
HCM LOS			B

Minor Lane/Major Mvmt	NELn1	NWT	SET	SER
Capacity (veh/h)	430	-	-	-
HCM Lane V/C Ratio	0.01	-	-	-
HCM Ctrl Dly (s/v)	13.5	-	-	-
HCM Lane LOS	B	-	-	-
HCM 95th %tile Q(veh)	0	-	-	-

Intersection						
Int Delay, s/veh	0					
Movement	SEL	SET	NWT	NWR	SWL	SWR
Lane Configurations						
Traffic Vol, veh/h	0	1173	1243	1	0	0
Future Vol, veh/h	0	1173	1243	1	0	0
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Stop	Stop
RT Channelized	-	None	-	None	-	None
Storage Length	50	-	-	-	0	-
Veh in Median Storage, #	-	0	0	-	1	-
Grade, %	-	0	0	-	0	-
Peak Hour Factor	91	91	91	91	91	91
Heavy Vehicles, %	0	4	4	0	0	0
Mvmt Flow	0	1289	1366	1	0	0

Major/Minor	Major1	Major2	Minor2
Conflicting Flow All	1367	0	0 2011 684
Stage 1	-	-	- 1366 -
Stage 2	-	-	- 645 -
Critical Hdwy	4.1	-	- 6.8 6.9
Critical Hdwy Stg 1	-	-	- 5.8 -
Critical Hdwy Stg 2	-	-	- 5.8 -
Follow-up Hdwy	2.2	-	- 3.5 3.3
Pot Cap-1 Maneuver	509	-	- 52 396
Stage 1	-	-	- 206 -
Stage 2	-	-	- 490 -
Platoon blocked, %	-	-	-
Mov Cap-1 Maneuver	509	-	- 52 396
Mov Cap-2 Maneuver	-	-	- 151 -
Stage 1	-	-	- 206 -
Stage 2	-	-	- 490 -

Approach	SE	NW	SW
HCM Ctrl Dly, s/v	0	0	0
HCM LOS			A

Minor Lane/Major Mvmt	NWT	NWR	SEL	SETSWLn1
Capacity (veh/h)	-	-	509	-
HCM Lane V/C Ratio	-	-	-	-
HCM Ctrl Dly (s/v)	-	-	0	0
HCM Lane LOS	-	-	A	A
HCM 95th %tile Q(veh)	-	-	0	-

Intersection												
Int Delay, s/veh	0.2											
Movement	SEL	SET	SER	NWL	NWT	NWR	NEL	NET	NER	SWL	SWT	SWR
Lane Configurations	↖	↗			↖			↗			↗	
Traffic Vol, veh/h	0	1177	2	1	1232	0	12	0	2	0	0	2
Future Vol, veh/h	0	1177	2	1	1232	0	12	0	2	0	0	2
Conflicting Peds, #/hr	0	0	0	0	0	0	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Free	Free	Stop	Stop	Stop	Stop	Stop	Stop
RT Channelized	-	-	None	-	-	None	-	-	None	-	-	None
Storage Length	25	-	-	-	-	-	-	-	-	-	-	-
Veh in Median Storage, #	-	0	-	-	0	-	-	1	-	-	1	-
Grade, %	-	0	-	-	0	-	-	0	-	-	0	-
Peak Hour Factor	89	89	89	89	89	89	89	89	89	89	89	89
Heavy Vehicles, %	0	4	2	2	1	2	2	2	2	0	2	0
Mvmt Flow	0	1322	2	1	1384	0	13	0	2	0	0	2

Major/Minor	Major1			Major2			Minor1			Minor2		
Conflicting Flow All	1384	0	0	1325	0	0	2018	2710	662	2048	2711	692
Stage 1	-	-	-	-	-	-	1324	1324	-	1387	1387	-
Stage 2	-	-	-	-	-	-	694	1387	-	661	1325	-
Critical Hdwy	4.1	-	-	4.14	-	-	7.54	6.54	6.94	7.5	6.54	6.9
Critical Hdwy Stg 1	-	-	-	-	-	-	6.54	5.54	-	6.5	5.54	-
Critical Hdwy Stg 2	-	-	-	-	-	-	6.54	5.54	-	6.5	5.54	-
Follow-up Hdwy	2.2	-	-	2.22	-	-	3.52	4.02	3.32	3.5	4.02	3.3
Pot Cap-1 Maneuver	501	-	-	517	-	-	34	21	404	33	21	391
Stage 1	-	-	-	-	-	-	165	224	-	153	208	-
Stage 2	-	-	-	-	-	-	399	208	-	423	223	-
Platoon blocked, %	-	-	-	-	-	-	-	-	-	-	-	-
Mov Cap-1 Maneuver	501	-	-	517	-	-	34	21	404	33	21	391
Mov Cap-2 Maneuver	-	-	-	-	-	-	119	108	-	114	107	-
Stage 1	-	-	-	-	-	-	165	224	-	153	208	-
Stage 2	-	-	-	-	-	-	395	208	-	420	223	-

Approach	SE			NW			NE			SW		
HCM Ctrl Dly, s/v	0			0.05			35.95			14.26		
HCM LOS							E			B		

Minor Lane/Major Mvmt	NELn1	NWL	NWT	NWR	SEL	SET	SERSWLn1
Capacity (veh/h)	132	3	-	-	501	-	391
HCM Lane V/C Ratio	0.119	0.002	-	-	-	-	0.006
HCM Ctrl Dly (s/v)	36	12	0	-	0	-	14.3
HCM Lane LOS	E	B	A	-	A	-	B
HCM 95th %tile Q(veh)	0.4	0	-	-	0	-	0

Intersection						
Int Delay, s/veh	0					
Movement	SEL	SET	NWT	NWR	SWL	SWR
Lane Configurations						
Traffic Vol, veh/h	0	1173	1232	0	0	0
Future Vol, veh/h	0	1173	1232	0	0	0
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Stop	Stop
RT Channelized	-	None	-	None	-	None
Storage Length	25	-	-	-	0	-
Veh in Median Storage, #	-	0	0	-	1	-
Grade, %	-	0	0	-	0	-
Peak Hour Factor	87	87	87	87	87	87
Heavy Vehicles, %	0	0	0	4	0	0
Mvmt Flow	0	1348	1416	0	0	0

Major/Minor	Major1	Major2	Minor2		
Conflicting Flow All	1416	0	-	0	2090 708
Stage 1	-	-	-	-	1416 -
Stage 2	-	-	-	-	674 -
Critical Hdwy	4.1	-	-	-	6.8 6.9
Critical Hdwy Stg 1	-	-	-	-	5.8 -
Critical Hdwy Stg 2	-	-	-	-	5.8 -
Follow-up Hdwy	2.2	-	-	-	3.5 3.3
Pot Cap-1 Maneuver	487	-	-	-	46 382
Stage 1	-	-	-	-	193 -
Stage 2	-	-	-	-	473 -
Platoon blocked, %		-	-	-	
Mov Cap-1 Maneuver	487	-	-	-	46 382
Mov Cap-2 Maneuver	-	-	-	-	142 -
Stage 1	-	-	-	-	193 -
Stage 2	-	-	-	-	473 -

Approach	SE	NW	SW
HCM Ctrl Dly, s/v	0	0	0
HCM LOS			A

Minor Lane/Major Mvmt	NWT	NWR	SEL	SETSWLn1
Capacity (veh/h)	-	-	487	-
HCM Lane V/C Ratio	-	-	-	-
HCM Ctrl Dly (s/v)	-	-	0	0
HCM Lane LOS	-	-	A	A
HCM 95th %tile Q(veh)	-	-	0	-

Intersection												
Int Delay, s/veh	0.2											
Movement	SEL	SET	SER	NWL	NWT	NWR	NEL	NET	NER	SWL	SWT	SWR
Lane Configurations	↖	↗		↖	↗			↕			↕	
Traffic Vol, veh/h	1	1169	3	5	1230	1	1	0	9	4	0	1
Future Vol, veh/h	1	1169	3	5	1230	1	1	0	9	4	0	1
Conflicting Peds, #/hr	0	0	0	0	0	0	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Free	Free	Stop	Stop	Stop	Stop	Stop	Stop
RT Channelized	-	-	None	-	-	None	-	-	None	-	-	None
Storage Length	25	-	-	50	-	-	-	-	-	-	-	-
Veh in Median Storage, #	-	0	-	-	0	-	-	1	-	-	1	-
Grade, %	-	0	-	-	0	-	-	0	-	-	0	-
Peak Hour Factor	92	92	92	92	92	92	92	92	92	92	92	92
Heavy Vehicles, %	0	7	50	0	4	0	0	0	9	0	0	0
Mvmt Flow	1	1271	3	5	1337	1	1	0	10	4	0	1

Major/Minor	Major1			Major2			Minor1			Minor2		
Conflicting Flow All	1338	0	0	1274	0	0	1954	2623	637	1986	2624	669
Stage 1	-	-	-	-	-	-	1274	1274	-	1348	1348	-
Stage 2	-	-	-	-	-	-	679	1349	-	638	1276	-
Critical Hdwy	4.1	-	-	4.1	-	-	7.5	6.5	7.08	7.5	6.5	6.9
Critical Hdwy Stg 1	-	-	-	-	-	-	6.5	5.5	-	6.5	5.5	-
Critical Hdwy Stg 2	-	-	-	-	-	-	6.5	5.5	-	6.5	5.5	-
Follow-up Hdwy	2.2	-	-	2.2	-	-	3.5	4	3.39	3.5	4	3.3
Pot Cap-1 Maneuver	522	-	-	552	-	-	39	24	403	37	24	405
Stage 1	-	-	-	-	-	-	180	240	-	162	221	-
Stage 2	-	-	-	-	-	-	412	221	-	437	240	-
Platoon blocked, %	-	-	-	-	-	-	-	-	-	-	-	-
Mov Cap-1 Maneuver	522	-	-	552	-	-	39	24	403	36	24	405
Mov Cap-2 Maneuver	-	-	-	-	-	-	128	115	-	118	114	-
Stage 1	-	-	-	-	-	-	179	240	-	160	219	-
Stage 2	-	-	-	-	-	-	407	219	-	425	239	-

Approach	SE			NW			NE			SW		
HCM Ctrl Dly, s/v	0.01			0.05			16.21			32.17		
HCM LOS							C			D		

Minor Lane/Major Mvmt	NELn1	NWL	NWT	NWR	SEL	SET	SERSWLn1
Capacity (veh/h)	332	552	-	-	522	-	138
HCM Lane V/C Ratio	0.033	0.01	-	-	0.002	-	0.039
HCM Ctrl Dly (s/v)	16.2	11.6	-	-	11.9	-	32.2
HCM Lane LOS	C	B	-	-	B	-	D
HCM 95th %tile Q(veh)	0.1	0	-	-	0	-	0.1

## PUBLIC NOTICE

A Public Hearing will be held before the Village of Palatine Planning and Zoning Commission on Tuesday, April 28, 2026 at 7 PM, in the Village Council Chambers in the Palatine Village Hall, 200 E. Wood Street, relative to a request for the following:

- 1. Final Planned Development to permit a logistics and distribution use, with accessory office uses; and**
- 2. Final Plat of Subdivision to allow for the consolidation of 6 existing lots into one consolidated lot;**
- 3. Rezoning from Planned Development to B-5 Highway Business District for the property at 2296 N Rand Road.**

The property is commonly known as 2240 -2266 N. Rand Road and 2296 N. Rand Road.

The Petitioners are requesting a Final Planned Development for a logistics, distribution, and trucking use (Globe Transportation Inc.) at the Subject Property. The proposed approximately 44,911 square foot building, will contain accessory office uses, vehicle and trailer parking areas, and incidental vehicle/truck maintenance activities. In addition to the Final Planned Development, the proposed Subdivision would consolidate the existing lots (currently containing multiple commercial buildings/parking lots) into a single lot.

The rezoning of the 2296 N. Rand Road property from Planned Development to B-5 Highway District will restore that property to its previous zoning classification.

The above petition has been filed by Joseph Lewis, agent, and is available for examination in the office of the Village Clerk, 200 E. Wood Street.

FILE #: FPD-000247-2026 VILLAGE OF PALATINE

Jan Wood, Chair  
Palatine Planning & Zoning Commission

DATED: This 9<sup>th</sup> day of April, 2026

# CERTIFICATE OF PUBLICATION

DES PLAINES JOURNAL, INC., a corporation organized and existing under and by virtue of the laws of the State of Illinois, does hereby CERTIFY that it is the publisher of the:

Journal & Topics Newspapers  
AKA Des Plaines Journal, Inc.  
622 Graceland Ave.  
Des Plaines, IL 60016-4556

and that said newspaper(s) is a secular newspaper of general circulation and has been published weekly in the

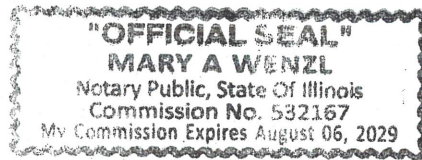
(Village) (Town) (City) (Township) of PALATINE 2240-2266 N. Rand Rd.  
2296 N. Rand Rd.  
     
County of COOK

and State of Illinois, continuously for more than one year prior to date of the first publication of the notice attached hereto, and that said newspaper(s) complies with the requirements of Paragraphs 5 and 10, Chapter 100, of the Illinois Revised Statutes.

Further, that the notice, of which the attached is a true copy, was published ONE times in the said newspaper(s), namely once each week for ONE successive week(s) and that the first publication of said notice was made on the 9TH day of APRIL, A.D. 2026, and the last publication thereof was made on the 9TH day of APRIL, A.D. 2026.

Your Legal appeared in the following Journal & Topics Newspapers (Des Plaines Journal, Inc.)

- Des Plaines Journal
- Elk Grove Village Journal
- Mt. Prospect Journal
- Niles Journal
- Park Ridge-Golf Mill Journal
- Prospect Heights Journal
- Rosemont Journal
- Arlington Heights Topics
- Buffalo Grove Topics
- Palatine Topics
- Rolling Meadows Topics
- Wheeling Topics
- Suburban Journal
- Northwest Journal
- Glenview Journal



*Mary A. Wenzl*

IN WITNESS WHEREOF, THE DES PLAINES JOURNAL, INC., has caused this certificate to be signed and its corporate seal affixed hereto at Des Plaines, Illinois this 9TH day of APRIL A.D., 2026.

By Todd Wessell

President  
Title of Corporate Officer

County of Cook  
State of Illinois

Subscribed and sworn to before me this 9TH day of APRIL A.D., 2026.

My commission expires the 6TH day of AUGUST A.D., 2029.

**560 S. Hicks Road****STAFF REPORT:**

**TO:** Palatine Planning and Zoning Commission  
Jan Wood, Chair

**FROM:** Ben Vyverberg

**PETITIONER:** Taz Holdings LLC - MBL Recycling Series

**PLAN NUMBER:** SU-000228-2025

**BACKGROUND:**

The Subject Property is approximately 2.4 acres and is zoned manufacturing. The property is improved with an approximately 60,000 square foot building, associated parking lot and exterior paved areas. The Petitioners are proposing to operate another material processing facility (the Petitioners operate a similar use at the property directly south @ 630 S. Hicks Road). The Village Code was amended in 2005 to recognize uses which provide services for the "... Transfer, Storage, and Treatment of General Construction Materials, Demolition Debris, and Wood Waste...", as Special Uses in the Zoning Ordinance. Therefore, the Petitioner is requesting the following:

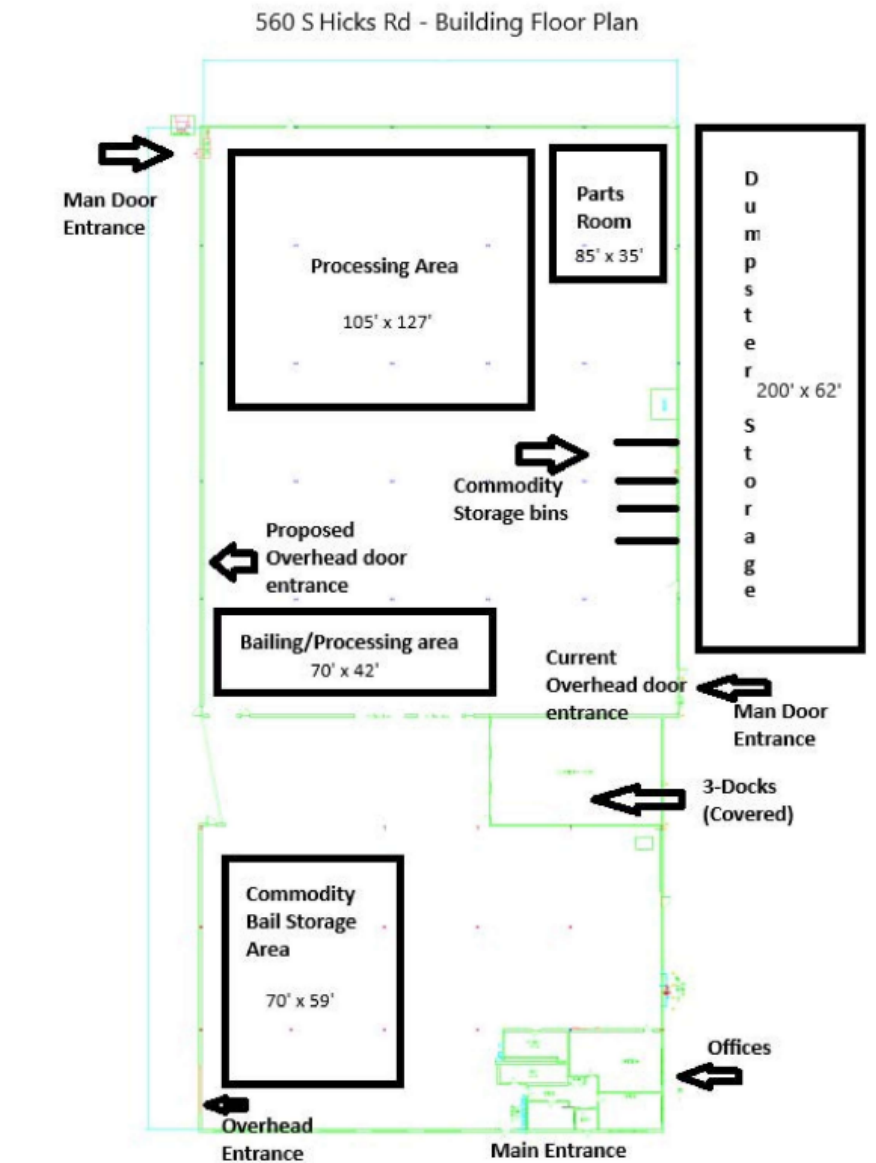
**Special Use to allow for a use that will provide for the transfer, storage, and treatment of general construction materials, demolition debris, and wood waste and accessory permitted office uses.**

**KEY ISSUES:**

- The Petitioners have acquired the property and are proposing to expand the existing Economy Disposal Service into the Subject Property. The existing waste management uses and operations at 630 S. Hicks Road would continue to function in their current capacity and the Subject Property would function in a similar manner.
- The proposed materials served by the 560 building would include brick, concrete, and masonry materials, rock, and wood (including non-hazardous painted, treated and coated wood, and wood products). Additionally, such materials including plaster, drywall, plumbing fixtures, non-asbestos insulation, roofing materials, asphalt, glass, plastics (not sealed to conceal waste/contaminates), and electric wiring or piping would also be processed.
- The Subject Building is approximately 60,000 square feet and the waste

management process would include material sorting and bailing, followed by processing and refinement. The waste management process would be completed through packaging and distribution.

- The floor plan of the building would be separated into various stages and work areas to address the internal processing of each phase of the waste management process:



- The internal equipment necessary for the waste management services include balers, palletizing equipment, separators, conveyors, and quality testing units. The installation of these items into the 560 building would be subject to building permit review, which would also include an egress route to the exit doors on the

west side of the property. Although both waste management uses are proposed to operate on adjacent properties, the existing building and parking configurations are not conducive to allowing any interconnections of the buildings and uses. Nevertheless, there is likely a shared benefit provided in the proximity of the buildings and uses.

**STANDARDS FOR SPECIAL USE:** Since this Petition is not for a use publicly operated or traditionally affected with the public interest, those standards under Section 14.05 D (2) and (3) are applicable. Specifically, the Petitioners must show that the Special Use, if granted, is so designed, located, and proposed to be operated that the public health, safety, and welfare will be protected and will not cause substantial injury to the value of other property in the neighborhood in which it is located. The Petitioners have attempted to address the required standards.

**STAFF RECOMMENDATION:**

The submitted business plan and information indicate that the proposed business expansion would operate in a similar manner to the existing Special Use at 630 S. Hicks Road. As the use is contemplated as a Special Use in the manufacturing district, Staff does not believe that the use should impact the surrounding properties and would be compatible with the surrounding manufacturing uses within the corridor along S. Hicks Road. Additionally, in addition to the proposed Special Use conditions, the waste management use would be required to adhere to the performance standards in the manufacturing district.

Therefore, Staff recommends approval subject to the following conditions:

1. The Special Use shall substantially conform to the business plan and floorplan, submitted by the Petitioner, except as such plans may be changed to conform to Village Codes and Ordinances.
2. The business operations are limited to the receiving, sorting, storing, and consolidating for shipment of "Debris Material." Debris Material consists of and is limited to the following non-hazardous substances resulting from construction, remodeling, repair, and demolition of utilities, structures, and roads, as identified in the business plan. Debris does not include asbestos or asbestos-containing material, as defined by the most stringent of the Illinois Environmental Protection Act, Clean Air Act or regulations adopted thereunder.
3. All required extra agency permits (e.g. IEPA, MWRD, etc.) shall be submitted to the Village in conjunction with the business license.
4. All business operations shall occur within the existing building, except for the storage of vehicles associated with the use and the screened dumpster storage. There shall be no stockpiling of material outside the building.
5. The final screening plan shall be submitted in a manner acceptable to the Director of

Planning and Zoning for the dumpster area on the north side of the building.

6. Any change or expansion to the proposed business operations will require approval of the Village.

7. All operations must be in compliance with all applicable State and Federal laws and regulations and operate without creating or perpetuating a public nuisance.

8. Other than the girding of wood, there shall be no crushing, grinding, reducing, shredding, burning or other treatment of any other debris material on site.

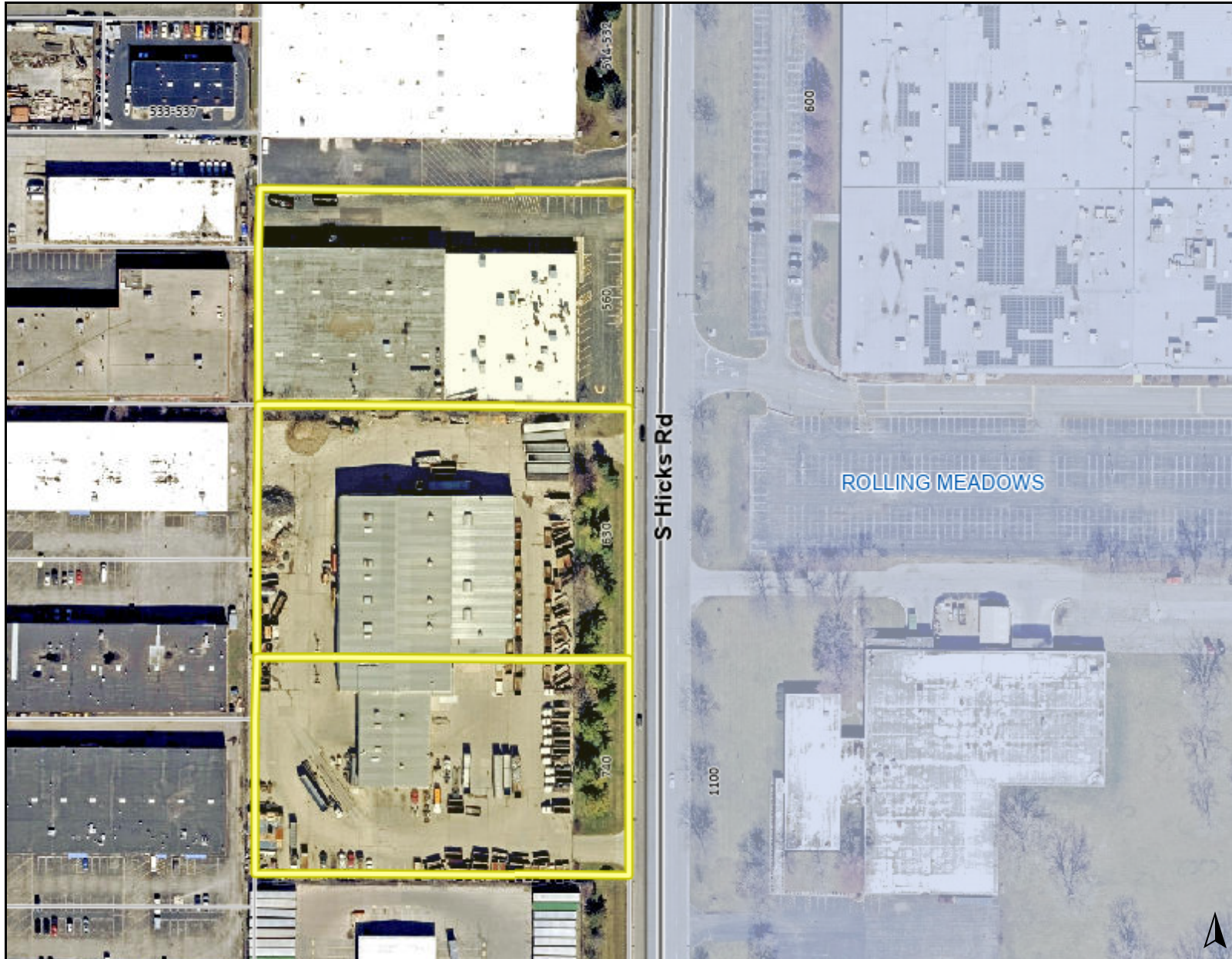
9. As part of the building permit/occupancy process, an NFPA 25 hazard evaluation of the sprinkler system shall be completed in a manner acceptable to the Fire Marshal.

Also, a clear and unobstructed access route to the fire hydrant in the north parking lot shall be provided in a manner acceptable to the Fire Marshal.

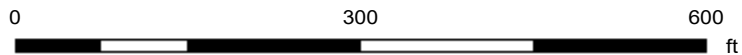
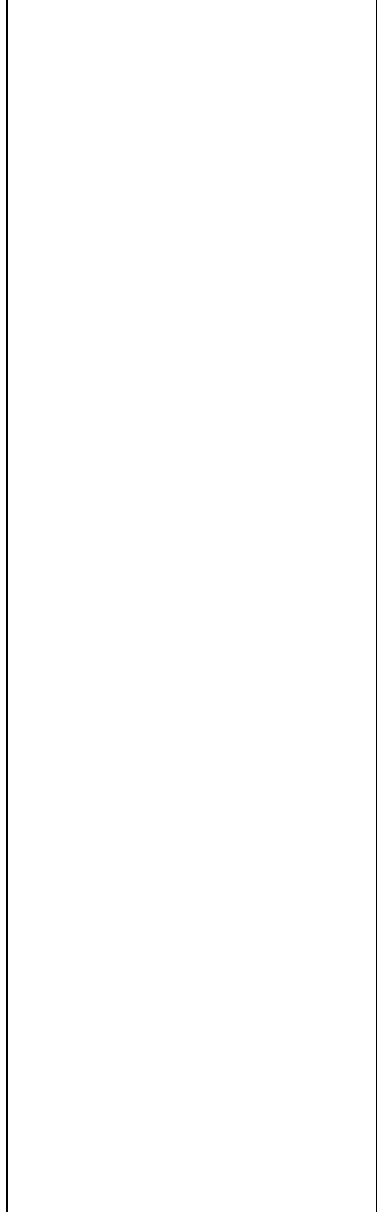
10. If qualified and required by the State of Illinois, as a General Construction or Demolition Debris (GCDD) facility, a copy of the GCCG permit shall be forwarded to the Environmental Health Department, as part of the business license process.

**ATTACHMENTS:**

- 1. Aerial Map
- 2. Business Plan and Floorplan
- 3. Special Use Application
- 4. Plat of Survey
- 5. Public Notice



**Legend**



Print Date: 12/12/2025

**Notes**



Disclaimer: The GIS Consortium and MGP Inc. are not liable for any use, misuse, modification or disclosure of any map provided under applicable law. This map is for general information purposes only. Although the information is believed to be generally accurate, errors may exist and the user should independently confirm for accuracy. The map does not constitute a regulatory determination and is not a base for engineering design. A Registered Land Surveyor should be consulted to determine precise location boundaries on the ground.

## EXHIBIT D

Business Plan Proposal – Material  
Processing Facility at 560 South Hicks  
Road, Palatine, Illinois 60067

---

# Business Plan Proposal – Material Processing Facility at 560 South Hicks Road, Palatine, Illinois 60067

## 1. Executive Summary

Our company, Taz Holdings LLC will establish a state-of-the-art material processing facility at 560 South Hicks Road, Palatine, Illinois 60067 (the “Facility”) with the focus on recycled plastics, cardboard, drywall, industrial metals, and certain construction materials.

Our company already operates such a facility on the property next door at 630 South Hicks Road, Palatine, Illinois 60067. The Facility is intended to increase our operational capacity in the efficient, sustainable, and high-quality processing of the above-mentioned materials in order to meet the growing demand from manufacturers, construction firms, and export markets.

The Facility will help our business fill a critical gap in the regional supply chain by providing high-quality, sustainable processed materials. With strong market demand, advanced technology, and a skilled team, the Facility will help position our business for rapid growth and long-term profitability.

---

## 2. Company Overview

- **Name:** Taz Holdings, LLC – MBL Recycling Series
- **Business Structure:** a series company associated with a master Illinois limited liability company
- **Principal Members:** Daniel Rudman and Ronald Tazelaar
- **Industry:** Waste Management

---

## 3. Services and Market

- **Products:** Processed Materials
  - Bricks, Concrete, and Masonry Materials
  - Clean soil (without contaminants)
  - Rocks
  - Wood (including non-hazardous painted, treated, and coated wood and wood products)

- Wall coverings
  - Plaster
  - Drywall
  - Plumbing fixtures
  - Non-asbestos insulation
  - Roofing shingles and other roof coverings
  - Reclaimed asphalt pavement
  - Glass
  - Plastics (that are not sealed in a manner that conceals waste or contaminants)
  - Electrical wiring
  - Piping or metals incidental to any of those materials
- **Processing**
    - Material sorting and bailing
    - Processing and refinement
    - Packaging and distribution

- **Industry Outlook**

The global demand for processed materials is projected to grow due to infrastructure expansion, manufacturing needs, and sustainability initiatives.

- **Target Market:**

- Manufacturers requiring raw material inputs
- Construction companies
- Export buyers

- **Competitor Analysis:**

While our competitors focus on volume, our business will focus on quality consistency, faster turnaround, and sustainability certifications.

---

## 4. Facility

- **Facility Size:** 59,975 sq. ft. with dedicated zones for receiving, processing, storage, and dispatch.
- **Equipment:** Bailers, palletizing equipment, separators, conveyors, skid steer/forklift, and quality testing units.
- **Staffing:** Plant manager, machine operators, quality control specialists, logistics team.
- **Production Capacity:** 100 tons per day.

- **Sustainability Measures:** Waste minimization, commodity recycling, and energy-efficient machinery.
- 

## 5. Marketing & Sales Strategy

- **Brand Positioning:** Reliable, eco-conscious, and high-quality supplier.
  - **Channels:** Direct B2B sales, trade shows, industry partnerships, and online presence.
  - **Pricing Strategy:** Competitive pricing with volume discounts.
  - **Customer Retention:** Long-term contracts, consistent quality, and responsive service.
- 

## 6. Financial Projections

- **Startup Costs:** Land/lease, equipment purchase, installation, licensing, and initial working capital.
  - **Revenue Streams:** Sale of processed materials, by-product sales, and potential recycling credits.
- 

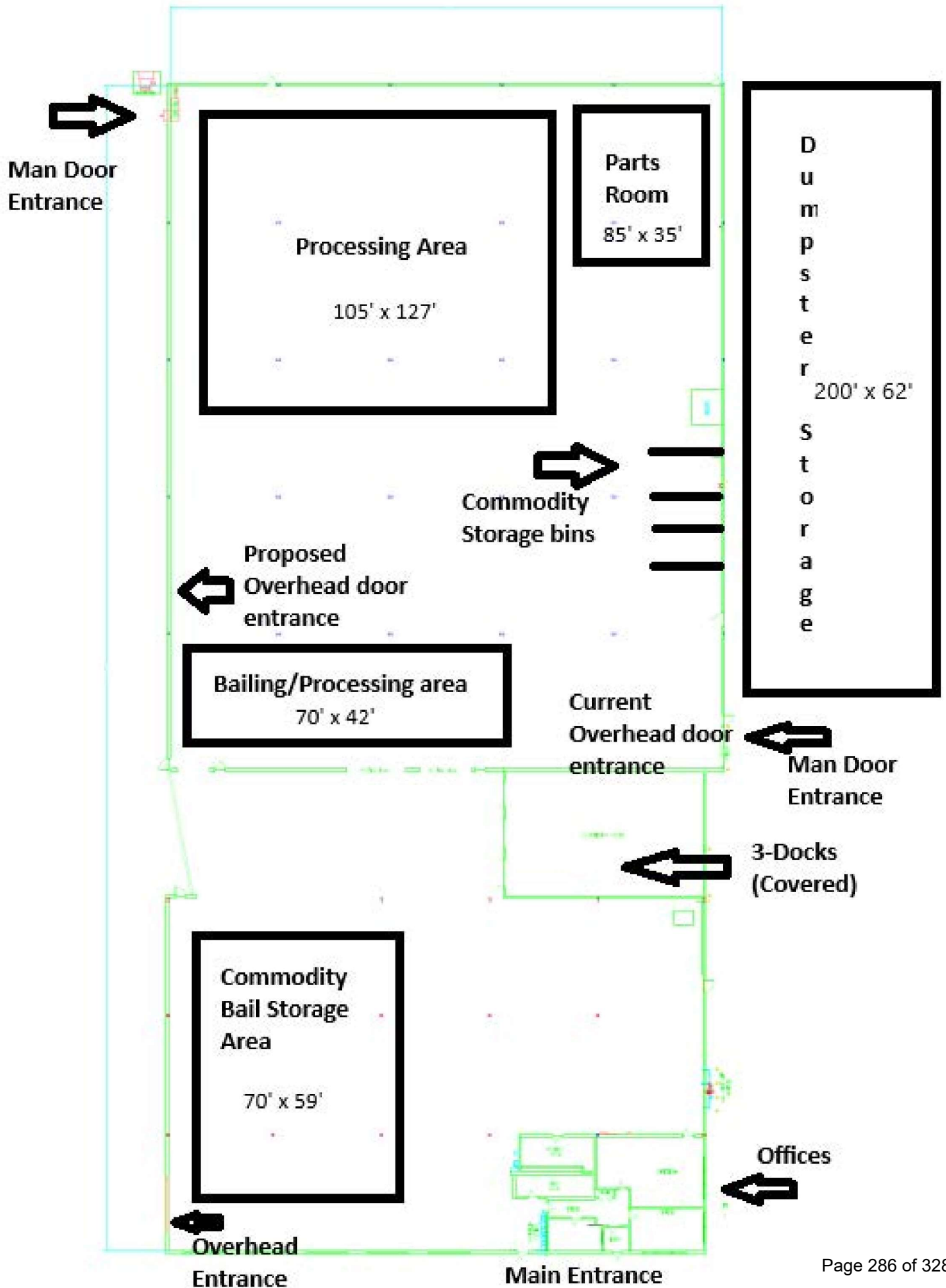
## 7. Risk Management

- **Operational Risks:** Equipment breakdown (mitigated by preventive maintenance)
  - **Market Risks:** Price fluctuations (mitigated by diversified client base)
  - **Regulatory Risks:** Compliance with environmental and safety standards
-

# EXHIBIT E

## 560 S Hicks Rd – Building Floor Plan

560 S Hicks Rd - Building Floor Plan





**SPECIAL USE APPLICATION**

**Department of Planning & Zoning**  
200 E. Wood Street · Palatine, IL · 60067-5339  
Telephone: (847) 359-9047 · Fax (847) 963-6247

Petitioner Name

Taz Holdings

Business Name (if applicable)

Economy Disposal Service

Subject Property Address

560 S. Hicks Road

Please provide a description of your proposed request:

Waste management, as fully described in the business plan.

**Petitioner Justification**

Special Uses shall not be granted except on findings based upon the evidence in each specific case. Please address the following standards as these will be used in considering the specific relief you are seeking.

That use deemed necessary for the public convenience at that location. Explain:

The use is necessary for public convenience at this location because the applicant can provide better and more reliable waste management services to local businesses, communities, and projects from this location. The use is intended to work in tandem with the same special use that is currently allowed on 630 S Hicks Road, an abutting property to the south which is also owned and operated by the applicant.

The use is designed, located, and proposed to be operated that the public health, safety, welfare will be protected. Explain:

The use will be designed, located, and proposed to be operated in a way that the public health, safety, welfare will be protected. The applicant currently relies on the same special use on 630 S Hicks Road (the abutting property to the south that is owned and operated by the applicant). The applicant has done so since 2005 without causing any issues to public health, safety, and welfare.

The use will not cause substantial injury to nearby property values. Explain:

The use will not cause substantial injury to nearby property values. The applicant already engages in the same special use on 630 S Hicks Road (the abutting property to the south that is owned and operated by the applicant). The same use on 630 S Hicks Road has not caused substantial injury to nearby property values since it was approved in 2005. The use on this property will merely be an extension of the currently permitted use.

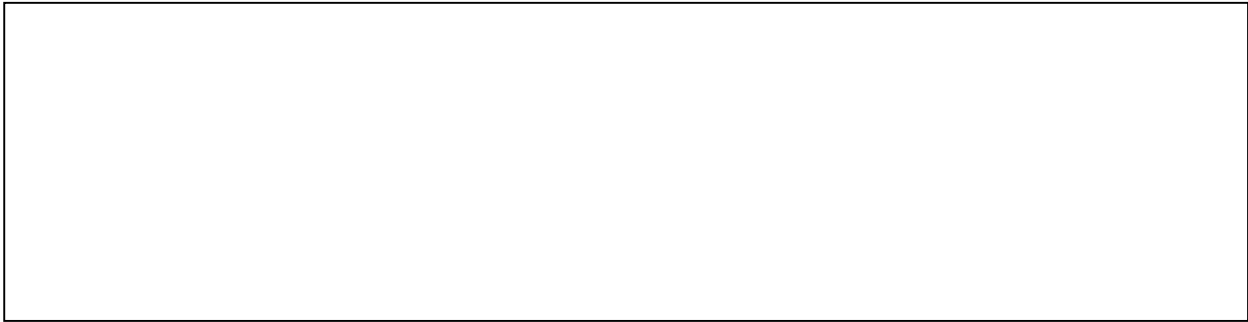
In order to supplement the above standards, the Planning and Zoning Commission may also consider the following:

With respect to front yard fencing and fencing in a rear yard/side yard abutting a street, the following additional standards must be met:

a. Will meet the following aesthetic criteria:

- i. Will not destroy existing vistas in the area;
- ii. Will enhance the appearance of the homes and the streets in the area; and
- iii. Will not detract from the overall appearance of the community; or

b. The fencing is found to be necessary to protect private property or the safety of the inhabitants of the property.



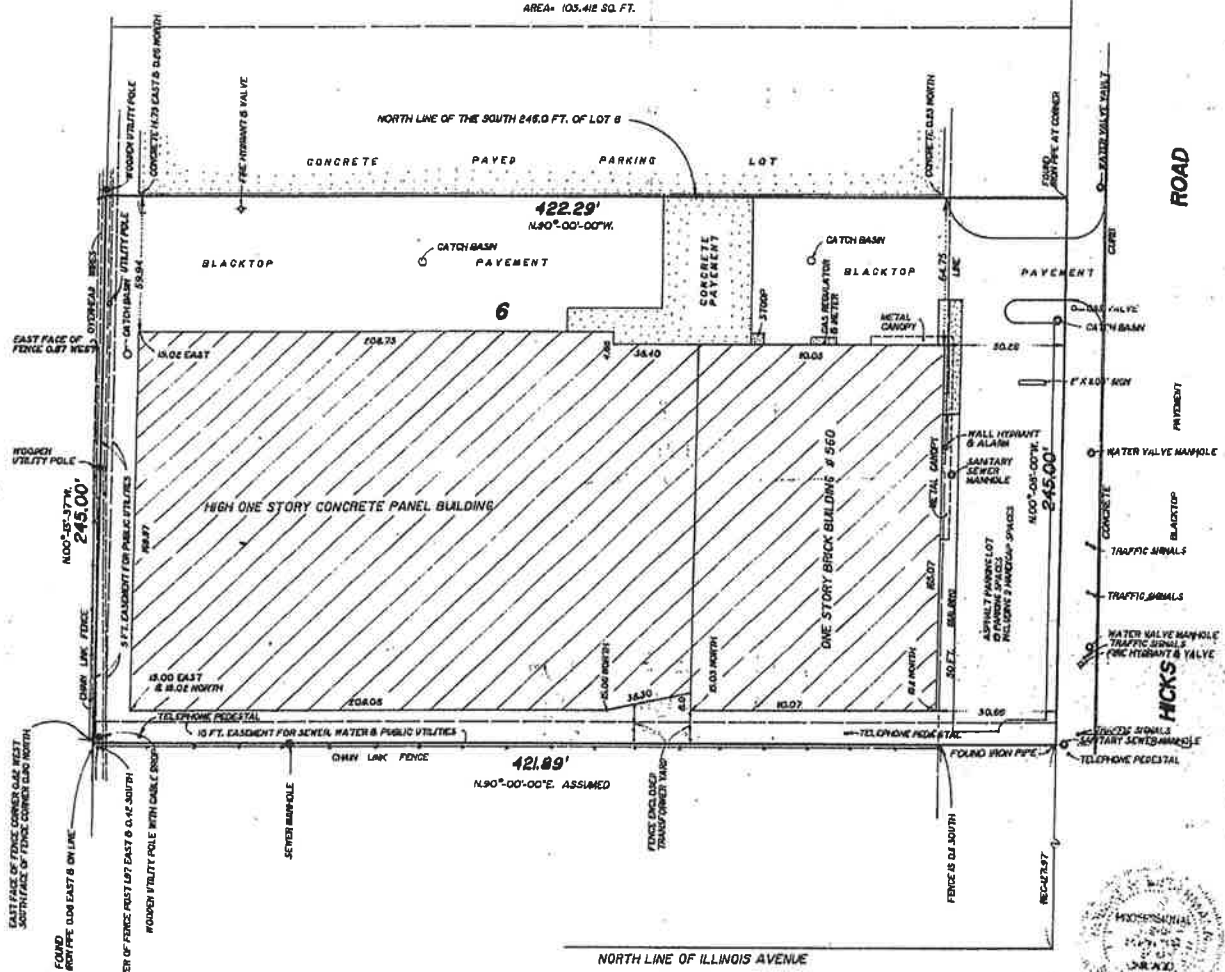
4606 N. ELSTON AVENUE  
CHICAGO, ILLINOIS 60630  
PHONE: AC 312/686-5102

# PLAT OF SURVEY

## GREMLEY & BIEDERMANN INC.

### ALTA / ACSM LAND TITLE SURVEY

The South 245 feet of Lot 6 in Kiefstad's Palatine Industrial Park, being a Subdivision of that part of the East Half of the Southwest Quarter of Section 23, Township 42 North, Range 10, East of the Third Principal Meridian, lying West of the West right of way line of State Route number 53 (Hicks Road) in Cook County, Illinois.



EASEMENTS AND BUILDING LINES SHOWN HEREON  
ARE AS PER DOC. NO.'S 19478927, & 19563220

REVISED 1-16-83 CERT. NAMES  
REVISED 1-9-83  
RECERTIFIED TO ALTA FOR WEBER STEPHEN PRODUCTS CO. & MATTERS APPEARING OF PUBLIC RECORD  
NOVEMBER 4, 1993 NO. 933068  
REVISED 11/25/87 REVIEWED WITH TITLE COMMITMENT  
NO. 71 41 052 DATED NOV. 10 1987

DRAWN	CHECKED
RL	

Order No. **873296**  
Scale 1 inch = **40** feet  
Date **NOVEMBER 20, 1987**  
Owner \_\_\_\_\_  
Ordered by **ROSS & HARDIES**

DISTANCES ARE MARKED IN FEET AND DECIMAL PARTS THEREOF. COMPARE ALL POINTS BEFORE BUILDING BY SAME AND AT ONCE REPORT ANY DIFFERENCES BEFORE DAMAGE IS DONE.  
FOR EASEMENTS, BUILDING LINES AND OTHER RESTRICTIONS NOT SHOWN ON SURVEY PLAT REFER TO YOUR ABSTRACT, DEED, CONTRACT, TITLE POLICY AND LOCAL BUILDING LINE REGULATIONS.  
NO DIMENSIONS SHALL BE ASSUMED BY SCALE MEASUREMENT UPON THIS PLAT.

State of Illinois)  
County of Cook )  
TO: HARFORD COMPUTER GROUP, INC.  
A CHICAGO TITLE INSURANCE COMPANY  
This is to certify that this map or plat and the survey on which it is based were made in accordance with "Minimum Standard Detail Requirements For ALTA/ACSM Land Title Surveys" jointly established and adopted by ALTA and ACSM in 1988; and meets the accuracy requirements of a Class A Survey, as defined therein.

Dated: November 9, 1993  
*[Signature]*  
Illinois Professional Land Surveyor #1439

560 Hicks Road

## LEGAL DESCRIPTION

The South 245 feet of Lot 6 in Klefstad's Palatine Industrial Park, being a Subdivision of that part of the East ½ of the Southwest ¼ of Section 23, Township 42 North, Range 10 East of the Third Principal Meridian lying West of the right of way of State Route 53 (Hicks Road) in Cook County, Illinois

Common Address: 560 South Hicks Road, Palatine, Illinois 60067  
PIN: 02-23-313-023-0000

PUBLIC NOTICE

A Public Hearing will be held before the Village of Palatine Planning and Zoning Commission on Tuesday, April 28, 2026 at 7 PM, in the Village Council Chambers in the Palatine Village Hall, 200 E. Wood Street, relative to a request for the following:

**Special Use to allow for a use that will provide for the transfer, storage, and treatment of general construction materials, demolition debris, and wood waste and accessory permitted office uses.**

The property is commonly known as 560 S. Hicks Road.

The Petitioners, Economy Disposal Services, are proposing for a use the provides for the transfer, storage, and treatment of general construction materials, demolition debris, and wood waste at the Subject Property. The proposed would be a continuation of the existing Special Use operated by the Petitioners on the property directly to the south. The proposed use will utilize the existing building and property.

The above petition has been filed by Keito Ido, agent, and is available for examination in the office of the Village Clerk, 200 E. Wood Street.

FILE #: SU-000228-2025

VILLAGE OF PALATINE

Jan Wood, Chair  
Palatine Planning & Zoning Commission

DATED: This 9<sup>th</sup> day of April, 2026

# CERTIFICATE OF PUBLICATION

DES PLAINES JOURNAL, INC., a corporation organized and existing under and by virtue of the laws of the State of Illinois, does hereby CERTIFY that it is the publisher of the:

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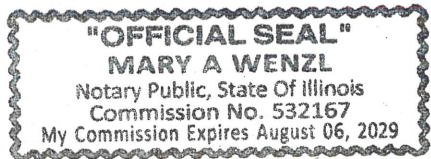
and that said newspaper(s) is a secular newspaper of general circulation and has been published weekly in the

(Village) (Town) (City) (Township) of PALATINE 560 S. Hicks  
     
 County of COOK

and State of Illinois, continuously for more than one year prior to date of the first publication of the notice attached hereto, and that said newspaper(s) complies with the requirements of Paragraphs 5 and 10, Chapter 100, of the Illinois Revised Statutes.

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- Your Legal appeared in the following Journal & Topics Newspapers (Des Plaines Journal, Inc.)
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  - Buffalo Grove Topics
  - Palatine Topics
  - Rolling Meadows Topics
  - Wheeling Topics
  - Suburban Journal
  - Northwest Journal
  - Glenview Journal



*Mary A. Wenzl*

IN WITNESS WHEREOF, THE DES PLAINES JOURNAL, INC., has caused this certificate to be signed and its corporate seal affixed hereto at Des Plaines, Illinois this 9TH day of APRIL A.D., 2026.

By Todd Wessell

President  
 Title of Corporate Officer

County of Cook  
 State of Illinois

Subscribed and sworn to before me this 9TH day of APRIL A.D., 2026.

My commission expires the 6TH day of AUGUST A.D., 2029.

## 630 S Hicks Road

### STAFF REPORT:

**TO:** Palatine Planning and Zoning Commission  
Jan Wood, Chair

**FROM:** Ben Vyverberg

**PETITIONER:** Economy Disposal Service

**PLAN NUMBER:** SU-000227-2025

### **BACKGROUND:**

The Subject Property is approximately 5.2 acres and is zoned M, manufacturing district. It has operated as a material processor and waste distributor at this location under an existing Special Use since 2005. The current owner acquired the business and completed a Special Use transfer in 2021. In 2025, the Village received an inquiry and concern regarding the storage of portable toilets on the Subject Property. As this was not part of the 2005 Special Use approval, Staff contacted the business owner and indicated that a Special Use Amendment would be required to allow the proposed operation. Therefore, the Petitioner is requesting the following:

**Special Use Amendment Special Use Amendment to Special Use # O-39-05, which allows the transfer, storage, and treatment of general construction materials, demolition debris, and wood waste to allow for the storage, distribution, and general cleaning of portable toilets on the Subject Property.**

### **KEY ISSUES:**

- The existing business operates within numerous Special Use conditions. The business owner recently began servicing, renting, and supplying portable toilets and handwashing stations from this location. This service is regulated through licensure from the required Federal and State agencies, including the Illinois Department of Public Health and MWRD. The business plan further indicates compliance with the Clean Water Act and following OSHA standards. The Petitioner maintains active permits from the required regulatory agencies for this use. The business plan indicates that this operation includes 14 employees.
- Mechanically, all the toilet rental units are cleaned by a pumper truck at the customer location and then transferred to a licensed treatment facility, prior to the

clean pumper truck returning to the Subject Property. Therefore, no unclean/loaded toilets are ever returned to this location. Due to the rotation of toilets that are rented and in use, the Petitioner anticipated a maximum of 50 units being stored onsite, when otherwise not being rented.

- As part of the business plan review, the Petitioners identified an approximately 4500 square foot location in the southwest corner of the property for storing the units. Staff also notes that the property directly west of the site also maintains a manufacturing zoning. Per Code, this area is required to be solidly screened through the height of the item/materials being stored. The units are approximately 7.5 to 7.75 feet tall. The zoning ordinance requires that this area is screened accordingly. There is existing chain link fencing, with barbed wire, which is 8 feet in height. The proposed 4500 SF area will need to be screened to the height of the portable toilets.
- The portable toilet rental and storage is an accessory use to the principal use of the property and is incorporated into the existing property.

**STANDARDS FOR SPECIAL USE:** Since this Petition is not for a use publicly operated or traditionally affected with the public interest, those standards under Section 14.05 D (2) and (3) are applicable. Specifically, the Petitioners must show that the Special Use, if granted, is so designed, located, and proposed to be operated that the public health, safety, and welfare will be protected and will not cause substantial injury to the value of other property in the neighborhood in which it is located. The Petitioners have attempted to address the required standards.

**STAFF RECOMMENDATION:**

The proposed Special Use Amendment aligns with the storage, transfer, and servicing uses contemplated in the manufacturing district. Additionally, there are numerous other regulatory agencies for the use and its operations and the Petitioner maintains those required permits. Staff does not disagree that the storage and distribution components are compatible with the surrounding uses. Additionally, as each unit is maintained and cleaned externally and with the proposed business plan requirements, there should not be any issues associated with this amendment. Therefore, Staff recommends approval of the proposed Special Use Amendment, subject to the following conditions:

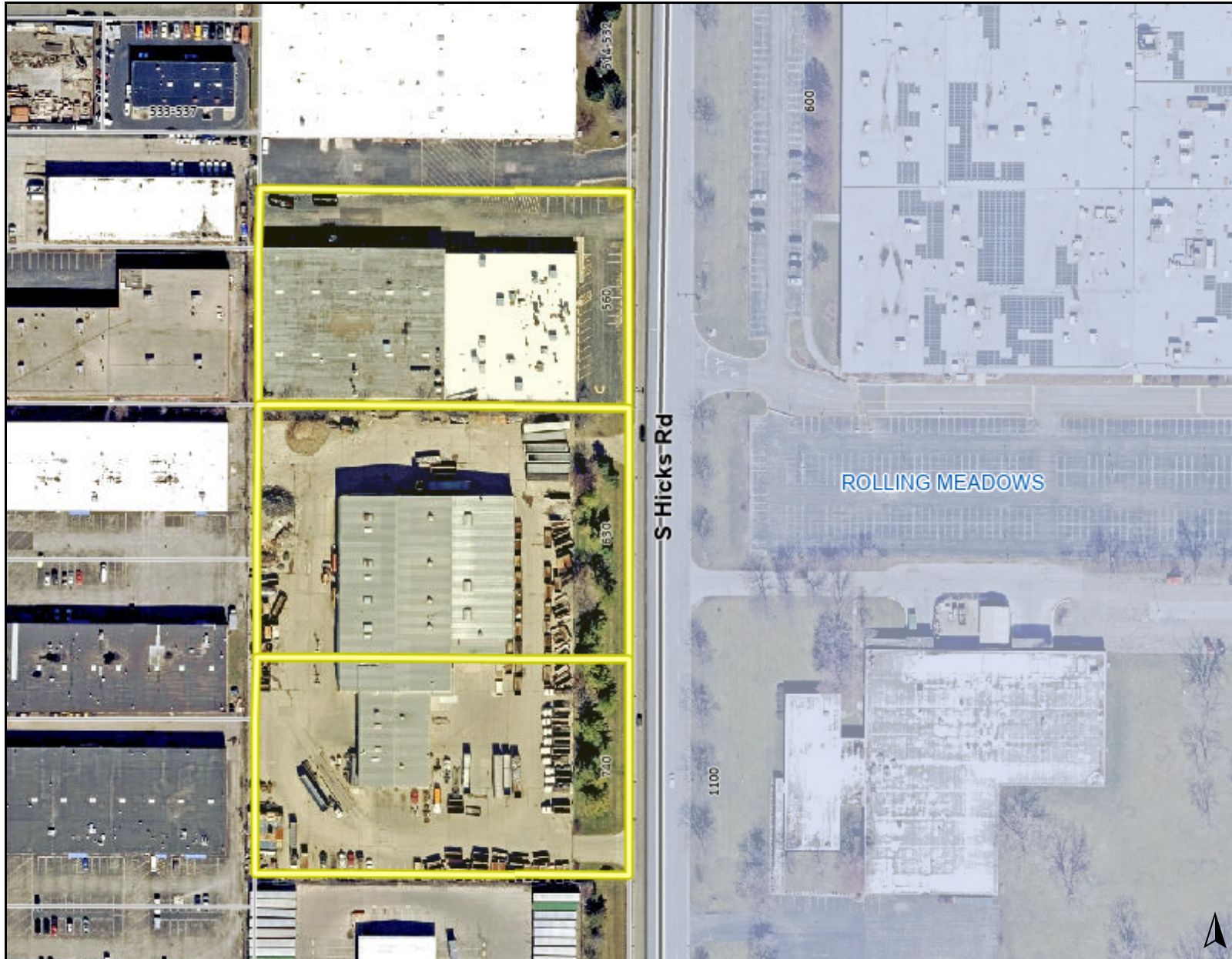
1. The Special Use Amendment shall substantially conform to the business plan, including the site plan, submitted by the Petitioner, except as such plans may be changed to conform with Village Codes and Ordinances. All conditions of Special Use Ordinance #O-39-05, as amended, shall remain in active and in effect.
2. All required extra-agency permits (e.g. IEPA, IDPH (Portable Sanitation Business License), MWRD (Chemical Toilet Waste Disposal), Cook County

Public Health) be provided to the Village as a component of the business license.

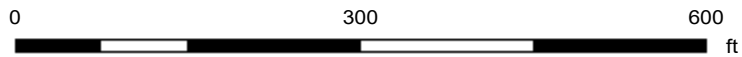
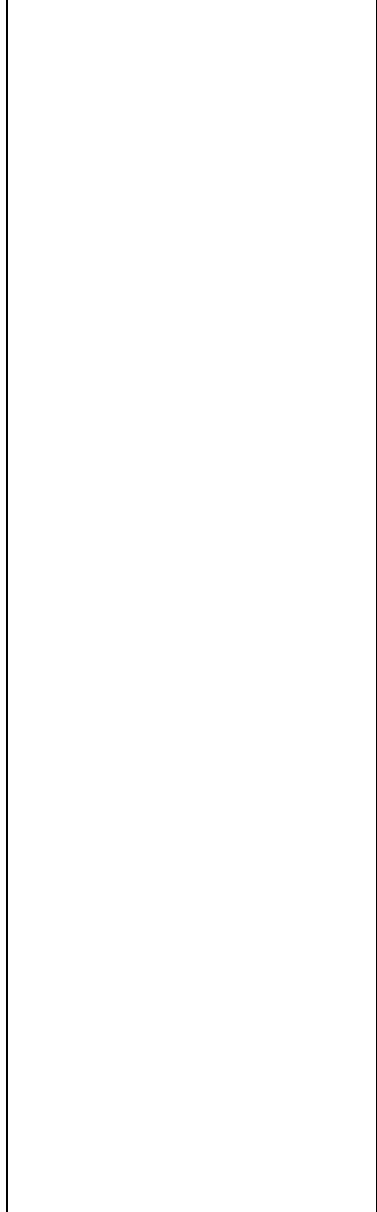
3. The final fencing and screening plan for the portable toilet storage area shall be revised in a manner acceptable to the Director of Planning and Zoning.

**ATTACHMENTS:**

1. Aerial Map
2. Plans
3. Business Plan
4. Special Use Application
5. Plat of Survey
6. O-39-05
7. Public Notice



**Legend**



Print Date: 12/12/2025

**Notes**



Disclaimer: The GIS Consortium and MGP Inc. are not liable for any use, misuse, modification or disclosure of any map provided under applicable law. This map is for general information purposes only. Although the information is believed to be generally accurate, errors may exist and the user should independently confirm for accuracy. The map does not constitute a regulatory determination and is not a base for engineering design. A Registered Land Surveyor should be consulted to determine precise location boundaries on the ground.

Dumpster Storage  
200' x 62'

8' Fence  
(6' fence with  
2' of barbed wires)

Portable Toilet  
Storage Area  
100' x 45'  
(Screened by  
8' uniformly colored  
fences)

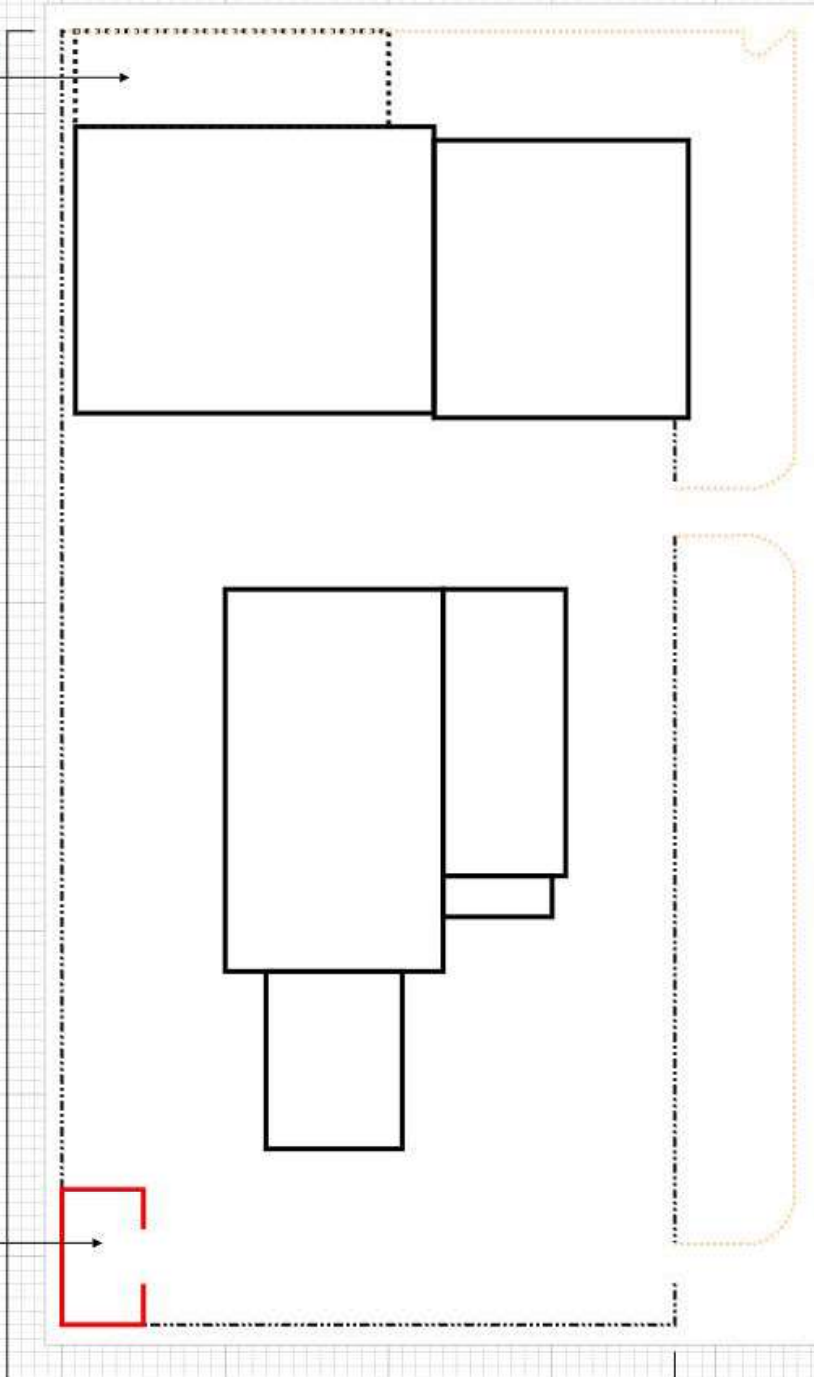


8' Screened Fence  
(6' screened fence  
with 2' of barbed wires)

Dumpster Storage  
200' x 62'

8' Fence  
(6' fence with  
2' of barbed wires)

Portable Toilet  
Storage Area  
100' x 45'  
(Screened by  
8' uniformly colored  
fences)



8' Screened Fence  
(6' screened fence  
with 2' of barbed wires)

## **Option 2**

Dumpster Storage  
200' x 62'

8' Fence  
(6' fence with  
2' of barbed wires)

The existing fence here  
will be screened

Portable Toilet  
Storage Area  
100' x 45'

8' Screened Fence  
(6' screened fence  
with 2' of barbed wires)

The existing fence here will be screened



Dumpster Storage  
200' x 62'

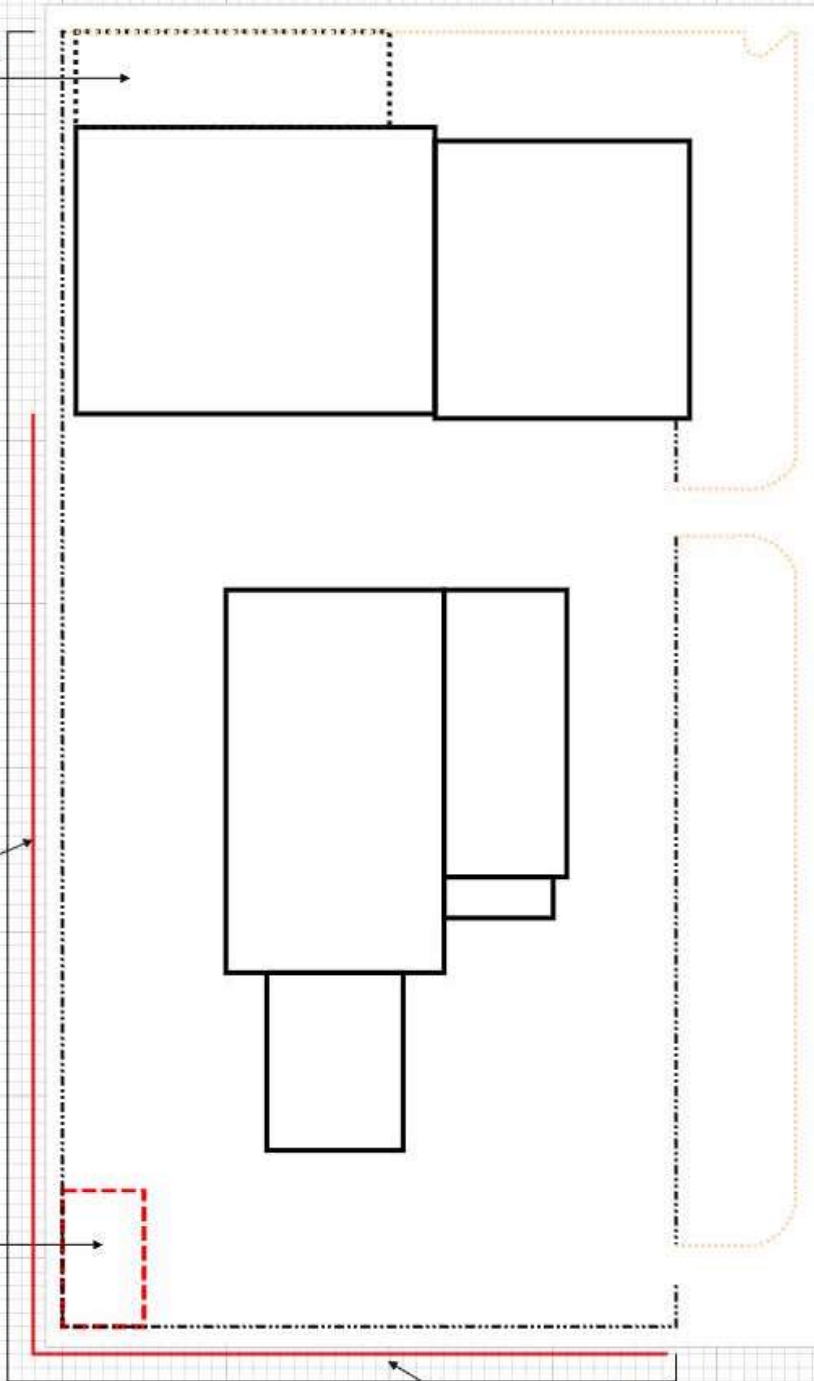
8' Fence  
(6' fence with  
2' of barbed wires)

The existing fence here  
will be screened

Portable Toilet  
Storage Area  
100' x 45'

8' Screened Fence  
(6' screened fence  
with 2' of barbed wires)

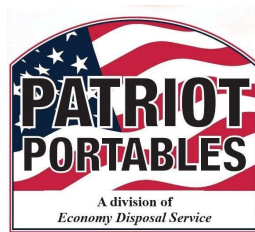
The existing fence here will be screened



**EXHIBIT C**  
**Patriot Portables Business Plan**

# **PATRIOT PORTABLES**

## **Business Plan**



***560-630 South Hicks Road, Palatine, Illinois 60067***

**Created on January 26, 2026 by  
TAZ Holdings LLC – Patriot Portable Series**

## Executive Summary

### Our Specialty

TAZ Holdings LLC – Patriot Portable Series (“Patriot Portables”) is a supplier and servicer of rentable portable toilets for events and construction projects.

### Our Unique Value

Our business provides efficient and eco-friendly waste disposal services on and flexible rental terms. Our focus is on customer service and hospitality, going beyond the norm, especially when it comes to cleanliness of our products.

## Company Description

### Industry

Sanitation and Waste Management

### Mission Statement

Provide clean, reliable, and environmentally responsible portable sanitation solutions

### Principal Members

Ronald Tazelaar — Owner

Daniel Rudman – Owner

### Legal Structure

Patriot Portable Series is a series company associated with Taz Holdings, LLC, an Illinois limited liability company. Other associated entities include Economy Disposal Services and C&D Recycling.

### History

Taz Holdings, LLC acquired a small sanitation business with 18 years of experience. Taz Holdings, LLC has over 26 years of experience in the sanitation and waste management industry.

## Products and Services

### Products

Standard Units, XL ADA Units, Crane Units, and Handwash Stations.

### Services

- Delivering and setting up our products
- Performing scheduled waste removal and cleaning

### Finance

- Revenue Sources
  - Rentals (daily/weekly/monthly)
  - Service contracts
- Expenditures
  - Products – maintenance and new acquisition
  - Trucks – maintenance and new acquisition
  - Others (e.g., cleaning supplies, insurance, and permits)

## Customers

- Construction companies
- Event organizers
- Municipalities
- Disaster relief agencies

## Marketing

- Local advertising
- Partnerships with event planners
- Online booking system

## Operations

### Employees

- Managers - 1
- Dispatchers - 1
- Drivers - 5
- Cleaners – 5
- Administrative Support Staff - 2

### Equipment

- 5 pumper trucks
- 1 delivery truck
- 754 toilets
- 43 handwash stations

### Experience and Qualification

Our business operates with an Illinois Department of Public Health Portable Sanitation Business License (#900-00189). Per Ill. Admin. Code tit. 77, § 905.135(a), any person operating in Illinois who sells, rents, leases, transports, services, cleans, sanitizes or maintains a portable toilet or portable potable hand-washing unit or pumps, transports or disposes of waste from portable toilets or portable potable hand-washing units shall be licensed as a portable sanitation business.

Per Ill. Admin. Code tit. 77, § 905.135(b), only a portable sanitation technician or portable sanitation technician trainee certified by the Department as working for a portable sanitation business may service, clean, sanitize or maintain a portable toilet or portable potable hand-washing unit, or pump, transport or dispose of waste from portable toilets or portable potable hand-washing units. Our business employs five Certified Portable Sanitation Technicians. Per Ill. Admin. Code tit. 77, §905.135(f)-(m), our business is involved in the certification and training of sanitation technicians.

Our business operates under a Metropolitan Water Reclamation District of Greater Chicago Chemical Toilet Wastes Disposal Permit (#2026-31240). The Metropolitan Water Reclamation District of Greater Chicago (MWRD) enacted an ordinance setting forth a uniform policy for permittees of chemical toilet wastes disposal to the facilities of the MWRD in order to ensure compliance with all applicable State and Federal laws, including the Clean Water Act (33 United States Code U.S.C. Section 1251 et seq.) and the General Pretreatment Regulations (Title 40 of the Code of Federal Regulations Part 403). Our business is a permittee under this ordinance.

## Cleaning and Waste Disposal Process

- Step 1: Suck down unit and remove waste. Clean unit inside and out. Refill unit with blue and water. Restock hand dispenser and toilet paper. Finish by wiping unit down.
- Step 2: Transport waste by truck to a licensed treatment facility in accordance with the *New Employee Training Manual & Safety Rules*.
- Step 3: Dispose of the waste at a licensed treatment facility in accordance with the company's dumping procedures. See *Patriot Portables Dumping Procedures*.
- Step 4: Inspect pumper trucks before and after each daily use, log any issues for mechanics.

## Occupational Safety and Health Administration (OSHA) Standards

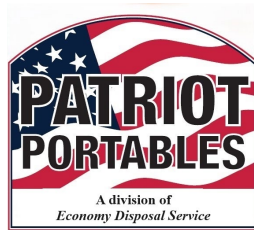
At the request of our customers, our business provides portable toilets for compliance with OSHA standards relating to the provision of portable toilets at jobsites, including but not limited to §1926.51(c).

## EXHIBIT D

Business Plan Proposal – Material  
Processing Facility at 560 South Hicks  
Road, Palatine, Illinois 60067

# **PATRIOT PORTABLES**

## **Business Plan**



***560-630 South Hicks Road, Palatine, Illinois 60067***

**Created on January 26, 2026 by  
TAZ Holdings LLC – Patriot Portable Series**

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- Delivering and setting up our products
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### Finance

- Revenue Sources
  - Rentals (daily/weekly/monthly)
  - Service contracts
- Expenditures
  - Products – maintenance and new acquisition
  - Trucks – maintenance and new acquisition
  - Others (e.g., cleaning supplies, insurance, and permits)

## Customers

- Construction companies
- Event organizers
- Municipalities
- Disaster relief agencies

## Marketing

- Local advertising
- Partnerships with event planners
- Online booking system

## Operations

### Employees

- Managers - 1
- Dispatchers - 1
- Drivers - 5
- Cleaners – 5
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### Equipment

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Per Ill. Admin. Code tit. 77, § 905.135(b), only a portable sanitation technician or portable sanitation technician trainee certified by the Department as working for a portable sanitation business may service, clean, sanitize or maintain a portable toilet or portable potable hand-washing unit, or pump, transport or dispose of waste from portable toilets or portable potable hand-washing units. Our business employs five Certified Portable Sanitation Technicians. Per Ill. Admin. Code tit. 77, §905.135(f)-(m), our business is involved in the certification and training of sanitation technicians.

Our business operates under a Metropolitan Water Reclamation District of Greater Chicago Chemical Toilet Wastes Disposal Permit (#2026-31240). The Metropolitan Water Reclamation District of Greater Chicago (MWRD) enacted an ordinance setting forth a uniform policy for permittees of chemical toilet wastes disposal to the facilities of the MWRD in order to ensure compliance with all applicable State and Federal laws, including the Clean Water Act (33 United States Code U.S.C. Section 1251 et seq.) and the General Pretreatment Regulations (Title 40 of the Code of Federal Regulations Part 403). Our business is a permittee under this ordinance.

## Cleaning and Waste Disposal Process

- Step 1: After receiving a request from a customer to clean one or more of our portable toilet units, we first inspect the pumper truck to be used to fulfil the request. After the inspection is complete, we travel to the client's location in the pumper truck.
- Step 2: At the customer's location, we suck out the waste from a unit using the pumper truck. We then refill the unit with water as needed, restock hand dispenser and toilet paper, and wipe down the unit's interior and exterior.
- Step 3: We transport the waste in the pumper truck to a licensed treatment facility in accordance with the *New Employee Training Manual & Safety Rules* and then dispose of the waste in accordance with the company's dumping procedures (*Patriot Portables Dumping Procedures*).
- Step 4: We return to 560-630 South Hicks Road in the pumper truck. There, we inspect the truck again, log any issues with a mechanic, and re-load the truck with fresh water and supplies.

## Specific Zoning Notes

- Our portable toilet units are never stored at 560-630 South Hicks Road without first being emptied and cleaned at the customers' location or a licensed treatment facility.
- All pumper and delivery trucks are parked indoors at 560-630 South Hicks Road. Our business maintains four locations, including 560-630 South Hicks Road, and the trucks may be parked at 560-630 South Hicks Road or another location.
- Odors may emanate from the pumper trucks.
- Of the 745 portable toilet units, 90% of them are expected to be maintained at our customers' locations at any given time. The remainder, approximately 75 units, are expected to be stored throughout the company's four locations, including 560-630 South Hicks Road. The maximum number of units stored at 560-630 South Hicks Road is expected to be 30-50.

## Occupational Safety and Health Administration (OSHA) Standards

At the request of our customers, our business provides portable toilets for compliance with OSHA standards relating to the provision of portable toilets at jobsites, including but not limited to §1926.51(c).



## Dumping Procedures

1. Open hatch on the top of the waste tanker
2. Identify the room left in the tanker
  - a. Max load is 12" from the bottom of the top hatch
  - b. Once the tanker is  $\frac{3}{4}$  full notify management to have switched
3. Hook hose from truck to the tanker
  - a. Make sure both cam lock tabs are locked against the hose
4. Reverse pump on the Pumper truck.
  - a. Once truck tank is empty, close the valve on the tanker
5. Reverse pump opposite direction while hose is still hooked and tanker valve is closed
  - a. Once hose is dry, close the valve on the truck.
6. Turn off pump
7. Disconnect hose from tank and truck
8. Place empty hose on side of tanker
9. Suck dry the overflow containment barrel
10. Ensure there is nothing leaking
  - a. Any leak must be reported immediately
11. Close the top hatch on the tanker

Please acknowledge that you have read and understand the above instructions by printing and signing your name and dating where indicated below.

Name: \_\_\_\_\_

Date: \_\_\_\_\_, 2025

Sign: \_\_\_\_\_



**SPECIAL USE APPLICATION**

**Department of Planning & Zoning**  
200 E. Wood Street · Palatine, IL · 60067-5339  
Telephone: (847) 359-9047 · Fax (847) 963-6247

Petitioner Name

[Empty text box]

Business Name (if applicable)

Economy Disposal Service

Subject Property Address

630 S. Hicks Road

Please provide a description of your proposed request:

The applicant requests that an existing Special Use under 12.02(h)(18) of Palatine Code Ordinances - Appendix A - Zoning be amended to include the storage and maintenance of portable toilets as a permitted use.

**Petitioner Justification**

Special Uses shall not be granted except on findings based upon the evidence in each specific case. Please address the following standards as these will be used in considering the specific relief you are seeking.

That use deemed necessary for the public convenience at that location. Explain:

The new use is necessary for public convenience at this location because the applicant can readily service local events, as well as events in neighboring villages, with portable toilets from this location.  
  
The new use is also necessary for public convenience at this location because the storage and maintenance of portable toilets is a large part of the applicant's business at the location.

The use is designed, located, and proposed to be operated that the public health, safety, welfare will be protected. Explain:

The new use is designed, located, and proposed to be operated in a way that the public health, safety, welfare will be protected. The company has procedures, workplace rules, and proper employee training in place to ensure the protection of public health, safety, and welfare. Further, the applicant plans to pursue upgrades and improvements to help screen the new use and to control and eliminate noxious odors.

The use will not cause substantial injury to nearby property values. Explain:

The new use will not be injurious to the use and enjoyment of other properties in the immediate vicinity for three reasons. Firstly, the property is located in a Manufacturing District and surrounded by industrial properties and uses. Accordingly, the new use, so long as it is reasonable, should not cause substantial injury to nearby property values as the storage of commercial equipment is common in industrial and manufacturing districts such as the one in which the property is located. Secondly, the applicant has procedures and rules in place relating to the new use which will ensure that no waste product or byproduct from the new use will cause substantial injury to nearby property values. Thirdly, the applicant has significant experience with the storage and maintenance of portable toilets and has a history of engaging in such use with due care.

In fact, a prohibition of the new use may cause injury to nearby property values. The applicant is planning to expand its operation as it relates to the new and existing uses across this property and 560 S Hicks Road, Palatine, IL 60067. Without the Special Use, the Applicant will not be able to operate a large part of their business on the property as intended. This inability will result in reduced operational efficiency and decreased job numbers, and may force the applicant to eventually sell and vacate the site. These effects will, in turn, negatively impact village and surrounding property owners.

In order to supplement the above standards, the Planning and Zoning Commission may also consider the following:

With respect to front yard fencing and fencing in a rear yard/side yard abutting a street, the following additional standards must be met:

a. Will meet the following aesthetic criteria:

- i. Will not destroy existing vistas in the area;
- ii. Will enhance the appearance of the homes and the streets in the area; and
- iii. Will not detract from the overall appearance of the community; or

b. The fencing is found to be necessary to protect private property or the safety of the inhabitants of the property.

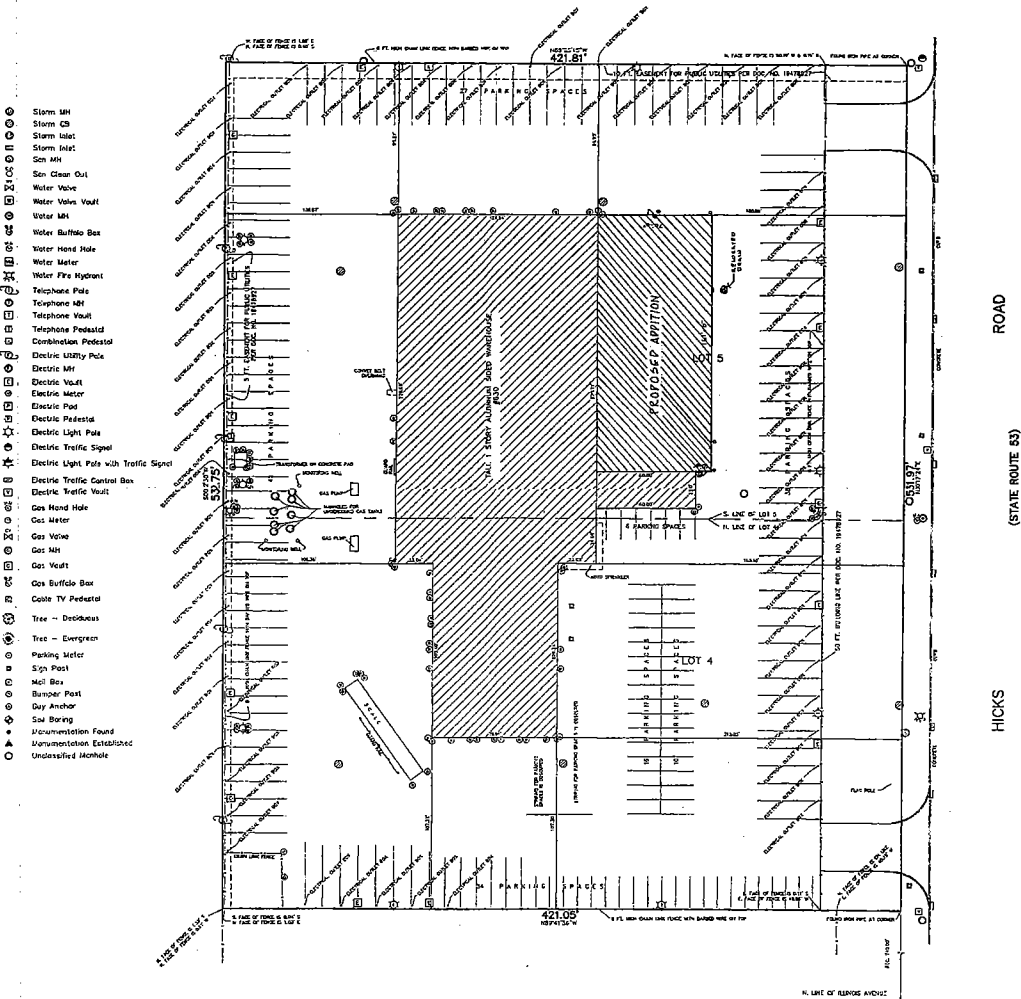
# GREMLEY & BIEDERMANN, INC.

PROFESSIONAL ILLINOIS LAND SURVEYORS

1505 N. Elston Avenue Chicago, Illinois 60630  
 Telephone: (773) 685-3102 Fax: (773) 286-4184  
 Illinois Land Surveyor Corporation No. 15  
 License No. 184-002761

## Plat of Survey ALTA / ACSM Land Title Survey

Lots 4 and 5 in Reflector's Palatine Industrial Park, a Subdivision of that part of the East Half of the Southwest Quarter of Section 33, Township 42 North, Range 10, East of the Third Principal Meridian, lying West of the West right of way line of State Route Number 53, in Cook County, Illinois.



PROPERTY AREA = 224,352 sq. ft. OR 5.115 ACRES  
 AREA OF BUILDING FOOT PRINT = 32,697 SQ. FT.  
 NOTE: IN REGARDS TO ADJOINING PROPERTY OWNERS, NAMES WERE NOT SHOWN AS THEY WERE NOT FURNISHED AS SPECIFIED IN ALTA/ACSM REQUIREMENTS OF 1998.  
 RECORDING MATTERS OF PUBLIC RECORD WE HAVE RELIED UPON CHICAGO TITLE INSURANCE COMPANY COMMITMENT NO. 1401 003247897 D1 EFFECTIVE DATE DECEMBER 15, 2004.  
 Distances are implied in feet and decimal parts thereof. Compare all points BEFORE building by same and in case report any difference BEFORE occupancy is done.  
 For easements, building lines and other restrictions not shown on survey refer to your abstract, deed, contract, title policy and local building line regulations.  
 All dimensions shall be assumed by scale measurement upon this plat.  
 Manpowerment or witness points were not set at the clients request.  
 Unless otherwise noted hereon the Bearing Basis, Elevation Datum and Coordinate Datum if used is ASSURED.  
 COPYRIGHT GREMLEY & BIEDERMANN, INC. 2005 "All Rights Reserved"

UTILITY WARNING  
 The underground utilities shown have been located from field survey information and existing diagrams. The surveyor makes NO guarantee that the underground utilities shown comprise all such utilities in the area either in service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated although the data certify that they are located on approximately as possible from information available. The surveyor has not physically located the underground utilities.  
 Call 800-828- (312) 744-7000 within the City of Chicago. Outside of the City of Chicago call JJJ L.L.E. (800) 892-0123 prior to construction or excavation.

State of Illinois  
 County of Cook  
 This is to certify to 630 S. HICKS, LLC, an Illinois limited liability company, LP 322, LLC, an Illinois limited liability company and Chicago Title Insurance Company that this may or shall use the survey on which it is based were made in accordance with "Minimum Standard Detail Requirements and Classifications for ALTA/ACSM Land Title Surveys," jointly established and adopted by ALTA, ACSM and NSPS in 1998. Pursuant to the Accuracy Standards as adopted by ALTA and ACSM and in effect on the date of this certification, undersigned further certifies that the Professional Standards reciting from this survey requirements meets on the survey do not exceed the allowable Professional Tolerance.  
 Field measurements completed on January 06, 2005.  
 Signed on March 2, 2005  
 By [Signature]  
 Professional Illinois Land Surveyor No. 2,822  
 My License Expires November 30, 2006  
 This professional service conforms to the current Illinois minimum standards for an ALTA survey.

REVISED: 3/2/05 CERT NAME ADDED (88)  
 REVISED: 3/7/05 CERT NAME ADDED (88)  
 REVISIONS: 01-06-2005 FOR STRIPES & WALK PER ORDER NO. 2004-02553 (C.L.)  
 REVISED: 10-31-02 CERT NAMES (85)  
 REVISED: 10-31-02 ADDED AREA (84)  
 1021883  
 ORDER NO. \_\_\_\_\_  
 SCALE: \_\_\_\_\_  
 DATE: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_  
 ORDERED BY: \_\_\_\_\_  
 REVISION: 12/20/07

## LEGAL DESCRIPTION

LOTS 4 AND 5 IN KLEFSTAD'S PALATINE INDUSTRIAL PARK, A SUBDIVISION OF THAT PART OF THE EAST ½ OF THE SOUTHWEST ¼ OF SECTION 23, TOWNSHIP 42 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, LYING WEST OF THE WEST RIGHT OF WAY LINE OF STATE ROUTE NUMBER 53, IN COOK COUNTY, ILLINOIS.

Common Address: 630 S Hicks Road, Palatine, Illinois 60067

PINs: 02-23-313-006-0000 and 02-23-313-005-0000

**ORDINANCE NO. 0-39-05**

**ORDINANCE GRANTING A SPECIAL USE  
630 S. HICKS ROAD (CASE NO. 05-16)**

**Published in pamphlet form by authority of the  
Mayor and Village Council of the Village of Palatine  
On March 7, 2005**

**ORDINANCE NO. 0-39-05**

**AN ORDINANCE GRANTING A SPECIAL USE  
630 S. HICKS ROAD (CASE NO. 05-16)**

**WHEREAS** pursuant to a petition and public hearing, held on March 1, 2005 of which public notice was given as required by law, the Zoning Board of Appeals of the Village of Palatine, in accordance with the Zoning Ordinance of the Village of Palatine, in such case made and provided, has held such public hearings and reported its findings regarding granting a Special Use to allow a “Transfer, Storage, and Treatment of General Construction Materials, Demolition Debris and Wood Waste” facility, pursuant to Section 12.01(h) of the Palatine Zoning Ordinance, on the following legally described property:

**Lots 4 and 5 in Klefstad’s Palatine Industrial Park, a subdivision of that part of the East 1/2 of the Southwest 1/4 of Section 23, Township 42 North, Range 10, East of the Third Principal Meridian, lying West of the West right of way line of State Route Number 53, in Cook County, Illinois**

**commonly known as 630 S. Hicks Road (PIN #02-23-313-005/006)**

**NOW, THEREFORE, BE IT ORDAINED**, by the Mayor and Village Council of the Village of Palatine, Illinois, acting in the exercise of their home rule power:

**SECTION 1: That a Special Use to allow a “Transfer, Storage, and Treatment of General Construction Materials, Demolition Debris and Wood Waste”, pursuant to Section 12.01(h) of the Palatine Zoning Ordinance, is hereby granted, subject to the following conditions:**

- 1. The operation of the business shall be limited to the receiving, sorting, storing, and consolidating for shipment of “Debris Material”. “Debris Material” consists of and is limited to the following non-hazardous, uncontaminated materials containing no hazardous substances resulting from the construction, remodeling, repair, and demolition of utilities,**

**structures, and roads: bricks, concrete, and masonry materials; clean soil without contaminants; rock; wood (including non-hazardous painted, treated, and coated wood and wood products); wall coverings; plaster; drywall; plumbing fixtures; non-asbestos insulation; roofing shingles and other roof coverings; reclaimed asphalt pavement; glass; plastics that are not sealed in a manner that conceals waste or contaminants; electrical wiring; and piping or metals incidental to any of those materials. Debris Material does not include asbestos or asbestos containing material ("ACM") as defined by the most stringent of the Illinois Environmental Protection Act, the Clean Air Act or the regulations adopted thereunder.**

- 2. All operations of the proposed facility shall occur within the existing building, except for the storage of vehicles solely associated with the Petitioner's operation and processing of clean wood product as described in the Petitioner's letter dated February 28, 2005, attached hereto as "Exhibit A".**
- 3. The only treatment or actions permitted under this Special Use are those specifically identified in Conditions #1 and #2 of this ordinance.**
- 4. Any change or expansion to the proposed operation shall receive approval from the Village Council.**
- 5. Any required permits and licenses, including, but not limited to, a Scavenger's License, from the Village, County and State (including any approvals required by the IEPA) for the proposed operation shall be submitted prior to the issuance of a business license.**
- 6. All operations must be conducted in compliance with all applicable State and Federal laws and regulations and without creating or perpetuating a nuisance.**
- 7. Other than the grinding of wood there shall be no crushing, grinding, reducing, shredding, burning or other treatment of any other Debris Material on site.**
- 8. Any signage shall comply with the Village's Zoning Code.**
- 9. Except for the relief outlined within this ordinance, the operation shall comply with all applicable regulations within the Village Code, including, but not limited to, the Performance Standards outlined in Section 12.02 of the Village's Zoning Code.**
- 10. Prior to the issuance of a business license the Petitioner shall provide plans indicating the proposed location and screening of the wood grinder and outdoor wood product storage area. These plans shall conform to the**

Village Code and shall be subject to the review and approval of the Village's Director of Planning and Zoning.

11. All finished wood products shall be transported off site within 24 hours of processing.

**SECTION 2:** That the petition for special use, the minutes of the Zoning Board of Appeals and the public notice be attached hereto and form a part of this ordinance.

**SECTION 3:** This Ordinance shall be in full force and effect from and after its passage and approval as provided by law.

PASSED: This 7 day of March, 2005

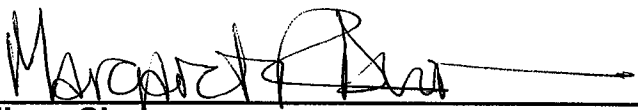
AYES: 4 NAYS: 0 ABSENT: 1 PASS: 2

APPROVED by me this 7 day of March, 2005

  
\_\_\_\_\_  
Mayor of the Village of Palatine

ATTESTED and FILED in the office of the Village Clerk this 7

day of March, 2005

  
\_\_\_\_\_  
Village Clerk

**MBL Recycling, Inc.  
P.O. Box 264  
Lincolnshire, IL 60069  
(847)634-8775**

February 28, 2005

Michael Jacobs  
Village of Palatine  
200 E. Wood St.  
Palatine, IL 60067

Mike:

In response to your concerns regarding the processing of our clean wood product, the following is a detailed description of our operations:

- All wood products will be stored indoors *prior* to processing.
- Once the wood is prepared for processing, it is then conveyed outside of the building directly into an enclosed processing grinder (the grinder will be adjacent to the east side of the building). The grinder has an electric motor so there will be no emissions concerns. The sound level decibels inside of the property line are within your requirements. Due to the fact that we are processing *clean* wood, there will be no odor omitted.
- The finish product will be stored in a contained area constructed of 12 ft. high pre-cast concrete panels for screening purposes. In addition, the entire length of the parkway is landscaped with tall pines and other trees that provide additional screening.
- The finished product will be transported off site daily.
- We feel any of our outside activities will meet your performance standards under section 12.02.

If we have not adequately addressed your concerns, please do not hesitate to give us a call with any further questions. We thank you again for your efforts and continued support enabling us to meet our critical deadline.

Sincerely,

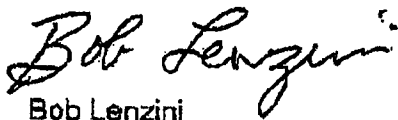
  
Bob Lenzini

EXHIBIT "A"

**PALATINE VILLAGE COUNCIL**  
200 E. WOOD ST.  
PALATINE IL 60067

**3-3-05**

**re: Case 05-16, Demolition Debris Processing Center, 630 S. Hicks**

Dear Council Members,

I am unable to present my opposition to this proposal in person due to prior commitments. Please accept this as my written statement.

Construction debris contains many pollutants: dusts, mold, asbestos, lead, human waste, insects, rodents, mercury, household & industrial chemicals (PCBs, DDT, Chlordane). Some take centuries to decompose. Many are invisible in the debris, hidden in paint or part of the fabrication (i.e. lead, asbestos).

Petitioner claims no hazardous material would enter the property. For that they would depend on the certification and actions of others, including work of unskilled labor not under their direct control.

Petitioner asserts the proposed use is essentially the same as BFI's prior recycling of paper and packaging. Not so. At BFI, materials were limited to very specific types. All construction and remodeling waste was strictly prohibited, for good reason. Also, there was no inherent dust problem.

I was a manufacturing manager for over 20 years. My employers and I had positive attitudes toward the environment. It is my experience that, of the thousands of people who would do the trucking, handling, processing and managing of this material over the years, a few would be unwilling to follow the rules. A few would not know all the procedures. Some would be pressured by time or money to rush to act. There will be communications breakdowns. There will be mechanical breakdowns. There will be accidents. Fires, explosions, or weather can expand risks rapidly.

You have all seen construction sites with trails of mud, rocks and dust on the surrounding roadways. You've seen open trucks with their loads blowing all over, or dirty water splashing on the pavement. When my garbage is picked up there is stuff that missed the truck or oily puddles of some unknown material dripped on the street. None of that is supposed to happen, but it does. These are only occasional, temporary events; the debris processing risk would be there around the clock.

The site is within an industrial park where thousands of people would be exposed every day. It is near residential neighborhoods 1 block to the west and 2 blocks to the south. Some homes there still use shallow wells for their water supply. It is 1 1/2 blocks from a restaurant. It is 2 blocks from a day school and a residential shelter. It's on a busy highway and right next to a trucking company where carryover of potential pollutants can go far and wide.

Processing debris at 630 S. Hicks represents too much risk for the area.

Sincerely,

Richard Cichanski  
130 E. Wilmette Ave.  
Palatine IL 60067  
847-359-0696



**communications**

---

**Electrodynamics, Inc.**

1200 Hicks Road Rolling Meadows, IL 60008  
847-259-0740 Fax: 847-255-3827

Mike Jacobs  
200 E. Wood Street  
Palatine, IL. 60067

Dear Mr. Jacobs.

This letter is in regards to a letter I received dated 2-14-05 notifying me of a public hearing for 630 S. Hicks Road, case no. 05-16. The business that I represent is located at 1200 Hicks Road, which is across the street and to the south of the subject location. My understanding is that a company wishes to use the facility to process demolition debris and I have some concerns.

The previous company at that location processed recyclable material. On windy days, which are frequent in this area, my property would be littered with dozens of newspaper pages, plastic bags, and various other materials that were blown across the street. Although the material was technically all handled inside the building, when the doors were opened to let the trucks in and out, the loose material inside was able to escape.

I request that the city committees inquire into the process that will be used by the new company and require safeguards be put in place to insure whatever is handled on the property, stays on the property.

Thank you.

A handwritten signature in black ink, appearing to read 'D. Quant'.

Donald Quant  
Director  
L-3 Electrodynamics, Inc.  
1200 Hicks Road  
Rolling Meadows, IL. 60008

**KEMPSTER, KELLER AND LENZ-CALVO, LTD.**

ATTORNEYS AT LAW

SUITE 1428  
332 SOUTH MICHIGAN AVENUE  
CHICAGO, ILLINOIS 60604  
(312) 341-8730  
FAX (312) 341-0388  
www.kkcltd.com

DONALD B. KEMPSTER  
CHERYL LENZ-CALVO  
MARTINA M. KELLER

WILLIAM A. QUICENO  
THERESA A. CORCORAN  
DIANA C. BAVERLE

ALSO ADMITTED IN INDIANA

OF COUNSEL  
DOUGLAS BRISTOL

February 28, 2005

Mr. Kevin Anderson  
Planning & Zoning  
Village of Palatine  
200 E. Wood Street  
Palatine, IL 60067-5339

VIA FACSIMILE: 847/359-9040

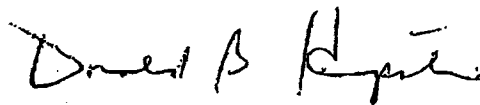
RE: 630 S. Hicks Road, Palatine  
Case No. 05-16

Dear Mr. Anderson:

I am writing on behalf of Hicks Properties, LLC, the owner of 560 Hicks Road, to register our opposition to the zoning change and the special use permit that are being requested by Lenzini Holdings, LLC. As you may know, Hicks Properties purchased the building at 560 S. Hicks Road last year. Since that time, the Company has re-surfaced the parking lot; it has cleaned up the property around the building; it has invested a considerable amount in landscaping and it has installed fencing to improve the property's appearance. One of the Company's largest tenants operates a chain of ethnic grocery stores and their space in the building is used to warehouse food items. As a result, we are very concerned that not only our building, but also the entire neighborhood are kept clean. We, therefore, would oppose any new use that would permit the storage and treatment of demolition debris and wood waste.

Thank you for your consideration. I hope that you will keep us advised as to any further developments regarding this matter.

Very truly yours,



Donald B. Kempster  
Attorney at Law  
DBK/vk

Objector's  
Exhibit #1

# Solid Waste Agency of Northern Cook County

2700 Patriot Boulevard  
Suite 110  
Glenview, IL 60026

Phone (847) 724-9205  
Fax (847) 724-9605  
www.swancc.org

### Members

- Arlington Heights
- Barrington
- Buffalo Grove
- Elk Grove Village
- Evanston
- Glencoc
- Glenview
- Hoffman Estates
- Inverness
- Kenilworth
- Lincolnwood
- Morton Grove
- Mount Prospect
- Niles
- Palatine
- Park Ridge
- Prospect Heights
- Rolling Meadows
- Skokie
- South Barrington
- Wheeling
- Wilmette
- Winnetka

March 3, 2005

Honorable Rita Mullins, Mayor  
Village Council  
Village of Palatine  
200 E. Wood Street  
Palatine, IL 60067

**RE: MBL Recycling Inc. 630 S. Hicks Road**

Dear Mayor Mullins and Village Council:

The Solid Waste Agency has been made aware that the Village will be considering at its March 7, 2005 Village Board meeting a request to allow MBL Recycling Inc. to operate a Demolition Debris and Wood Waste transfer, storage and treatment facility at 630 S. Hicks Road. The Solid Waste Agency is concerned that this unneeded facility will have a negative impact to the finances of the Solid Waste Agency.

The proposed facility will accept waste that is currently being delivered to existing facilities in the area which include the Onyx Rolling Meadows transfer station and the Solid Waste Agency's Glenview transfer station.

The Solid Waste Agency currently receives \$0.40 per ton for all waste delivered to the Onyx Rolling Meadows transfer station, and if the MBL Recycling Inc. facility is operational, a percentage of the construction and demolition waste currently delivered to the Onyx facility will be diverted to the MBL Recycling Inc. facility. The Agency receives approximately \$122,000 per year from Onyx.

In addition, the Agency annually generates approximately \$300,000 in revenue from private operators that deliver construction and demolition waste to the Solid Waste Agency's Glenview transfer station. If waste is diverted to the MBL's facility, the Agency will see reduced revenue from these sources.

The Solid Waste Agency utilizes the above revenue to reduce its members' tipping fees. This fiscal year, the above revenue streams have reduced Palatine's tipping fee by \$1.23 per ton for a total saving of \$35,500.

Further, there currently is significant processing capacity for construction and demolition waste in the Northern Cook County region. In addition to the Onyx Rolling Meadows transfer station and the Agency Glenview facility, transfer

George Van Dusen  
Chairman,  
Board of Directors

Timothy Corcoran  
Vice Chairman,  
Board of Directors

William R. Balling  
Secretary/Treasurer,  
Board of Directors  
Chairman,  
Executive Committee

C. Brooke Beal  
Executive Director



Honorable Rita Mullins, Mayor  
Village Council  
March 3, 2005  
Page 2

stations currently are operating in Evanston, Elk Grove Village, Mt. Prospect and Northbrook. Also, there is a construction and demolition recycling facility currently operating at 50% of its capacity on the north side of Hoffman Estates.

Due to the above reasons, the Solid Waste Agency respectfully requests that the Village of Palatine deny MBL Recycling Inc. request to operate a redundant facility that is unneeded from a recycling processing and transfer station capacity analysis, and would negatively impact the cost of the Village of Palatine's and other members of the Solid Waste Agency tipping fees.

Thank you for your consideration of the Solid Waste Agency's comments.

Sincerely,



C. Brooke Beal  
Executive Director

cc. Reid Ottesen

PUBLIC NOTICE

A Public Hearing will be held before the Village of Palatine Planning and Zoning Commission on Tuesday, April 28, 2026 at 7 PM, in the Village Council Chambers in the Palatine Village Hall, 200 E. Wood Street, relative to a request for the following:

**Special Use Amendment to Special Use # O-39-05, which allows the transfer, storage, and treatment of general construction materials, demolition debris, and wood waste.**

**The Special Use Amendment will allow for the storage, distribution, and general cleaning of portable toilets on the Subject Property.**

The property is commonly known as 630 S. Hicks Road.

The Petitioners, Economy Disposal Services, presently operate a special use which provides for the transfer, storage, and treatment of general construction materials, demolition debris, and wood waste at the Subject Property. The proposed amendment would allow for the storage, distribution, and general clearing of portable toilets to be commercially rented at the Subject Property.

The above petition has been filed by Keito Ido, agent, and is available for examination in the office of the Village Clerk, 200 E. Wood Street.

FILE # SU-000227-2025:

VILLAGE OF PALATINE

Jan Wood, Chair  
Palatine Planning & Zoning Commission

DATED: This 9<sup>th</sup> day of April, 2026

# CERTIFICATE OF PUBLICATION

**DES PLAINES JOURNAL, INC.**, a corporation organized and existing under and by virtue of the laws of the State of Illinois, does hereby CERTIFY that it is the publisher of the:

**Journal & Topics Newspapers  
AKA Des Plaines Journal, Inc.  
622 Graceland Ave.  
Des Plaines, IL 60016-4556**

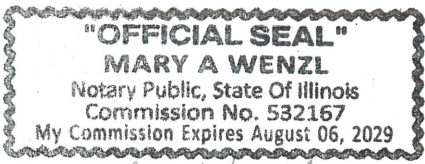
and that said newspaper(s) is a secular newspaper of general circulation and has been published weekly in the

(Village) (Town) (City) (Township) of PALATINE 630. S. Hicks Rd  
     
 County of COOK

and State of Illinois, continuously for more than one year prior to date of the first publication of the notice attached hereto, and that said newspaper(s) complies with the requirements of Paragraphs 5 and 10, Chapter 100, of the Illinois Revised Statutes.

Further, that the notice, of which the attached is a true copy, was published ONE times in the said newspaper(s), namely once each week for ONE successive week(s) and that the first publication of said notice was made on the 9TH day of APRIL, A.D. 2026, and the last publication thereof was made on the 9TH day of APRIL, A.D. 2026.

- Your Legal appeared in the following Journal & Topics Newspapers (Des Plaines Journal, Inc.)
- Des Plaines Journal
  - Elk Grove Village Journal
  - Mt. Prospect Journal
  - Niles Journal
  - Park Ridge-Golf Mill Journal
  - Prospect Heights Journal
  - Rosemont Journal
  - Arlington Heights Topics
  - Buffalo Grove Topics
  - Palatine Topics
  - Rolling Meadows Topics
  - Wheeling Topics
  - Suburban Journal
  - Northwest Journal
  - Glenview Journal



*Mary A. Wenzl*

IN WITNESS WHEREOF, THE DES PLAINES JOURNAL, INC., has caused this certificate to be signed and its corporate seal affixed hereto at Des Plaines, Illinois this 9TH day of APRIL A.D., 2026.

By Todd Wessell

President  
Title of Corporate Officer

County of Cook  
State of Illinois

Subscribed and sworn to before me this 9TH day of APRIL A.D., 2026.

My commission expires the 6TH day of AUGUST A.D., 2029.