



VILLAGE COUNCIL & COMMITTEE OF THE WHOLE

MAY 18, 2026 AT 7:00 PM

VILLAGE HALL - COUNCIL CHAMBERS
200 E. WOOD STREET
PALATINE, IL 60067-5339
(847) 359-9050 www.palatine.il.us

AGENDA

REGULAR MEETING

7:00 PM

- I. CALL TO ORDER**
- II. ROLL CALL**
- III. PLEDGE TO THE FLAG**
- IV. APPROVAL OF MINUTES**
 - A. Village Council & Committee of the Whole - Regular Meeting - Regular Meeting May 11, 2026
- V. MAYOR'S REPORT**
 - A. Certificates of Recognition for Jolee Waddington and the Immanuel Lutheran Girls Basketball Team
 - B. As Submitted
- VI. RECESS TO THE COMMITTEE OF THE WHOLE**
- VII. COMMITTEE OF THE WHOLE**
 - A. ADMINISTRATION, TECHNOLOGY & COMMUNITY HEALTH COMMITTEE**
SCOTT LAMERAND, CHAIR
 - 1. Presentation and Update from the Palatine Township Community Mental Health Board
 - 2. As Submitted
 - B. COMMUNITY & ECONOMIC DEVELOPMENT COMMITTEE**
DOUG MYSLINSKI, CHAIR
 - 1. Consider an Ordinance Approving an Amendment to the Slade Street Crossing Planned Development and a Special Use for a Fence in the Side Yard Abutting a Street at 4 E. Slade Street
Council District: Six

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2. As Submitted
- C. POLICE POLICY & CODE SERVICES COMMITTEE**
JOE FALKENBERG, CHAIR
1. **560 S. Hicks Road**
 - a. Consider an Ordinance Approving a Special Use to Permit a Use that Will Provide for the Transfer, Storage, and Treatment of General Construction Materials, Demolition Debris, and Wood Waste and Accessory Permitted Office Uses at 560 S. Hicks Road
Council District: Two
 - b. Consider a Resolution of Support for the Filing of a 6B Cook County Tax Classification Application for the Property Located at 560 S. Hicks Road
Council District: Three
 2. Consider an Ordinance Approving a Special Use Amendment to Allow for the Storage, Distribution, and General Cleaning of Portable Toilets for the Property Located at 630 S. Hicks Road
Council District: Two
 3. Consider a Motion Approving the Halloween Hustle 5K & Kids Dash, Including a Waiver of the Village's Sound Amplification Ordinance and Temporary Closure of a Portion of Eric Drive, on Saturday, October 24, 2026
Council District: Six
 4. Consider a Motion Granting a Waiver of the Sound Amplification Ordinance, Closure of Village Parking Lot and a Portion of Wilson Street and Bothwell Street, for Palatine Street Feast (A Sunday Food Truck Series) at 36. W. Wilson Street (Lot E or 9) on August 16, 2026, from 11 a.m. - 7 p.m.
Council District: Six
 5. As Submitted
- D. INFRASTRUCTURE & ENVIRONMENT COMMITTEE**
BRAD HELMS, CHAIR
1. Consider a Motion to Award a Contract for the 2026 Pavement Striping Program
 2. Consider a Resolution Approving Construction on State Highways
 3. As Submitted
- E. BUSINESS FINANCE & BUDGET COMMITTEE**
KOLLIN KOZLOWSKI, CHAIR
1. As Submitted

F. FIRE POLICY & COMMUNITY INFORMATION COMMITTEE
GREG LANGER, CHAIR

1. As Submitted

VIII. RECONVENE THE VILLAGE COUNCIL MEETING

IX. CONSENT AGENDA

All items are considered to be routine by the Village Council and will be enacted by one motion, with waiver of first reading. There will be no separate discussion of these items unless a Council Member so requests, in which event the item will be removed from the Consent Agenda and considered in its normal sequence on the agenda.

- A. Consider a Motion to Approve Warrant 2026 #10
- B. Consider an Ordinance Approving an Amendment to the Slade Street Crossing Planned Development and a Special Use for a Fence in the Side Yard Abutting a Street at 4 E. Slade Street
Council District: Six
- C. Consider an Ordinance Approving a Special Use to Permit a Use that Will Provide for the Transfer, Storage, and Treatment of General Construction Materials, Demolition Debris, and Wood Waste and Accessory Permitted Office Uses at 560 S. Hicks Road
Council District: Two
- D. Consider a Resolution of Support for the Filing of a 6B Cook County Tax Classification Application for the Property Located at 560 S. Hicks Road
Council District: Three
- E. Consider an Ordinance Approving a Special Use Amendment to Allow for the Storage, Distribution, and General Cleaning of Portable Toilets for the Property Located at 630 S. Hicks Road
Council District: Two
- F. Consider a Motion Approving the Halloween Hustle 5K & Kids Dash, Including a Waiver of the Village's Sound Amplification Ordinance and Temporary Closure of a Portion of Eric Drive, on Saturday, October 24, 2026
Council District: Six
- G. Consider a Motion Granting a Waiver of the Sound Amplification Ordinance, Closure of Village Parking Lot and a Portion of Wilson Street and Bothwell Street, for Palatine Street Feast (A Sunday Food Truck Series) at 36. W. Wilson Street (Lot E or 9) on August 16, 2026, from 11 a.m. - 7 p.m.
Council District: Six
- H. Consider a Motion to Award a Contract for the 2026 Pavement Striping Program
- I. Consider a Resolution Approving Construction on State Highways

X. REPORTS OF STANDING COMMITTEES**A. ADMINISTRATION, TECHNOLOGY & COMMUNITY HEALTH COMMITTEE**
SCOTT LAMERAND, CHAIR

1. As Submitted

B. BUSINESS FINANCE & BUDGET COMMITTEE
KOLLIN KOZLOWSKI, CHAIR

1. As Submitted

C. COMMUNITY & ECONOMIC DEVELOPMENT COMMITTEE
DOUG MYSLINSKI, CHAIR

1. As Submitted

D. FIRE POLICY & COMMUNITY INFORMATION COMMITTEE
GREG LANGER, CHAIR

1. As Submitted

E. INFRASTRUCTURE & ENVIRONMENT COMMITTEE
BRAD HELMS, CHAIR

1. As Submitted

F. POLICE POLICY & CODE SERVICES COMMITTEE
JOE FALKENBERG, CHAIR

1. As Submitted

XI. REPORTS OF THE VILLAGE OFFICERS**A. VILLAGE MANAGER**

1. As Submitted

B. VILLAGE CLERK

1. As Submitted

C. VILLAGE ATTORNEY

1. As Submitted

XII. CLOSED SESSION AS REQUIRED**XIII. RECOGNITION OF AUDIENCE**

XIV. ADJOURNMENT

VILLAGE COUNCIL & COMMITTEE OF THE WHOLE

MAY 11, 2026 AT 7:00 PM



VILLAGE HALL - COUNCIL CHAMBERS
200 E. WOOD STREET
PALATINE, IL 60067-5339
(847) 359-9050 www.palatine.il.us

MINUTES

REGULAR MEETING

7:00 PM

I. CALL TO ORDER

Mayor Schwantz called the meeting to order at 7:00 PM.

II. ROLL CALL

PRESENT :	Councilman District 1 Greg Langer, Councilman District 2 Scott Lamerand, Councilman District 3 Doug Myslinski, Councilman District 4 Joe Falkenberg, Councilman District 5 Kollin Kozlowski, Councilman District 6 Brad Helms
ABSENT :	

Also Present:

Village Clerk Maureen Pasqualucci, Village Manager Reid Ottesen, Deputy Village Manager Hadley Skeffington-Vos, Village Attorney Patrick Brankin, Director of Community Development Mike Jacobs, Director of Planning & Zoning Ben Vyverberg, Director of Public Works Matt Barry, Police Chief William Nord, Deputy Police Chief David Brandwein, Fire Chief Scott Mackeben, IT Director Larry Schroth, Director of Finance Andrew Brown, Director of Human Resources Monika Pandya

III. PLEDGE TO THE FLAG

Mayor Schwantz invited everyone to stand and join him in the Pledge to the Flag.

IV. APPROVAL OF MINUTES

A. Village Council & Committee of the Whole - Regular Meeting - May 4, 2026

RESULT:	MOTION BY VOICE VOTE
MOVER:	Doug Myslinski
SECONDER:	Joe Falkenberg
AYES:	Greg Langer, Scott Lamerand, Doug Myslinski, Joe Falkenberg, Kollin Kozlowski, Brad Helms
NAYS:	None

V. MAYOR'S REPORT

A. As Submitted

Mayor Schwantz announced upcoming events:

Tuesday, May 12: 5 PM
Police Beat 8150 Meeting
Buehler YMCA

Friday, May 15: 5AM - Noon
“Cop on a Rooftop” to support Special Olympics
Palatine Dunkin Donuts locations

The Village would like to remind residents of the new compost/recycle center found at the Public Works Facility located at 148 W. Illinois Avenue. It is open year-round, 24 hours a day.

Save the date for the Village’s first food truck event: Palatine Street Feast on June 7!

VI. RECESS TO THE COMMITTEE OF THE WHOLE

RESULT:	MOTION APPROVED BY VOICE VOTE
MOVER:	Brad Helms
SECONDER:	Scott Lamerand
AYES:	Greg Langer, Scott Lamerand, Doug Myslinski, Joe Falkenberg, Kollin Kozlowski, Brad Helms
NAYS:	None

VII. COMMITTEE OF THE WHOLE

A. **POLICE POLICY & CODE SERVICES COMMITTEE**
JOE FALKENBERG, CHAIR

1. Consider an Ordinance Decreasing the Number of Class G (Beer & Wine) Liquor Licenses by One and Increasing the Number of Class G-2 (Beer, Wine & Limited Spirits) Liquor Licenses by One for the Sizzle Kitchen LLC dba Cook, Cork & Fork Located at 34 W. Palatine Road
Council District: Six

Villager Manager Reid Ottesen discussed decreasing the number of Class G liquor licenses at Cook, Cork and Fork and increasing the number of Class G-2 liquor licenses. Ottesen explained the two different types of liquor licenses. He mentioned Cook, Cork and Fork is planning on expansion and most of the operations remain the same.

Councilman Kozlowski asked how many drink options they were limited to and Ottesen responded by detailing the specific categories of alcohol and explaining the service process.

RESULT:	MOTION APPROVED BY VOICE VOTE
MOVER:	Brad Helms
SECONDER:	Doug Myslinski
AYES:	Jim Schwantz, Greg Langer, Scott Lamerand, Doug Myslinski, Joe Falkenberg, Kollin Kozlowski, Brad Helms
NAYS:	None

- 2. Consider an Ordinance Transferring a Special Use to Permit the Continued Operation of a Restaurant with Liquor Service at 56 W. Wilson Street
Council District: Six

Villager Manager Reid Ottesen discussed a special use transfer for the continued operation of liquor service at the Tap House restaurant. Ottesen spoke about the transition and continuation of operations from the previous entity (Scott Ward) to the new entity (Rachel Sexton) and mentioned that liquor licenses will be discussed later. Ottesen noted the proprietor attended the meeting and staff recommended approval.

RESULT:	MOTION APPROVED BY VOICE VOTE
MOVER:	Brad Helms
SECONDER:	Kollin Kozlowski
AYES:	Jim Schwantz, Greg Langer, Scott Lamerand, Doug Myslinski, Joe Falkenberg, Kollin Kozlowski, Brad Helms
NAYS:	None

3. **117 W. Slade Street**

- a. Consider an Ordinance Approving a Special Use for a Unique Use at 117 W. Slade Street, Unit 200
Council District: Six
- b. Consider an Ordinance Increasing Class G (Beer & Wine) Liquor Licenses by One for Loft 19 Golf Club Located at 117 W. Slade Street
Council District: Six

Director of Planning and Zoning Ben Vyverberg spoke about a special use permit for a golf simulator at 117 W. Slade Street and increasing the liquor license by one for business.

Vyverberg discussed details of the simulator, reservations, liquor service and hours. He explained the proposed floor plan and that 117 W. Slade Street

will coordinate with local restaurants for food service. Vyverberg also noted that the liquor service is for those using the golf simulator and staff recommend approval.

Councilman Myslinski asked about fire code specifications and Vyverberg responded that a business plan was submitted with maximum occupancies and staff reviewed with no remaining issues.

Councilman Kozlowski asked about future operations and the possibility of outsourcing food through an Uber Eats-type service. Ottesen clarified that food would come from nearby restaurants and outlined an existing agreement with Mad Cats, along with Tap House and Mexico Uno. He confirmed that the business plan has been reviewed and is viable.

RESULT:	MOTION APPROVED BY VOICE VOTE FOR A AND B
MOVER:	Brad Helms
SECONDER:	Greg Langer
AYES:	Jim Schwantz, Greg Langer, Scott Lamerand, Doug Myslinski, Joe Falkenberg, Kollin Kozlowski, Brad Helms
NAYS:	None

- 4. Consider an Ordinance Increasing Class E-1 (Temporary Special Event Package) Liquor Licenses by One for With Love The Elliots LLC (dba Griffin's) Located at 137 W. Wood Street Council District: Six

Villager Manager Reid Ottesen discussed increasing the Class E-1 (Temporary Special Event) Liquor Licenses by one for Griffin's. Ottesen discussed the business's expansion into the area and the products it will offer. Ottesen emphasized that this particular license is distinctive in that it may only be used during village-approved special events.

RESULT:	MOTION APPROVED BY VOICE VOTE
MOVER:	Brad Helms
SECONDER:	Kollin Kozlowski
AYES:	Jim Schwantz, Greg Langer, Scott Lamerand, Doug Myslinski, Joe Falkenberg, Kollin Kozlowski, Brad Helms
NAYS:	None

- 5. Consider a Motion Granting a Waiver of the Sound Amplification Ordinance, Closure of Village Parking Lots and a Portion of Slade Street, Waiver of Village Fees, and Waiver of the Village's Construction Hours for the Rotary Club of Palatine's Annual Oktoberfest Celebration to be Held on September 18 - 20, 2026 Council District: Six

Villager Manager Reid Ottesen presented the request for a sound-amplification waiver and closure of the Village parking lots and a section of Slade Street during the September 18–20 Oktoberfest event. Ottesen reviewed fee waivers, construction hours, and tear down plans, noting that proceeds benefit the community and recommended approval.

Councilman Myslinski asked about the stage placement and noise affects. Ottesen responded that the new layout from last year had resulted in no known complaints.

Hank Sobotka, Rotary Club, expressed his appreciation.

RESULT:	MOTION APPROVED BY VOICE VOTE
MOVER:	Brad Helms
SECONDER:	Kollin Kozlowski
AYES:	Jim Schwantz, Greg Langer, Scott Lamerand, Doug Myslinski, Joe Falkenberg, Kollin Kozlowski, Brad Helms
NAYS:	None

- 6. Consider an Ordinance Granting a Minor Amendment to Allow a Floor Plan Amendment to the Special Use for Schnell's Brauhaus at 45 W. Slade Street Council District: Six

Villager Manager Reid Ottesen presented an amendment request involving a floor plan change at Schnell's Brauhaus. Ottesen reported that the business acquired the adjacent building and intends to place video gaming in the new expansion area. He detailed the revised table count, the required liquor license steps, and the pending site inspection, adding that staff recommended approval.

RESULT:	MOTION APPROVED BY VOICE VOTE
MOVER:	Brad Helms
SECONDER:	Scott Lamerand
AYES:	Jim Schwantz, Greg Langer, Scott Lamerand, Doug Myslinski, Joe Falkenberg, Kollin Kozlowski, Brad Helms
NAYS:	None

- 7. As Submitted
Nothing Submitted.

B. COMMUNITY & ECONOMIC DEVELOPMENT COMMITTEE
DOUG MYSLINSKI, CHAIR

- 1. Consider a Resolution Granting a Final Plat of Subdivision for a Revised Building Pad for Lot 2 in the Benton Street Subdivision and Special Uses for Fill

In a Floodplain, with the Required Compensatory Storage, and a Yard in the Floodplain for the Property Located at 951 S. Benton Street
Council District: Two

Director of Planning and Zoning Ben Vyverberg spoke about the resolution for the final plat of Subdivision at 951 S. Benton.

Vyverberg spoke about the Southern lot of the subdivided lot that was originally approved in 2008 at 951 S. Benton. Vyverberg detailed the specifics of the land parcel, including drainage easements, flood plains, and storage which requires special use approval. Pending the public hearing process, Vyverberg presented the updates to the proposed ranch-style site plan and discussed engineering plan acceptance.

Vyverberg mentioned staff has a neutral position and the Planning and Zoning Committee voted 6-1 to approve.

Councilman Myslinski commented on the building being built on peat moss.

Councilman Myslinski asked about utilities and Vyverberg mentioned a neighbor's letter and no flooding concerns.

Vyverberg spoke about the right of way and tree line.

Councilman Myslinski asked a question about compensatory storage question, and Vyverberg clarified village code requirements and mentioned various engineers' notes.

Councilman Helms asked about lot coverage and flood plain encroachment. Vyverberg mentioned that this is zoned at R1, and that no amendments are done.

Vyverberg noted the driveway for Lot 1 and a special use license agreement.

Councilman Helms spoke about erosion around buildings and any grading requirements with eventual sinking. Vyverberg mentioned the R1 zoning and the engineering specification discussed at the public hearing.

Councilman Lamerand discussed the initial three-lot subdivision proposal and asked about the building permit process in relation to building on peat moss. Vyverberg answered that an engineering review would detail any additional requirements.

Councilman Lamerand mentioned that the owners are in attendance at tonight's meeting.

Joey McArthur, Rolling Meadows, asked who owns the easement on this property. Village Manager Ottesen answered that the easement is on privately held property.

RESULT:	MOTION APPROVED BY VOICE VOTE
MOVER:	Scott Lamerand
SECONDER:	Greg Langer
AYES:	Jim Schwantz, Greg Langer, Scott Lamerand, Doug Myslinski, Joe Falkenberg, Kollin Kozlowski, Brad Helms
NAYS:	None

- 2. As Submitted
Nothing Submitted.

C. INFRASTRUCTURE & ENVIRONMENT COMMITTEE
BRAD HELMS, CHAIR

- 1. Consider an Ordinance Prohibiting the Installation of Groundwater Wells in a Defined Area Near 515 West Colfax Street
Council District: Six

Director of Public Works Matt Barry discussed land that was previously a gas station is attempting to receive a No Further Remediation letter from the state EPA, a local limited groundwater ordinance, and that no community or historic private wells are nearby. He also said that the village code would not permit private wells to be installed.

Councilman Helms asked if the remediation would be done on site. Barry explained that the topic pertained to the potential of groundwater migration. Ottesen noted that the state requires a local groundwater ordinance, and that Village water is utilized in this area.

RESULT:	MOTION APPROVED BY VOICE VOTE
MOVER:	Greg Langer
SECONDER:	Joe Falkenberg
AYES:	Jim Schwantz, Greg Langer, Scott Lamerand, Doug Myslinski, Joe Falkenberg, Kollin Kozlowski, Brad Helms
NAYS:	None

- 2. Consider an Ordinance Prohibiting the Installation of Groundwater Wells in a Defined Area Near 1245 East Dundee Road
Council District: Five

Director of Public Works Matt Barry discussed the installation of Groundwater Wells near 1245 E Dundee Road as a circumstance similar to the previously reviewed project at 515 W Colfax Street.

RESULT:	MOTION APPROVED BY VOICE VOTE
MOVER:	Kollin Kozlowski
SECONDER:	Doug Myslinski
AYES:	Jim Schwantz, Greg Langer, Scott Lamerand, Doug Myslinski, Joe Falkenberg, Kollin Kozlowski, Brad Helms
NAYS:	None

- 3. As Submitted
Nothing Submitted.

D. ADMINISTRATION, TECHNOLOGY & COMMUNITY HEALTH COMMITTEE
SCOTT LAMERAND, CHAIR

- 1. As Submitted
Nothing Submitted.

E. BUSINESS FINANCE & BUDGET COMMITTEE
KOLLIN KOZLOWSKI, CHAIR

- 1. As Submitted
Nothing Submitted.

F. FIRE POLICY & COMMUNITY INFORMATION COMMITTEE
GREG LANGER, CHAIR

- 1. As Submitted
Nothing Submitted.

VIII. RECONVENE THE VILLAGE COUNCIL MEETING

RESULT:	MOTION APPROVED BY VOICE VOTE
MOVER:	Brad Helms
SECONDER:	Joe Falkenberg
AYES:	Greg Langer, Scott Lamerand, Doug Myslinski, Joe Falkenberg, Kollin Kozlowski, Brad Helms
NAYS:	None

IX. CONSENT AGENDA

All items are considered to be routine by the Village Council and will be enacted by one motion, with waiver of first reading. There will be no separate discussion of these items unless a Council Member so requests, in which event the item will be removed from the Consent Agenda and considered in its normal sequence on the agenda.

The motion was to approve items A - J.

RESULT:	MOTION APPROVED BY ROLL CALL
MOVER:	Scott Lamerand
SECONDER:	Doug Myslinski
AYES:	Greg Langer, Scott Lamerand, Doug Myslinski, Joe Falkenberg, Kollin Kozlowski, Brad Helms
NAYS:	None

- A. Consider an Ordinance Decreasing the Number of Class G (Beer & Wine) Liquor Licenses by One and Increasing the Number of Class G-2 (Beer, Wine & Limited Spirits) Liquor Licenses by One for the Sizzle Kitchen LLC dba Cook, Cork & Fork Located at 34 W. Palatine Road
Council District: Six

Ordinance #O-49-26
- B. Consider an Ordinance Transferring a Special Use to Permit the Continued Operation of a Restaurant with Liquor Service at 56 W. Wilson Street
Council District: Six

Ordinance #O-50-26
- C. Consider an Ordinance Approving a Special Use for a Unique Use at 117 W. Slade Street, Unit 200
Council District: Six

Ordinance #O-51-26
- D. Consider an Ordinance Increasing Class G (Beer & Wine) Liquor Licenses by One for Loft 19 Golf Club Located at 117 W. Slade Street
Council District: Six

Ordinance #O-52-26
- E. Consider an Ordinance Increasing Class E-1 (Temporary Special Event Package) Liquor Licenses by One for With Love The Elliots LLC (dba Griffin's) Located at 137 W. Wood Street
Council District: Six

Ordinance #O-53-26

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- F. Consider a Motion Granting a Waiver of the Sound Amplification Ordinance, Closure of Village Parking Lots and a Portion of Slade Street, Waiver of Village Fees, and Waiver of the Village's Construction Hours for the Rotary Club of Palatine's Annual Oktoberfest Celebration to be Held on September 18 - 20, 2026
Council District: Six
- G. Consider an Ordinance Granting a Minor Amendment to Allow a Floor Plan Amendment to the Special Use for Schnell's Brauhaus at 45 W. Slade Street
Council District: Six

Ordinance #O-54-26
- H. Consider a Resolution Granting a Final Plat of Subdivision for a Revised Building Pad for Lot 2 in the Benton Street Subdivision and Special Uses for Fill In a Floodplain, with the Required Compensatory Storage, and a Yard in the Floodplain for the Property Located at 951 S. Benton Street
Council District: Two

Resolution #R-13-26
Ordinance #O-55-26
- I. Consider an Ordinance Prohibiting the Installation of Groundwater Wells in a Defined Area Near 515 West Colfax Street
Council District: Six

Ordinance #O-56-26
- J. Consider an Ordinance Prohibiting the Installation of Groundwater Wells in a Defined Area Near 1245 East Dundee Road
Council District: Five

Ordinance #O-57-26

X. REPORTS OF STANDING COMMITTEES

A. ADMINISTRATION, TECHNOLOGY & COMMUNITY HEALTH COMMITTEE SCOTT LAMERAND, CHAIR

1. As Submitted
No Report.

B. BUSINESS FINANCE & BUDGET COMMITTEE KOLLIN KOZLOWSKI, CHAIR

1. As Submitted
No Report.

C. COMMUNITY & ECONOMIC DEVELOPMENT COMMITTEE

DOUG MYSLINSKI, CHAIR

1. As Submitted

No Report.

D. FIRE POLICY & COMMUNITY INFORMATION COMMITTEE

GREG LANGER, CHAIR

1. As Submitted

No Report.

E. INFRASTRUCTURE & ENVIRONMENT COMMITTEE

BRAD HELMS, CHAIR

1. As Submitted

No Report.

F. POLICE POLICY & CODE SERVICES COMMITTEE

JOE FALKENBERG, CHAIR

1. As Submitted

No Report.

XI. REPORTS OF THE VILLAGE OFFICERS**A. VILLAGE MANAGER**

1. As Submitted

No Report.

B. VILLAGE CLERK

1. As Submitted

No Report.

C. VILLAGE ATTORNEY

1. As Submitted

No Report.

XII. CLOSED SESSION AS REQUIRED

No Closed Session requested.

XIII. RECOGNITION OF AUDIENCE

Mayor Schwantz made a statement about a discussion on topics related to the published agenda.

Joseph McArthur – Lot 20 Highland Meadows Subdivision, Rolling Meadows. Mr. McArthur thanked the Village for the minutes and transparency from the May 4th meeting. He indicated that there is no clarity on primary enforcement authority on the bike path that encroaches on his property and that the Palatine Manager and Rolling Meadows Police have failed to provide clarity. Village Manager Ottesen indicated that he replied to Mr. McArthur in a written email on July 11, 2025 and on April 13, 2026 providing clarity on who has jurisdiction on Euclid Avenue. Ottesen suggested that Mr. McArthur look at his emails for the information or speak to him after the meeting.

Melissa Ortega, 107 S. Greeley Street, asked for clarification about placing items on the agenda and expressed interest in flying the pride flag in June. Ms. Ortega explained that three Councilman communicated by email to her that they do not support a discussion on the pride flag.

Resident, Teacher, and husband (CMHB President) support flying the pride flag in June.

Roman Golash, Resident, does not support the pride flag at the Village Hall.

Tom Wood, 1147 N. KingArthur Court, commented about what flags should be flown.

Roman Golash, supports flying the POW flag.

Frank Skorski, 145 W. Bryant Ave, supports the American flag being flown.

Resident, 117 W. Illinois Ave, supports the pride flag being flown in June.

Resident, 427 N Lake Shore Drive, business owner, spoke about community and LGBTQ+ inclusion.

David Prichard, 958 N. Carmel, applauds the position the council and the mayor have taken on flags and wants to keep the village non-partisan.

Resident, 240 N. Linden Ave, supports flying the pride flag in June and mentioned flag displaying ordinance.

XIV. ADJOURNMENT

RESULT:	MOTION APPROVED BY VOICE VOTE
MOVER:	Scott Lamerand
SECONDER:	Kollin Kozlowski
AYES:	Greg Langer, Scott Lamerand, Doug Myslinski, Joe Falkenberg, Kollin Kozlowski, Brad Helms
NAYS:	None

The meeting adjourned at 7:56 PM.

SUBMITTED BY:

Maureen Pasqualucci
Village Clerk

Certificates of Recognition for Jolee Waddington and the Immanuel Lutheran Girls Basketball Team

BACKGROUND:

On Saturday, February 21, 2026, Palatine High School Senior, Jolee Waddington, competed in the Illinois High School Association's Girls Gymnastics State Finals in Palatine. She was the top finisher in the all-around competition and brought home five medals. *Coaches:* Terry Theobald, Scott Hagel, Kathy Blaheta

On Sunday, March 8, 2026, the Immanuel Lutheran Girls Basketball Team placed first in the Lutheran Sports Association of Illinois' State Basketball Tournament in Arlington Heights. *Team Members:* Kenzie Phillips, Brooke Czaja, Moriah Helfrich, Claire Moser, Caro Wolfe, Diana Nagel, Olivia Dreyer, Ava Mraz. Alice Nottoli, Adi Geldon, Olivia Roth, Faith Rizzo, Livy Xie. *Coaches:* Heather Glaser, TR Turner, Jim Beckley.

KEY ISSUES:

N/A

BUDGET IMPACT:

N/A

RECOMMENDATION:

N/A

ACTION REQUIRED:

N/A

ATTACHMENTS:

None

Presentation and Update from the Palatine Township Community Mental Health Board

BACKGROUND:

One year after its creation, representatives from the Palatine Township Community Mental Health Board would like to present to the Village Council on their work and progress.

KEY ISSUES:

- The Palatine Township Community Mental Health Board passed by referendum in 2025.
- The Board is funded through a separate tax levy imposed by Palatine Township.
- The board provides funding to support services for mental health, intellectual and developmental disabilities and substance use disorder.
- The appointed board members are Karen Baker, Joseph T. Serio, Kathy Millin, Jennifer Iannuzzelli, Sarah McKillop, and Jiby A. Vettickal.

This evening they will be providing an update on their first year of existence and what is to come in the future.

BUDGET IMPACT:

N/A

RECOMMENDATION:

N/A

ACTION REQUIRED:

N/A

ATTACHMENTS:

None

Consider an Ordinance Approving an Amendment to the Slade Street Crossing Planned Development and a Special Use for a Fence in the Side Yard Abutting a Street at 4 E. Slade Street

BACKGROUND:

The Subject Property is located within the Slade Street Crossing development (containing 5 single-family lots) at the northeast corner of Plum Grove Road and Slade Street. The four eastern lots (Lots 2 - 5) have all been developed and occupied. Lot 1 (4 E. Slade Street), adjacent to Plum Grove Road, remains undeveloped. The Developer is proposing to install a 4-foot tall picket fence along the Plum Grove Road frontage with a setback of 3 feet from the western property line. Although the height, setback, and openness would typically be permitted through a standard building permit, the Zoning Ordinance requires that any fencing in the side yard abutting a street yard, which also abuts the side lot line of a front yard (49 N. Plum Grove Road), requires a Special Use. Additionally, the architectural plans for Lot 1 are proposed for amendment, with an approximately 84 square foot patio, exit landing, and descending stairs proposed on the west side of the proposed home. Therefore, the Petitioner is requesting approval of the following:

- 1) Planned Development Amendment to permit a raised exit landing, with stairs providing access to the yard on the west side of the proposed home for Lot 1 (4 E. Slade Street), and a patio to be located within the side yard abutting a street yard; and**
- 2) Special Use to permit a 4-foot tall picket-style fence, with an approximately 3-foot setback, in the side yard abutting a street, where the side lot line of said side yard abutting a street abuts the side lot line of a front yard of an adjacent lot.**

KEY ISSUES:

- The fence would begin approximately 8 feet behind the front porch of the proposed home and run north for approximately 52 feet along the Plum Grove Road property line. The proposed fence stops in line with the northwest corner of the proposed home at the garage. Per Code, fences are permitted in the side yard abutting a street yard at the proposed height, level of openness, and setback, if the lot does not abut the side lot line of an adjacent lot's front yard.
- As Lot 1 abuts the side lot line of the front yard of the existing home at 49 N. Plum Grove Road, Special Use review is required. The proposed fence will be set back approximately 37 feet from the shared lot line with 49 N. Plum Grove Road. Due to the proposed height, open-style, and setback, Staff does not see any impact of the proposed fence upon the neighboring property.
- Additional architectural changes are also proposed for the western elevation of

Lot 1. The proposed garage for Lot 1 would be slightly wider than was initially anticipated, although the approved 15-foot setback from the Plum Grove Road property line would be maintained. The widened garage would be on the east side of the lot. The home's patio would relocate to the west side of the home, in addition to an exit landing, and descending stairs coming from the dining room.

As these items were not components of the Final Architectural Plans, a Planned Development Amendment is also required.

BUDGET IMPACT:

N/A

RECOMMENDATION:

Public Hearing: Planning & Zoning Commission (PZC) meeting on April 28, 2026.

Residents testifying: None.

Vote: The PZC voted unanimously to approve the Special Use and Staff concurs.

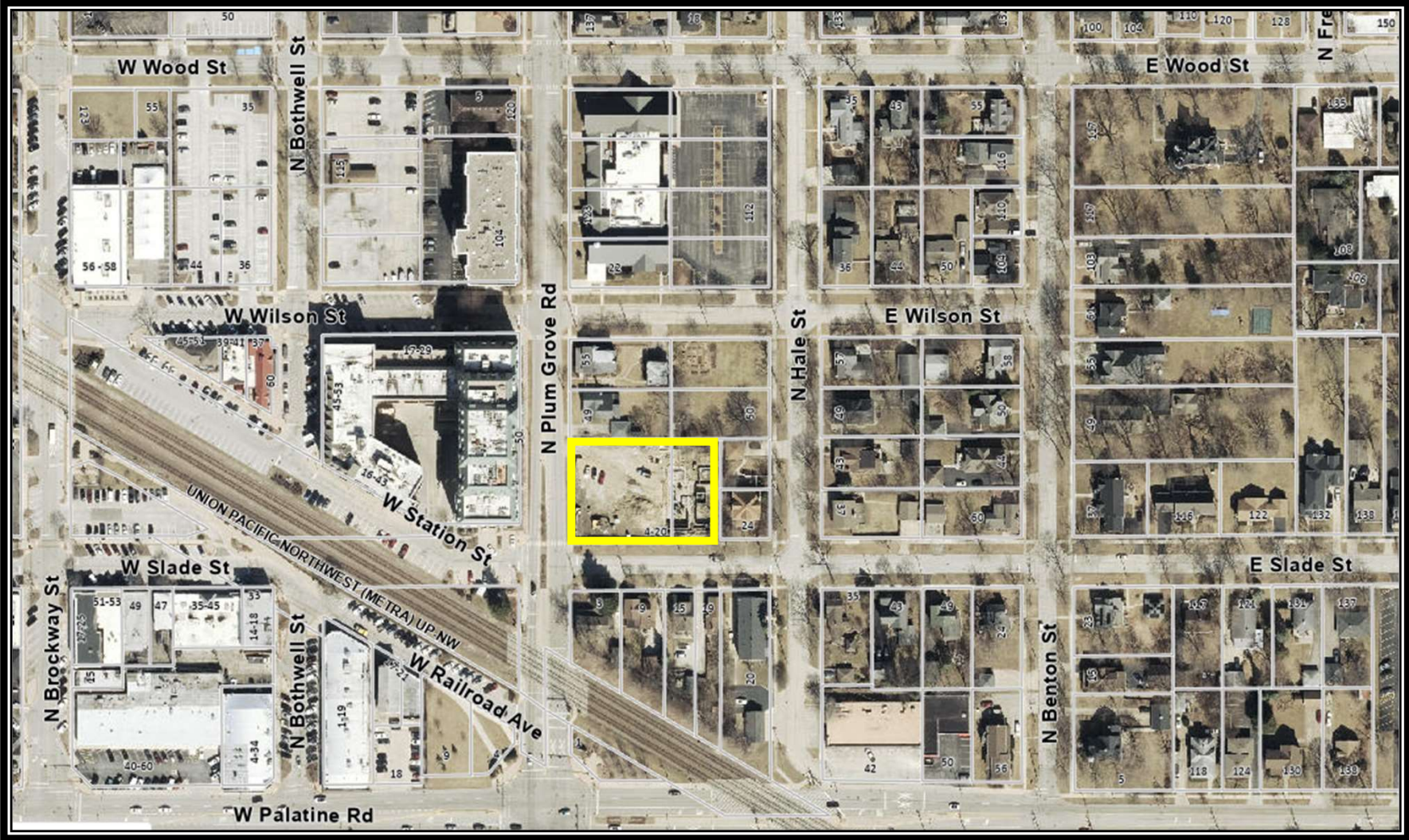
ACTION REQUIRED:

Motion to approve an ordinance granting an Amendment to the Slade Street Crossing Planned Development and a Special Use to allow a 4-foot-tall fence in the side yard abutting a street for 4 E. Slade Street.

ATTACHMENTS:

1. Aerial Map
2. ORD SU PDA Slade Street Crossing
3. EXHIBIT - Lot 1 Architecture Plans - West Side Landing & Stairs - Slade Street Crossing
4. EXHIBIT - Fence Site Plan and Elevation
5. Slade Street Crossing Planned Development Ordinance
6. DRAFT PZC minutes - May 12, 2026 meeting
7. Public Notice

Slade Street Crossing



ORDINANCE NO. _____

AN ORDINANCE GRANTING A SPECIAL USE FOR A 4-FOOT PICKET FENCE AND AN AMENDMENT TO THE SLADE STREET CROSSING PLANNED DEVELOPMENT (ORDINANCE #O-023-24) TO PERMIT A RAISED EXIT LANDING AND PATIO ON THE WEST SIDE OF THE PROPOSED HOME FOR LOT 1 AT 4 E. SLADE STREET

WHEREAS, pursuant to a petition and public hearing on May 12, 2026, of which public notice was given as required by law, the Planning and Zoning Commission of the Village of Palatine, in accordance with the Zoning Ordinance of the Village of Palatine, in such case made and provided, has held such public hearing and reported their findings relative to a request for a Special Use to allow a 4-foot picket fence to be setback 3 feet, in the side yard abutting a street yard, which abuts the side yard of a front of an adjacent lot, for Lot 1 (4 E. Slade Street), pursuant to Section 6.03 b (6) (b) of the Village of Palatine Zoning Ordinance and a Planned Development Amendment to Planned Development Ordinance #O-023-24 to the Slade Street Crossing Planned Development Ordinance (4-20 E. Slade Street) to permit a raised exit landing, with descending stairs and a patio located in the side yard abutting a street yard, on the following legally described property:

LOT 1 IN SLADE STREET CROSSING RESUBDIVISION A SUBDIVISION OF THE WEST ½ OF LOTS 5, 6, 7, AND THE WEST ½ OF LOT 8 IN BLOCK “G” IN JOEL WOODS SUBDIVISION IN THE TOWN OF PALATINE IN SECTIONS 14, 15, 22, AND 23 IN TOWNSHIP 42 NORTH, RANGE 10 EAST OF THE PRINCIPAL MERIDIAN, RECORDED DECEMBER 7, 1855 IN BOOK 98 F MAPS PAGE 28, IN COOK COUNTY, ILLINOIS

Commonly known as 4 E. Slade Street, Palatine, IL 60067 (PIN # 02-14-323-011)

NOW, THEREFORE, BE IT ORDAINED, by the Mayor and Village Council of the Village of Palatine, Cook County, Illinois, acting in the exercise of their home rule power that:

SECTION 1: A Special Use to allow a 4-foot picket fence to be setback 3 feet, in

the side yard abutting a street yard, which abuts the side yard of a front of an adjacent lot, for Lot 1 (4 E. Slade Street), pursuant to Section 6.03 b (6) (b) of the Village of Palatine Zoning Ordinance and a Planned Development Amendment to Planned Development Ordinance #O-023-24 of Slade Street Crossing Planned Development Ordinance (4-20 E. Slade Street) to permit a raised exit landing, with descending stair and a patio located in the side yard abutting a street yard is hereby granted, subject to the following condition(s):

1. The final architectural plans shall substantially conform to the Lot 1 plans, dated 2/10/26, except as such plans shall be revised to conform to Village Codes and Ordinances.
2. The fencing site plan and elevation shall substantially conform to the fencing plan, dated 3/17/26, except as such plans shall be revised to conform to Village Codes and Ordinances.

SECTION 2: That a copy of the public notice be attached hereto and form a part of this ordinance.

SECTION 3: That this ordinance shall be in full force and effect from and after its passage and approval as provided by law.

PASSED: This _____ day of _____, 2026

AYES:____ **NAYS:**____ **ABSENT:**____ **PASS:**_____

APPROVED by me this _____ day of _____, 2026

Mayor of the Village of Palatine

ATTESTED and FILED in the office of the Village Clerk this
_____ day of _____, 2026

Village Clerk

GATTUSO RESIDENCE

4 E. SLADE STREET

PALATINE, ILLINOIS 60067

ARCHITECT CONTACT

BLAKE CZAR

847/877-3507

GWR BUILDERS

847/209-1214

BUILDER

DATE	PAGES REVISED
02-10-26	ISSUED FOR CLIENT REVIEW

CODES

APPLICABLE BUILDING CODES

- 2021 INTERNATIONAL RESIDENTIAL CODE w/ AMENDMENTS EXISTING BUILDINGS AND STRUCTURES, APPENDIX J
- 2021 INTERNATIONAL MECHANICAL CODE w/ AMENDMENTS
- 2021 INTERNATIONAL FUEL GAS CODE
- ILLINOIS ENERGY CONSERVATION CODE - LATEST EDITION
- 2020 NATIONAL ELECTRICAL CODE w/ AMENDMENTS
- ILLINOIS PLUMBING CODE w/ AMENDMENTS - LATEST EDITION
- VILLAGE OF PALATINE CODE OF ORDINANCES

OCCUPANCY

R3 - RESIDENTIAL

CLIMATIC AND GEOGRAPHICAL DESIGN CRITERIA

- Ground Snow Load: 30 psf
- Wind Speed: 90 mph -3 second gust
- Seismic Category: A
- Weathering: Severe
- Frost Line Depth: 48"
- Termite - Moderate
- Winter Design temp: -4 F
- Ice Barrier Underlayment Required: Yes
- Air freezing Index: 1750
- Mean Annual temp: 50 F

FIXTURE	# OF FIXTURES	# OF SUPPLY FIXTURE UNITS	TOTAL
WATER CLOSETS	4	3	12
LAVATORY	6	1	6
BATH TUBS	2	2	4
SHOWER STALL	2	2	4
KITCHEN SINK	1	2	2
LAUNDRY TRAY	-	1	-
DISHWASHER	1	1	1
LAUNDRY MACHINE	1	2	2
SILL COOK	2	25	5
TOTAL			36

1/2" DIA.
1/2" DIA.
1/2" DIA.

SHEET INDEX

- COVER SHEET
- FRONT & RIGHT SIDE ELEVATIONS/LV SCHEDULE
- REAR & LEFT SIDE ELEVATION
- FOUNDATION PLAN
- FIRST FLOOR PLAN
- FIRST FLOOR ELECTRICAL PLAN
- WALL SECTIONS
- DETAILS / RISER DIAGRAMS
- SPECIFICATIONS

ABBREVIATIONS

AFF	ADH	ADJSH.	A/C	ALT.	L	AVN.	BRK	BM	BRG.	CSMT	CLG	CL	C	CLO	P+S	COL	CONC	CONC	CONST	C.J.	CONT	CO	CI	CRS	DL	DTL	DIA	DIM	DW	DH	DS	EA	EQ	EXP	EXT	FIN	FP	FL	FD	FTG	FDN	GALV	GL	GYP. BD.	HGT	HM	HC	INS	INT	JNT	JST	LAM PLAS	LL	M OPG	MATL	MC	MTL	N.T.S.	O.C.	OPG	O.H.	P+T	PC	PL	PLND	P.S.F.	P.S.I.	REINF	R	RO	RS	SH	S.C	SHT. MTL.	SIM	SDD	STD	ST	TEMP	THLD	T&G	T	T/	UC	WC	WH	WP.	WS.	WF.	W	WD	WI.	WROUGHT IRON	WRAPPED OPENING
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DESIGN LOADS

Floor:	Live Load	40 PSF Minimum
	Dead Load	10 PSF Minimum
Roof:	Live Load	30 PSF Minimum
Soil:	Bearing Capacity	3,000 PSF Minimum
	Bearing Capacity - SEVERE AREAS	3,500 PSF Minimum

DISTRIBUTIVE LIVE LOADS

ATTICS w/ LIMITED STORAGE	20 P.S.F.
ATTICS w/o STORAGE	10 P.S.F.
ATTICS HABITABLE	40 P.S.F.
DECKS	60 P.S.F.
EXTERIOR BALCONIES	60 P.S.F.
GUARDRAILS AND HANDRAILS	200 P.S.F.
ROOMS OTHER THAN SLEEPING	40 P.S.F.
SLEEPING ROOMS	40 P.S.F.

FLOOR JOIST SPANS - TABLE R502.3.1(2) RESIDENTIAL LIVING AREAS (LIVE LOAD = 40 PSF)

JOIST SPACING	SPECIES & GRADE	DEAD LOAD = 10 PSF	2x12
12"	HEM-FIR #2	16'-10" MAX. SPAN	20'-4" MAX. SPAN
16"	HEM-FIR #2	15'-2" MAX. SPAN	17'-7" MAX. SPAN

SYMBOLS

	DETAIL/SECTION MARK
	DETAIL NUMBER
	SHEET NUMBER
	DIRECTION OF DETAIL
	ELEVATION TAG
	SHEET NUMBER
	ELEVATION NUMBER
	FFHB
	FROST PROOF HOSE BIB
	FLOOR DRAIN
	DIMENSIONAL LUMBER
	BATT INSULATION
	LOAD BEARING STUD WALL
	BRICK (SECTION)
	DRYVIT/E.I.F.S. (SECTION)
	CONCRETE (SECTION)
	STEEL
	EARTH
	GRAVEL OR SAND FILL



These drawings were prepared under my supervision and to the best of my knowledge, they comply with all applicable codes.

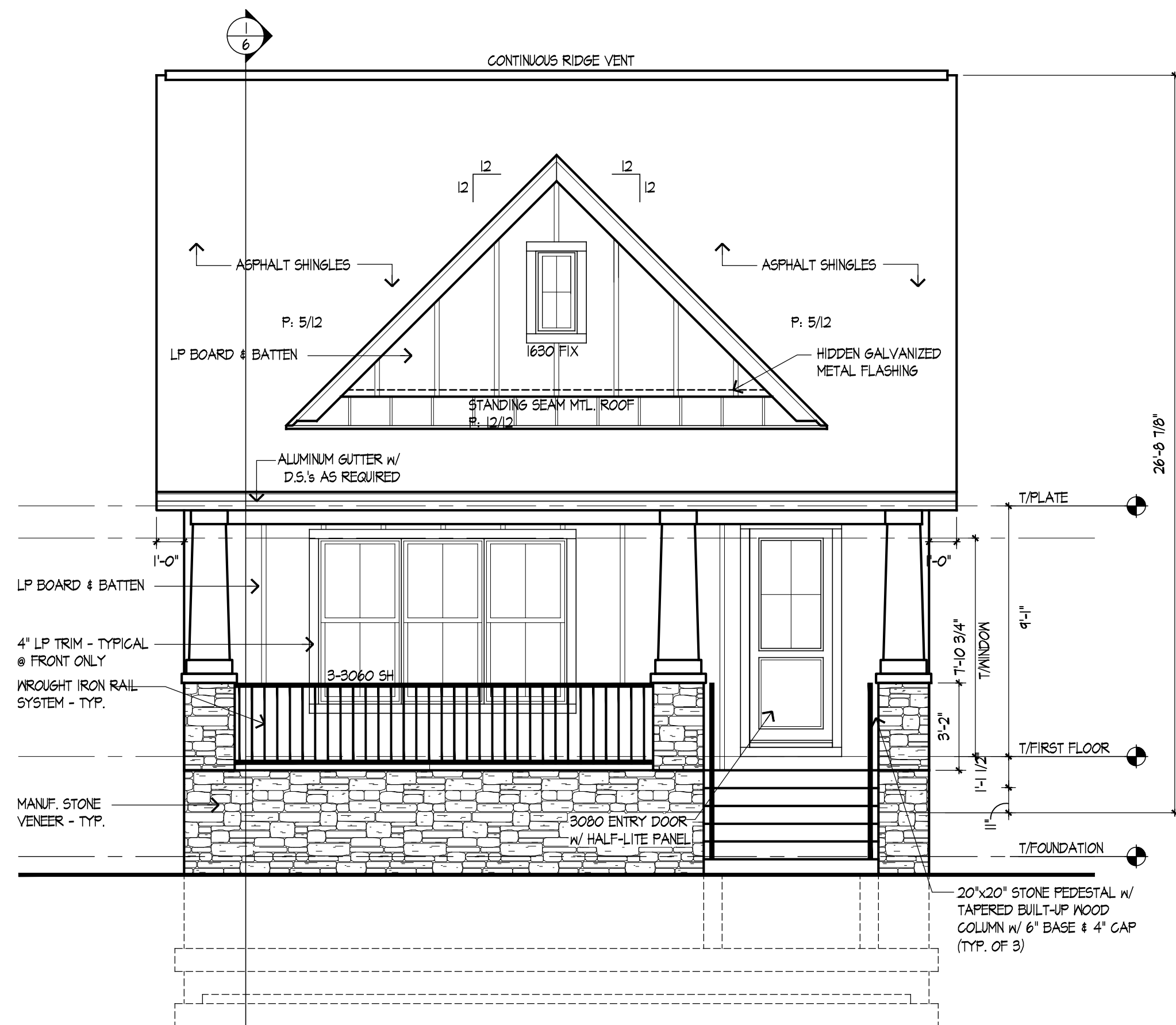
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Rick Gilmore, F.A.L.A.
Fellow of the Association of Licensed Architects

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FRONT ELEVATION

SCALE: 1/4" = 1'-0"
 NOTE:
 TOP OF FOUNDATION IS TO BE A MINIMUM OF 6" ABOVE FINISH GRADE (TYPICAL)

INSTALL NUMBERS OR ADDRESS PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. (IRC R321 TYPICAL 4'-6" HIGH NUMBERS, COLOR CONTRASTING WITH A BACKGROUND)

NOTE:
 FENESTRATION SHALL BE LISTED AND LABELED BY MFG. MAX. AIR INFILTRATION OF WINDOWS, SKYLIGHTS, AND SLIDING DOORS IS 0.3 CFM/50FT. MAX. AIR INFILTRATION OF SWINGING DOORS IS 0.5 CFM/50FT.

ROOM NAME	AREA	LIGHT		VENT		MECH CFM	
		REQ.	ACT.	REQ.	ACT.	REQ.	ACT.
BASEMENT	1281 S.F.	25.6	26.0	12.8	13.0	--	--
KITCHEN/DINING	421 S.F.	33.6	78.4	16.8	34.2	--	--
LIVING ROOM	251 S.F.	20.1	42.2	10.1	15.2	--	--
MASTER BATH	71 S.F.	--	4.3	--	--	116 CFM	200 CFM
MASTER BEDROOM	197 S.F.	15.8	26.4	7.9	13.2	--	--
BEDROOM #2	125 S.F.	10.0	13.2	5.0	6.6	--	--
BATH #2	54 S.F.	--	--	--	--	81 CFM	100 CFM

ELEVATION NOTES:

- DO NOT SCALE DRAWINGS
- PROVIDE SPLASH BLOCKS AT ALL DOWN SPOUTS DISCHARGING AT GRADE. (NOT TO DISCHARGE ACROSS WALKWAY)
 - PROVIDE DRIP CAPS AT ALL WINDOWS AND DOORS
 - ALL ROOF SADDLES TO BE SHEATHED W/ BUILDING PAPER AND SHINGLES.
 - REFER TO FLOOR PLANS FOR DOOR SIZES
 - WINDOW SIZES ARE AS PER ELEVATIONS. WINDOW MFR TO VERIFY ALL BEDROOMS HAVE EGRESS WINDOW
 - ROOF VENTS TO BE SCREENED AND BALANCED INTAKE AND EXHAUST.
 - PROVIDE "Z" FLASHING ALONG ALL HORIZONTAL TRIM
 - PROVIDE GALV. METAL FLASHING AT ALL ROOF AND WALL INTERSECTIONS.
 - FIREPLACE FLUE TO BE MIN. 2'-0" ABOVE ANY ROOF SURFACE WITHIN 10'-0" HORIZONTALLY, MIN. 3'-0" PENETRATION ABOVE ROOF.
 - SAFETY GLAZING AT BATHUB/SHOWER, SILL HEIGHTS BELOW 18", EXT. DOORS AND WINDOWS W/ IN 24" OF DOOR (AS PER GOVERNING CODES)
- EXTERIOR FINISH MATERIALS:**
- TYPICAL ROOFING WILL BE ARCHITECTURAL GRADE 30 YEAR ASPHALT SHINGLES
 - TYPICAL - ALUMINUM GUTTERS W/ DOWN SPOUTS OVER 1X3 FASCIA AND WITH 1X10 FRIEZE BOARD UNLESS OTHERWISE NOTED.
 - 1X2 ON 1X8 RAKE BOARD TYPICAL
 - TYPICAL SIDING - "LP" W/ 6" EXPOSED
 - TYPICAL TRIM - "LP"
 - ALL EYE AND RAKE OVERHANGS ARE 1'-0" UNLESS OTHERWISE NOTED.

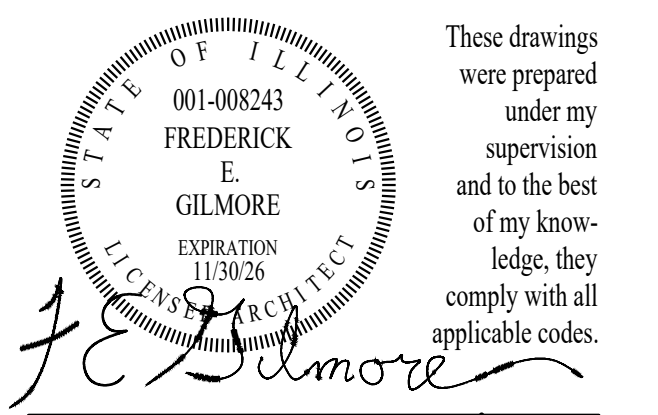
STANDARD ELEVATION NOTES

- 30 YEAR ARCHITECTURAL GRADE ASPHALT SHINGLES
 - ALUMINUM GUTTERS AND DOWNSPOUTS OVER ALUMINUM FASCIA
 - LP SIDING W/ INTERNAL VENT.
 - SHEET METAL FLASHING OVER WINDOWS, DOORS AND WOOD TRIM
 - SHEET METAL FLASHING AT ALL ROOF AND WALL INTERSECTIONS. 1X2 EDGE BOARD OVER 1X8 RAKE BOARD
 - ALL RAKE AND OVERHANGS ARE 1'-0" UNLESS OTHERWISE NOTED REFER TO ELEVATIONS AND ROOF PLAN FOR OVERHANGS
- LEGEND:
- [Symbol] INDICATES MANUF. STONE VENEER
 - [Symbol] INDICATES LP SMARTSIDE SIDING
 - [Symbol] HIDDEN GALVANIZED METAL FLASHING
- NOTE: ALL WINDOW SIZES ARE "ANDERSEN" SINGLE HUNG - OR AN APPROVED EQUAL



RIGHT ELEVATION

SCALE: 1/4" = 1'-0"



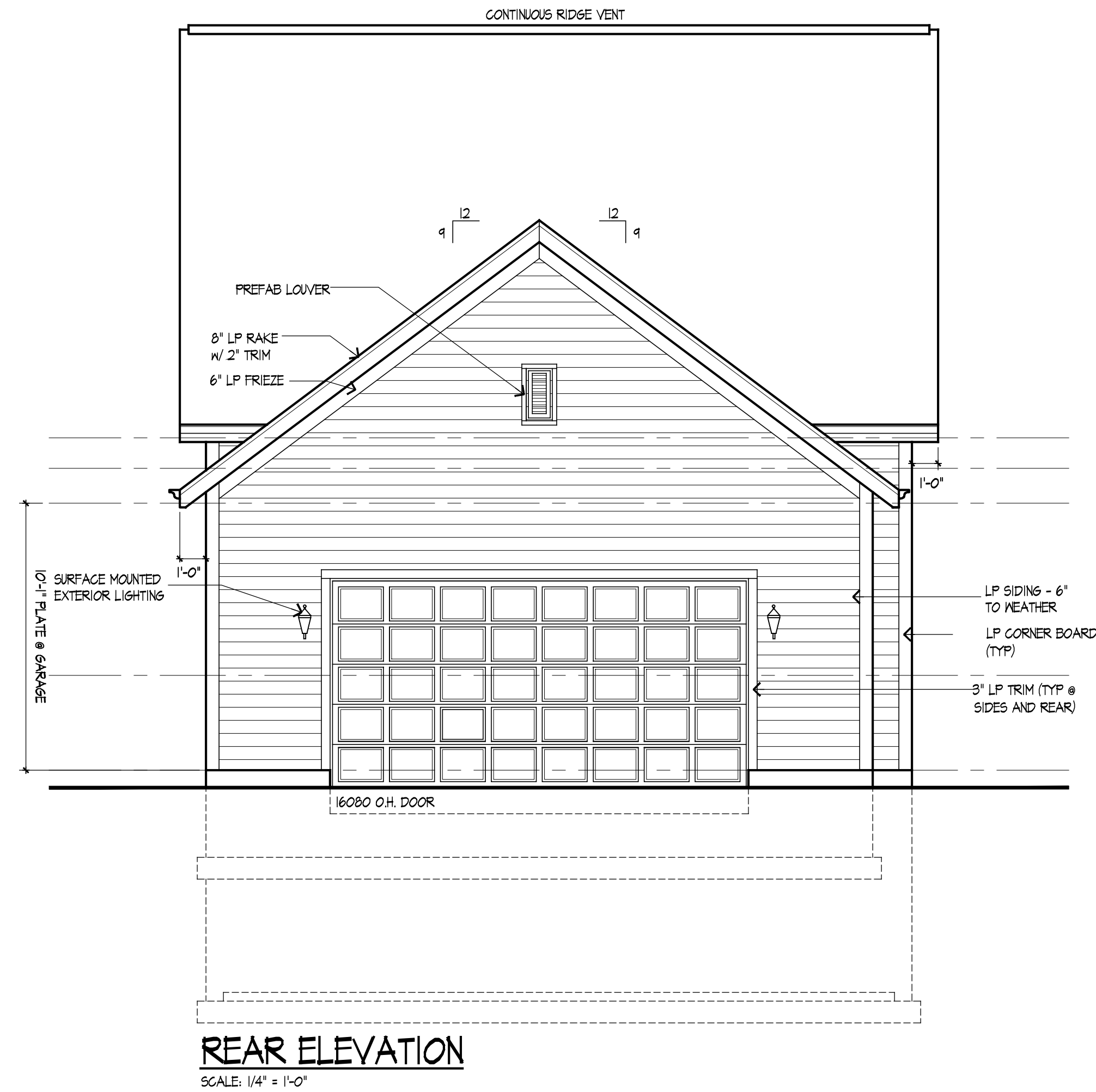
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Rick Gilmore, F.A.L.A.
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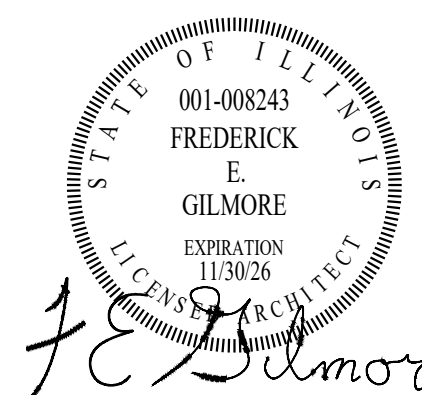


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- PROVIDE GALV. METAL FLASHING AT ALL ROOF AND WALL INTERSECTIONS.
- FIREPLACE FLUE TO BE MIN. 2'-0" ABOVE ANY ROOF SURFACE WITHIN 10'-0" HORIZONTALLY, MIN. 3'-0" PENETRATION ABOVE ROOF.
- SAFETY GLAZING AT BATHUB/SHOWER, SILL HEIGHTS BELOW 18", EXT. DOORS AND WINDOWS w/ IN 24" OF DOOR (AS PER GOVERNING CODES)

EXTERIOR FINISH MATERIALS:

- TYPICAL ROOFING WILL BE ARCHITECTURAL GRADE 30 YEAR ASPHALT SHINGLES
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- 1X2 ON 1X8 RAKE BOARD TYPICAL
- TYPICAL SIDING - "LP" w/ 6" EXPOSED
- TYPICAL TRIM - "LP"
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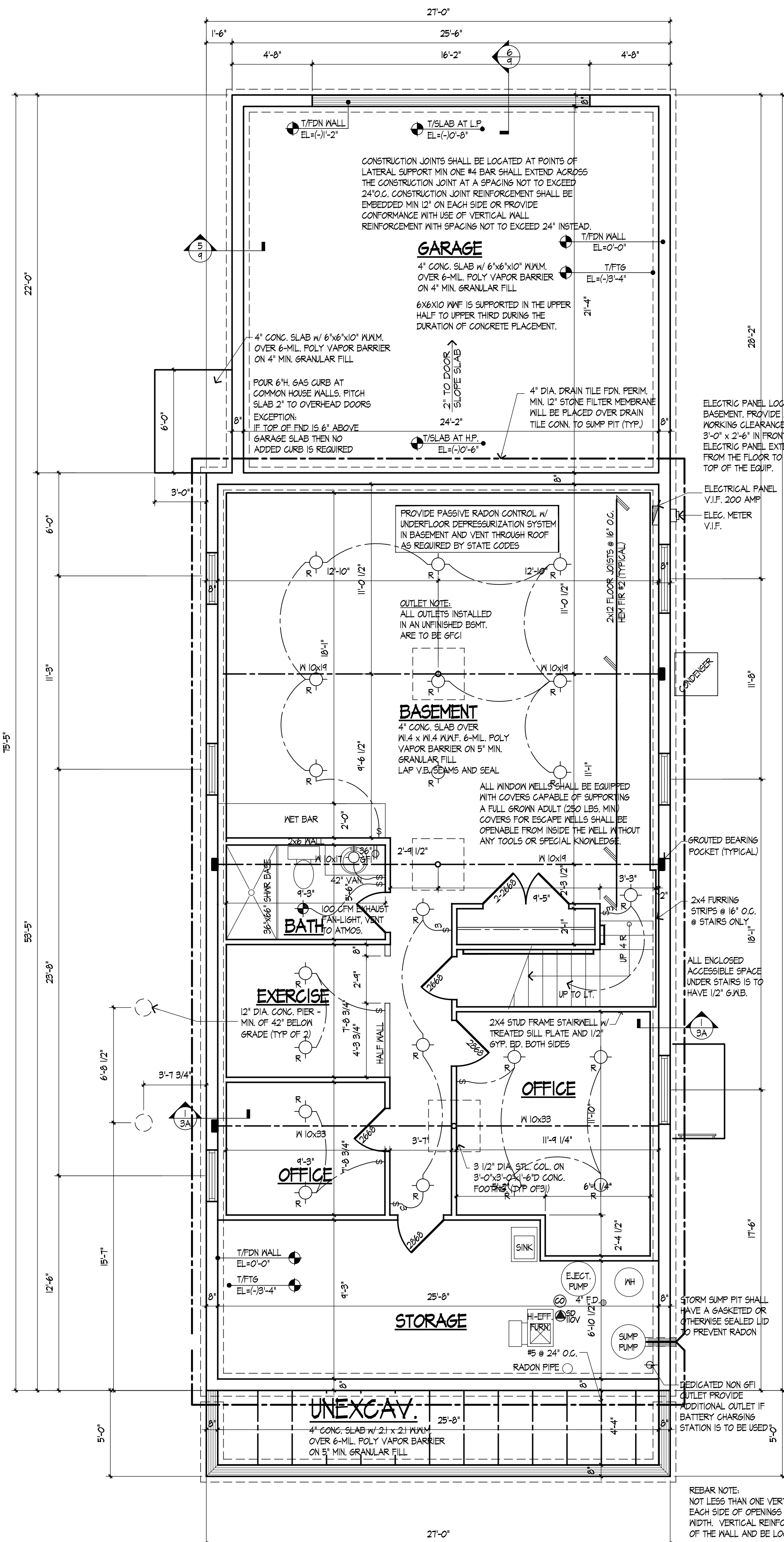
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2A

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CONSTRUCTION JOINTS SHALL BE LOCATED AT POINTS OF LATERAL SUPPORT MIN ONE #4 BAR SHALL EXTEND ACROSS THE CONSTRUCTION JOINT AT A SPACING NOT TO EXCEED 24" O.C. CONSTRUCTION JOINT REINFORCEMENT SHALL BE EMBEDDED MIN 12" ON EACH SIDE OR PROVIDE CONFORMANCE WITH USE OF VERTICAL WALL REINFORCEMENT WITH SPACINGS NOT TO EXCEED 24" INSTEAD.

ELEC. PANEL AND SUMP ARE TO HAVE A MIN. OF 5'-0" SEPARATION

6-MIL VAPOR BARRIER ON 4" MINIMUM GRANULAR FILL SHALL HAVE AN OVERLAP AT THE SEAMS OF 12 INCHES, FRACTURES OR HOLES MADE IN THE VAPOR BARRIER SHALL BE SEALED OR COVERED WITH ADDITIONAL SHEETING. OVERLAP SEAMS SHALL BE SEALED.

INSULATION FOAM MATERIALS, FACING AND VAPOR RETARDERS MUST BE LABELED WITH A FLAME SPREAD INDEX NOT GREATER THAN 25 AND A SMOKE DEVELOPMENT INDEX NOT TO EXCEED 450 WHEN LEFT EXPOSED IN BASEMENTS, CRAWL SPACES, ATTICS, OR OTHER UNFINISHED SPACES, OR OTHERWISE COVERED WITH DRYWALL OR PANELS.

COMPRESSION STRENGTH OF CONCRETE ALL CONCRETE SHALL BE 6 BAG MIX (C.O.E. AMENDMENTS)

TYPE OR LOCATION OF CONCRETE CONSTRUCTION	MIN. SPECIFIED COMPRESSIVE STRENGTH	WEATHERING POTENTIAL
BASEMENT WALLS, FND & OTHER WALLS NOT EXPOSED TO THE WEATHER	2500	SEVERE
BASEMENT SLABS & INTERIOR SLABS ON GRADE EXCEPT GARAGE FLOOR SLABS	2500	
BASEMENT WALLS, FND WALLS, EXTERIOR WALLS & OTHER VERTICAL CONC. EXPOSED TO WEATHER	3000	
PORCHES, CARPORT SLABS & STEPS EXPOSED TO THE WEATHER & GARAGE FLOOR SLABS	3500 (AIR-ENTRAINED)	

DRAINS SHALL BE PROVIDED AROUND ALL CONCRETE OR MASONRY FOUNDATIONS THAT RETAIN EARTH AND ENCLOSE HABITABLE OR USABLE SPACES LOCATED BELOW GRADE. DRAINAGE TILES, GRAVEL OR CRUSHED STONE DRAINS, PERFORATED PIPE OR OTHER APPROVED SYSTEMS OR MATERIALS SHALL BE INSTALLED AT OR BELOW THE AREA TO BE PROTECTED AND SHALL DISCHARGE BY GRAVITY OR MECHANICAL MEANS INTO AN APPROVED DRAINAGE SYSTEM. GRAVEL OR CRUSHED STONE DRAINS SHALL EXTEND AT LEAST 1 FOOT (305 MM) BEYOND THE OUTSIDE EDGE OF THE FOOTINGS AND 6 INCHES (152 MM) ABOVE THE TOP OF THE FOOTINGS AND BE COVERED WITH AN APPROVED FILTER MEMBRANE MATERIAL. THE TOP OF OPEN JOINTS OF DRAIN TILES SHALL BE PROTECTED WITH STRIPS OF BUILDING PAPER, PERFORATED DRAINS SHALL BE SURROUNDED WITH AN APPROVED FILTER MEMBRANE OR THE FILTER MEMBRANE SHALL COVER THE WASHED GRAVEL OR CRUSHED ROCK COVERING THE DRAIN. DRAINAGE TILES OR PERFORATED PIPE SHALL BE PLACED ON A MINIMUM OF 2 INCHES (51 MM) OF WASHED GRAVEL OR CRUSHED ROCK AT LEAST ONE SIZE LARGER THAN THE TILE JOINT OPENINGS OR PERFORATION AND COVERED WITH NOT LESS THAN 6 INCHES (152 MM) OF THE SAME MATERIAL.

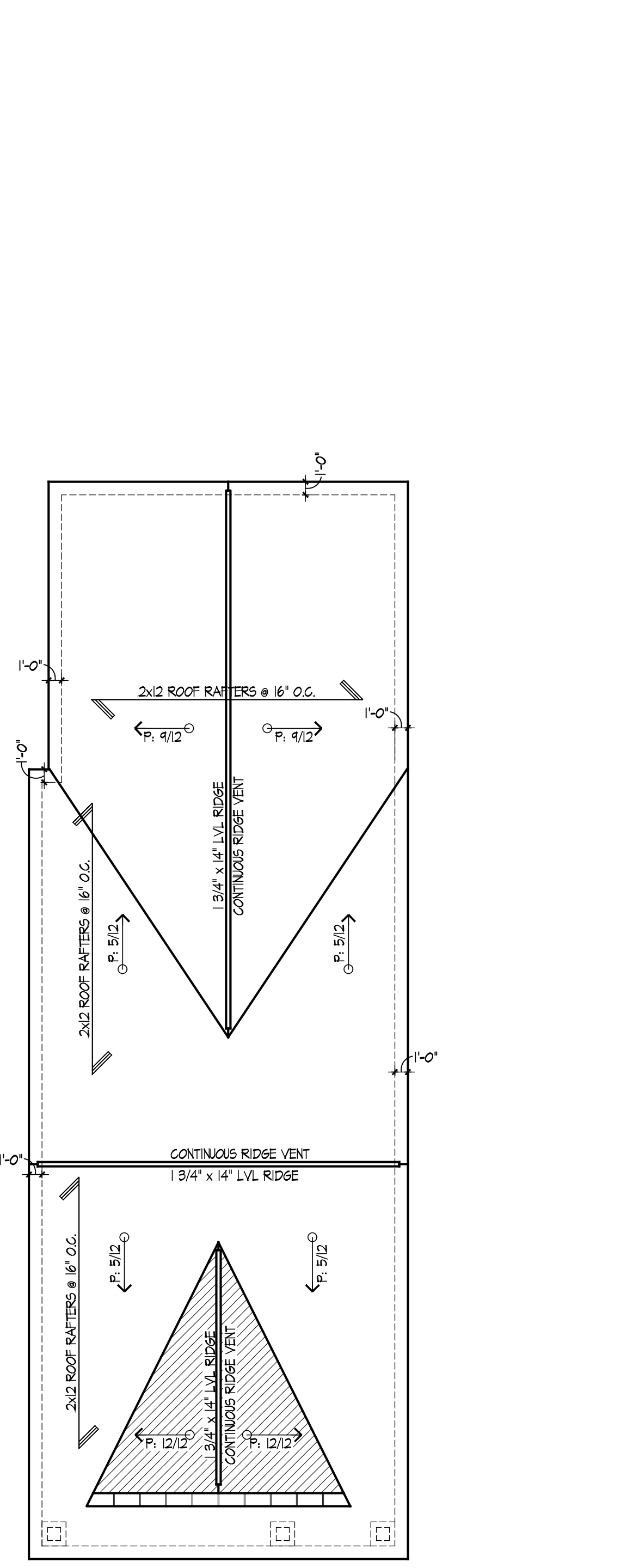
MECHANICAL / VENTILATION NOTES:

- EXHAUST HOOD SYSTEMS CAPABLE OF EXHAUSTING IN EXCESS OF 400 CUBIC FEET PER MINUTE SHALL BE PROVIDED WITH MAKE-UP AIR AT A RATE APPROXIMATELY EQUAL TO THE EXHAUST RATE. SUCH MAKE-UP AIR SYSTEMS SHALL BE EQUIPPED WITH A MEANS IF CLOSURE AND SHALL BE AUTOMATICALLY CONTROLLED TO START AND OPERATE SIMULTANEOUSLY WITH THE EXHAUST SYSTEM.
- WHOLE HOUSE MECHANICAL VENTILATION SYSTEMS SHALL BE DESIGNED IN ACCORDANCE WITH SECTIONS R403.5.4 THROUGH R403.5.6.
- WHOLE HOUSE VENTILATION SYSTEM SHALL CONSIST OF ONE OR MORE SUPPLY OR EXHAUST FANS, OR A COMBINATION, AND ASSOCIATED DUCTS AND CONTROLS. LOCAL EXHAUST OR SUPPLY FANS ARE PERMITTED TO SERVE SUCH A SYSTEM. OUTDOOR AIR DUCTS CONNECTED TO THE RETURN SIDE OF AN AIR HANDLER SHALL BE CONSIDERED TO PROVIDE SUPPLY VENTILATION.
- WHOLE HOUSE MECHANICAL VENTILATION SYSTEM SHALL BE PROVIDED WITH CONTROLS THAT ENABLE MANUAL OVERRIDE. WHOLE HOUSE MECHANICAL VENTILATION SYSTEM SHALL PROVIDE OUTDOOR AIR AT A CONTINUOUS RATE OF NOT LESS THAN THAT DETERMINED IN ACCORDANCE WITH TABLE R403.5.6(1).

CONCRETE FOUNDATION WALL (TYPICAL):
8" THICKNESS OF WALLS
1'-0" MAX. HEIGHT OF WALLS
1'-2" MAX. HEIGHT OF UNBAL. BACKFILL
BACKFILL MATERIAL: "CL" CLAY/DIRT
MIN. VERTICAL REIN. #6 @ 40" O.C.

HVAC NOTE:
R-8 INSULATION REQUIRED OUTSIDE OF BUILDING OR BETWEEN THE DUCT & EXTERIOR FINISH.

SUMP PITS OPEN TO SOIL OR SERVING AS THE TERMINATION POINT FOR SUBSLAB OR EXTERIOR DRAIN TILE LOOPS SHALL BE COVERED WITH A GASKETED OR SEALED LID. SUMP PITS SHALL NOT BE USED AS A PRIMARY SUCTION POINT IN A SUB-SLAB DEPRESSURIZATION SYSTEM.



- BASEMENT FND NOTES:**
- DO NOT SCALE DRAWINGS
 - TYPICAL BASEMENT SLAB
 - 4" CONC. SLAB W/ 6"x6"x10" MUM ON 6 MIL POLY VAPOR BARRIER OVER MIN 5" GRAVEL FILL ON COMPACTED EARTH. GARAGE SLAB
 - 5" THK. W/ #8@12" (12" W/W)
 - TYPICAL CRAWL
 - 2" SLUSH COAT OVER
 - 4" MIL VAPOR BARRIER
 - TYPICAL PORCH SLAB
 - 4" CONCRETE SLAB W/ #5 REBAR @ 24" O.C. OVER COMPACTED FILL
 - PROVIDE DRY CLAY BACKFILL UNDER PORCH SLABS (UNEXCAVATED LOCATIONS)
 - PROVIDE CIRCULAR BLOCK OUTS AT STEEL COLUMN LOCATIONS
 - CONTROL JOINTS TO CONSIST OF 'ZIP STRIP' OR TOoled JOINTS AS SHOWN WITH MIN. DEPTH OF 1/4 OF SLAB THICKNESS
 - ALL ANGLED WALLS AND FOOTINGS ARE 45 DEGREES UNLESS OTHERWISE NOTED
 - SLOPE CONCRETE SLAB TO FLOOR DRAINS WITHIN 5'-0" OF DRAIN
 - MECH. TRADES RESPONSIBLE FOR PROVIDING AND LOCATING FOUNDATION SLEEVES. LOCATION OF SLEEVES FOR UTILITIES SHALL BE DETERMINED BY BUILDER PRIOR TO CONSTRUCTION IN ACCORDANCE WITH LOCAL CODES.
 - PROVIDE 2"x6" TREATED PLATES ON ALL STEEL UNLESS OTHERWISE NOTED.
 - ALL CONCENTRATED LOADS FROM BEAMS OR GIRDER TRUSSES TO TRANSFER TO FOUNDATION VIA POSTS BEAMS OR SOLID BLOCKING.
 - TOP OF FOUNDATION IS AT 0'-0" UNLESS OTHERWISE NOTED
 - PROVIDE 1/2" DIA ANCHOR BOLTS @ 6'-0" O.C. MAX. # 12" MAX. FROM EACH END OF SILL PLATE. MIN. 2 PER SILL. EMBED A MIN. OF 1 INCHES INTO CONC.
 - PROVIDE MIN. 4" CONCRETE COVER AT BELOW SLAB UTILITY LOCATION. WHEN CONCRETE ENCASEMENT OF UTILITY LINES IS REQUIRED, UTILITIES SHALL BE PLACED SUFFICIENTLY BELOW SLAB TO ALLOW CONCRETE COVERAGE.
 - PROVIDE ALL MECH. ROUGH-INS WHEN A/C PAD LOCATION REQUIRES PENETRATION OF POURED CONCRETE SLAB FOR HOOK-UPS TO HVAC EQUIPMENT.
 - FIELD VERIFY LOCATIONS OF ALL METERS, PLUMBING FIXTURES, ELECTRICAL PANEL, AND SERVICE LINES PRIOR TO POURING CONCRETE SLAB.
 - ALL DESIGN REVISIONS, ENGINEERING INSTALLATION AND LIABILITY OF SOIL CONDITIONS AND STRUCTURAL DESIGN DUE TO INADEQUATE SOILS SHALL BE THE RESPONSIBILITY OF THE 'BUILDING DEVELOPER' OR ITS SUBCONTRACTORS INVOLVED WITH DESIGN AND INSTALLATION OF SUCH AND THE ARCHITECT SHALL NOT BE HELD LIABLE OR RESPONSIBLE FOR THEIR IMPLEMENTATIONS.
 - LOCATION OF A/C SHALL BE VERIFIED BY BUILDER PRIOR TO CONSTRUCTION IN ACCORDANCE WITH LOCAL CODES. EQUIPMENT SHALL NOT BE LOCATED IN REQUIRED SIDE YARD SETBACKS
 - ELECTRICAL PLAN FOR BASEMENT HAS BEEN INCORPORATED IN THE FINISHED BASEMENT PLAN ON SHEET BA.
 - PROVIDE (2) 48" LONG #4 REBAR AT TOP & BOTTOM IN FOUNDATION WALL AND AT FOOTING GRADE CHANGES
 - FOR ADDITIONAL NOTES SEE SPECIFICATIONS AND DETAILS

These drawings were prepared under my supervision and to the best of my knowledge, they comply with all applicable codes.

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EXPIRATION 11/30/26

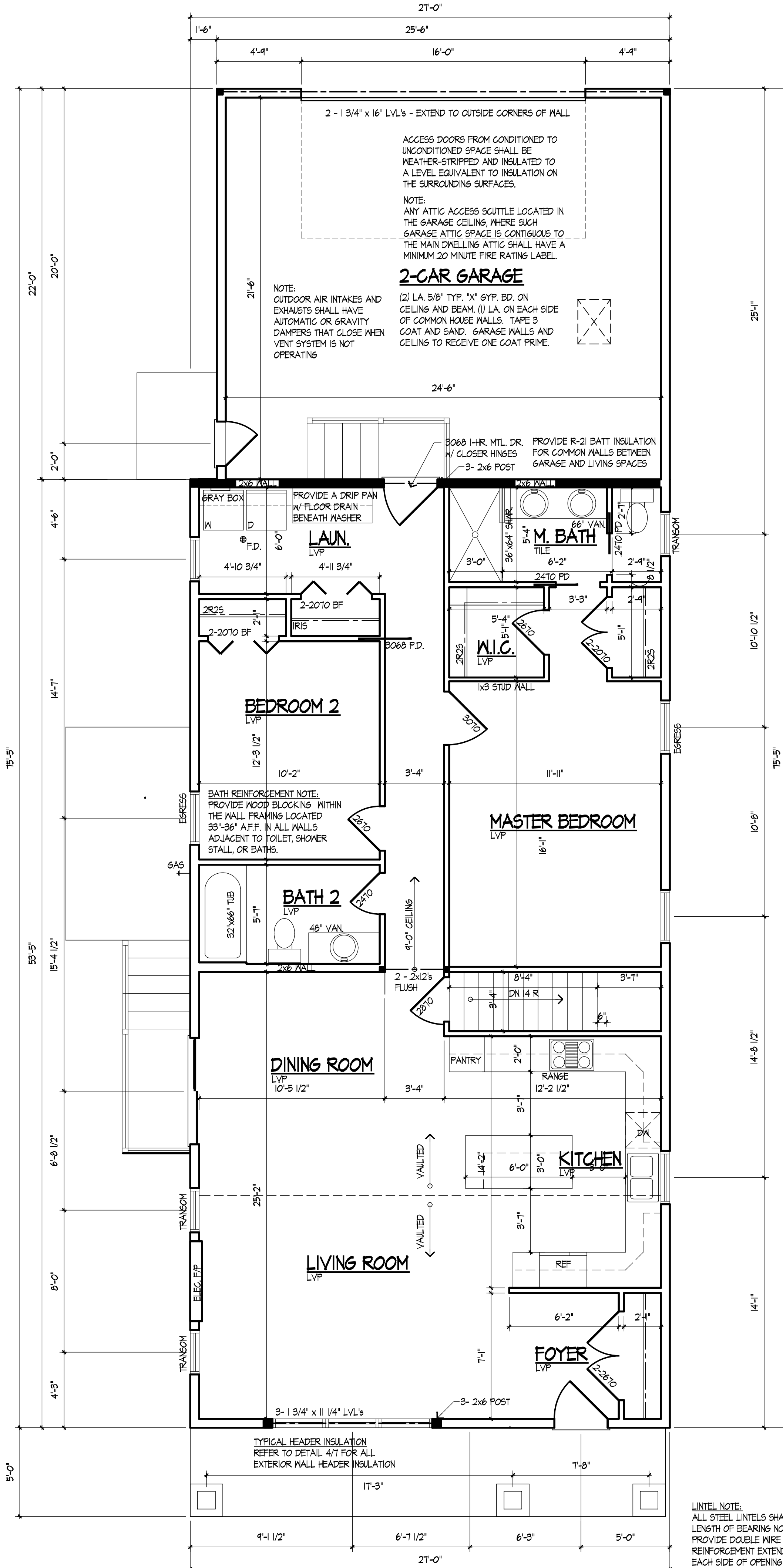
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FIRST FLOOR PLAN

FIRST FLR. = 1442 S.F.
GARAGE = 445 S.F.

DOUBLE ALL JOISTS UNDER BATHS AND LAUNDRY EQUIPMENT.
ALL INTERIOR WALLS ARE 3/2" UNLESS OTHERWISE NOTED.
PER I.E.C.C. SEC. 402.4.21 OVER TEST IS REQUIRED FOR FINAL INSPECTION.

A DUCT LEAKAGE TEST IS REQUIRED FOR ANY DUCTWORK OUTSIDE OF THE CONDITIONED SPACE. TEST SHALL BE PERFORMED BY AN APPROVED TESTER TO THE CITY OF ARLINGTON. SUBMIT TEST RESULTS TO THE CITY OF ARLINGTON INSPECTOR TO BE APPROVED FOR FINAL INSPECTION.

JACK STUD REQUIREMENTS FOR 16" STUD SPACING

SIZE OF OPENING (FEET-INCHES)	No. OF JACK STUDS	No. OF KING STUDS
1	1	1
2	2	2
3	3	3
4	4	4

AN ENERGY CERTIFICATE SHALL BE POSTED ON OR IN THE ELECTRICAL DISTRIBUTION PANEL WHEN ELECTRICAL SERVICE INSPECTION IS COMPLETE, WHICH PROVIDES THE R-VALUES OF THE INSULATION INSTALLED, THE U-FACTORS, AND THE TYPES OF EFFICIENCIES OF HEATING, COOLING, AND SERVICE WATER HEATING EQUIPMENT. MUST BE COMPLETED BY THE BUILDER OR A REGISTERED DESIGN PROFESSIONAL.

LEAKAGE NOTE: BUILDING SHALL BE TESTED AND VERIFIED AS HAVING AIR LEAKAGE NOT EXCEEDING 5 CHANGES PER HOUR AFTER CREATION OF ALL PENETRATIONS OF THE BUILDING THERMAL ENVELOPE. TESTING SHALL BE CONDUCTED WITH BLOWER AT A PRESSURE OF 50 PASCALS. A WRITTEN AIR LEAKAGE REPORT SHALL BE PROVIDED TO THE CODE OFFICIAL.

BUILDINGS SHALL BE PROVIDED WITH VENTILATION THAT MEETS THE REQUIREMENTS OF THE IRC OR I.M.C. AUTOMATIC AIR INTAKES AND EXHAUSTS SHALL HAVE AUTOMATIC OR GRAVITY DAMPERS THAT CLOSE WHEN THE VENTILATION SYSTEM IS NOT OPERATING.

NOTES:

- ALL CONCRETE SLABS THAT COME IN CONTACT WITH THE GROUND SHALL BE LAID OVER A GAS PERMEABLE MATERIAL MADE UP OF EITHER A MINIMUM 4" THICK UNIFORM LAYER OF CLEAN AGGREGATE OR A MINIMUM 4" THICK UNIFORM LAYER OF SAND, OVERLAIN BY A LAYER OR STRIPS OF MANUFACTURED MATTING DESIGNED TO ALLOW THE LATERAL FLOW OF SOIL GASES.
- ALL CONCRETE FLOOR SLABS SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH LOCAL BUILDING CODES. ADDITIONAL REFS: AMERICAN CONCRETE INSTITUTE PUBLICATIONS, "ACI302.1R" & "ACI308.2R", OR THE POST TENSIONING INSTITUTE MANUAL, "DESIGN AND CONSTRUCTION OF POST-TENSIONED SLABS ON GROUND".
- ALL OPENINGS, GAPS AND JOINTS IN FLOOR AND WALL ASSEMBLIES IN CONTACT SOIL OR GAPS AROUND PIPES, TOILETS, BATHUBS OR DRAINS PENETRATING THESE ASSEMBLIES SHALL BE FILLED OR CLOSED WITH MATERIALS THAT PROVIDE A PERMANENT AIR-TIGHT SEAL. SEAL LARGE OPENINGS WITH NON-SHRINK MORTAR, GROUTS OR EXPANDING FOAM MATERIALS AND SMALLER GAPS WITH AN ELASTOMERIC JOINT SEALANT, AS DEFINED IN ASTM C420-07.
- VENT PIPES SHALL BE INSTALLED SO THAT ANY RAINWATER OR CONDENSATION DRAINS DOWNWARD INTO THE GROUND BENEATH THE SLAB OR SOIL-GAS RETARDER MEMBRANE.
- CIRCUITS SHOULD BE A MINIMUM 15 AMP, 115 VOLT.

CORNER NOTE: WHERE A MIN. 24" WOOD STRUCTURAL PANEL CANNOT BE PROVIDED AT A BRACED WALL, A HOLD-DOWN TIE MAY BE USED AS AN ALTERNATE METHOD. HOLD-DOWN DEVICE IS TO BE A SIMPSON STRONG-TIE "SSFRK1" OR AN APPROVED EQUAL THAT COMPLIES WITH IRC 2018 CODE REQUIREMENTS

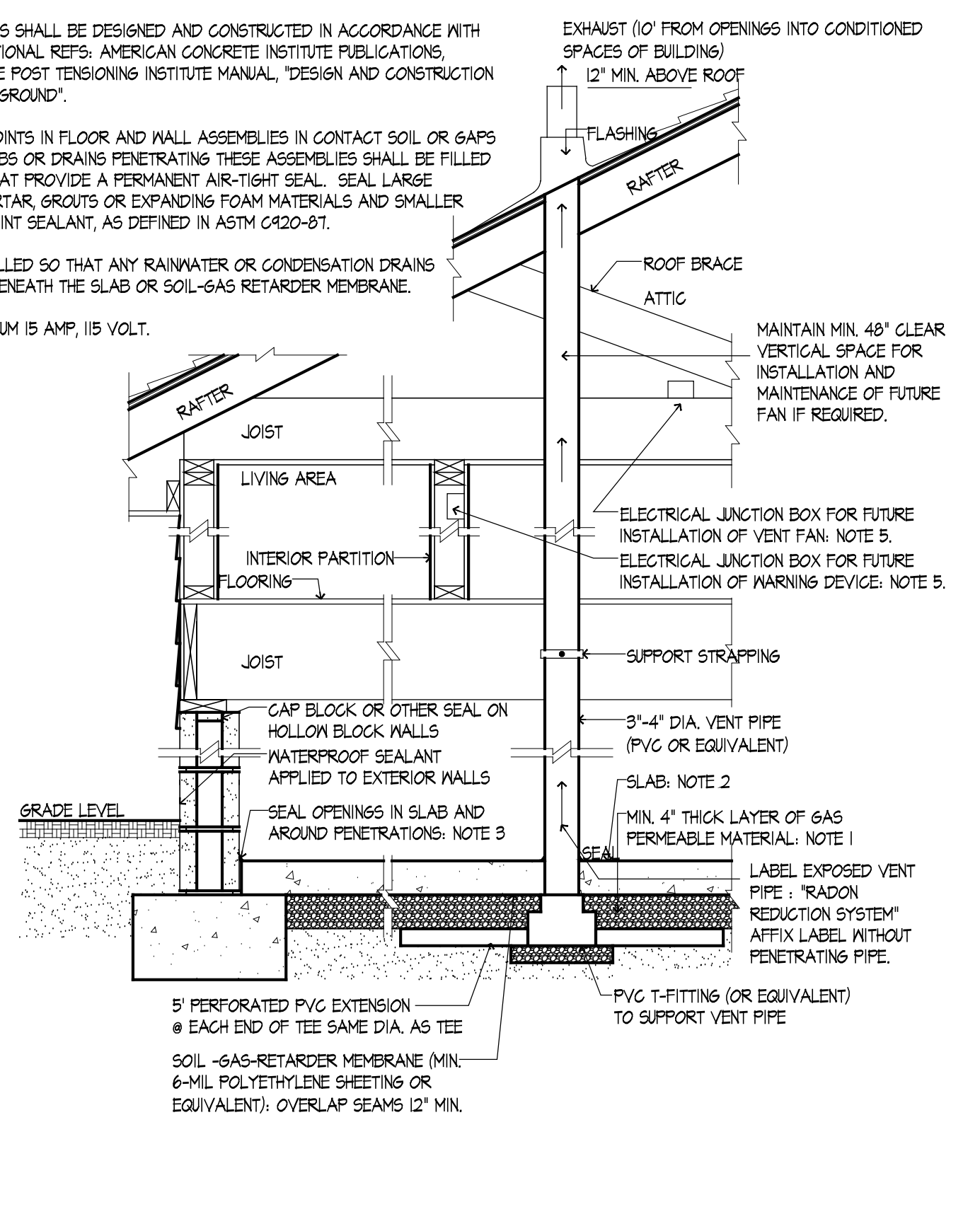
WALL BRACING NOTE: WHERE "BRACING" IS NOTED ON THIS PLAN CONTINUOUS SHEATHING METHOD USING 1/2" WOOD STRUCTURAL PANEL IS USED. CONNECTION CRITERIA IS 6d COMMON NAILS AT 6" SPACING (PANEL EDGES) AND AT 12" SPACING (INTERMEDIATE SUPPORTS)

BATH REINFORCEMENT NOTE: PROVIDE WOOD BLOCKING WITHIN THE WALL FRAMING LOCATED 33"-36" A.F.F. IN ALL WALLS ADJACENT TO TOILET, SHOWER STALL, OR BATHS.

PER VILLAGE OF PALATINE CODE AMENDMENTS: SECTION 3:
15.01 DIRECT VENT FIREPLACES:
DIRECT VENT FIREPLACES WHICH BURN GAS ONLY AND HAVE A FIXED GLASS PLATE IN FRONT OF THE FIREBOX WHICH CANNOT BE OPENED, ARE PERMITTED.
I) THE DIRECT VENT UNIT MAY TERMINATE THE VENT AT THE OUTSIDE WALL, DIRECTLY BEHIND THE UNIT, WITH A COLLAR, PER MANUFACTURER'S INSTALLATION INSTRUCTIONS.
II) IF A CHIMNEY IS CREATED FOR THE DIRECT VENT, ON THE OUTSIDE OF THE BUILDING, IT MUST BE BRICK OR STONE VENER, WOOD SIDING OR NON-MASONRY MATERIALS ARE NOT PERMITTED TO ENCLOSE THE CHIMNEY CREATED ON THE OUTSIDE WALL.
III) IF THE DIRECT VENT IS RUN VERTICALLY IN THE INTERIOR OF THE BUILDING, IT MAY TERMINATE THROUGH THE ROOF AS AN EXPOSED VENT. IF THE VENT THROUGH THE ROOF HAS A CHIMNEY ENCLOSURE AROUND IT, THE ENCLOSURE MUST BE GLAD TO LOOK LIKE STONE OR BRICK. WOOD SIDING OR SIMILAR SIDING MATERIAL SHALL NOT BE PERMITTED TO CREATE A CHIMNEY.
IV) PROVIDE ONE LAYER OF 5/8" DUROCK UNDER THE FIREBOX.
V) PROVIDE A GAS SHUT OFF IN THE SAME ROOM AND IN THE IMMEDIATE VICINITY AS THE FIREPLACE.

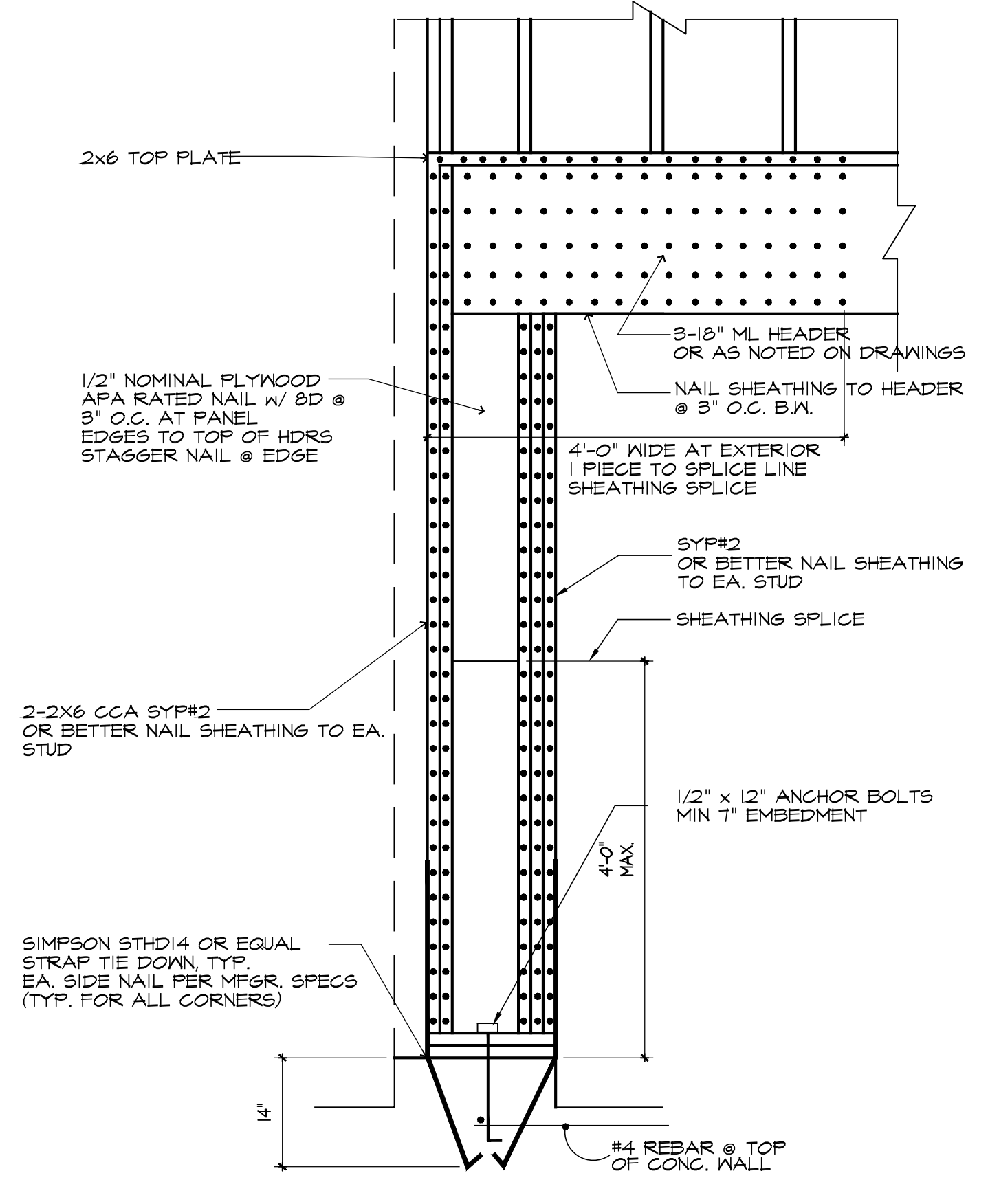
2021 ILLINOIS ENERGY CONSERVATION NOTES:
1. A PERMANENT CERTIFICATE SHALL BE POSTED ON OR IN THE ELECTRICAL DISTRIBUTION PANEL WHEN ELECTRICAL SERVICE INSPECTION IS COMPLETE, WHICH PROVIDES THE R-VALUES OF THE INSULATION INSTALLED, THE U-FACTORS, AND THE TYPES OF EFFICIENCIES OF HEATING, COOLING, AND SERVICE WATER HEATING EQUIPMENT. MUST BE COMPLETED BY THE BUILDER OR A REGISTERED DESIGN PROFESSIONAL.
2. INSULATION AND PENETRATION - THE BUILDING THERMAL ENVELOPE SHALL MEET THE REQUIREMENTS OF TABLE R402.1.1
3. AIR LEAKAGE - THE BUILDING THERMAL ENVELOPE SHALL COMPLY WITH IMR402.4.1.2
4. ONE PROGRAMMABLE THERMOSTAT FOR EACH SEPARATE HEATING AND COOLING SYSTEM. INITIALLY PROGRAMMED MAX. TO DEGREES HEAT AND NOT LOWER THAN 18 DEGREES COOLING.
5. N/A
6. SEALING - DUCTS, AIR HANDLERS, AND FILTER BOXES SHALL BE SEALED. DUCT TIGHTNESS TEST - NOT REQUIRED IF DUCTS WITHIN BUILDING THERMAL ENVELOPE.
7. BUILDING CAVITIES - BUILDING FRAMING CAVITIES SHALL NOT BE USED AS DUCTS OR FLENUMS.
8. MECHANICAL SYSTEM PIPING - >105 DEGREES OR <55 DEGREES INSULATE WITH MINIMUM R-3. CIRCULATING HOT WATER SYSTEM PUMP NOT IN USE SWITCH OFF. HOT WATER PIPE INSULATION R-3.
9. MECHANICAL VENTILATION - THE BUILDING SHALL BE PROVIDED WITH VENTILATION THAT MEETS THE REQUIREMENTS OF TABLE IMR403.6 (1). OUTDOOR AIR INTAKES AND EXHAUST SHALL HAVE AUTOMATIC OR GRAVITY DAMPERS. LIGHTING EQUIPMENT - A MINIMUM OF 90% OF THE LAMPS IN PERMANENTLY INSTALLED FIXTURES SHALL HAVE HIGH-EFFICACY LAMPS.

WINDOWS, SKYLIGHTS, AND SLIDING GLASS DOORS SHALL HAVE AN AIR INFILTRATION RATE OF NO MORE THAN 0.3 CFM PER SF. AND SWINGING DOORS NO MORE THAN 0.5 CFM PER SF. WINDOW U-FACTOR SHALL BE 0.30 OR BETTER. LEAVE ALL MANUFACTURER'S STICKERS ON WINDOWS AND DOORS UNTIL AFTER INSULATION INSPECTION



PASSIVE SUB-SLAB DEPRESSURIZATION RADON CONTROL SYSTEM FOR NEW CONSTRUCTION

SCALE: 3/4" = 1'-0"

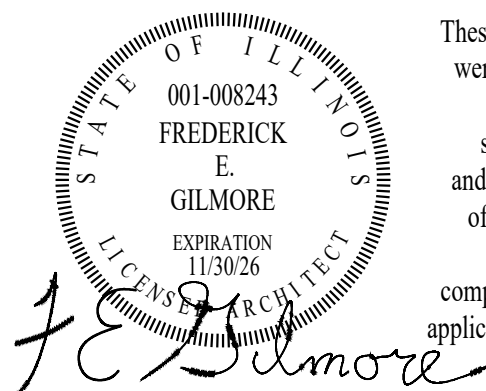


BRACED WALL PANEL w/ HOLD DOWNS

SCALE: 3/4" = 1'-0"

FLOOR PLAN NOTES:

- DO NOT SCALE DRAWINGS
- ALL INTERIOR NON-LOAD BEARING WALLS TO BE 2X4 STUD @ 16" O.C. UNLESS OTHERWISE NOTED.
 - ALL UNDIMENSIONED PARTITIONS ARE 3/2" ROUGH.
 - ALL ANGLED PARTITIONS ARE 45 DEGREES UNLESS OTHERWISE NOTED.
 - 3-2X4'S MIN AT EACH END OF ALL BEAMS AND GIRDER JOISTS UNLESS OTHERWISE NOTED. ALL SUCH CONCENTRATED LOADS SHALL BE TRANSFERRED TO FOUNDATION VIA BEAMS, POSTS OR SOLID BLOCKING.
 - ALL EXTERIOR DIMENSIONS ARE TO FACE OF SHEATHING UNLESS OTHERWISE NOTED.
 - ALL TRUSSES TO BEAR ON EXTERIOR WALLS AND/OR GIRDER TRUSSES UNLESS OTHERWISE NOTED.
 - TRUSS MFG. TO SIZE MEMBERS, FASTENERS, HANGERS AND SET SPACING FOR ALL TRUSSES.
 - WINDOW SUPPLIER TO VERIFY AT LEAST ONE WINDOW IN EACH BEDROOM TO HAVE A CLEAR EGRESS OPENING OF 5'7" SQ. FT. WITH MIN. DIMENSION OF 24" IN HEIGHT AND 20" IN WIDTH AND SILL HEIGHT NO GREATER THAN 44" ABOVE FLOOR.
 - WALLS OVER 10 FEET HIGH SHALL HAVE HORIZ. BRACING/BRIDGING LOCATED AT JOINT IN SHEATHING.
 - ALL HANDRAIL BAULSTERS TO BE SPACED SUCH THAT 4" SPHERE CAN NOT PASS BETWEEN BAULSTERS.
 - ALL ELECTRICAL AND MECHANICAL EQUIPMENT 4 METERS ARE SUBJECT TO RELOCATION DUE TO FIELD CONDITIONS. CONTRACTOR TO VERIFY.
 - ALL WINDOW HEAD HEIGHTS AT 6'-10 3/4" UNLESS OTHERWISE NOTED.
 - PROVIDE 1/3" SOLID CORE 1 HR RATED STEEL DOOR AT HOUSE TO GARAGE DOOR w/ CLOSER.
 - ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE 5/8" TYPE "X" 6YP BD ON THE WALLS AND CEILING.
 - PROVIDE DOUBLE JOISTS AT PARALLEL PARTITIONS AND SOLID BLOCKING AT PERPENDICULAR PARTITIONS.
 - PROVIDE 2-2X12 W/ 1/2" PLY. HEADERS OVER ALL EXTERIOR OPENINGS UNLESS OTHERWISE NOTED.
 - ALL EXTERIOR 2x DECKING, JOISTS, POSTS, STAIRS, HANDRAILS AND BAULSTERS TO BE PRESSURE TREATED UNLESS OTHERWISE NOTED.
 - FOR ADDITIONAL NOTES SEE SPECIFICATIONS AND SHEET DETAILS.
 - ALL WINDOW AND DOOR STEEL LINTELS ARE TO BE 3 1/2"x4"x5/16" ANGLES UNLESS OTHERWISE NOTED.



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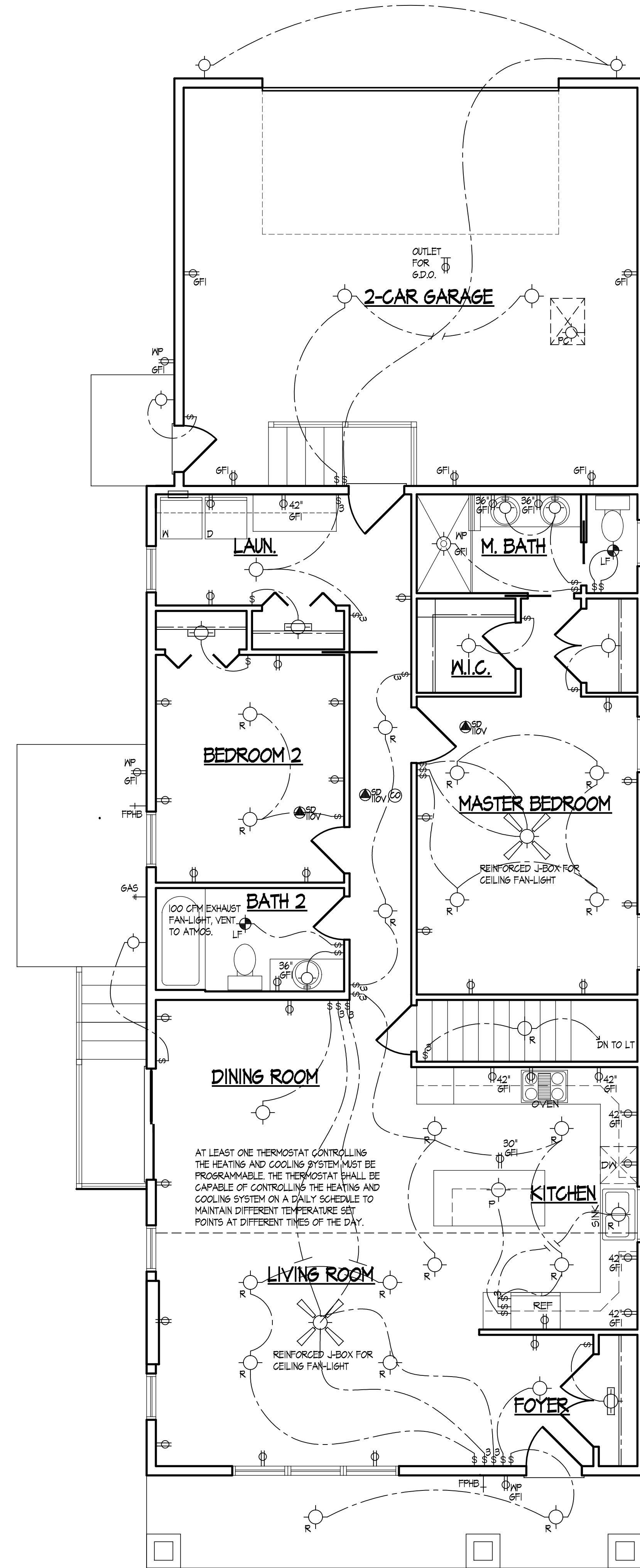
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FIRST FLOOR ELECTRICAL PLAN
SCALE: 1/4" = 1'-0"

- KITCHEN ALL 125-VOLT SINGLE PHASE IS AND 20-AMP RECEPTACLES THAT SERVE COUNTERTOP SURFACES SHALL HAVE A GROUND FAULT CIRCUIT INTERRUPTER PROTECTION FOR PERSONNEL.
- BATHROOMS ALL 125-VOLT SINGLE PHASE IS AND 20-AMP RECEPTACLES INSTALLED SERVE IN BATHROOMS SHALL HAVE A GROUND FAULT CIRCUIT INTERRUPTER PROTECTION FOR PERSONNEL.
- BEDROOM OUTLETS ALL BRANCH CIRCUITS THAT SUPPLY 125-VOLT SINGLE PHASE IS AND 20-AMP RECEPTACLES INSTALLED IN DWELLING UNITS SHALL BE PROTECTED BY AN ARC-FAULT CIRCUIT INTERRUPTER LISTED TO PROVIDE PROTECTION OF THE ENTIRE BRANCH CIRCUIT.
- RECESSED FIXTURES INSTALLED IN THE BUILDING ENVELOPE (SECOND FLOOR CEILING) ARE TO BE 'IC' RATED OR INSTALLED IN A SEALED BOX CONSTRUCTED OF A MIN. 1/2" THICK WALLBOARD.
- METAL TUBING IS TO BE PROVIDED FOR REMOTE WATER METER READER. COORDINATE LOCATION WITH BUILDING INSPECTOR.
- ALL PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH EFFICACY LIGHTS (WITH THE EXCEPTION OF KITCHEN APPLIANCE FIXTURES).
- SURFACE MOUNTED INCANDESCENT FIXTURES ARE TO BE INSTALLED NO CLOSER THAN 12" TO THE NEAREST STORAGE SPACE. SURFACE MOUNTED FLUORESCENT FIXTURES ARE TO BE INSTALLED NO CLOSER THAN 6" TO THE NEAREST STORAGE SPACE. RECESSED INCANDESCENT AND FLUORESCENT FIXTURES WITH COMPLETELY ENCLOSED LAMP NO CLOSER THAN 6" TO NEAREST STORAGE SPACE.
- ALL 120 VOLT SINGLE PHASE IS AND 20 AMPERE BRANCH CIRCUITS SUPPLYING OUTLETS INSTALLED IN DWELLING UNIT FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DEN, BEDROOMS, SUNROOMS, REC ROOMS, CLOSETS, HALLWAYS, OR SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY A LISTED ARC-FAULT INTERRUPTER, COMBINATION TYPE, INSTALLED TO PROVIDE PROTECTION OF THE CIRCUIT. ALL RECEPTACLES SHALL BE LISTED TAMPER RESISTANT RECEPTACLES.
- ALL STAIRWAYS SHALL BE PROVIDED WITH A LIGHT IN THE IMMEDIATE VICINITY OF EACH AND EVERY LANDING OF THE STAIRWAY, INCLUDING TOP AND BOTTOM. THE CONTROL FOR THESE LIGHTS SHALL BE A 3-WAY SWITCH LOCATED AT THE TOP AND BOTTOM OF THE STAIRS.
- SEPARATE CIRCUITS SHALL BE PROVIDED FOR ALL RANGES, OVENS, WATER HEATERS, LAUNDRY, GARBAGE DISPOSAL, MICROWAVE, COMPACTOR, DISHWASHER, FOOD FREEZER, REFRIGERATOR, WHOLE HOUSE VACUUM, TUBS WITH PUMPS, STEAM GENERATORS, SUMP AND EJECTOR PUMPS, FURNACES, AND AIR CONDITIONERS.
- COUNTERTOP RECEPTACLES ARE TO BE INSTALLED SO NO POINT ALONG THE WALL IS MORE THAN 24" FROM A RECEPTACLE OUTLET.
- A CONVENIENCE OUTLET SHALL BE INSTALLED FOR SERVICING OF HEATING AND CONDITIONING AND REFRIGERATION EQUIPMENT.
- SMOKE ALARM POWER SOURCE SHALL NOT BE CONNECTED TO A DEDICATED CIRCUIT

ELECTRICAL NOTES:

ALL LIGHT / FAN FIXTURES IN THE BATHROOMS SHALL HAVE A DEDICATED SWITCH THAT OPERATES ONLY THE FAN PER SECTION VAH 4(A)

A LIGHT FIXTURE SHALL BE INSTALLED WITHIN 8 FEET OF THE ELECTRICAL PANEL PER SECTION VAH 34 (A)

THE DISHWASHER SHALL HAVE A DISCONNECT SWITCH LOCATED ON THE WALL IN THE IMMEDIATE VICINITY OF THE APPLIANCE PER SECTION VAH 52 (B)

COOKTOP NOTE:

NEEDS A MAKE UP AIR REQUIRED. EXHAUST HOOD SYSTEMS CAPABLE OF EXHAUSTING IN EXCESS OF 400 CUBIC FEET PER MINUTE (CFM) SHALL BE PROVIDED WITH MAKEUP AIR AT A RATE APPROXIMATELY EQUAL TO THE EXHAUST AIR RATE. SUCH MAKEUP AIR SYSTEMS SHALL BE EQUIPPED WITH A MEANS OF CLOSURE AND SHALL BE AUTOMATICALLY CONTROLLED TO START AND OPERATE SIMULTANEOUSLY WITH THE EXHAUST SYSTEM.

WATER PIPES AND GAS PIPE OF THE WATER HEATER SHALL BE PROPERLY BONDED.

ALL RECEPTACLES SHALL BE TAMPER RESISTANT.

ALL BEDROOM RECEPTACLES AND SMOKE DETECTORS SHALL BE ARC-FAULT CIRCUIT INTERRUPTER PROTECTED.

GFCI RECEPTACLES IN THE GARAGE SHALL BE 4 FEET ABOVE THE FLOOR.

LIGHT/EXHAUST FAN COMBINATION FIXTURE SHALL HAVE A DEDICATED SWITCH TO OPERATE THE FAN.

PROVIDE ARC-FAULT PROTECTION (AFPI) FOR OUTLETS AND DEVICES IN THE KITCHEN, FAMILY ROOM, OFFICE/DINING ROOM, DINING ROOM, LIVING ROOM, BEDROOMS, CLOSETS, PANTRY, HALLS, LAUNDRY ROOM AND MUDROOM. 2020 NEC 210.12(A)

THE SMOKE DETECTORS SHALL BE AFCI PROTECTED ON A DEDICATED CIRCUIT.

LOW VOLTAGE WIRING THAT IS INACCESSIBLE SHALL BE IN IMC CONDUIT.

FOLLOWING APPLIANCES AND EQUIPMENT SHALL HAVE A DEDICATED CIRCUIT: EACH FURNACE, EACH AIR CONDITIONER, EACH WATER HEATER, MICROWAVE, DISHWASHER, DISPOSAL AND OVEN. THE FOLLOWING APPLIANCES AND EQUIPMENT SHALL HAVE A DISCONNECT SWITCH: EACH FURNACE, EACH AIR CONDITIONER, EACH WATER HEATER, AND DISHWASHER.

ELECTRICAL PLAN NOTES:

- DO NOT SCALE DRAWINGS
- ELECTRICAL CONTRACTOR IS TO SUPPLY REQUIRED DIRECT HOOK-UPS AND CUTOFFS.
- HVAC CONTRACTOR TO VERIFY THERMOSTAT LOCATIONS.
- ALL ELECTRICAL AND MECHANICAL EQUIPMENT ARE SUBJECT TO RELOCATION DUE TO FIELD CONDITIONS
- ALL SMOKE DETECTORS AND C.O. DETECTORS TO BE 110 V WIRING IN SERIES W/ BATTERY BACK UP INTERCONNECTED TO ALL OTHERS. MIN. 15'-0" FROM ALL BEDROOM DOORS. MIN. 1 SMOKE DETECTOR PER FLOOR AND ONE IN EACH SLEEPING ROOM
- PROVIDE AND INSTALL LOGCALLY CERTIFIED SMOKE DETECTORS AS REQUIRED BY NATIONAL FIRE PROTECTION ASSOCIATION (NFFA) AND MEETING THE REQUIREMENTS OF ALL GOVERNING CODES.
- PROVIDE AND INSTALL GROUND FAULT CIRCUIT-INTERRUPTERS (GFI) AS REQUIRED BY NATIONAL ELECTRIC CODE (NEC) AND MEETING THE REQUIREMENTS OF ALL GOVERNING CODES.
- GROUND FAULT FOR SERVICE DISTRIBUTION TO BE LOCATED ON STREET SIDE OF WATER METER.
- GROUND WIRE FOR SERVICE DISTRIBUTION GO TO STREET SIDE OF WATER METER AND JAMPER ACROSS METER. METER SOCKET SHALL HAVE DRIVEN GROUND ROD.
- PROVIDE 1/2" CONDUIT FROM WATER METER THROUGH OUTSIDE WALL FOR REMOTE METER READER. (LOCATE NEAR GAS METER)
- PROVIDE AN EXTERIOR DISCONNECT SWITCH ON THE ELECTRIC SERVICE.
- ALL NON-DEDICATED OUTLETS IN THE BASEMENT SHALL BE 125 VOLT, 15 OR 20 AMP GFI PROTECTED RECEPTACLES.
- PROVIDE CLOSED LAMPS ON ALL FLUORESCENT FIXTURES.

ELECTRICAL SYMBOLS		ALL EXTERIOR WP GFI OUTLETS SHALL BE EQUIPPED WITH "IN USE" COVERS
H-1	SINGLE POLE SWITCH	HEAT LAMP
H-2	THREE POLE SWITCH	FAN
H-3	FOUR POLE SWITCH	FAN / LIGHT
H-4	WEATHER PROOF SWITCH/GROUND FAULT INTERRUPTER	FAN / LIGHT / HEAT LAMP
H-5	PHOTOCELL	EMERGENCY LIGHT WITH BATTERY BACKUP
H-6	WEATHER PROOF OUTLET GROUND FAULT INTERRUPTER W/ IN USE BUBBLE COVER	
H-7	SINGLE OUTLET	SURFACE MOUNTED FIXTURE
H-8	DUPLEX OUTLET	SURFACE MOUNTED FIXTURE WITH PULL CHAIN
H-9	DUPLEX OUTLET - ONE HALF SWITCHED	WALL MOUNTED FIXTURE
H-10	220 VOLT OUTLET	RECESSED FIXTURE
H-11	THERMOSTAT	RECESSED EYEBALL FIXTURE
H-12	JUNCTION BOX	LIGHT TRACK - NUMBER INDICATES LENGTH (FEET)
H-13	GARBAGE DISPOSAL	
H-14	110 VOLT SMOKE DETECTOR INTER-CONNECTED W/ BATTERY BACKUP	24" STRIP LIGHT - NUMBER INDICATES LENGTH (INCHES)
H-15	CARBON MONOXIDE ALARM	INCANDESCENT LIGHT FIXTURES
H-16	DOOR BELL BUTTON	FLUORESCENT LIGHT FIXTURES
H-17	DOOR BELL CHIMES	
H-18	TELEPHONE OUTLET	
H-19	CABLE TELEVISION OUTLET	
H-20	INTERCOMM	
H-21	ELECTRICAL PANEL	
H-22	ELECTRICAL METER	
WP	INDICATES WATERPROOF	DIMENSIONS WITH SYMBOL INDICATES HEIGHT ABOVE FLOOR
GFI	INDICATES GROUND FAULT INTERRUPT	

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ROOF CONSTRUCTION

ASPHALT SHINGLES/55 YEAR TYP. 15# ASPHALT IMPREGNATED BUILDING FELT 1/2" O.S.B. DECKING W/CLIPS 2x12 ROOF RAFTERS @ 16" O.C., ROOF BATTLES AT EVERY ROOF TRUSS R-44 FIBERGLASS INSULATION IN INTEGRAL V.B. 5/8" DRYWALL CEILING. ICE AND WATER SHIELD OR APPROVED EQUAL TO BE APPLIED HORZ. AT EAVE UP SLOPE OF ROOF TO A POINT 24" INSIDE EXTERIOR WALL. (VERT. LAPS TO BE MIN. 5", HORZ. LAPS TO BE MIN. 6") ICE AND WATER SHIELD OR APPROVED EQUAL TO BE APPLIED TO ALL VALLEYS.

NOTE:
FIREBLOCKING IS TO BE INSTALLED AS REQUIRED PER 2018 I.R.C. R602.8 (TYPICAL AT ALL LOCATIONS)
FIREBLOCK AT THE RIM HEIGHT OF EVERY TUB WITH 2 X WOOD BLOCKING, EVERY STUD SPACE, ALL AROUND, OR PROVIDE WATER RESISTANT 5/8" 6/M.B. OR 1/2" DUROCK COMPLETELY DOWN TO THE FLOOR BEHIND ALL TUBS AND SHOWER STALL FOR PROPER FIRESTOPPING OR USE OTHER APPROVED MATERIALS

FRAME WALL CONSTRUCTION

1" LP SIDING (SEE ELEVATIONS FOR FINISH) OVER 'TYVEK' WRAP (OR EQUAL). TAPE AROUND ALL WINDOW AND DOOR OPENINGS. PROVIDE R-21 BATT INSULATION IN WALL CAVITIES w/ INTEGRAL V.B. ON WARM SIDE OF WALL, 1/2" CONTINUOUS OSB SHEATHING, 2x6 WOOD STUDS @ 16" o.c. w/ 1/2" GYPSUM BOARD FINISH

R-38 INSULATION REQUIRED IN EXPOSED FLOORS, ALL LOCATIONS

VAPOR BARRIER NOTE

INTEGRAL VAPOR BARRIERS ARE TO BE INSTALLED ON THE WARM IN WINTER SIDE OF WALLS AND CEILINGS.
BLOWN IN OR SPRAYED ROOF/CEILING INSULATION SHALL BE WRITTEN IN INCHES ON MARKERS THAT ARE INSTALLED AT LEAST ONE FOR EVERY 300 SQ.FT. THROUGH THE ATTIC SPACE. MARKERS ARE TO BE AFFIXED TO TRUSSES OR JOISTS.
BLOWN IN OR SPRAYED INSULATION (FIBERGLASS AND CELLULOSE) INSTALLERS CERTIFICATION SHALL INCLUDE THICKNESS, SETTLED THICKNESS, SETTLED R-VALUE, INSTALLED DENSITY, COVERAGE AREA AND NUMBER OF BAGS SHALL BE LISTED ON CERTIFICATION.
FOR SPRAYED POLYURETHANE FOAM INSULATION THE INSTALLATION THICKNESS OF THE AREAS COVERED AND R-VALUE OF INSTALLED THICKNESS SHALL BE POSTED ON THE THE CERTIFICATION. INSULATION INSTALLER IS TO SIGN, DATE, AND POST THE CERTIFICATION ON THE JOB SITE.

FIRST FLOOR CONSTRUCTION

3/4" T&G OSB SHEATHING GLED AND NAILLED
1/4" UNDERLAYMENT IN TILED AREAS
11 7/8" BCI FLR JOISTS (SEE FLOOR PLAN FOR SPACING AND SERIES) WITH 1 1/4" TIMBERSTRAND LSL RIM JOIST
1/2" GYPSUM BOARD CEILING GLED AND SCREWED TO UNDERSIDE OF FLOOR JOISTS
R-38 INSULATION REQUIRED IN EXPOSED FLOORS, ALL LOCATIONS

SILL PLATE

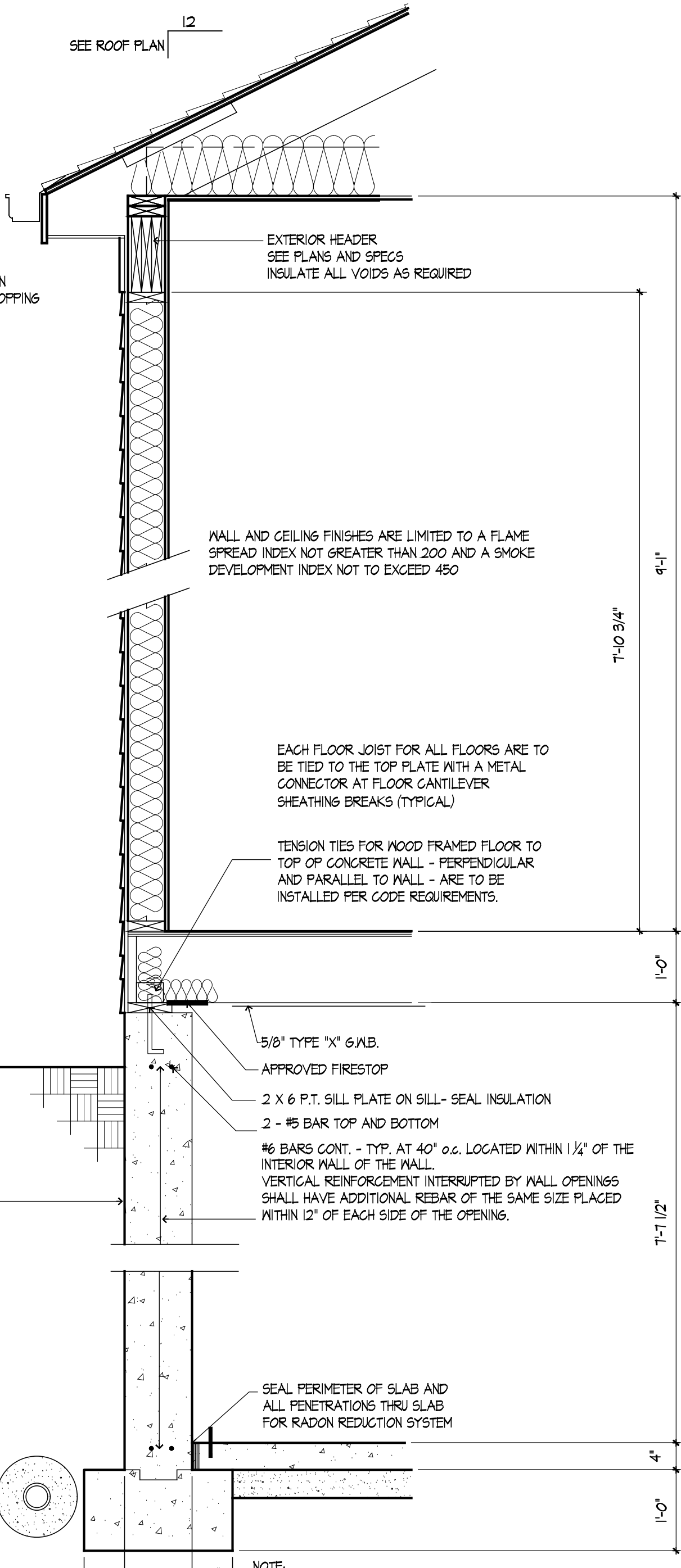
CONTINUOUS PRESSURE TREATED SILL PLATE w/ SILL SEALER 1/2" DIA. x 12" ANCHOR BOLTS w/ NUTS & WASHERS @ MAX. 6'-0" o.c. & MAX. 12" FROM CORNERS, MIN. 2 PER BOARD. EMBED MIN. 7" IN CONC.

SPRAY ON DAMP PROOFING OR APPROVED EQUAL

CONCRETE SLAB CONSTRUCTION

4" CONC. SLAB w/ #4 x #4 X #4 W/F.
6-MIL. POLY VAPOR BARRIER - LAP ALL SEAMS
12" EACH DIRECTION FOR RADON SYSTEM
OVER MINIMUM 5" COMPACTED GRAVEL
OVER COMPACTED EARTH
(GRAVEL TO BE MINIMUM 4" WASHED STONE)

4" DRAIN TILE ON OUTSIDE OF FOOTING MINIMUM 3" GRAVEL COVER SILT/SOCK WRAP UTILIZATION OF FITTINGS & ALL CONNECTIONS IS REQ'D.



① FRAME WALL SECTION
SCALE: 3/4" = 1'-0"

NOTE:
GROUNDING RODS ARE REQUIRED IN LOWER PORTION OF WALL OR FOOTING IN CONTACT WITH EARTH. (TYPICAL)
EXPOSED CRAFT PAPER INSULATION IS NOT PERMITTED; IF USED IT MUST BE COVERED WITH GYP. WALL BOARD.

ROOF CONSTRUCTION

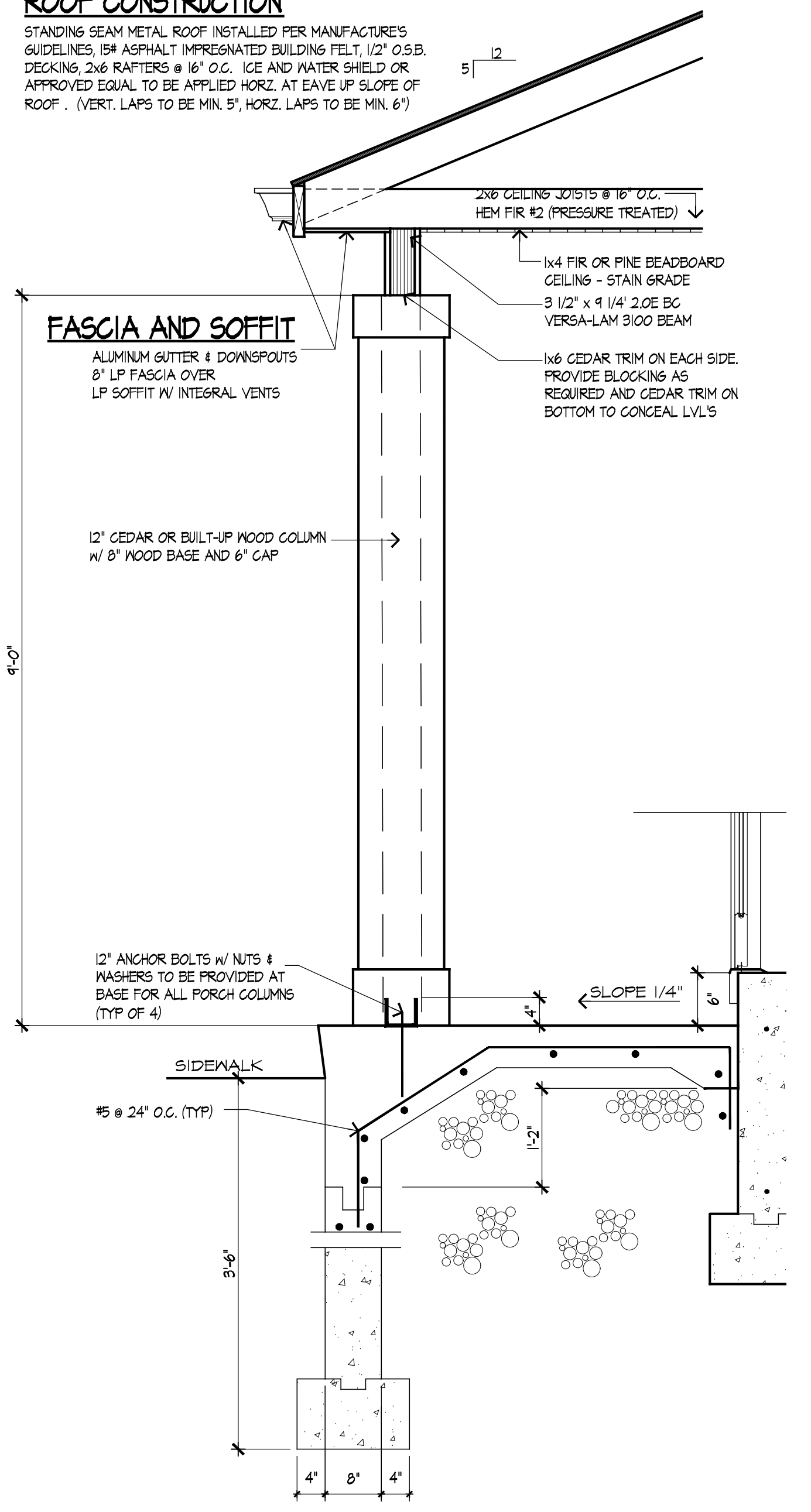
STANDING SEAM METAL ROOF INSTALLED PER MANUFACTURE'S GUIDELINES, 15# ASPHALT IMPREGNATED BUILDING FELT, 1/2" O.S.B. DECKING, 2x6 RAFTERS @ 16" O.C., ICE AND WATER SHIELD OR APPROVED EQUAL TO BE APPLIED HORZ. AT EAVE UP SLOPE OF ROOF. (VERT. LAPS TO BE MIN. 5", HORZ. LAPS TO BE MIN. 6")

FASCIA AND SOFFIT

ALUMINUM GUTTER & DOWNSPOUTS
0" LP FASCIA OVER LP SOFFIT w/ INTEGRAL VENTS
1x4 FIR OR PINE BEADBOARD CEILING - STAIN GRADE
3 1/2" x 9 1/4" 2.0E BC VERSA-LAM 3100 BEAM
1x6 CEDAR TRIM ON EACH SIDE. PROVIDE BLOCKING AS REQUIRED AND CEDAR TRIM ON BOTTOM TO CONCEAL LVL'S

12" CEDAR OR BUILT-UP WOOD COLUMN w/ 8" WOOD BASE AND 6" GAP

12" ANCHOR BOLTS w/ NUTS & WASHERS TO BE PROVIDED AT BASE FOR ALL PORCH COLUMNS (TYP OF 4)



② PORCH SECTION
SCALE: 3/4" = 1'-0"



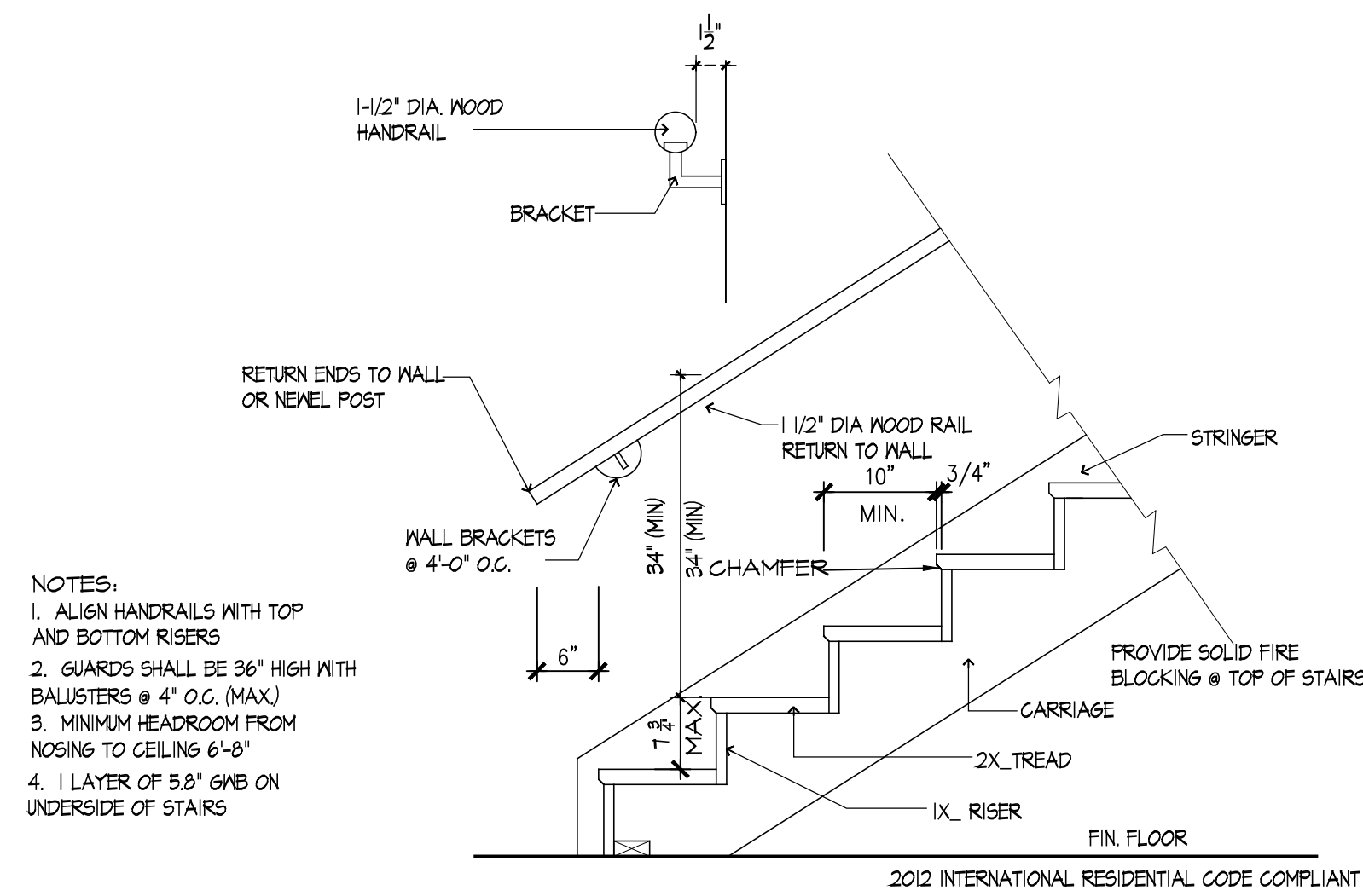
These drawings were prepared under my supervision and to the best of my knowledge, they comply with all applicable codes.

REV	DESCRIPTION	DATE
	ISSUED FOR CLIENT REVIEW	02-10-26

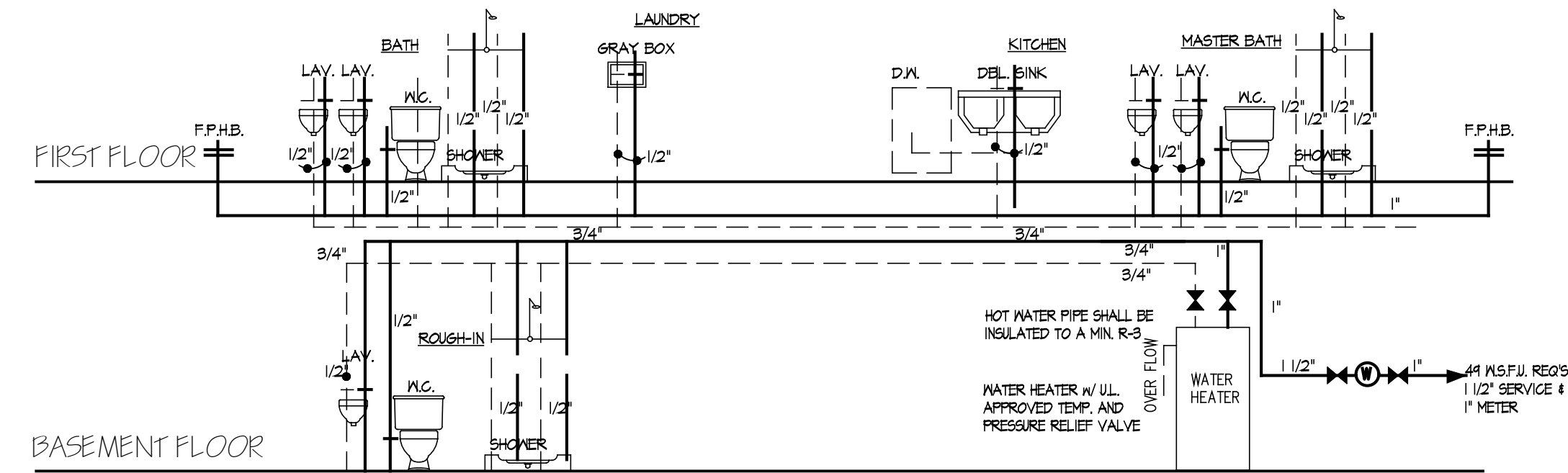
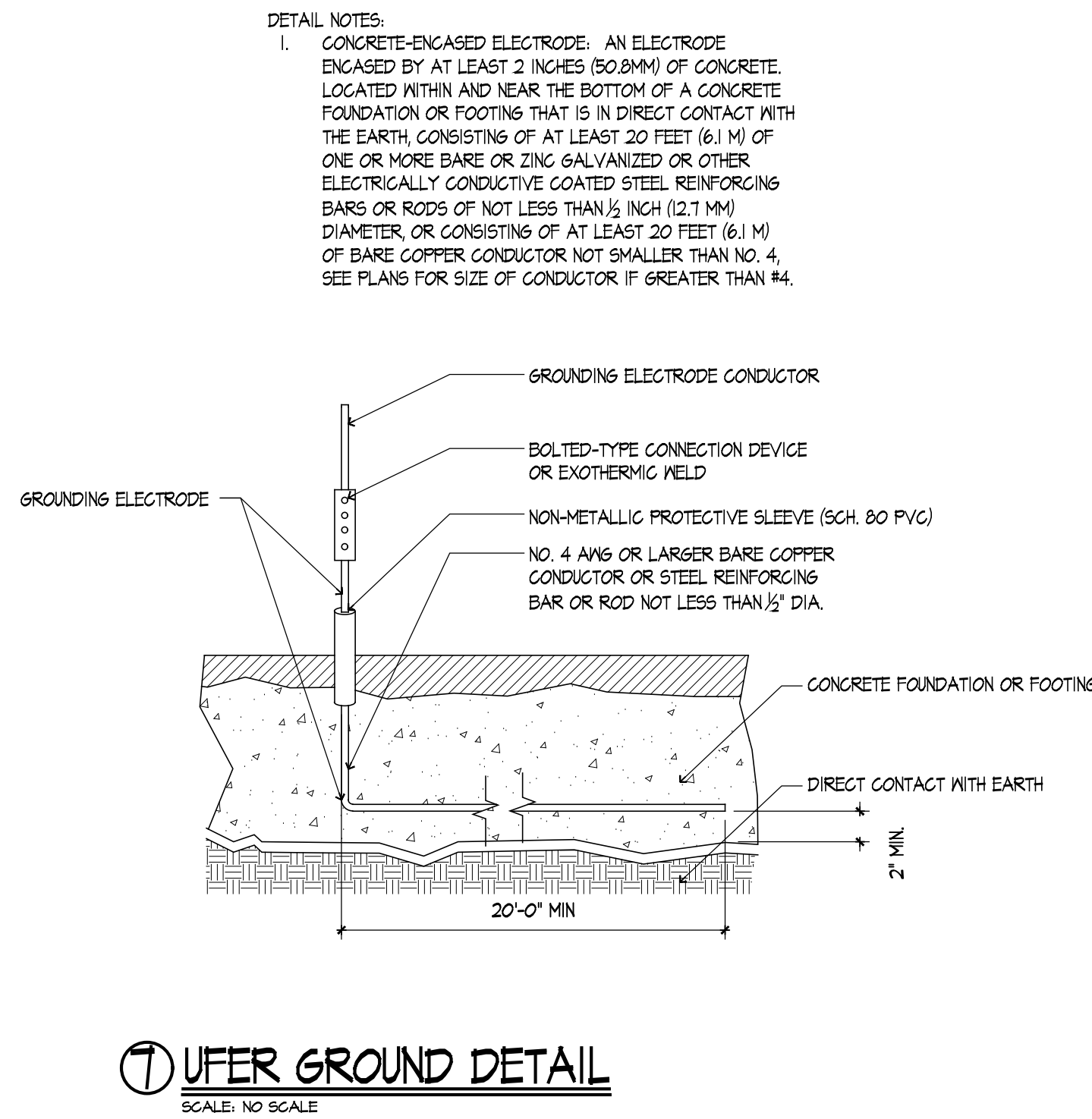
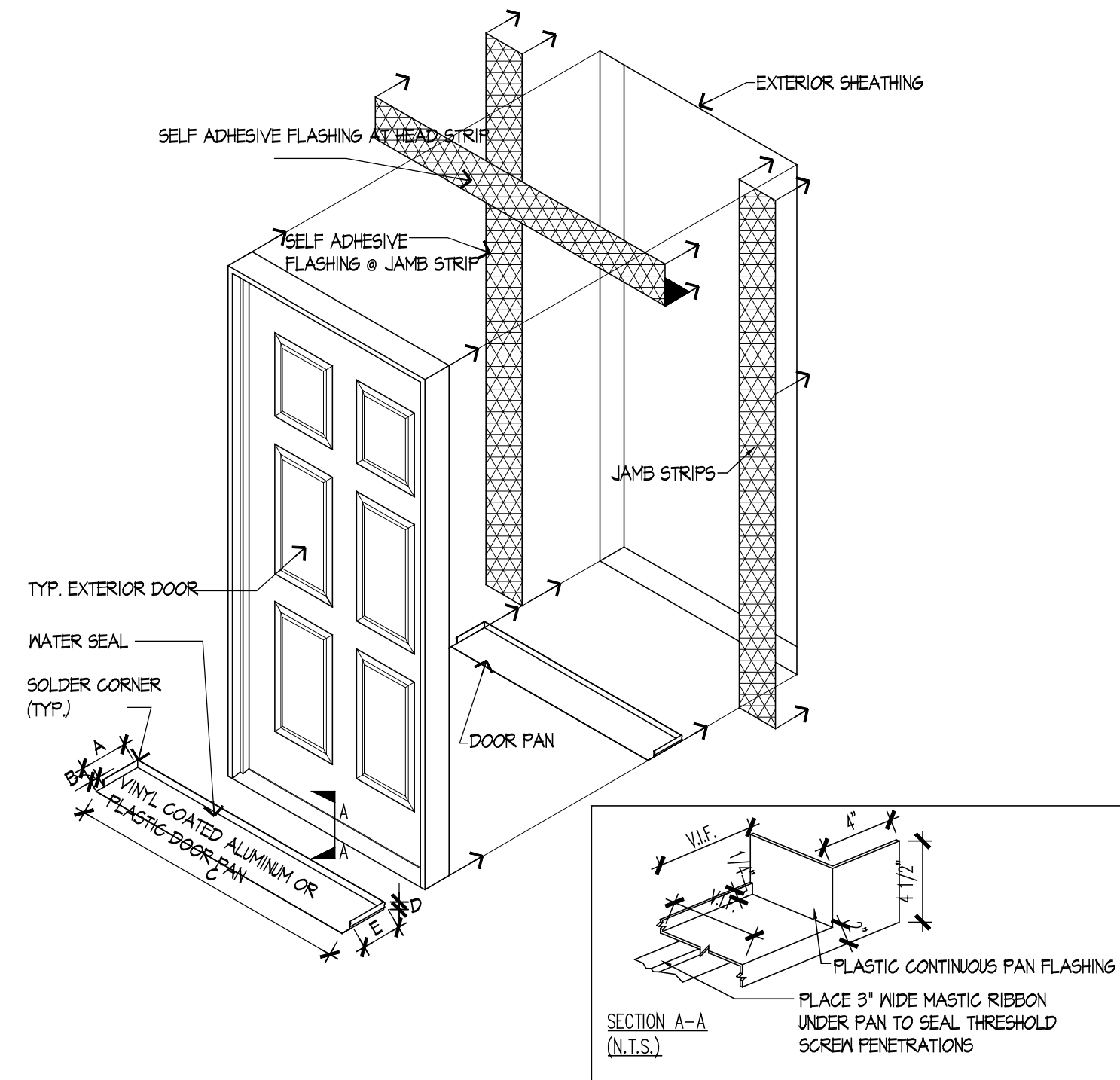
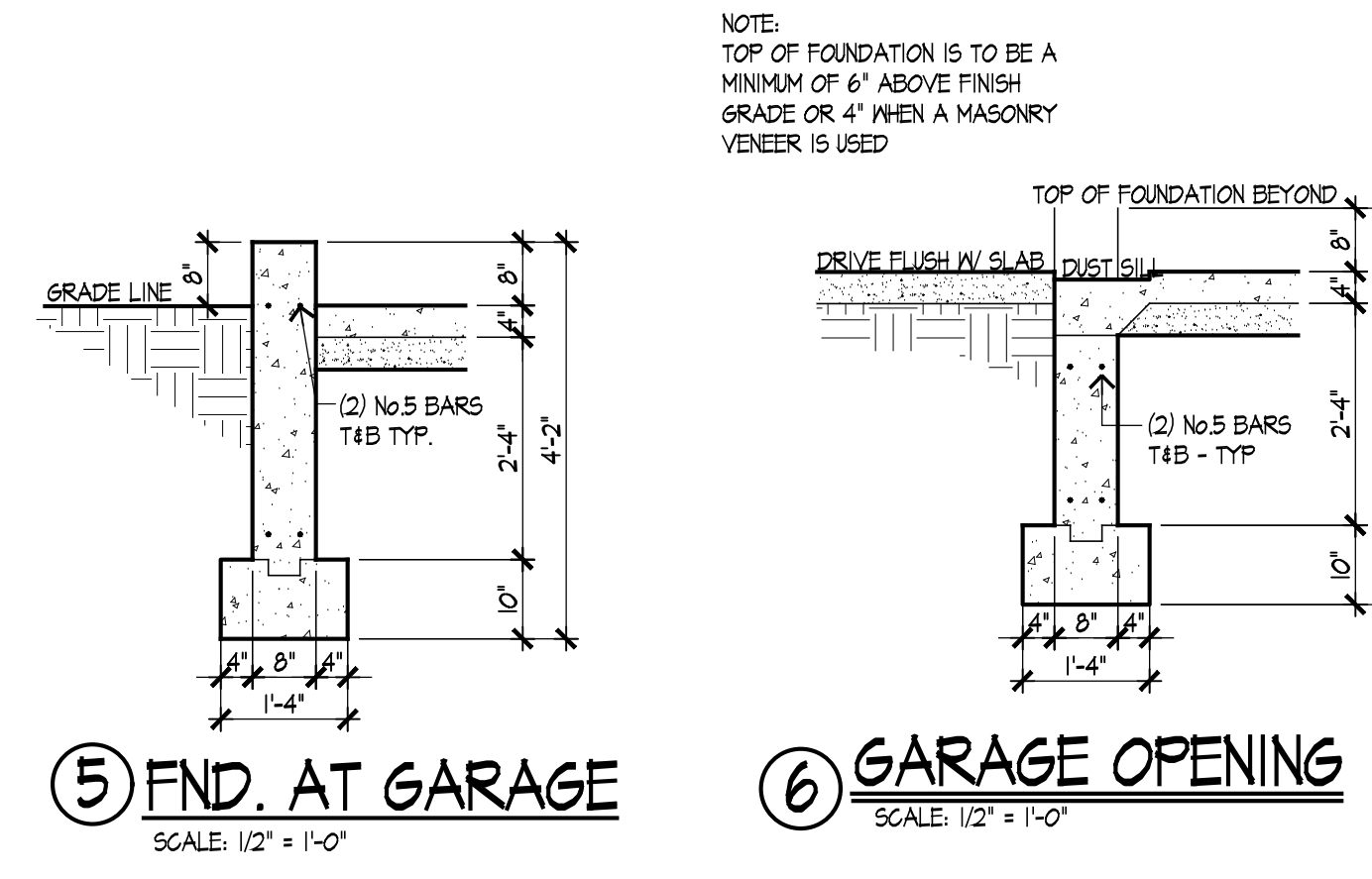
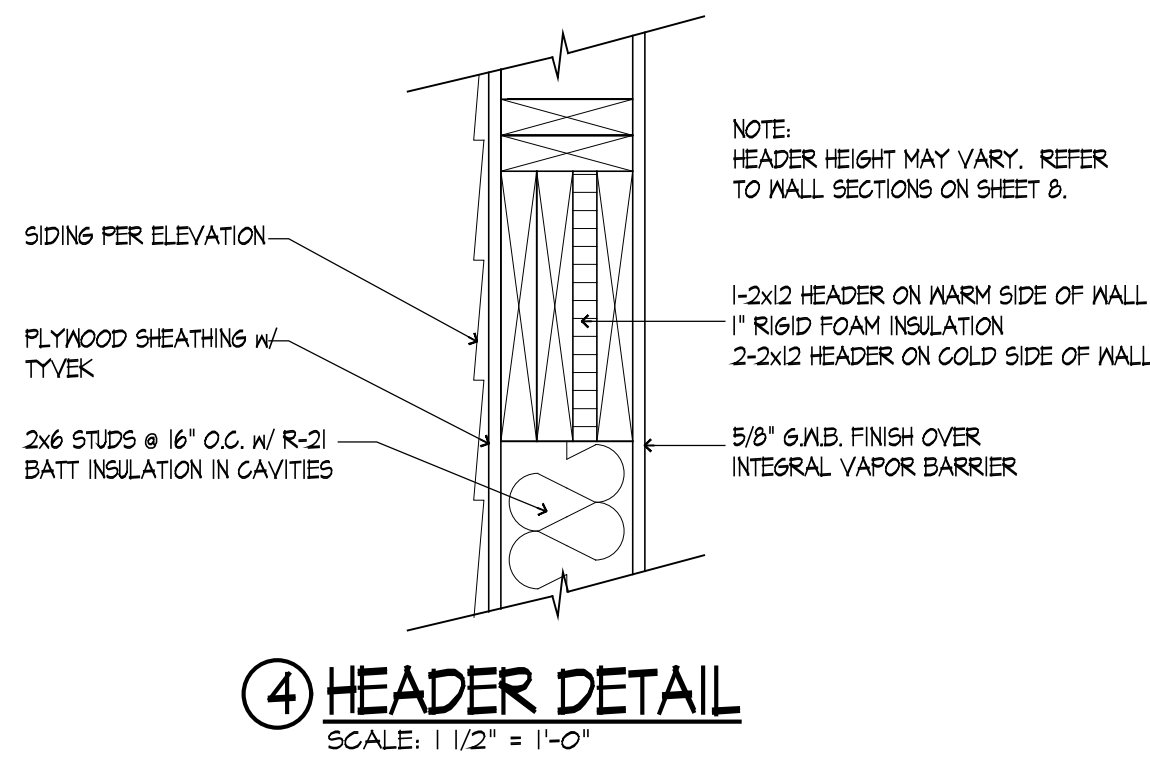
Rick Gilmore, FALA
Fellow of the Association of Licensed Architects

GATTUSO RESIDENCE
4 E. SLADE STREET
PALATINE, IL 60067

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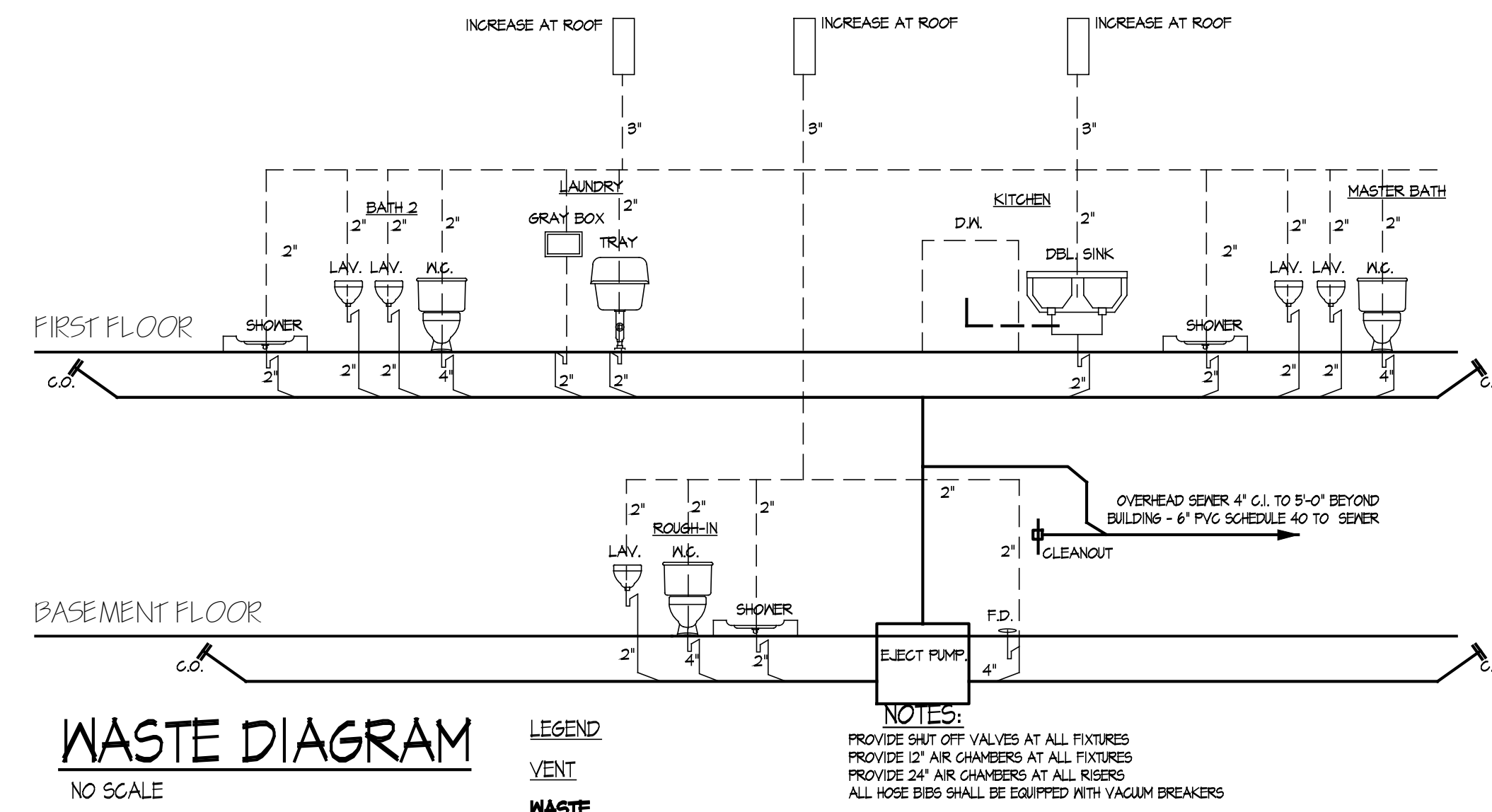
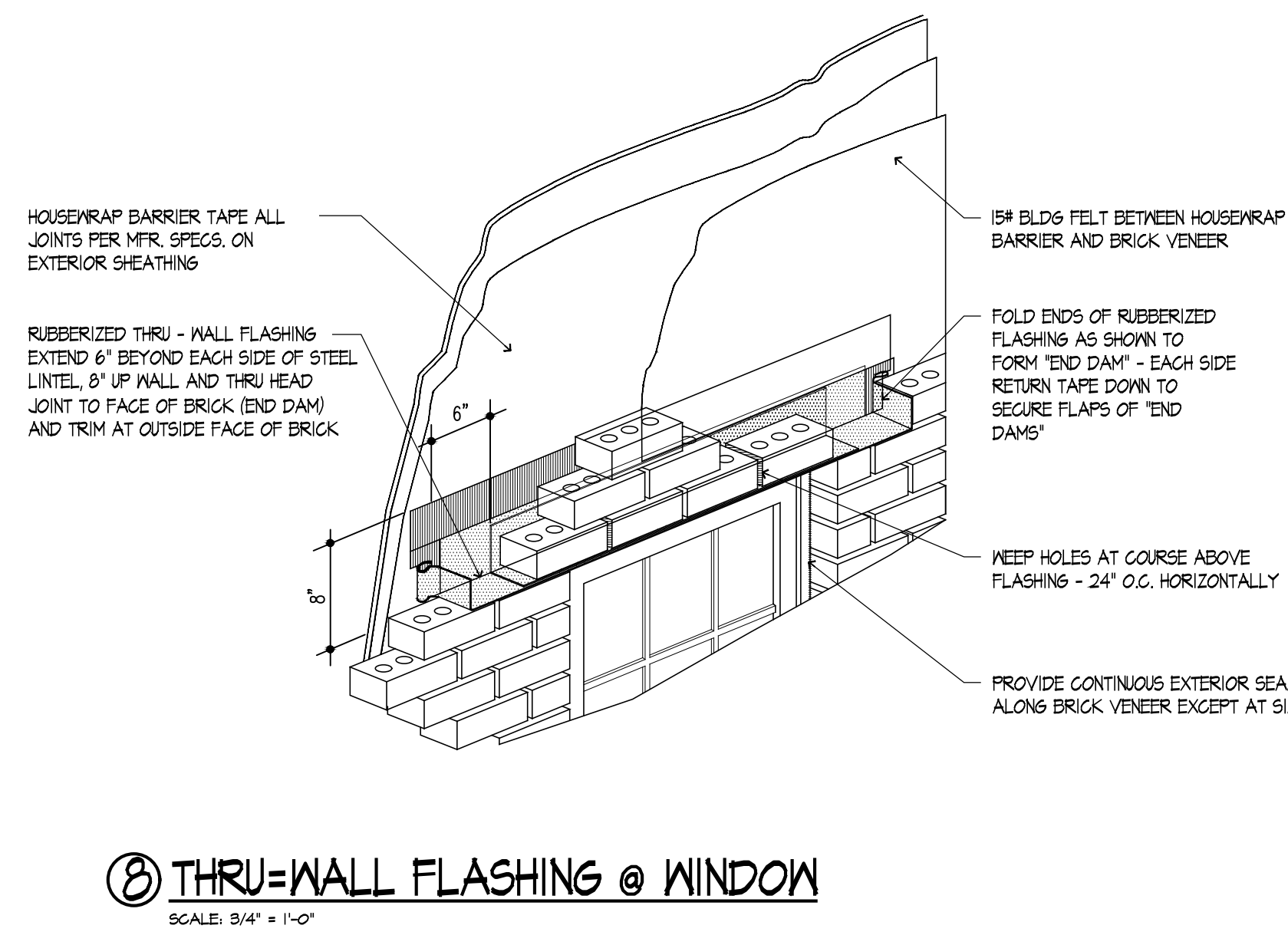
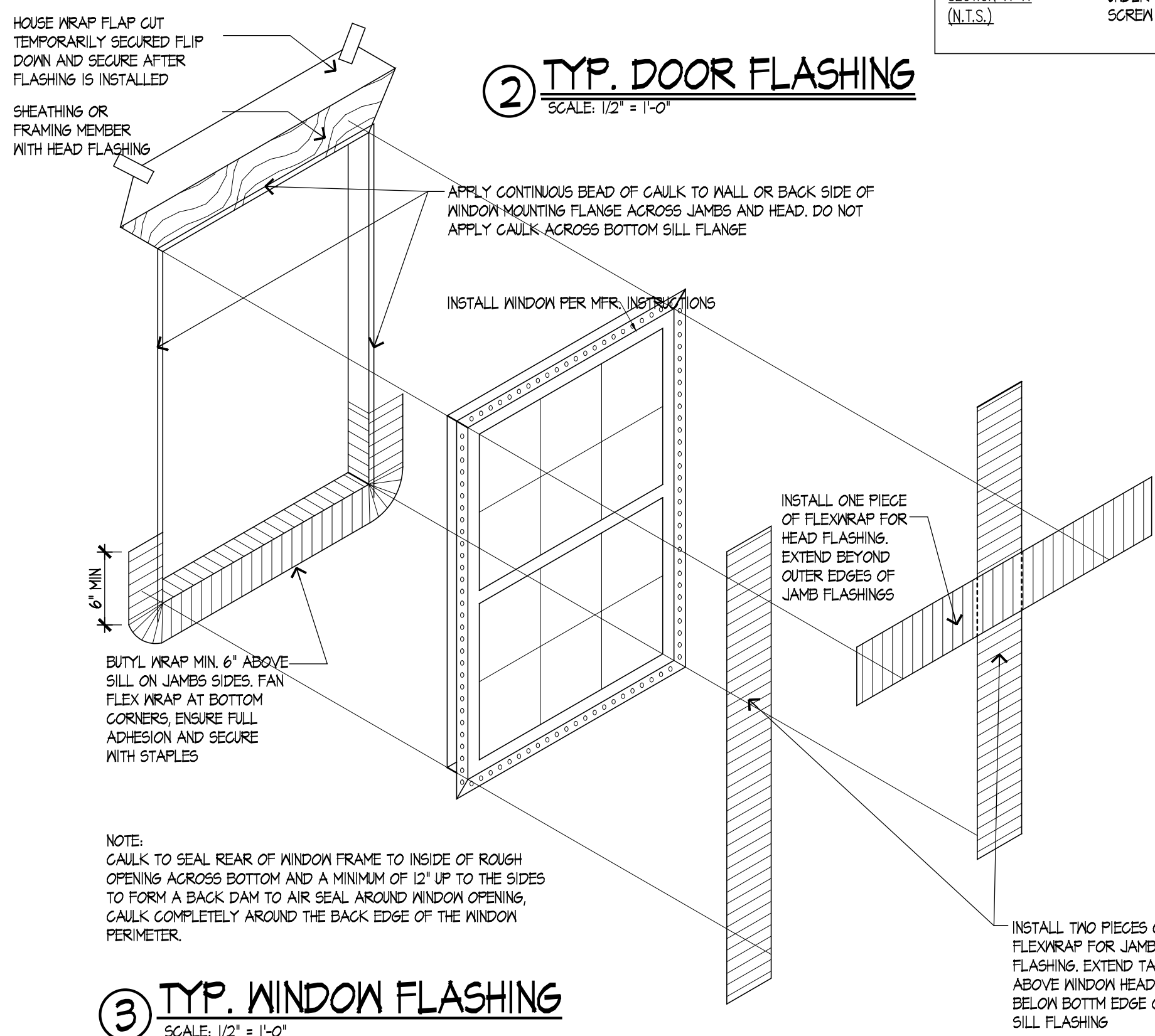


① STAIR DETAIL
 SCALE: 3/4" = 1'-0"



SUPPLY DIAGRAM
 NO SCALE

- BUILDING SEWER SHALL HAVE A FULL SIZE CLEAN-OUT (6") INSTALLED OUTSIDE THE BUILDING.
- A CONTINUOUS WASTE SHALL NOT BE USED ON THE KITCHEN SINK DRAIN LINES. TWO TRAPS ARE REQUIRED (GARBAGE DISPOSAL, BASKET STRAINER).
- SEWER PIPE USED TO PENETRATE THE FOUNDATION WALLS SHALL BE DUCTILE IRON OR SCHEDULE 40 PVC 1" SHALL EXTEND ONTO VIRGIN SOIL ON THE EXTERIOR. A 6"x4" MISSION COUPLING 4" FULL SIZE 6" CLEAN-OUT SHALL BE INSTALLED. ALL MISSION COUPLINGS SHALL BE NON-SHEAR TYPE.
- 3" FULL SIZE STACK IS REQUIRED FOR WATER CLOSETS UNLESS RE-VENTED BACK TO MAIN FULL SIZED STACK WITHIN 20'.
- FLOOR DRAIN TRAPS AND DRAINS INSTALLED BELOW A CONCRETE FLOOR OR UNDERGROUND SHALL BE NOT LESS THAN FOUR INCHES IN DIAMETER. EXCEPT BRANCH WASTE LINES ARE PERMITTED TO BE 3" IN DIAMETER FOR A MAX. OF 10'.



WASTE DIAGRAM
 NO SCALE

These drawings were prepared under my supervision and to the best of my knowledge, they comply with all applicable codes.

STATE OF ILLINOIS
 001-008243
 FREDERICK E. GILMORE
 ARCHITECT
 EXPIRES 11/30/26

Rick Gilmore, FALA
 Fellow of the Association of Licensed Architects

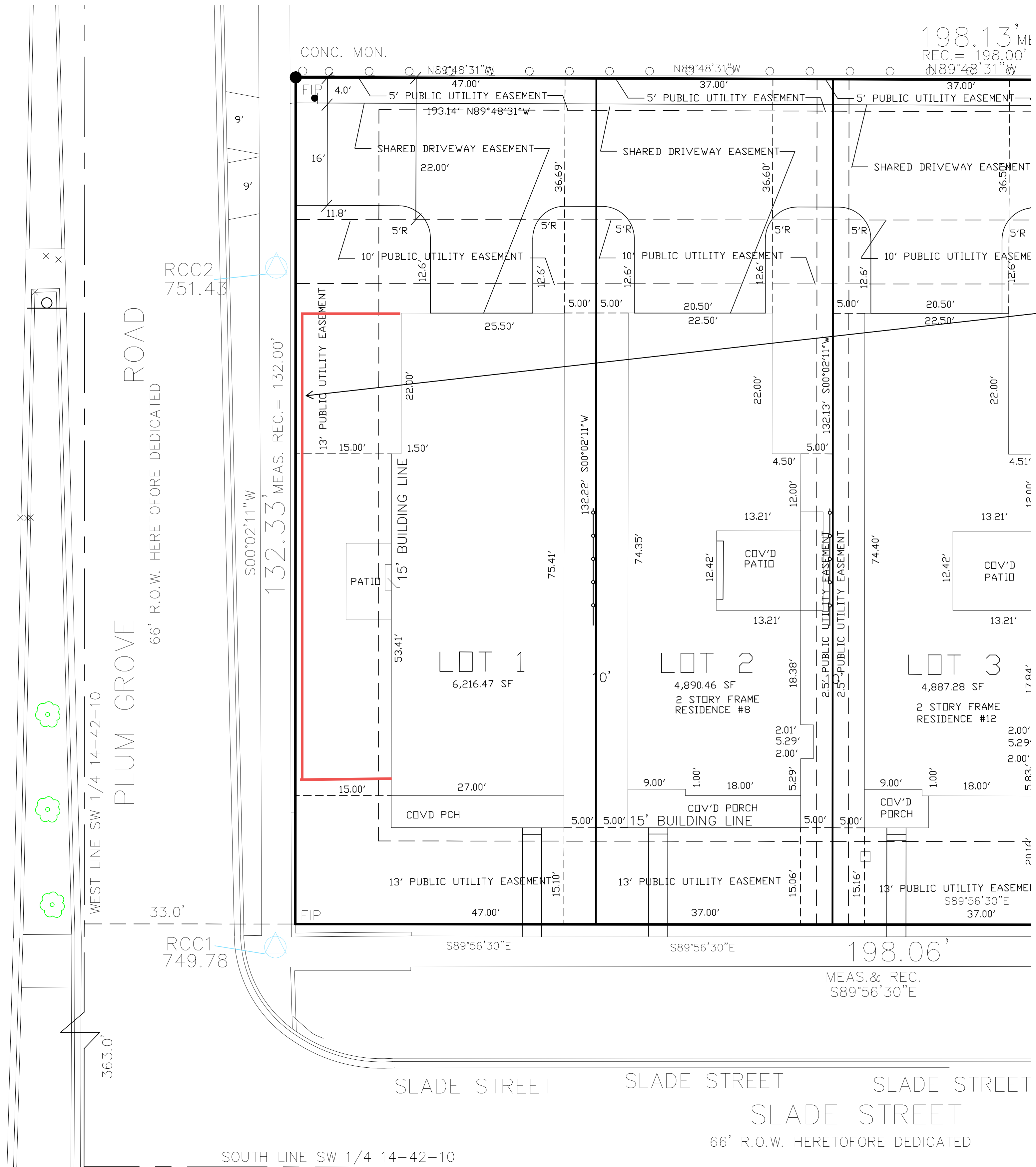
GATTUSO RESIDENCE
 4 E. SLADE STREET
 PALATINE, IL 60067

REV	DESCRIPTION	DATE
1	ISSUED FOR CLIENT REVIEW	02-10-26

Gilmore
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7

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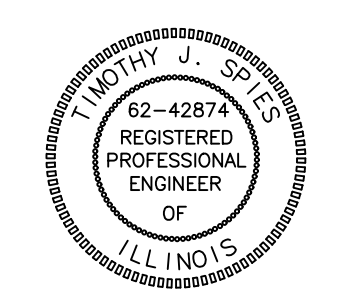


- 1) Fence shall be white, picket style
- 2) 4 feet in height
- 3) As shown on sketch to 3ft from sidewalk

- STREET TREE (PER ENGINEERING)
- EXIST. ELEV.
- EXIST. CONTOUR
- PROPOSED FINISH GRADE
- SILT FENCE
- DOWNSPOUT AND DIRECTION

TO THE BEST OF OUR KNOWLEDGE AND BELIEF, THE DRAINAGE OF THE SURFACE WATERS WILL NOT BE CHANGED BY THE CONSTRUCTION OF THIS SITE OR ANY PART THEREOF, OR THAT IF SUCH SURFACE WATER DRAINAGE WILL BE CHANGED, REASONABLE PROVISIONS HAVE BEEN MADE FOR THE COLLECTION AND DIRECTION OF SUCH WATERS INTO PUBLIC AREAS OR SUCH WATERS WILL BE PLANNED FOR IN ACCORDANCE WITH GENERALLY ACCEPTED ENGINEERING PRACTICES SO AS TO REDUCE THE LIKELIHOOD OF DAMAGE TO THE ADJOINING PROPERTY BECAUSE OF THE CONSTRUCTION OF THIS SITE.

DATED THIS 17TH DAY OF MAR, AD 2026
OWNER _____ ENGINEER



PROJECT BENCHMARK:
CROSS CUT ON NW UPPER FLANGE BOLT OF
FIRE HYDRANT LOCATED AT THE NW CORNER
OF PLUM GROVE RD. & WILSON STREET
NAVD88 ELEVATION 755.49

SITE BENCHMARK NO. 1
CUT CROSS IN SIDE WALK NEAR THE SE CORNER OF THE SUBJECT PROPERTY.
NAVD88 ELEVATION 750.22

SITE BENCHMARK NO. 2
CUT CROSS IN SIDE WALK NEAR THE SW CORNER OF THE SUBJECT PROPERTY.
NAVD88 ELEVATION 749.78

LOT 1 IN SLADE STREET CROSSING RE-SUBMISSION A SUBDIVISION OF THE WEST 1/4 OF LOT 5, LOT 6, 7 AND THE WEST 1/4 OF LOT 8 IN BLOCK "C" IN JOEL WOODS SUBDIVISION OF THE TOWN OF PALMISTE IN SECTIONS 14, 15, 22 AND 23 IN TOWNSHIP 42 NORTH, RANGE 10, EAST OF THE PRINCIPAL MERIDIAN, RECORDED DECEMBER 7, 1885 IN BOOK 98 OF MAPS PAGE 28, IN COOK COUNTY, ILLINOIS.

IMPERVIOUS COVERAGE
LOT AREA 6,216 SF
IMPERVIOUS COVERAGE 3,328 SF 53.5%

SPIES & ASSOCIATES, INC.
Civil Engineers - Land Surveyors

534 WEST CAMPUS DRIVE
ARLINGTON HEIGHTS, ILLINOIS 60004
PH 847.577.8808 FAX 847.577.0229

REVISIONS	

DRAWN BY: TJS
DESIGNED BY: TJS
CHECKED BY: TJS

JOB NO. 5351
SCALE: 1"=10'
DATE: 03/17/26

SITE PLAN
LOT 1 SLADE STREET CROSSING

SHEET NO.
2
OF 2 SHEETS



ORDINANCE NO. 0-23-24

AN ORDINANCE GRANTING FINAL PLANNED DEVELOPMENT APPROVAL FOR
37 N. PLUM GROVE ROAD

WHEREAS, upon petition of owners of said property, a Public Hearing was held by the Planning & Zoning Commission of the Village of Palatine on February 27, 2024, and in accordance with the Zoning Ordinance of the Village of Palatine, in such case made and provided, and said Planning & Zoning Commission, having made its findings in a report to the Mayor and Village Council of the Village of Palatine regarding a request for a Final Planned Development to permit a 5-lot single-family residential development, on the following legally described property:

LOTS 6 AND 7 IN BLOCK "G" IN THE VILLAGE OF PALATINE, ILLINOIS ACCORDING TO THE MAP OF JOEL WOOD'S SUBDIVISION IN SECTIONS 14, 15, 22 AND 23 IN TOWNSHIP 42 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN IN COOK COUNTY, ILLINOIS, RECORDED ON DECEMBER 7, 1855 IN BOOK 98 OF MAPS ON PAGE 28.

NOW, THEREFORE, BE IT ORDAINED, by the Mayor and Village Council of the Village of Palatine, Cook County, Illinois, acting in the exercise of their home rule power:

SECTION 1: That the Preliminary and Final Planned Development is hereby approved to permit a 5-lot single-family residential development, subject to the following conditions:

1. The development shall substantially conform to the engineering plans by Spies and Associates, last revised on 9/27/23, the architectural plans by Gilmore and submitted elevations, and the landscaping plans by Dickson Design Studio, except as such plans may be changed to conform to Village Codes and Ordinances.
2. The Final Engineering Plans shall be submitted in a manner acceptable to the Village Engineer.
3. The Final Landscaping and Screening Plan shall be revised in a manner acceptable to the Director of Planning and Zoning and shall include additional landscaping on the north side of the property.

4. The HOA declarations shall be submitted in a manner acceptable to the Village Attorney and Director of Planning and Zoning.
5. In conjunction with the building permit application, a construction management plan shall be submitted in a manner acceptable to Village and shall outline the proposed development schedule, identify the material delivery routes, and proposed parking areas for the contractors.
6. A \$50,000 Planned Development letter of credit shall be submitted in a manner acceptable to the Director of Planning and Zoning and Village Engineer.

SECTION 2: That a copy of the public notice, be attached hereto and form a part of this ordinance.

SECTION 3: This ordinance shall be in full force and effect upon passage and approval as provided by law.

PASSED: This 11 day of March, 2024

AYES: 6 NAYS: 0 ABSENT: 0 PASS: 0

APPROVED by me this 11 day of March, 2024



Mayor of the Village of Palatine

ATTESTED and FILED in the office of the Village Clerk

this 11 day of March, 2024



Village Clerk

SLADE STREET CROSSING

PLAN 519

PALATINE, ILLINOIS 60067

ARCHITECT CONTACT

BLAKE CZAR

847/877-3501

BUILDER

GWR BUILDERS

847/209-1214

DATE PAGES REVISED

DATE	PAGES REVISED
09/3/24	ISSUED FOR PERMIT

CODES

APPLICABLE BUILDING CODES

- 2015 INTERNATIONAL RESIDENTIAL CODE w/ AMENDMENTS EXISTING BUILDINGS AND STRUCTURES, APPENDIX J
- 2015 INTERNATIONAL MECHANICAL CODE w/ AMENDMENTS
- 2015 INTERNATIONAL FUEL GAS CODE
- 2018 INTERNATIONAL ENERGY CONSERVATION CODE
- 2017 NATIONAL ELECTRICAL CODE w/ AMENDMENTS
- 2014 ILLINOIS PLUMBING CODE w/ AMENDMENTS
- VILLAGE OF PALATINE CODE OF ORDINANCES

OCCUPANCY

R3 - RESIDENTIAL

CLIMATIC AND GEOGRAPHICAL DESIGN CRITERIA

Ground Snow Load: 30 psf
 Wind Speed: 90 mph - 3 second gust
 Seismic Category: A
 Weathering: Severe
 Frost Line Depth: 49"
 Termitite - Moderate
 Winter Design temp: -4 F
 Ice Barrier Underlayment Required: Yes
 Air Freezing Index: 1750
 Mean Annual temp: 50 F

FIXTURE	MIN	TYP	MAX
WATER CLOSETS	3	3	4
TOILETS	2	1	3
BATH TUBS	1	3	2
BROKER SINKS	3	2	4
KITCHEN SINK	1	2	2
LAUNDRY SINK	1	1	1
LAUNDRY MACHINES	1	2	2
BILLIARDS	2	2	2
TOTAL	20	24	28

APPLICABLE PERMITS

SHEET INDEX

- COVER SHEET
- FRONT & RIGHT SIDE ELEVATIONS/LV SCHEDULE
- 2A REAR & LEFT SIDE ELEVATION
- OPTIONAL ELEVATIONS
- FOUNDATION PLAN
- OPTIONAL SLAB ON GRADE
- FIRST FLOOR PLAN
- SECOND FLOOR PLAN / ROOF PLAN
- FIRST FLOOR ELECTRICAL PLAN
- SECOND FLOOR ELECTRICAL PLAN
- MALL SECTIONS
- DETAILS / RISER DIAGRAMS
- SPECIFICATIONS

ABBREVIATIONS

AFF	ADH	AIR	ALT.	ANGL	BRK	BRG.	CBMT	CLS	CL	COL	CONC	CONST	G.L.	CONT	CO	CS	CRS	DL	DTL	DIA	DIM	DIR	DIV	DM	DN	DP	EA	EG	EXP	EXT	FIN	FF	FL	FD	FTS	FEN	GALV	GL	GYP. ED.	HGT	HN	HC								
ADH	ADJUSTABLE SHELF	AIR CONDITIONING	ALTERNATE	ANGLE	BRICK	BRICKS	CASHEMENT	CEILING	CENTER LINE	COLUMN	CONCRETE	CONSTRUCTION	CONTROL JOINT	CONTINUOUS	CORNER OPENING	COURSES	DEAD LOAD	DETAIL	DIAMETER	DIRECTION	DIVIDER	DOUBLE HANG	DOWNSPOUT	EACH	EQUAL	EXPANSION	EXTERIOR	FINISHED	FIREPLACE	FLOOR	FLOOR DRAIN	FOOTING	FOUNDATION	GALVANIZED	GLASS	GYP. ED. GYPSUM BOARD	HEIGHT	HOLLOW METAL	HOLLOW CORE											
INSULATING	INTERIOR	JOIST	JOIST	LAMINATED PLASTIC	LIVE LOAD	MASONRY OPENING	MATERIAL	MEDICINE CABINET	METAL	N.T.S.	NOT TO SCALE	ON CENTER	OPENING	OVERHEAD	FLANGED AND TOP SANKED	PLATES	PL	FLUTE	PLYWOOD	FOUNDS PER SQUARE FOOT	FOUNDS PER SQUARE INCH	REINFORCED	RESIST	ROUGH OPENING	ROUGH SAWN	SELF	S.G.	SILT. HLL	SIMLAR	SEED	SLIDING GLASS DOOR	STD	STANDARD	ST	STEEL	TENNERED	THRESHOLD	TONGUE AND GROOVE	TREADS	TOP OF	UBER CABINET	WATER CABINET	WATER HEATER	WEATHER PROOF	WEATHER STRIPPING	WIDE FLANGE	W/	WOOD	WROUGHT IRON	WRAPPED OPENING

JOIST SPACING (SPACES & GRADE)	(DEEP) TYPICAL	MAX. SPAN
12"	HEM-FIR #2	16'-10" MAX. SPAN
15"	HEM-FIR #2	15'-2" MAX. SPAN

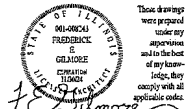
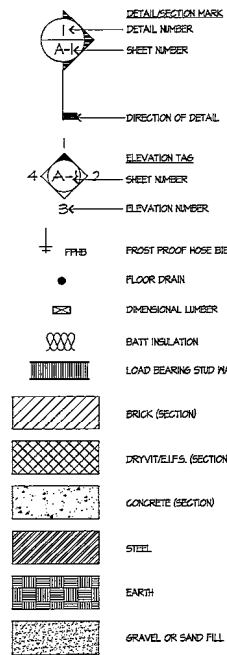
DESIGN LOADS

Floor:	Live Load	40 PSF Minimum
Roof:	Dead Load	10 PSF Minimum
Roof:	Live Load	20 PSF Minimum
Wall:	Bearing Capacity	3,000 PSF Minimum
Roof:	Bearing Capacity	3,000 PSF Minimum

DISTRIBUTIVE LIVE LOADS

ATTICS w/ LIMITED STORAGE	20 P.S.F.
ATTICS w/o STORAGE	10 P.S.F.
ATTICS HABITABLE	40 P.S.F.
DECKS	60 P.S.F.
EMERGER BALCONIES	80 P.S.F.
GUARDRAILS AND HANDRAILS	200 P.S.F.
ROOMS OTHER THAN SLEEPING	40 P.S.F.
SLEEPING ROOMS	40 P.S.F.
SPRINK	40 P.S.F.

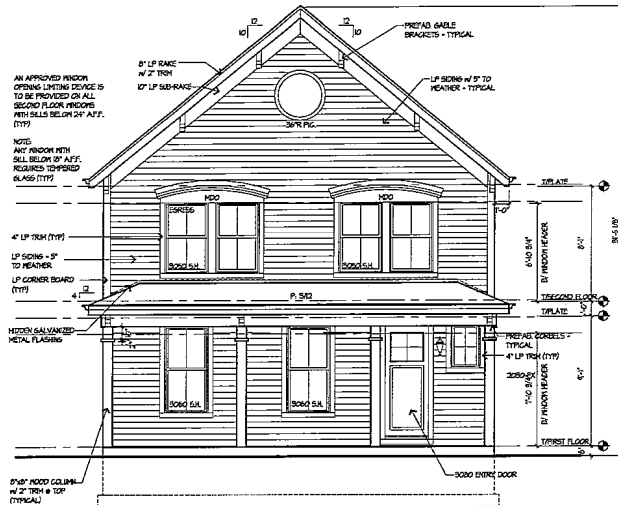
SYMBOLS



REV	DESCRIPTION	DATE
01	ISSUED FOR PERMIT	03/13/24

Rick Gilmore, P.A.
 Vice-President of Licensed Architects
 SLADE STREET CROSSING
 PLAN 519
 PALATINE, IL 60067

Gilmore
 FredeRick Gilmore, Architect
 3489 Gallant Fox Drive
 Skokie, IL 60074
 847.261.5676
 email: gilmorearch@aol.com
 www.gilmorearchitects.com



FRONT ELEVATION

INSTALL NUMBERS OR ADDRESS PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. (LEG. SIZE: TYPICAL 4" X 6" HIGH NUMBERS, COLOR CONTRASTING WITH A BACKGROUND.)

NOTE: PENETRATION SHALL BE LISTED AND LABELED BY AREA, MAX. AIR INFILTRATION OF WINDOWS, DOORS, AND SKYLIGHTS SHALL BE 0.3 CFM/SQ. FT. MAX. AIR INFILTRATION OF SKYLIGHTS SHALL BE 0.5 CFM/SQ. FT.

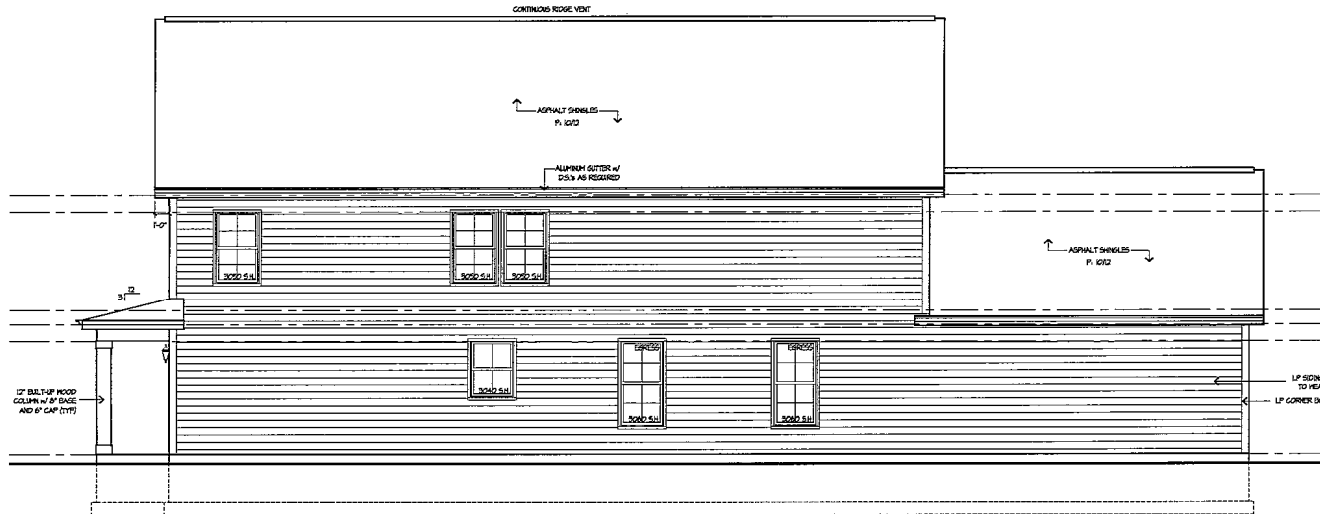
ROOM NAME	AREA	LIGHT		VENT		MECH CFM	
		REQ.	ACT.	REQ.	ACT.	REQ.	ACT.
KITCHEN/DINING	175 SF.	0.8	65.4	6.4	34.2	--	--
DINING ROOM	180 SF.	1.0	80.0	5.5	5.4	--	--
LIVING ROOM	266 SF.	2.0	38.4	10.7	15.2	--	--
MASTER BEDROOM	140 SF.	0.8	30.8	1.1	5.4	--	--
MASTER BATH	85 SF.	--	20.8	--	10.3	100 CFM	100 CFM
POWER ROOM	28 SF.	--	--	--	--	30 CFM	100 CFM
BEDROOM #1	86 SF.	1.0	30.2	3.4	5.1	--	--
BEDROOM #2	86 SF.	1.2	26.4	1.1	5.2	--	--
FLEX ROOM	183 SF.	1.6	36.4	1.3	5.2	--	--
FLEX ROOM #2	123 SF.	0.2	9.6	4.1	15.2	--	--
BATH	73 SF.	--	--	--	--	41 CFM	100 CFM

ELEVATION NOTES:

- 1. PROVIDE SPAN BLOCKS AT ALL DOWN SPOUTS PENETRATING AT GRADE. NOT TO DISRUSS ADDRESS MARKING.
 - 2. PROVIDE DRIP GAPS AT ALL WINDOWS AND DOORS.
 - 3. ALL ROOF SCALES TO BE SHEARED W/ BUILDING PAPER AND SHINGLES.
 - 4. REFER TO FLOOR PLANS FOR DOOR SIZES.
 - 5. WINDOW SIZES ARE AS PER ELEVATIONS. WINDOW PFX TO VERIFY ALL WINDOWS HAVE EGRESS WINDOW.
 - 6. ROOF VENTS TO BE SCREENED AND BALANCED INTAKE AND EXHAUST.
 - 7. PROVIDE 7" FLASHING ALONG ALL HORIZONTAL TRIM.
 - 8. PROVIDE GALV. METAL FLASHING AT ALL ROOF AND WALL INTERSECTIONS.
 - 9. FIREPLACE FLUE TO BE MIN. 2'-0" ABOVE ANY ROOF SURFACE WITH 12" OF HORIZONTAL MIN. 3'-0" PENETRATION ABOVE ROOF.
 - 10. SAFETY GLAZING AT WINDOW/DOORS SHALL BE MIN. 1/4" IN THK. OF DOOR AND WINDOWS GOVERNING CODES.
- EXTERIOR FINISH MATERIALS:**
- 11. TYPICAL ROOFING SHALL BE ARCHITECTURAL GRADE 30 YEAR ASPHALT SHINGLES.
 - 12. TYPICAL - ALUMINUM GUTTERS W/ DOWN SPOUTS OVER 1/2" PITCH AND WITH 1/2" FREE BOARD UNLESS OTHERWISE NOTED.
 - 13. 1/2" ON 1/4" RAKE BOARD TYPICAL.
 - 14. TYPICAL SIDING - 1" X 6" EXPOSED.
 - 15. TYPICAL TRIM - 1" X 4" EXPOSED.
 - 16. ALL EAVE AND RAKE OVERHANGS ARE 1'-0" UNLESS OTHERWISE NOTED.

STANDARD ELEVATION NOTES

- 30 YEAR ARCHITECTURAL GRADE ASPHALT SHINGLES
 - ALUMINUM GUTTERS AND DOWNSPUTS OVER ALUMINUM PAGES.
 - LIP SCRYPT. W/ INTERNAL VENT.
 - SHEET METAL FLASHING OVER WINDOWS, DOORS AND MOOD TRIM.
 - SHEET METAL FLASHING AT ALL ROOF AND WALL INTERSECTIONS. 1/2" FREE BOARD OVER 1/4" RAKE BOARD.
 - ALL EAVE AND OVERHANGS ARE 1'-0" UNLESS OTHERWISE NOTED. REFER TO ELEVATIONS AND ROOF PLAN FOR OVERHANGS.
- INDICATES LIP SHARPSIDE SIDING
- MODER GALVANIZED METAL FLASHING
- NOTE: ALL WINDOW SIZES ARE "ANDRISSET" SINGLE HINGE - OR AN APPROVED EQUAL.



RIGHT ELEVATION

SCALE: 1/4" = 1'-0"

These drawings were prepared under my supervision and to the best of my knowledge, they comply with all applicable codes.

J.C. Gilmore

DATE: 05/21/21

BY: JES/MP/KCA

ISSUED FOR PERMIT: 05/21/21

Blair Gilmore, P.A.L.A.
 Fellow of the Association of Licensed Architects

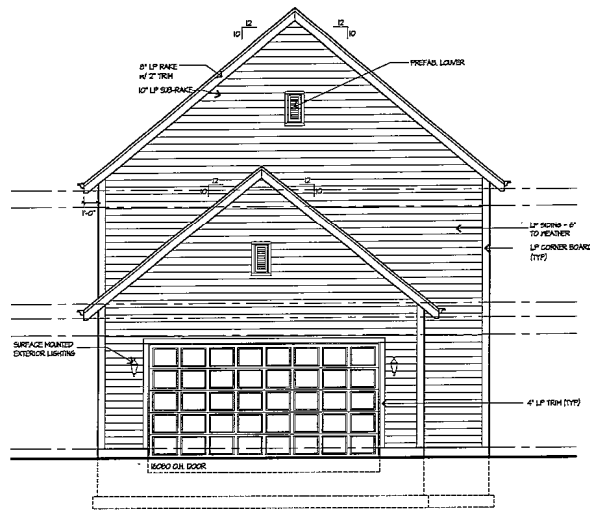
SLADE STREET CROSSING
 PLAN 519
 PALATINE, IL 60067

Gilmore
 FredeKirk Gilmore, Architect

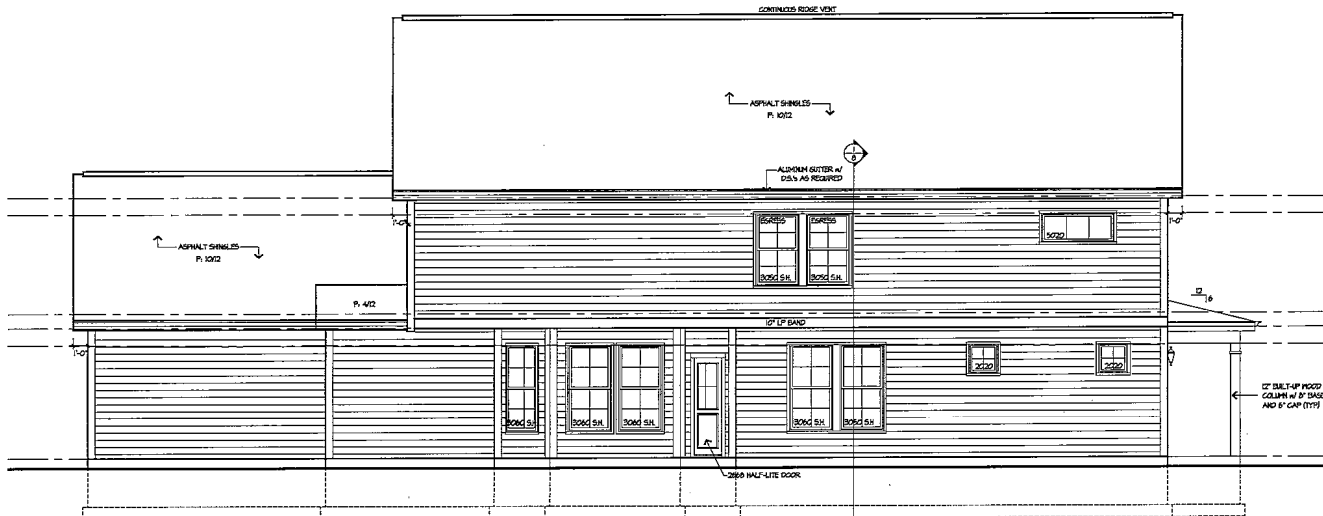
2489 Gallant Fox Drive
 Elgin, IL 60124
 815.421.8676
 email: gilmorecmk@gmail.com
 www.gilmorekirk.com

2

This drawing or specification is not to be used without the written consent of Gilmore, Krick & Gilmore, Architects.



REAR ELEVATION
SCALE: 1/4" = 1'-0"

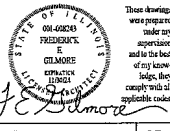


LEFT ELEVATION
SCALE: 1/4" = 1'-0"

NOTE:
MAX. INFILTRATION OF .30 FOR PENETRATION.
ALL NEW WINDOWS AND GLAZED DOORS MUST
BEAR MANUFACTURER'S STICKERS SO
COMPLIANCE CAN BE CONFIRMED BY INSPECTOR.

ELEVATION NOTES:

- DO NOT SCALE DRAWINGS
 - 1. PROVIDE SPLASH BLOCKS AT ALL DOWN SPOTS DISCHARGING AT GRADE (NOT TO DISCHARGE ACROSS MAINT)
 - 2. PROVIDE DRAIN GUTS AT ALL WINDOWS AND DOORS
 - 3. ALL ROOF SADDLES TO BE SHEATHED w/ SHEATHING PAPER AND SHINGLES
 - 4. REFER TO FLOOR PLANS FOR DOOR SIZES
 - 5. WINDOW SIZES ARE AS PER ELEVATIONS. WINDOW KER TO VERIFY ALL BEDROOMS HAVE EGRESS WINDOW
 - 6. ROOF VENTS TO BE GORGED AND BALANCED INTAKE AND EXHAUST.
 - 7. PROVIDE 2" FLASHING ALONG ALL HORIZONTAL TRIM
 - 8. PROVIDE GALV. METAL FLASHING AT ALL ROOF AND WALL INTERSECTIONS
 - 9. PREPARE FLUE TO BE MIN. 2'-0" ABOVE ANY ROOF SURFACE WITHIN 12'-0" HORIZONTALLY, MIN. 3'-0" PENETRATION ABOVE ROOF.
 - 10. SAFETY GLAZING AT BATHROOMS/SHOWER SILL HEIGHTS BELOW 6'-0". EXC. DOORS AND WINDOWS W/ IN 24" OF DOOR JAMB PER GOVERNING CODES
- EXTERIOR FINISH MATERIALS:**
- 11. TYPICAL ROOFING SHALL BE ARCHITECTURAL GRADE 30 YEAR ASPHALT SHINGLES
 - 12. TRUCK - ALUMINUM SETTERS w/ DOWN SPOTS OVER DSB PAVING AND WITH 3/4" FIBRE BOARD UNLESS OTHERWISE NOTED
 - 13. DCR ON DSB RAKE BOARD TYPICAL
 - 14. TYPICAL SIDING - 1" P 1/4" 6" SHINGLED
 - 15. TYPICAL TRIM - 1" P
 - 16. ALL EYE AND RAKE OVERHANGS ARE 1'-0" UNLESS OTHERWISE NOTED.



These drawings were prepared under my supervision and to the best of my knowledge, they comply with all applicable codes.

REV	DESCRIPTION	DATE
ISSUED FOR PERMIT		09-11-24

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2A

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FRONT ELEVATION OPTION "A"
SCALE: 1/4" = 1'-0"



FRONT ELEVATION OPTION "B"
SCALE: 1/4" = 1'-0"



FRONT ELEVATION OPTION "C"
SCALE: 1/4" = 1'-0"



FRONT ELEVATION "D"
SCALE: 1/4" = 1'-0"

ELEVATION NOTES:

- 1. PROVIDE FLASH BLOBS AT ALL DOWN SPOOTS DISCHARGING AT GRADE. NOT TO DISCHARGE ACROSS HAUL-PATH
- 2. PROVIDE DRIP GAPS AT ALL PORCHES AND DOORS
- 3. ALL ROOF SADDLES TO BE SHEATHED W/ BUILDING PAPER AND SHINGLES
- 4. REFER TO FLOOR PLANS FOR DOOR SIZES
- 5. PORCH SIZES ARE AS PER ELEVATIONS. PROVIDER TO VERIFY ALL BEDROOMS HAVE EGRESS PORCH
- 6. ROOF VENTS TO BE SCREENED AND BALANCED W/ INLET AND EXHAUST
- 7. PROVIDE 1" FLASHING ALONG ALL HORIZONTAL TRIM
- 8. PROVIDE GALV METAL FLASHING AT ALL ROOF AND HALL INTERSECTIONS
- 9. FINISH FLE TO BE MIN. 2'-0" ABOVE ANY ROOF SURFACE WITH 1/2'-0" HORIZONTALLY, MIN. 3'-0" PENETRATION ABOVE ROOF.
- 10. SAFETY GLAZING AT BATH/REAR/SWIMMER SILL HEIGHTS BELOW 6' EXC. DOORS AND PORCHES W/ 18" X 24" DOOR/LAND FOR GOVERNING CODES
- EXTERIOR FINISH MATERIALS:
- 11. TYPICAL ROOFING SHALL BE ARCHITECTURAL GRADE 30 YEAR ASPHALT SHINGLES
- 12. TYPICAL - ALUMINUM GUTTERS W/ DOWN SPOOTS OVER DSB FACIA AND WITH IMP PRESH BOARD UNLESS OTHERWISE NOTED
- 13. DO ON DSD RAKE BOARD TYPICAL
- 14. TYPICAL SIDING - 1" X 4" SIDING
- 15. TYPICAL TRIM - 1" X 4"
- 16. ALL EYE AND RAKE OVERHANGS ARE 1'-0" UNLESS OTHERWISE NOTED.

These drawings were prepared under my supervision and to the best of my knowledge, they comply with all applicable codes.

J. E. Gilmore

REV	DESCRIPTION	DATE
	ISSUED FOR PERMIT	05/20/24

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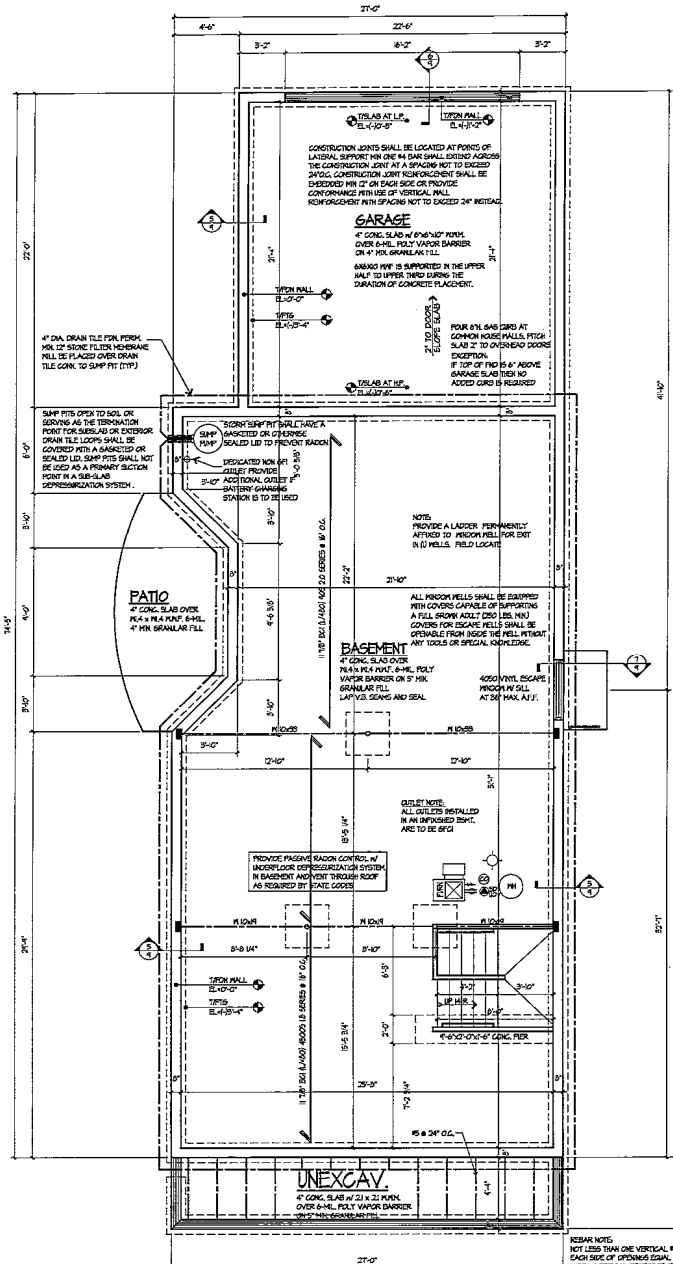
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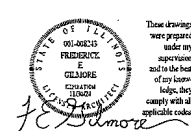
- BASEMENT FND NOTES:**
- DO NOT SCALE DRAWINGS
 - TYPICAL BASEMENT SLAB
 - 4" CONC. SLAB W/ 8" HILL DOWN ON 6" HILL POLY VAPOR BARRIER OVER #4 #4 REBAR FULL OR COMPACTED FILL. GARAGE SLAB
 - 5" THK. IV (REINFORCED) FILL
 - TYPICAL GRAVE
 - 2" BLANK GOLF OVER
 - 4" HILL COVER OVER
 - 4" HILL VAPOR BARRIER
 - TYPICAL FLOOR SLAB
 - 4" CONC. SLAB W/ #4 REBAR @ 24" O.C. OVER COMPACTED FILL
 - PROVIDE DRY GALT DRAINAGE PITCH FOR SLAB (DETERMINED LOCATION)
 - PROVIDE ALL FILL PERMITS
 - PROVIDE DRY GALT DRAINAGE PITCH FOR SLAB (DETERMINED LOCATION)
 - PROVIDE GYPSUM BLOCK OUTS AT STEEL COLUMN LOCATIONS
 - CONTROL JOISTS TO CONSIST OF 12" STRIP OR TROUSLED JOISTS AS SHOWN WITH MIN. DEPTH OF 1/4 OF SLAB THICKNESS
 - ALL ANGLED WALLS AND FOOTINGS ARE AS SHOWN UNLESS OTHERWISE NOTED
 - SLOPE CONCRETE SLAB TO FLOOR DRAINS WITH 1/4" OF DRAIN
 - MECH. TRADES RESPONSIBLE FOR PROVIDING AND LOCATING FOUNDATION SLEEVES. LOCATION OF SLEEVES FOR UTILITIES SHALL BE DETERMINED BY OWNER PRIOR TO CONSTRUCTION IN ACCORDANCE WITH LOCAL CODES.
 - PROVIDE 2"X6 TREATED PLATES ON ALL STEEL UNLESS OTHERWISE NOTED.
 - ALL CONCENTRATED LOADS FROM BEAMS OR SPOKE TRUSSES TO TRANSFER TO FOUNDATION VIA POSTS BEARS ON SLAB FLOORING.
 - BOTTOM OF STEEL COLUMNS (INSIDE A GIRT) SHALL HAVE A GOAT OF RUST INHIBITIVE PAINT ON GEAR.
 - ELECTRICAL PLAN FOR BASEMENT HAS BEEN INCORPORATED IN THE FINISHED BASEMENT PLAN ON SHEET SA.
 - PROVIDE 21 40" LONG #4 REBAR AT TOP & BOTTOM IN FOUNDATION WALL AND AT FOOTING HEADS CHANGES
 - FOR ADDITIONAL NOTES SEE SPECIFICATIONS AND DETAILS

COMPRESSION STRENGTH OF CONCRETE

TYPE OR LOCATION OF CONCRETE CONSTRUCTION	MIN. SPECIFIED COMPRESSION STRENGTH
BASEMENT WALLS, FND & OTHER WALLS NOT EXPOSED TO THE WEATHER	3500
BASEMENT SLABS & INTERIOR SLABS ON GROUND EXCEPT GARAGE FLOOR SLABS	3500
BASEMENT WALLS, FND WALLS, EXTERIOR WALLS & OTHER VERTICAL CONC. EXPOSED TO WEATHER	3000
FOURCES, CARPORT SLABS & STEPS EXPOSED TO THE WEATHER & GARAGE FLOOR SLABS	3500 (AIR-ENRICHED)

MECHANICAL / VENTILATION NOTES:

- EXHAUST HOOD SYSTEMS CAPABLE OF EXHAUSTING IN EXCESS OF 400 CFM PER HOUR SHALL BE PROVIDED WITH MAKE-UP AIR AT A RATE APPROXIMATELY EQUAL TO THE EXHAUST RATE. HIGH MAKE-UP AIR SYSTEMS SHALL BE EQUIPPED WITH A HEAVY DUTY FILTER AND SHALL BE AUTOMATICALLY CONTROLLED TO START AND OPERATE SIMULTANEOUSLY WITH THE EXHAUST SYSTEM.
- SINGLE HOOD MECHANICAL VENTILATION SYSTEMS SHALL BE DESIGNED IN ACCORDANCE WITH SECTION R405.6.4 THROUGH R405.6.6.
- SINGLE HOOD MECHANICAL VENTILATION SYSTEMS SHALL CONSIST OF ONE OR MORE SUPPLY OR EXHAUST FANS OR A COMBINATION AND ASSOCIATED DUCTS AND CONTROLS. LOCAL EXHAUST OR SUPPLY FANS ARE PERMITTED TO SERVE SUCH A SYSTEM. OUTDOOR AIR DUCTS CONNECTED TO THE RETURN SIDE OF AN AIR HANDLER SHALL BE CONSIDERED TO PROVIDE SUPPLY VENTILATION.
- SINGLE HOOD MECHANICAL VENTILATION SYSTEMS SHALL BE PROVIDED WITH CONTROLS THAT ENABLE MANUAL OVERRIDE.
- SINGLE HOOD MECHANICAL VENTILATION SYSTEMS SHALL PROVIDE OUTDOOR AIR AT A CONTINUOUS RATE OF NOT LESS THAN THAT DETERMINED IN ACCORDANCE WITH TABLE R405.6.6.0.
- PROVIDE A MINIMUM SEPARATION OF 10 FEET BETWEEN THE MAKER HEATER FUELS EXCHANGE LOCATION AND THE COMBUSTION AIR INTAKE OPENING FOR THE RANGE.
- OUTDOOR AIR INTAKES AND EXHAUSTS SHALL HAVE AUTOMATIC OR GRAVITY DAMPERS THAT CLOSE WHEN VENTILATION SYSTEM IS NOT OPERATING.



These drawings were prepared under my supervision and to the best of my knowledge they comply with all applicable codes.

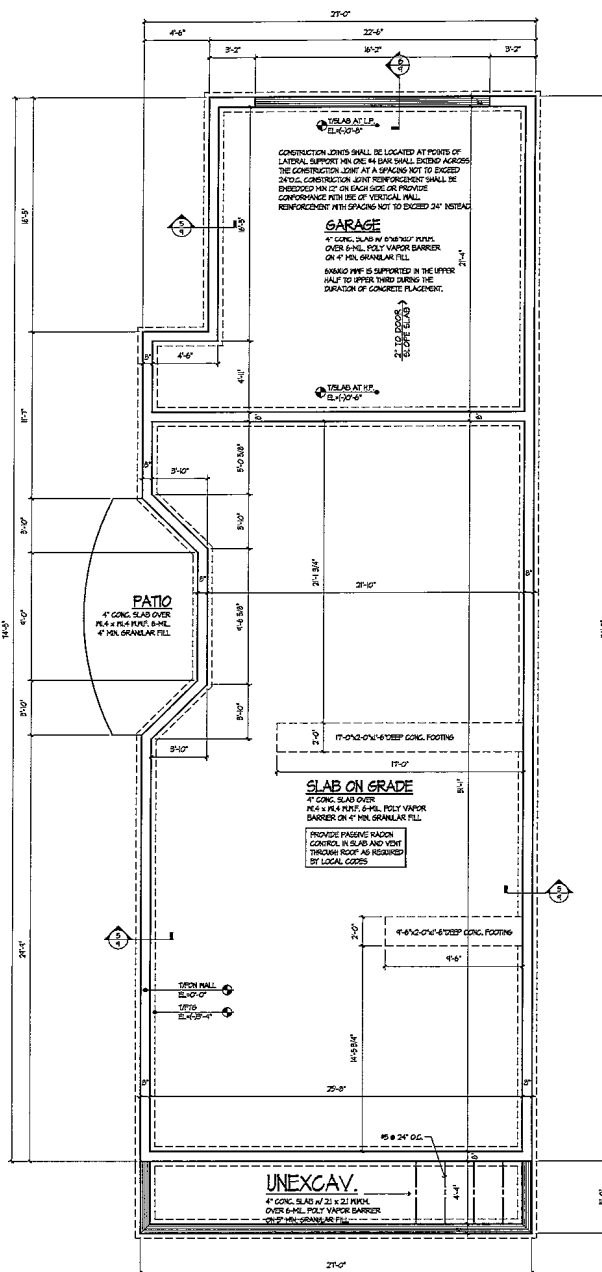
REV.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	03/23/24

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NOTE:
DOUBLE REINFORCEMENT IS TO BE USED ABOVE CORNERS OF MASONRY EXTENDING A MIN. OF 12" BEYOND EACH SIDE OF OPENING (TYP)

REBAR NOTES:
NOT LESS THAN ONE VERTICAL #4 BAR SHALL BE PROVIDED ON EACH SIDE OF OPENING EQUAL TO OR GREATER THAN 8 FEET IN WIDTH. VERTICAL REINFORCEMENT SHALL EXCEED THE FULL HEIGHT OF THE WALL AND BE LOCATED WITHIN 12" OF EACH SIDE OPENING.

ALL VAPOR BARRIERS NOTED ON BASEMENT AND GARAGE SLABS ARE TO HAVE JOINTS LAPPED NOT LESS THAN 12"

COMPRESSIVE STRENGTH OF CONCRETE

TYPE OR LOCATION OF CONCRETE CONSTRUCTION	MIN. SPECIFIED COMPRESSIVE STRENGTH
BASEMENT WALLS AND OTHER WALLS NOT EXPOSED TO THE WEATHER	2500
BASEMENT SLABS & INTERIOR SLABS ON GRADE EXCEPT GARAGE FLOOR SLABS	2500
BASEMENT WALLS, TPO WALLS, EXTERIOR WALLS & OTHER VERTICAL CONC. EXPOSED TO WEATHER	3000
PERGOLAS, CANOPY SLABS & STEPS EXPOSED TO THE WEATHER & GARAGE FLOOR SLABS	3500 (AIR-ENCASED)

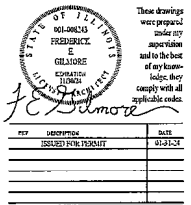
MECHANICAL / VENTILATION NOTES:

- EXHAUST HOOD SYSTEMS CAPABLE OF EXHAUSTING IN EXCESS OF 400 CFM PER FOOT HOOD SHALL BE PROVIDED WITH MAKEUP AIR AT A RATE APPROXIMATELY EQUAL TO THE EXHAUST RATE. EACH MAKEUP AIR SYSTEM SHALL BE EQUIPPED WITH A MEANS IF CLOSED AND SHALL BE AUTOMATICALLY CONTROLLED TO SHUT AND OPERATE SIMULTANEOUSLY WITH THE EXHAUST SYSTEM.
- SINGLE HOOD MECHANICAL VENTILATION SYSTEMS SHALL BE DESIGNED IN ACCORDANCE WITH SECTION 902.5.4 THROUGH 902.5.6.
- SINGLE HOOD VENTILATION SYSTEM SHALL CONSIST OF ONE OR MORE SUPPLY OR EXHAUST FANS OR A COMBINATION AND ASSOCIATED DUCTS. ANY CONTROL S, LOGIC, DEMAND OR SUPPLY FANS ARE PERMITTED TO SERVE SUCH A SYSTEM. OUTDOOR AIR DUCTS CONNECTED TO THE RETURN SIDE OF A VAV AIR HANDLER SHALL BE CONSIDERED TO PROVIDE SUPPLY VENTILATION.
- SINGLE HOOD MECHANICAL VENTILATION SYSTEM SHALL BE PROVIDED WITH CONTROLS THAT ENABLE MANUAL OVERRIDE. SINGLE HOOD MECHANICAL VENTILATION SYSTEM SHALL PROVIDE OUTDOOR AIR AT A CONTINUOUS RATE OF NOT LESS THAN THAT DETERMINED IN ACCORDANCE WITH TABLE 902.5.6(A).

PROVIDE A MINIMUM SEPARATION OF 10 FEET BETWEEN THE WATER HEATER FUELS EXCHANGE LOCATION AND THE EXHAUSTION AIR INTAKE OPENING FOR THE EXHAUST.

OUTDOOR AIR INTAKES AND EXHAUSTS SHALL HAVE AUTOMATIC OR GRAVITY DAMPERS THAT CLOSE WHEN VENTILATION SYSTEM IS NOT OPERATING.

- BASEMENT FINISH NOTES:**
- DO NOT SCALE DRAWINGS UNLESS OTHERWISE NOTED
 - TYPICAL BASEMENT SLAB
 - 4" CONC. SLAB ON 4" GRANULAR FILL
 - 4" MIN. POLY VAPOR BARRIER OVER 4" MIN. GRANULAR FILL ON COMPACTED SAND, GARAGE SLAB
 - IF THE W/ BARRIERS (W/PF)
 - TYPICAL GRAVEL
 - 2" SLAB GOAT OVER
 - 4" MIN. POLY VAPOR BARRIER
 - TYPICAL FLOOR SLAB
 - 4" CONCRETE SLAB W/ REBAR # 4
 - 24" O.C. OVER COMPACTED FILL
 - PROVIDE DRY TAG LAYOUT UNDER FLOOR SLABS (MECHANICAL LOCATIONS)
 - PROVIDE REGULAR BLOCK OUTS AT STEEL COLUMN LOCATIONS
 - CONTROL JOINTS TO CONSIST OF "ZIP STRIP" OR TOoled JOINTS AS SHOWN WITH MIN. DEPTH OF 1/4" OF SLAB THICKNESS
 - ALL ANGLED WALLS AND FOOTINGS ARE 45 DEGREES UNLESS OTHERWISE NOTED
 - SLOPE CONCRETE SLAB TO FLOOR DRAIN WITHIN 1/4" OF DRAIN
 - MECH. TRACES RESPONSIBLE FOR PROVIDING AND LOCATING FOUNDATION SLUBS. LOCATION OF SLUBS FOR STEELS SHALL BE DETERMINED BY BUILDER PRIOR TO CONSTRUCTION IN ACCORDANCE WITH LOCAL CODES
 - PROVIDE 2x6 TREATED PLATES ON ALL STEEL UNLESS OTHERWISE NOTED
 - ALL CONCENTRATED LOADS FROM BEAMS OR GIRDERS TRACES TO TRANSFER TO FOUNDATION VIA POSTS BEAMS OR SOLD BLOCKING
 - LOCATION OF A/C SHALL BE VERIFIED BY BUILDER PRIOR TO CONSTRUCTION IN ACCORDANCE WITH LOCAL CODES. EQUIPMENT SHALL NOT BE LOCATED IN REQUIRED SIDE YARD SETBACKS
 - BOTTOM OF STEEL COLUMN (NGDE) 4 OUT SHALL HAVE A GOAT OF ROST INHIBITIVE PAINT OR EQUAL
 - ELECTRICAL PLAN FOR BASEMENT HAS BEEN INCORPORATED IN THE FINISHED BASEMENT PLAN ON SHEET DA
 - PROVIDE 2x4 LVL LINES IN REAR AT TOP & BOTTOM IN FOUNDATION WALL AND AT FOOTING GRADE CHANGES
 - FOR ADDITIONAL NOTES SEE SPECIFICATIONS AND DETAILS



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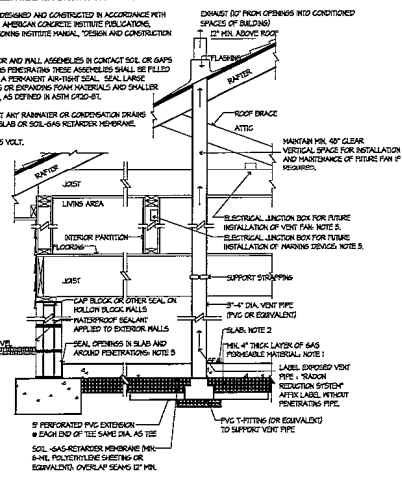
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3A

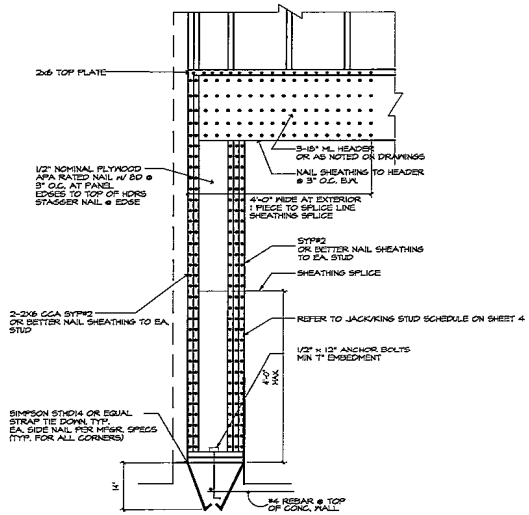
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NOTES:

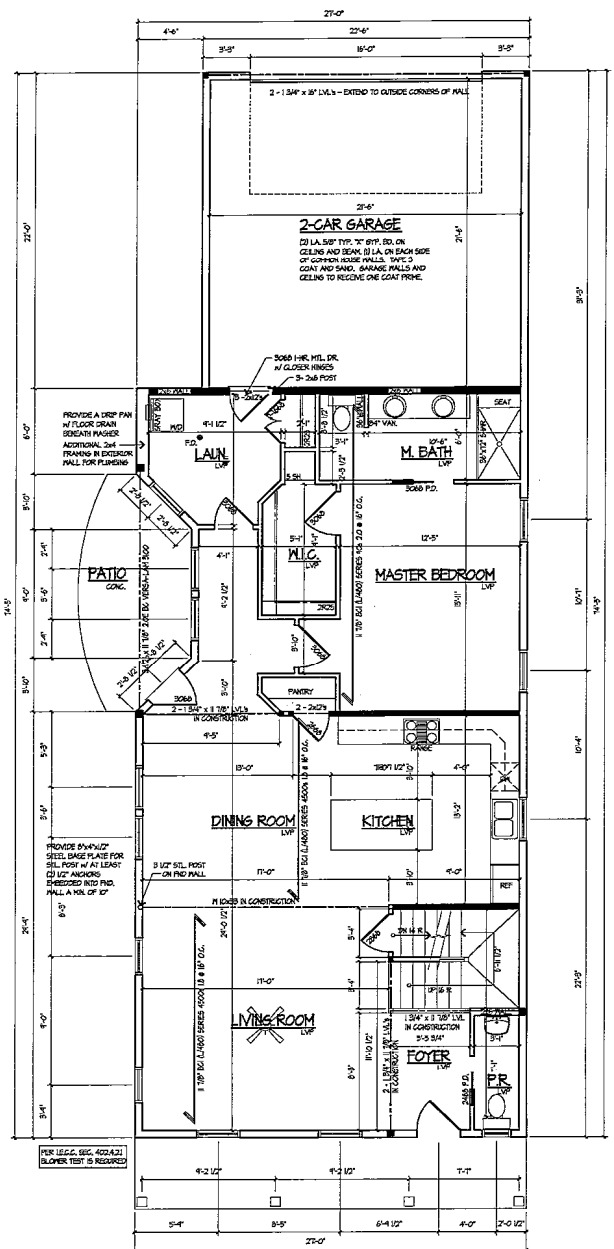
1. ALL CONCRETE SLABS THAT COME IN CONTACT WITH THE GROUND SHALL BE LAID OVER A GAS PERMEABLE MATERIAL MADE UP OF EITHER A MINIMUM 4" THICK UNIFORM LAYER OF CLEAR AGGREGATE OR A MINIMUM 4" THICK UNIFORM LAYER OF SAND OVERLAIN BY A LAYER OR STRIPS OF MANUFACTURED MATTING DESIGNED TO ALLOW THE LATERAL FLOW OF SOIL GASES.
2. ALL CONCRETE FLOOR SLABS SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH LOCAL BUILDING CODES. ADDITIONAL REFS. AMERICAN CONCRETE INSTITUTE PUBLICATION, "ACCESS TO A FLOOR" OR THE MOST RESTRICTIVE NOTICE MANUAL, DESIGN AND CONSTRUCTION OF POST-TENSIONED SLABS ON GROUND.
3. ALL OPENINGS, GAPS AND JOINTS IN FLOOR AND WALL ASSEMBLIES IN CONTACT SOIL OR GAPS AROUND PIPES, TOILETS, BATHUBS OR GROUND PENETRATIONS THESE ASSEMBLIES SHALL BE FILLED OR CLOSED WITH MATERIALS THAT PROVIDE A PERMANENT AIR-TIGHT SEAL. SEAL LARGE OPENINGS WITH NON-SHRINKING MORTAR, GROUTS OR EXPANDING FOAM MATERIALS AND SMALLER GAPS WITH AN ELASTOMERIC JOINT SEALING AS NOTED IN ARCH. GROUND.
4. VENT PIPES SHALL BE DETAILLED SO THAT ANY RAINWATER OR CONDENSATION DRAINS DOWNWARD INTO THE GROUND BEHIND THE SLAB OR SOIL-GAS RETARDER MEMBRANE.
5. GROUTS SHOULD BE A MINIMUM 5 AMP, IS VOLT.



PASSIVE SUB-SLAB DEPRESSURIZATION RADON CONTROL SYSTEM FOR NEW CONSTRUCTION
SCALE: 3/4" = 1'-0"



BRACED WALL PANEL W/ HOLD DOWNS
SCALE: 3/4" = 1'-0" ■ GARAGE DOOR



FIRST FLOOR PLAN

- DOUBLE ALL DOORS UNDER BATHROOM AND LAUNDRY EQUIPMENT.
- ALL INTERIOR WALLS ARE 5/8\"/>

CORNER NOTE:
WHERE A MIN. 2\"/>

WALL BRACING NOTE:
BRACING IS NOTED ON THIS PLAN CONTINUOUS SHEATHING METHOD USING 1/2\"/>

MAIN FLOOR BRACING NOTE:
PROVIDE WOOD BRACING WITHIN THE WALL FRAMING LOCATED 20\"/>

2020 ILLINOIS ENERGY CONSERVATION NOTES:
1. A PERMITS CERTIFICATE SHALL BE POSTED ON OR IN THE ELECTRICAL DISTRIBUTION PANEL WITH ELECTRICAL SERVICE INSPECTION IS COMPLETE PRIOR TO PROVIDING THE SERVICES OF THE MECHANICAL INSTALLER. THE TYPES OF EQUIPMENTS OF HEATING, COOLING, AND SERVICE WATER HEATING EQUIPMENT, MUST BE COMPLETED BY THE MECHANICAL OR A REGISTERED DESIGN PROFESSIONAL.

2. INSULATION AND PENETRATION - THE BUILDING THERMAL ENVELOPE SHALL MEET THE REQUIREMENTS OF TABLE R602.2.
3. AIR LEAKAGE - THE BUILDING THERMAL ENVELOPE SHALL COMPLY WITH IRC R602.2.2.2.
4. ONE PROGRAMMABLE THERMOSTAT FOR EACH SEPARATE HEATING AND COOLING SYSTEM, INITIALLY PROGRAMMED TO MAINTAIN HEAT AND NOT COOLER THAN 55 DEGREES COOLING.
5. AIR SEALS - DUCTS, AIR HANDLERS, AND FILTER BOXES SHALL BE SEALED. DUCT TIGHTNESS TEST - NOT REQUIRED IF DUCTS WITHIN BUILDING THERMAL ENVELOPE.
6. MECHANICAL SYSTEM PRESS - NOT DESIGNED OR GAS DESIGNS INSULATE WITH MINIMUM R-8. CIRCULATING HOT WATER SYSTEM PUMP NOT IN USE SWITCH OFF. HOT WATER PIPE INSULATION R-8.
7. MECHANICAL VENTILATION - THE BUILDING SHALL BE PROVIDED WITH VENTILATION THAT MEETS THE REQUIREMENTS OF TABLE R602.2.2.3. OUTDOOR AIR INTAKES AND EXHAUST SHALL HAVE AUTOMATIC OR GRAVITY DAMPERS. LIGHTING EQUIPMENT - A MINIMUM OF 10% OF THE LAMPS IN PERMANENTLY INSTALLED FIXTURES SHALL HAVE IDENTIFIABLE LAMPS.

WINDOWS, DOORS, AND SLIDING GLASS DOORS SHALL HAVE AN AIR INFILTRATION RATE OF NO MORE THAN 0.3 CFM PER SF. AND SWINGING DOORS NO MORE THAN 0.5 CFM PER SF. PROOF FACTOR SHALL BE 0.30 OR BETTER. LEAVE ALL MANUFACTURER'S INSTRUCTIONS ON WINDOWS AND DOORS UNTIL AFTER INSULATION INSPECTION.

SIZE OF OPENING (FEET-SQUARES)	No. OF JACK STUDS	No. OF KIDS STUDS
0\"/>		

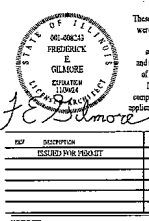
LEAKAGE NOTE:
BUILDING SHALL BE TESTED AND VERIFIED AS HAVING AN LEAKAGE NOT EXCEEDING 5 GPM PER HOUR AFTER CREATION OF ALL PENETRATIONS OF THE BUILDING THERMAL ENVELOPE. TESTING SHALL BE CONDUCTED WITH BUILDING AT A PRESSURE OF 50 PASCALS. A WRITTEN AIR LEAKAGE REPORT SHALL BE PROVIDED TO THE CODE OFFICIAL.

BUILDING SHALL BE PROVIDED WITH VENTILATION THAT MEETS THE REQUIREMENTS OF THE IRC OR IFC. MECHANICAL SYSTEMS AND BEHAVIORS SHALL HAVE AUTOMATIC OR GRAVITY DAMPERS THAT CLOSE WHEN THE VENTILATION SYSTEM IS NOT OPERATING.

A DUCT LEAKAGE TEST IS REQUIRED FOR ANY OUTDOOR OUTSIDE OF THE CONDITIONED SPACE. TEST SHALL BE PERFORMED BY AN APPROVED OUTSIDE AGENY. SHORT TEST RESULTS TO THE VILLAGE FLOOR TO CALLING FOR FINAL INSPECTION.

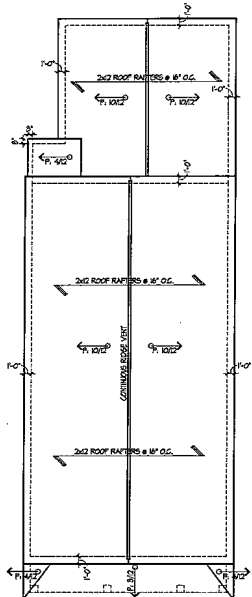
FLOOR PLAN NOTES:

1. ALL INTERIOR NON-LOAD BEARING WALLS TO BE 2x4 STUD @ 16\"/>



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ROOF PLAN

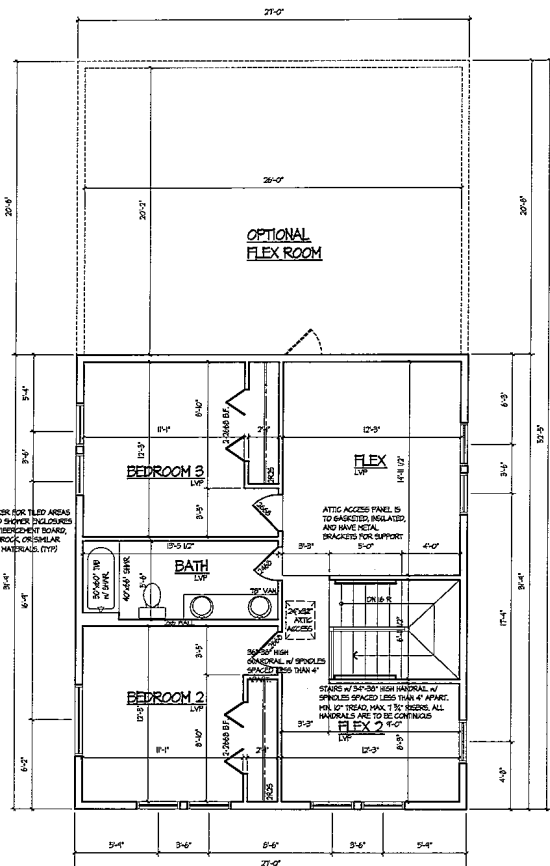
SCALE: 1/8" = 1'-0"

2ND STORY LARGE ROOF
 140 SQ. FT. OF ATTIC AREA TO BE VENTED
 140 X 1000 + 527 SQ. FT. FREE AREA REQUIRED TOTAL
 527 X 144 + 7669 SQ. IN. (2 + 547)B
 374424 + 43 (1) ROOF VENTS (REQUIRED)
 374424 + 1550 (6 SOFFIT VENTS REQUIRED)

GARAGE ROOF
 500 SQ. FT. OF ATTIC AREA TO BE VENTED
 500 X 1000 + 120 SQ. FT. FREE AREA REQUIRED TOTAL
 120 X 144 + 1744 SQ. IN.
 244824 + 102 (1) SOFFIT VENT REQUIRED)

NOTE:
 ALL ROOF TRUSSES ARE TO TRANSFER LOADS TO EXTERIOR WALLS.
 ALL ROOF OVERHANGS ARE TO BE 1'-0" UNLESS NOTED OTHERWISE ON THE ROOF PLAN.

HALL BASKET FOR TILED AREAS OF THE AND SHOWER ENCLOSURES SHALL BE FIBERGLASS BOARD, SUCH AS DURALG, OR SIMILAR APPROVED MATERIALS. (TYP)



SECOND FLOOR PLAN

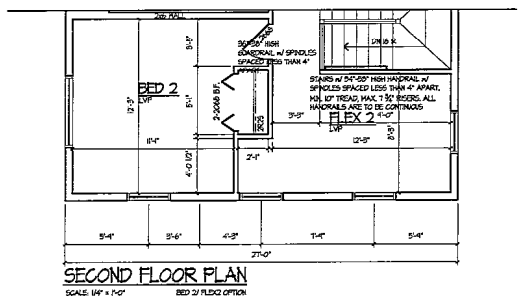
SCALE: 1/4" = 1'-0"

W/AC NOTE:
 R-6 INSULATION REQUIRED OUTSIDE OF BUILDING OR BETWEEN THE DUCT & EXTERIOR FINISH.

HEADER NOTE:
 ALL HEADERS FOR EXTERIOR WINDOWS ARE TO BE INSTALLED DIRECTLY UNDER THE WALL SHED PLATES.

DOUBLE ALL JOISTS OVER BATHS AND LANDSC.

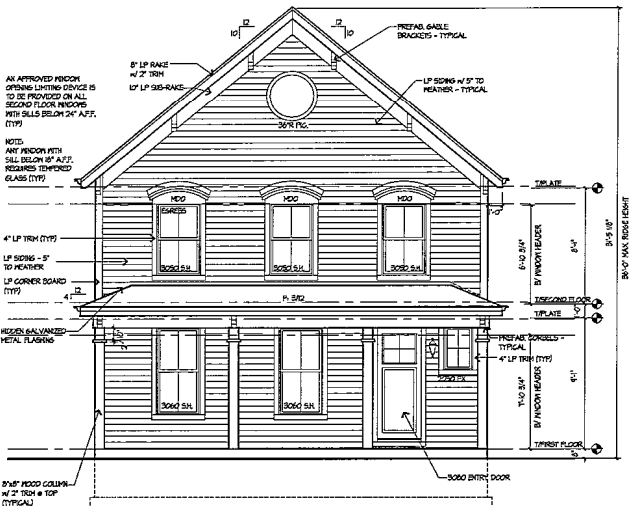
ALL INTERIOR WALLS ARE 3/4\"/>



SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"

NOTE:
 BED 2 FLEX 2 OPTION



FRONT ELEVATION

SCALE: 1/4" = 1'-0"

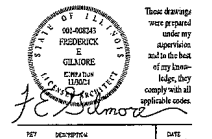
NOTE:
 TOP OF FOUNDATION IS TO BE A MINIMUM OF 6" ABOVE FINISH GRADE (TYPICAL)

NOTE:
 METAL HINGERS OR APPROVED PLASTIC HINGERS AND LEGS FROM THE STREET OR ROAD FRONTING THE PROPERTY (SEE REEL TYPICAL) 4" HIGH HINGERS, COLOR COORDINATED WITH A BACKGROUND.

NOTE:
 FERRETIERS SHALL BE LISTED AND LABELED BY MAKE, MAX AIR INFILTRATION OF WINDOW, DOOR, GATE, AND GLASS DOORS IS 0.3 CFM/SQ. FT. MAX AIR INFILTRATION OF WINDOW DOORS IS 0.5 CFM/SQ. FT.

FLOOR PLAN NOTES:

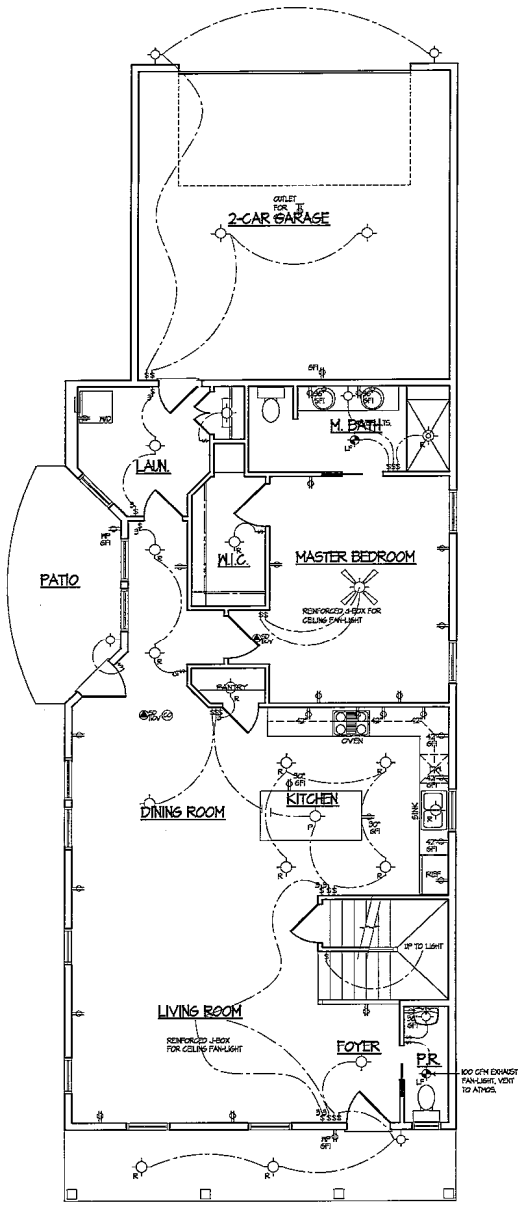
- DO NOT SCALE DRAWINGS
- ALL INTERIOR NON-LOAD BEARING WALLS TO BE 2x4 STUD @ 16" O.C. UNLESS OTHERWISE NOTED
- ALL UNREINFORCED PARTITIONS ARE 3/4" TYPICAL
- ALL ANNEALED PARTITIONS ARE 45 DEGREES UNLESS OTHERWISE NOTED
- 3-2x4x8 INR AT EACH END OF ALL BEAMS AND BRACES JOISTS UNLESS OTHERWISE NOTED. ALL SUCH CONCENTRATED LOADS SHALL BE TRANSFERRED TO FOUNDATION VIA BEAMS, POSTS OR SOLID BLOCINGS.
- ALL EXTERIOR OVERHANGS ARE TO FACE OF BRACING UNLESS OTHERWISE NOTED
- ALL TRUSSES TO BEAR ON EXTERIOR WALLS UNLESS BRACES TRUSSES UNLESS OTHERWISE NOTED
- TRUSS HPS, TO SIZE HEADERS, PARTITIONS, HANGERS AND SET SPACING FOR ALL TRUSSES.
- FRAMING SUPPLIER TO VERIFY AT LEAST ONE FLOOR IN EACH BEDROOM TO HAVE A CLEAR EXCESS OPENING OF 5'-0" HGT, WITH MIN. DIMENSION OF 24" IN HEIGHT AND 24" IN WIDTH AND SHALL BE NO GREATER THAN 44" ABOVE FLOOR.
- WALLS OVER 12 FEET HIGH SHALL HAVE BRACING/BRACES LOCATED AT JOINTS & SHEATHING.
- ALL WALLS/BALUSTERS TO BE SPACED SUCH THAT 4" SPHERE CAN NOT PASS BETWEEN BALUSTERS.
- ALL ELECTRICAL AND MECHANICAL EQUIPMENT 4 METERS ARE SUBJECT TO REGULATION DUE TO FIELD CONDITIONS. CONTRACTOR TO VERIFY.
- ALL WINDOW HEAD HEIGHTS AT 6'-10" UNLESS OTHERWISE NOTED
- PROVIDE 1/2" SOLID CORE 1/2" HEATED STEEL DOOR AT HOUSE TO GARAGE DOOR, W/ GLASS
- ENCLOSURE ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE 5/8" TYPE 304 STAINLESS STEEL GRATING 1/2" ON THE WALLS AND CEILING.
- PROVIDE DOUBLE JOISTS AT PARALLEL PARTITION AND SOLID BLOCING AT PERPENDICULAR PARTITIONS.
- PROVIDE 2x4x12 @ 12" P.L.C. HEADERS OVER ALL EXTERIOR OPENINGS UNLESS OTHERWISE NOTED
- ALL EXTERIOR DOOR, WINDOWS, POSTS, STAIRS, HANDRAILS AND BALUSTERS TO BE PRECAIR TREATED UNLESS OTHERWISE NOTED
- FOR ADDITIONAL NOTES SEE SPECIFICATIONS AND SHEET DETAILS.
- ALL WINDOW AND DOOR SILL LIMITS ARE TO BE 3/4" MINIMUM UNLESS OTHERWISE NOTED.



REV	DESCRIPTION	DATE
ISSUED FOR PERMIT		3/13/21

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1. KITCHEN: ALL 120-VOLT, SINGLE PHASE IS AND 20-AMP RECEPTACLES THAT SERVE COUNTERTOP SURFACES SHALL HAVE A GROUND FAULT CIRCUIT INTERRUPTER PROTECTION FOR PERSONNEL.
2. BATHROOMS: ALL 120-VOLT, SINGLE PHASE IS AND 20-AMP RECEPTACLES INSTALLED NEAR OR IN BATHROOMS SHALL HAVE A GROUND FAULT CIRCUIT INTERRUPTER PROTECTION FOR PERSONNEL.
3. BEDROOM OUTLETS: ALL BRANCH CIRCUITS THAT SUPPLY 120-VOLT, SINGLE PHASE IS AND 20-AMP RECEPTACLES INSTALLED IN BEDROOMS SHALL BE PROTECTED BY AN ARC-Fault CIRCUIT INTERRUPTER LISTED TO PROVIDE PROTECTION OF THE ENTIRE BRANCH CIRCUIT.
4. RECEPTACLES INSTALLED IN THE BELIEF (INCLUDE SECOND FLOOR CEILING) ARE TO BE "0" RATED OR INSTALLED IN A SEALED BOX CONSTRUCTED OF A POLYETHYLENE TEREPHTHALATE (PET) BASED OR INSTALLED IN A SEALED BOX CONSTRUCTED OF A POLYETHYLENE TEREPHTHALATE (PET) BASED OR INSTALLED IN A SEALED BOX CONSTRUCTED OF A POLYETHYLENE TEREPHTHALATE (PET) BASED.
5. METAL TRIMMING IS TO BE PROVIDED FOR REMOTE WATER METER READER. COORDINATE LOCATION WITH BUILDING CONTRACTOR.
6. EXISTING OR PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH EFFICACY LIGHTS.
7. SURFACE MOUNTED INCANDESCENT FIXTURES ARE TO BE INSTALLED NO CLOSER THAN 6" TO THE NEAREST STORAGE SPACE. SURFACE MOUNTED FLUORESCENT FIXTURES ARE TO BE INSTALLED NO CLOSER THAN 1" TO THE NEAREST STORAGE SPACE. INCANDESCENT AND FLUORESCENT FIXTURES WITH COMPLETELY ENCLOSED LAMP NO CLOSER THAN 1" TO NEAREST STORAGE SPACE.
8. ALL 120 VOLT, SINGLE PHASE IS AND 20 AMPERE BRANCH CIRCUITS SUPPLYING OUTLETS INSTALLED IN SWELLING (ANT FANTRY) ROOMS, TRUNK ROOMS, LIVING ROOMS, DINING ROOMS, HALLWAYS, BATHROOMS, BEDROOMS, REAR PORCHES, CLOSETS, HALLWAYS, OR SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY A LISTED ARC-Fault CIRCUIT INTERRUPTER (COOPERATION TYPE) INSTALLED TO PROVIDE PROTECTION OF THE CIRCUIT. ALL RECEPTACLES SHALL BE LISTED TAMPER RESISTANT RECEPTACLES.
9. ALL STAIRWAYS SHALL BE PROVIDED WITH A LIGHT IN THE IMMEDIATE VICINITY OF EACH AND EVERY LANDING OF THE STAIRWAY INCLUDING TOP AND BOTTOM. THE CONTROL FOR THESE LIGHTS SHALL BE A SWAY SWITCH LOCATED AT THE TOP AND BOTTOM OF THE STAIRS.
10. GROUNDING: GROUNDING SHALL BE PROVIDED FOR ALL RANGES, OVENS, WATER HEATERS, LAUNDRY, GARDEN HOSES, DISPOSAL, MICROWAVE, CONVEYOR, COFFIN FREEZER, REFRIGERATION, PIONEER, HEDGE TRIMMERS, IRONS WITH PAPER, STEAM OPERATORS, SHIP AND ELECTRIC TOYS, FANUCIES, AND AIR CONDITIONERS.
11. GROUNDING RECEPTACLES ARE TO BE INSTALLED 60 NO FEET ALONG THE WALL. IS MORE THAN 24" FROM A RECEPTACLE OUTLET.
12. ALL GROUNDING OUTLETS SHALL BE INSTALLED FOR SERVICES OF HEATING AND COOLING AND REFRIGERATION EQUIPMENT.
13. SHOCK ALARM POWER SOURCE SHALL NOT BE CONNECTED TO A DEDICATED CIRCUIT.

ELECTRICAL NOTES:

ALL LIGHT / FAN FIXTURES IN THE BEDROOMS SHALL HAVE A DEDICATED SWITCH THAT OPERATES ONLY THE FAN PER SECTION VAN 314 (M)

A LIGHT FIXTURE SHALL BE INSTALLED WITHIN 5 FEET OF THE ELECTRICAL PANEL PER SECTION VAN 314 (M)

THE DISHWASHER SHALL HAVE A DISCONNECT SWITCH LOCATED ON THE WALL IN THE IMMEDIATE VICINITY OF THE APPLIANCE PER SECTION VAN 312 (B)

WATER PIPES AND GAS PIPE OF THE WATER HEATER SHALL BE PROPERLY GROUNDING.

ALL RECEPTACLES SHALL BE TAMPER RESISTANT.

ALL BEDROOM RECEPTACLES AND SMOKE DETECTORS SHALL BE ARC-FAULT CIRCUIT INTERRUPTER PROTECTED.

GFCI RECEPTACLES IN THE GARAGE SHALL BE 4 FEET ABOVE THE FLOOR.

LIGHTERWEIGHT FAN COORDINATION FIXTURE SHALL HAVE A DEDICATED SWITCH TO OPERATE THE FAN.

PROVIDE ARC-FAULT PROTECTION (AFCI) FOR OUTLETS AND DEVICES IN THE KITCHEN, FAMILY ROOM, OFFICE/DINING ROOM, TRUNK ROOM, LIVING ROOM, BEDROOMS, CLOSETS, PANTRY, HALLS, LAUNDRY ROOM AND HEDROOM. (SEE RES 210.22(A))

THE SMOKE DETECTORS SHALL BE AFCI PROTECTED OR A DEDICATED CIRCUIT.

LOW VOLTAGE PIPING THAT IS INACCESSIBLE SHALL BE IN CONDUIT.

FOLLOWING APPLIANCES AND EQUIPMENT SHALL HAVE A DEDICATED CIRCUIT:

EACH RANGE, EACH AIR CONDITIONER, EACH WATER HEATER, MICROWAVE, DISHWASHER, DISPOSAL, AND OVEN.

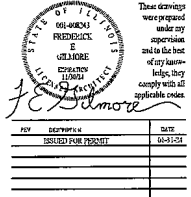
THE FOLLOWING APPLIANCES AND EQUIPMENT SHALL HAVE A DISCONNECT SWITCH: EACH FURNACE, EACH AIR CONDITIONER, EACH WATER HEATER, AND DISHWASHER.

FIRST FLOOR ELECTRICAL PLAN
SCALE: 1/4" = 1'-0"

ELECTRICAL PLAN NOTES:

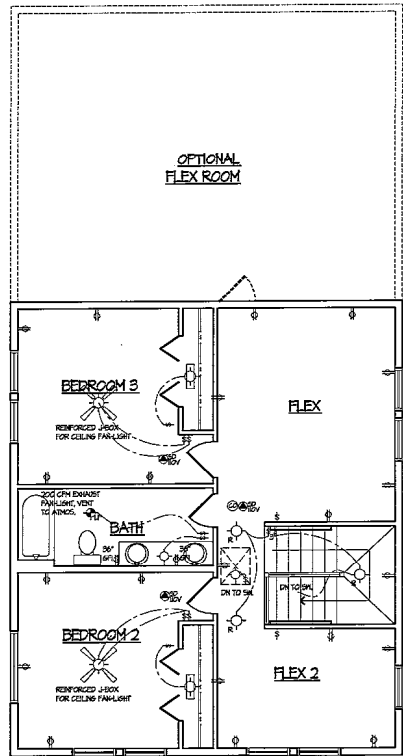
- DO NOT SCALE DRAWINGS
1. ELECTRICAL CONTRACTOR IS TO SUPPLY REQUIRED DIRECT HOODS AND GRILLS.
 2. HVAC CONTRACTOR TO VERIFY THERMOSTAT LOCATIONS.
 3. ALL ELECTRICAL AND MECHANICAL EQUIPMENT ARE SUBJECT TO RELOCATION DUE TO FIELD CONDITIONS.
 4. ALL SMOKE DETECTORS AND CO. DETECTORS TO BE 120 V WIRED IN SERIES W/ BATTERY BACKUP INTERCONNECTED TO ALL OTHERS. MIN 18" OF FROM ALL BEDROOM DOORS. MIN 1 SMOKE DETECTOR PER FLOOR AND ONE IN EACH SLEEPING ROOM.
 5. PROVIDE AND INSTALL LOCALLY CERTIFIED SMOKE DETECTORS AS REQUIRED BY NATIONAL FIRE PROTECTION ASSOCIATION APPAR AND MEETING THE REQUIREMENTS OF ALL GOVERNING CODES.
 6. PROVIDE AND INSTALL GROUND FAULT CIRCUIT INTERRUPTERS (GFI) AS REQUIRED BY NATIONAL ELECTRIC CODE (NEC) AND MEETING THE REQUIREMENTS OF ALL GOVERNING CODES.
 7. GROUND FAULT FOR SERVICE DISTRIBUTION TO BE LOCATED ON STREET SIDE OF WATER METER.
 8. GROUND METER FOR SERVICE DISTRIBUTION GO TO STREET SIDE OF WATER METER AND JAMPER ACROSS METER. METER SOCKET SHALL HAVE DIVISION GROUND ROD.
 9. PROVIDE 1/2" CONDUIT FROM WATER METER THROUGH GARAGE HALLWAY REMOTE METER READER. LOCATE NEAR GUY WIRE. PROVIDE AN EXTERIOR DISCONNECT SWITCH ON THE ELECTRICAL SERVICE.
 10. ALL NON-DEDICATED OUTLETS IN THE GARAGE SHALL BE 20 VOLT, 5 OR 20 AMP GFI PROTECTED RECEPTACLES.
 11. PROVIDE GROUND LAMPS OR ALL FLUORESCENT FIXTURES.

ELECTRICAL SYMBOLS		ALL EXTERIOR W/ GFI OUTLETS SHALL BE DAMPPED W/ IN USE COVERS
SW	SINGLE POLE SWITCH	□ HEAT LAMP
3SW	THREE POLE SWITCH	FAN
4SW	FOUR POLE SWITCH	FAN / LIGHT
SW-1	WEATHER PROOF SWITCH/GROUND FAULT INTERRUPTER	FAN / LIGHT / HEAT LAMP
PC	PHOTOCELL	EMERGENCY LIGHT WITH BATTERY BACKUP
SW-2	WEATHER PROOF OUTLET GROUND FAULT INTERRUPTER W/ IN USE DAMPLE COVER	SURFACE MOUNTED FIXTURE
SO	SINGLE OUTLET	SURFACE MOUNTED FIXTURE WITH PULL CHAIN
DO	DUPLEX OUTLET	WALL MOUNTED FIXTURE
DO-1	DUPLEX OUTLET - ONE HALF SWEPT	RECESSED FIXTURE
DO-2	220 VOLT OUTLET	RECESSED EXTERNAL FIXTURE
TR	THERMOSTAT	□ LIGHT TRAC - NUMBER INDICATES LENGTH (FEET)
JB	JUNCTION BOX	
GD	GARAGE DISPOSAL	
SD	120 VOLT SMOKE DETECTOR INTER-CONNECTED W/ BATTERY BACKUP	24" STRIP LIGHT - NUMBER INDICATES LENGTH (INCHES)
GA	GARSON MONITOR ALARM	
DB	DOOR BELL BUTTON	
DB-1	DOOR BELL CHIMES	
TO	TELEPHONE OUTLET	
TV	CABLE TELEVISION OUTLET	
INT	INTERCOM	
EP	ELECTRICAL PANEL	
EM	ELECTRICAL METER	
WF	INDICATES WATERPROOF	
GF	INDICATES GROUND FAULT INTERRUPT	
		INDICATES WITH SYMBOL, INDICATES HEIGHT ABOVE FLOOR



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SECOND FLOOR ELECT. PLAN
SCALE 1/4"=1'-0"

WATER PIPES AND GAS PIPES OF THE WATER HEATER SHALL BE PROPERLY BORGED.
ALL RECEPTACLES SHALL BE TAMPER RESISTANT.
ALL BEDROOM RECEPTACLES AND SMOKE DETECTORS SHALL BE ARC-Fault CIRCUIT INTERRUPTER PROTECTED.
GFCI RECEPTACLES IN THE GARAGE SHALL BE 4 FEET ABOVE THE FLOOR.
LIGHTSWITCH FAN CONNECTION DETECTOR SHALL HAVE A DEDICATED SWITCH TO OPERATE THE FAN.

- 1. RECEPT. ALL 125-VOLT, SINGLE PHASE IS AND 20-AMP RECEPTACLES THAT SERVE COUNTERTOP SURFACES SHALL HAVE A GROUND FAULT CIRCUIT INTERRUPTER PROTECTION FOR PERSONNEL.
- 2. BATHROOMS: ALL 125-VOLT, SINGLE PHASE IS AND 20-AMP RECEPTACLES INSTALLED SERVICE IN BATHROOMS SHALL HAVE A GROUND FAULT CIRCUIT INTERRUPTER PROTECTION FOR PERSONNEL.
- 3. BEDROOM OUTLETS: ALL BRANCH CIRCUITS THAT SUPPLY 125-VOLT, SINGLE PHASE IS AND 20-AMP RECEPTACLES INSTALLED IN DWELLING UNITS SHALL BE PROTECTED BY AN ARC-Fault CIRCUIT INTERRUPTER LISTED TO PROVIDE PROTECTION OF THE ENTIRE BRANCH CIRCUIT.
- 4. RECESSED FIXTURES: RECESSED FIXTURES INSTALLED IN THE BUILDING ENVELOPE (BEYOND FLOOR CEILING) ARE TO BE INSTALLED OR INSTALLED IN A SEALED BOX COMPOSED OF A MIN. 5/8" THICK WALLBOARD.
- 5. METAL TUBES IS TO BE PROVIDED FOR REMOTE WATER METER READER. COORDINATE LOCATION WITH BUILDING INTERIOR.
- 6. PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH OUTPUT LIGHTS.
- 7. SURFACE MOUNTED INCANDESCENT FIXTURES ARE TO BE INSTALLED NO CLOSER THAN 1' TO THE NEAREST STORAGE SPACE. RECESSED INCANDESCENT AND FLUORESCENT FIXTURES WITH COMPLETELY ENCLOSED LAMP NO CLOSER THAN 1' TO NEAREST STORAGE SPACE.
- 8. ALL 125-VOLT, SINGLE PHASE IS AND 20 AMPERE BRANCH CIRCUITS SUPPLYING OUTLETS INSTALLED IN DWELLING UNIT (FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, HALLWAYS, LIBRARIES, DEN'S, BEDROOMS, BATHROOMS, PORE ROOMS, GUESTS, HALLWAYS, OR SIMILAR ROOMS OR AREAS) SHALL BE PROTECTED BY A LISTED ARC-Fault CIRCUIT INTERRUPTER, CONVENTION TYPE, INSTALLED TO PROVIDE PROTECTION OF THE CIRCUIT. ALL RECEPTACLES SHALL BE LISTED TAMPER RESISTANT RECEPTACLES.
- 9. ALL STAIRWAYS SHALL BE PROVIDED WITH A LIGHT IN THE IMMEDIATE VICINITY OF EACH AND EVERY LANDING OF THE STAIRWAY, INCLUDING TOP AND BOTTOM. THE CONTROLS FOR THESE LIGHTS SHALL BE A SWITCH LOCATED AT THE TOP AND BOTTOM OF THE STAIRS.
- 10. SEPARATE CIRCUITS SHALL BE PROVIDED FOR ALL TRAVELERS, OVEN, WATER HEATERS, LAUNDRY, GARAGE (DISPOSAL, INCUBATOR, COMPACTOR, DRUMMAKER, FOOD PROCESSOR, REFRIGERATOR, WASH DRYER, VACUUM, TUBS WITH PUMPS, STEAM GENERATORS, SUMP AND EJECTOR PUMPS, TRAVELERS, AND AIR CONDITIONERS).
- 11. COUNTERTOP RECEPTACLES ARE TO BE INSTALLED SO NO POINT ALONG THE WALL IS MORE THAN 24" FROM A RECEPTACLE OUTLET.
- 12. A COMMUNICABLE CABLE SHALL BE INSTALLED FOR SERVICES OF HEATING AND CONDITIONING AND RETROFITTING EQUIPMENT.
- 13. SMOKE ALARM POWER SOURCE SHALL NOT BE CONNECTED TO A DEDICATED CIRCUIT.

- ELECTRICAL PLAN NOTES:**
1. DO NOT SCALE DRAWINGS.
 2. ELECTRICAL CONTRACTOR IS TO SUPPLY REQUIRED DIRECT HOOK-UPS AND GROUNDING.
 3. HVAC CONTRACTOR TO VERIFY THERMOSTAT LOCATIONS.
 4. ALL ELECTRICAL AND MECHANICAL EQUIPMENT ARE SUBJECT TO RELOCATION DUE TO FIELD CONDITIONS.
 5. ALL SMOKE DETECTORS AND CO. DETECTORS TO BE 10' MIN. IN SERIES W/ BATTERY BACKUP INTERCONNECTED TO ALL OTHERS. MIN. 18" FROM BEDROOM DOORS. MIN. 1 SMOKE DETECTOR PER FLOOR AND ONE IN EACH ALFERRIO ROOM.
 6. PROVIDE AND INSTALL LOGICALLY GROUPED SMOKE DETECTORS AS REQUIRED BY NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) AND MEETING THE REQUIREMENTS OF ALL GOVERNING CODES.
 7. PROVIDE AND INSTALL GROUND FAULT CIRCUIT INTERRUPTERS (GFCI) AS REQUIRED BY NATIONAL ELECTRIC CODE (NEC) AND MEETING THE REQUIREMENTS OF ALL GOVERNING CODES.
 8. GROUND FAULT FOR SERVICE DISTRIBUTION TO BE LOCATED ON STREET SIDE OF WATER METER.
 9. GROUND WIRE FOR SERVICE DISTRIBUTION GO TO STREET SIDE OF WATER METER AND JAMPER ACROSS METER. METER SOCKET SHALL HAVE DRYVEN GROUND ROD.
 10. PROVIDE 1/2" CONDUIT FROM WATER METER THROUGH EXTERIOR WALL FOR REMOTE METER READER. LOCATE NEAR GAS METER. PROVIDE AN EXTERIOR DISCONNECT SWITCH ON THE EXTERIOR SERVICE.
 11. ALL NON-DEDICATED OUTLETS IN THE BATHROOM SHALL BE 120 VOLT, 15 OR 20 AMP GFI PROTECTED RECEPTACLES.
 12. PROVIDE CLOSED LAMPS ON ALL FLUORESCENT FIXTURES.

ELECTRICAL SYMBOLS		ALL EXTERIOR WP MFI OUTLETS SHALL BE EQUIPPED WITH "MISC COVERS"	
1-P	SINGLE POLE SWITCH	[Symbol]	HEAT LAMP
3-P	THREE POLE SWITCH	[Symbol]	FAN
4-P	FOUR POLE SWITCH	[Symbol]	FAN / LIGHT
1-P	WEATHER PROOF OVERHEAD/GROUND FAULT INTERRUPTER	[Symbol]	FAN / LIGHT / HEAT LAMP
1-P	PHOTOCELL	[Symbol]	EMERGENCY LIGHT WITH BATTERY BACKUP
1-P	WEATHER PROOF OUTLET GROUND FAULT INTERRUPTER W/ IN USE INDICATOR COVER	[Symbol]	SURFACE MOUNTED FIXTURE
0	SINGLE OUTLET	[Symbol]	SURFACE MOUNTED FIXTURE WITH FULL CHAIN
1-0	DUPLEX OUTLET	[Symbol]	HALL HEATED FIXTURE
1-0-1/2	DUPLEX OUTLET - ONE HALF SWITCHED	[Symbol]	RECESSED FIXTURE
2-0	220 VOLT OUTLET	[Symbol]	RECESSED CYMBAL FIXTURE
1-0-1	THERMOSTAT	[Symbol]	2. LIGHT TRACK - NUMBER INDICATES LENGTH (FEET)
1-0-1	JUNCTION BOX	[Symbol]	
1-0	GARBAGE DISPOSAL	[Symbol]	
[Symbol]	110 VOLT SMOKE DETECTOR INTER-CONNECTED W/ BATTERY BACKUP	[Symbol]	24. STRIP LIGHT - NUMBER INDICATES LENGTH (FEET)
[Symbol]	CARBON MONOXIDE ALARM	[Symbol]	
1-0-0	DOOR BELL RINGER	[Symbol]	
1-1	DOOR BELL CHIMES	[Symbol]	
1-1	TELEPHONE OUTLET	[Symbol]	
1-1-1	NEW CABLE TELEVISION OUTLET	[Symbol]	
1-1-1	INTERCOM	[Symbol]	
[Symbol]	ELECTRICAL PANEL	[Symbol]	
[Symbol]	ELECTRICAL METER	[Symbol]	

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7

ROOF CONSTRUCTION

2" O.C. MIN. MINERAL WOOL INSULATION OVER 2" O.C. MIN. 1/2" ASPHALT IMPREGNATED BUILDING FELT 5/8" EXT. GRADE PLYWOOD DECKING
 1/2" O.C. MIN. ROOF RAFTERS AT 16" O.C. ROOF BATTLES AT EVERY CAVITY.
 6" MIN. FIBERGLASS INSULATION IN INTERIOR, 1/2" O.C. MIN. WALL CEILING, ICE AND WATER SHEED OR APPROVED EQUAL, TO BE APPLIED HORIZ. AT SLOPE UP SLOPE OF ROOF TO A POINT 2" MIN. INSIDE EXTERIOR WALL. VERT. LAPS TO BE MIN. 5", HORIZ. LAPS TO BE MIN. 6" ICE AND WATER SHEED OR APPROVED EQUAL TO BE APPLIED TO ALL VALLEYS.

FASCIA AND SOFFIT

ALUMINUM BUTTER & COMPOUNTS OVER 1/2" FASCIA OVER 1/2" SOFFIT IN INTERNAL VENTS 1/2" 1" TRIM BOARD OVER 1/4" SUB-RACE - 1/2"

WHERE DRAIN VENTS ARE INSTALLED, INSULATION SHALL NOT BLOCK THE FRESH FLOW OF AIR. A MIN. OF 1" SPACE SHALL BE PROVIDED BETWEEN THE INSULATION AND ROOF SHEATHING AT THE LOCATION OF THE VENT.

INSULATION BATTLES WITH WIND BLOCK BELOW ARE TO BE PROVIDED ADJACENT TO SOFFIT AND DRAIN VENTS. BATTLES SHALL MAINTAIN AN OPENING EQUAL OF GREATER THAN THE SIZE OF THE VENT.

SECOND FLOOR CONSTRUCTION

1" 18" 2X4 FLOOR JOISTS (SEE FLOOR PLAN FOR SPACING) WITH 3/8" RIN JOIST 5/8" TYPE "X" GYPSON BOARD CEILING GULED AND SCREWED TO UNDERSIDE OF FLOOR JOISTS

NOTE:
 FIBERGLASS IS TO BE INSTALLED AS REQUIRED FOR 3002 U.L.C. RATED (TYPICAL AT ALL LOCATIONS)
 FIBERGLASS AT THE MIN HEIGHT OF EVERY 18" WITH 2 X FLOOR BLOCKING, EVERY 30" SPACING ALL AREAS, OR PROVIDE WATER RESISTANT 5/8" 5/8" OR 1/2" DURALCO COMPLETELY DOWN TO THE FLOOR BEAM ALL AREAS AND HANGER STAYS FOR PROPER PRESTRESSING OR USE OTHER APPROVED MATERIALS.

FRAME WALL CONSTRUCTION

1" 1/2" CONCRETE ELEVATIONS FOR FINISH OVER 1" 1/2" REBAR FOR EQUAL TAVE AROUND ALL WINDOW AND DOOR OPENINGS. PROVIDE R-30 BATT INSULATION IN WALL CAVITIES W/ MINERAL WOOL ON INSIDE SIDE OF WALL, 1/2" CONTINUOUS GDS SHEATHING, 2x6 WOOD STUDS @ 16" O.C. W/ 5/8" TYPE "X" GYPSON BOARD FINISH

R-30 INSULATION REQUIRED IN EXPOSED FLOORS, ALL LOCATIONS

FIRST FLOOR CONSTRUCTION

MIN OF (2) LAYERS OF PLYWOOD TOTAL 1/2" THICKNESS CONSISTING OF 5/8" + 1/2" OR (2) LAYERS OF 5/8" HANDBOOK FLOORING MAY BE SUBSTITUTED FOR SECOND LAYER OF PLY. NO. WHEN 5/8" SUB-FLOOR IS USED DURALCO MAY BE SUBSTITUTED FOR SECOND LAYER OF PLY NO TILED AREAS WHEN 5/8" SUB-FLOOR IS USED 1/2" UNDERLAYMENT IN TILED AREAS 2" O.C. FLOOR JOISTS (SEE FLOOR PLAN FOR SPACING) WITH 3/8" RIN JOIST 5/8" TYPE "X" GYPSON BOARD CEILING GULED AND SCREWED TO UNDERSIDE OF FLOOR JOISTS

R-30 INSULATION REQUIRED IN EXPOSED FLOORS, ALL LOCATIONS

GILL PLATE

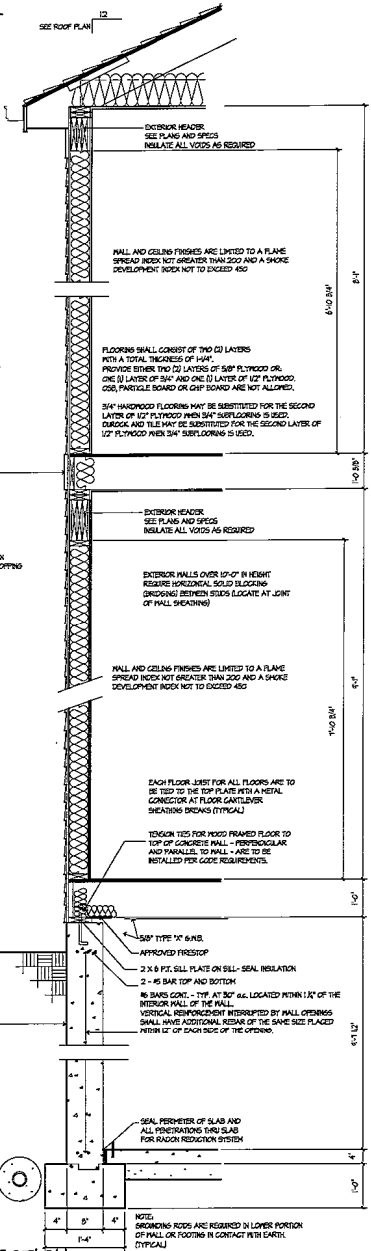
CONCRETE PRECASTER TREATED GILL PLATE W/ SEAL SEALER 1/2" DIA. X 1/2" ANCHOR BOLTS W/ NUTS & WASHERS @ MAX. 8" O.C. W/ 1/2" MIN. CONCRETE MIN. 2" FOR DRIVING DRINK MIN. 1" IN CONC.

DELTA HYPERSEAL DAMP PROOFING OR APPROVED EQUAL, DRAINED OVER FOUNDATION WALL

CONCRETE SLAB CONSTRUCTION

4" CONC. SLAB W/ #4 @ 18" & #4 PLANT, 5/8" 1/2" W/ 1/2" BARRER - LAP ALL LEGS OF EACH DIRECTION FOR RADON SYSTEM OVER MINIMUM 4" COMPACTED GRAVEL OVER COMPACTED SAND (GRAVEL TO BE MINIMUM 4" FINISHED STONE)

4" DRAIN TILE ON OUTSIDE OF FOOTING MINIMUM 1/2" GRAVEL COVER SELF-SEALING WRAP UTILIZATION OF FITTINGS # ALL CONNECTIONS IS REQ'D.



1 FRAME WALL SECTION
 SCALE: 3/4" = 1'-0"

ROOF CONSTRUCTION

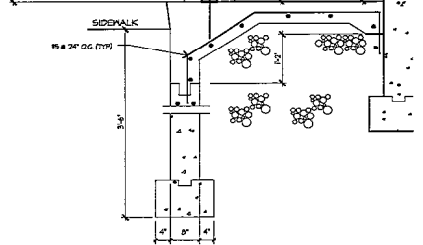
STANDING SEAM METAL ROOF INSTALLED PER MANUFACTURERS REQUIREMENTS OVER ASPHALT IMPREGNATED BUILDING FELT 5/8" EXT. DECKING, 2x6 RAFTERS @ 16" O.C. ICE AND WATER SHEED OR APPROVED EQUAL TO BE APPLIED HORIZ. AT SLOPE UP SLOPE OF ROOF, VERT. LAPS TO BE MIN. 5", HORIZ. LAPS TO BE MIN. 6"

FASCIA AND SOFFIT

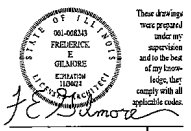
ALUMINUM BUTTER & COMPOUNTS 1/2" FASCIA OVER 1/2" SOFFIT IN INTERNAL VENTS

12" CEDAR OR BULL-HEAD POPEY COLUMN W/ 6" WOOD BASE AND 1/2" CAP

1/2" ANCHOR BOLTS W/ NUTS & WASHERS TO BE PROVIDED AT 8" O.C. FOR ALL PORCH COLUMNS (TYP. OF 4)



2 PORCH SECTION
 SCALE: 3/4" = 1'-0"

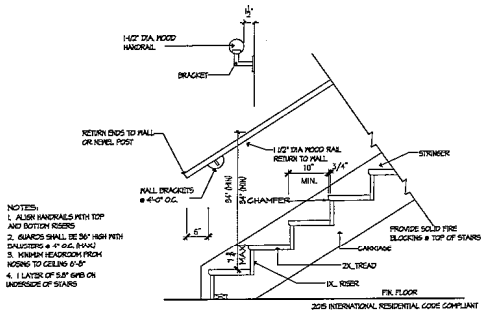


These drawings were prepared under my supervision and to the best of my knowledge, they comply with all applicable codes.

Fredrick Gilmore

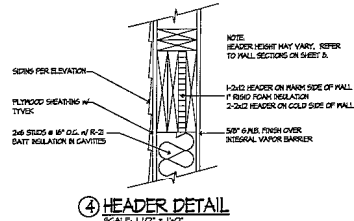
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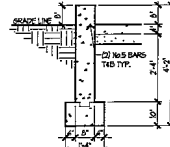


① STAIR DETAIL
SCALE: 3/4\"/>

- NOTES:
1. ALIGH HANDRAIL WITH TOP AND BOTTOM RISERS
2. GUARDS SHALL BE 36\"/>

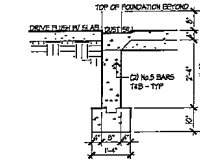


④ HEADER DETAIL
SCALE: 1/2\"/>

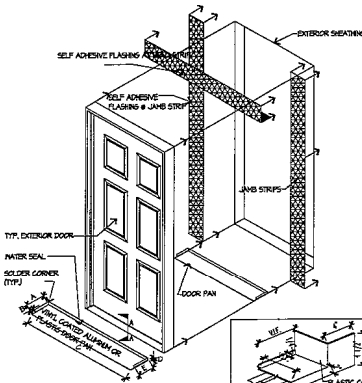


⑤ FND. AT GARAGE
SCALE: 1/2\"/>

NOTE:
TOP OF FOUNDATION IS TO BE A MINIMUM OF 6\"/>



⑥ GARAGE OPENING
SCALE: 1/2\"/>



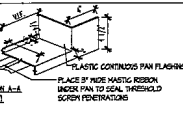
② TYP. DOOR FLASHING
SCALE: 1/2\"/>

HOUSE WRAP FLAP CUT TO PERPENDICULARLY SECURED FLIP DOWN AND SECURE AT JOINT. FLASHING IS INSTALLED SEPARATELY OR FINISHING OVER WITH HEAD FLASHING.

APPLY CONTINUOUS BEAD OF GCAULK TO MALL OR BACK SIDE OF INTERLOCKING FLANGE. ADDRESS JAMBS AND HEAD. DO NOT APPLY GCAULK ACROSS BOTTOM GILL FLANGE.

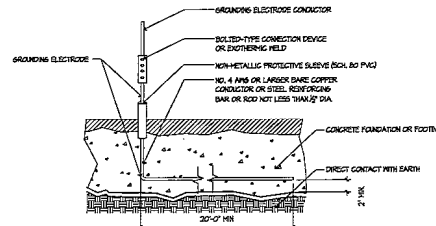
INSTALL HOODS PER MFR. INSTRUCTIONS.

INSTALL ONE PIECE OF FLEEWRAF FOR HEAD FLASHING. EXTEND BEYOND OUTER EDGE OF JAMB FLASHING.



NOTE:
GCAULK TO SEAL REAR OF WINDOW FRAME TO INSIDE OF ROUGH OPENING ACROSS BOTTOM AND A MINIMUM OF 2\"/>

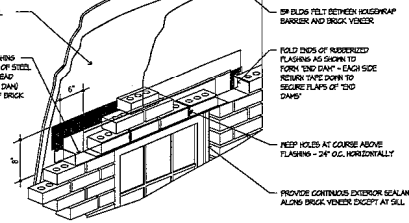
③ TYP. WINDOW FLASHING
SCALE: 1/2\"/>



⑦ UFER GROUND DETAIL
SCALE: NO SCALE

DETAIL NOTES:
1. CONCRETE-ENCASED ELECTRODE. AN ELECTRODE LOCATED BY AT LEAST 2 INCHES DOWNSHIP OF CONCRETE. LOCATED WITHIN AND NEAR THE BOTTOM OF A CONCRETE FOUNDATION OR FOOTING THAT IS IN DIRECT CONTACT WITH THE EARTH. CONSISTING OF AT LEAST 30 FEET (9.1 M) OF ONE OR MORE BARS OR 2 INCH GALVANIZED OR OTHER ELECTRICALLY CONDUCTIVE GALVANIZED STEEL REINFORCING BARS OR RODS OF NOT LESS THAN 1/2 INCH (12.7 MM) DIAMETER OR CONSISTING OF AT LEAST 20 FEET (6.1 M) OF SWEET COPPER CONDUCTOR NOT SMALLER THAN NO. 4. SEE PLANS FOR SIZE OF CONDUCTOR IF DIAMETER SMALLER THAN 1/4 INCH.

GROUNDING ELECTRODE CONDUCTOR
BOLTED-TYPE CONNECTION DEVICE OR EQUIVALENT FIELD
NON-METALLIC PROTECTIVE SLEEVE EQUAL OR BARGER
NO. 4 AWG OR LARGER SWEET COPPER CONDUCTOR OR STEEL REINFORCING BAR OR ROD NOT LESS THAN 1/4\"/>



⑧ THRU-WALL FLASHING @ WINDOW
SCALE: 1/2\"/>

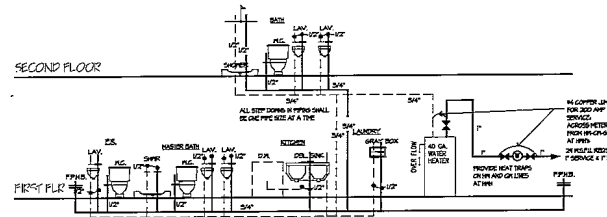
HOUSEWRAP BARREX TAPE. ALL JOINTS PER MFR. SPECS. ON EXTERIOR SEWING.

RUBBERIZED THRU-WALL FLASHING. EXTEND BEYOND EXTERIOR FACE OF WALL AND TRAP WEAP JOINT TO FACE OF BRICK (END DAM) AND 1/8\"/>

FOLD OVER OF HOUSEWRAP FLASHING AS SHOWN TO FORM \"END DAM\" - EACH SIDE REMAIN ONE DOWN TO SECURE FLAPS OF \"END DAM\".

WEEP HOLES AT COURSE ABOVE FLASHING - 3/8\"/>

PROVIDE CONTINUOUS EXTERIOR SEAWRAF ALONG BRICK VENEER EXCEPT AT ALL

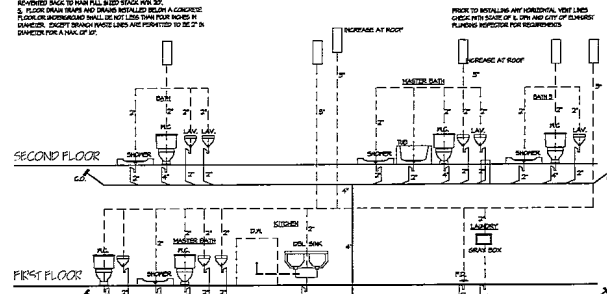


SUPPLY DIAGRAM
NO SCALE

1. BUBBLE STOPPER SHALL HAVE A FULL SIZE CLEAN-OUT (8\")
2. A NON-RETURN VALVE SHALL NOT BE USED ON THE INTERIOR SIDE OF THE SHOWER
3. SHOWER PIPING SHALL BE INSTALLED IN A CONCRETE FLOOR OR SCHEDULE 40 PIPE. ALL EXTERIOR DROPS VISION SHALL BE THE OTHER. A 1/2\"/>

LEGEND:
HOT WATER
COLD WATER

PLUMBING MATERIALS:
WATER PIPE: POLYPROPYLENE - PER APPLICABLE CODES
WATER PIPE: GALVANIZED STEEL - PER APPLICABLE CODES
WATER PIPE: COPPER - PER APPLICABLE CODES
WATER PIPE: BRASS - PER APPLICABLE CODES
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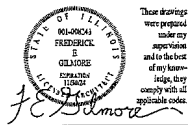


WASTE DIAGRAM
NO SCALE

LEGEND:
VENT
WASTE

NOTES:
PROVIDE ONE VENT PIPE AT ALL FIXTURES
PROVIDE AN AIR GAP ABOVE ALL FIXTURES
PROVIDE AN AIR GAP ABOVE ALL FIXTURES
ALL WASTE SHALL BE EQUIPPED PER MFR. INSTRUCTIONS

LATERAL SANITARY SEWER USE POLYPROPYLENE FOR ALL SIZES. AS FROM THE MAIN WALL FOR THE FIRST TEN FEET FOR WASTE TO INSURE THE WASTE LINE IS IN SCHEDULE 40 PIPE. THE REMAINING PORTION OF THE MAIN WALL SHALL BE SCHEDULE 40 PIPE. THE MAIN WALL SHALL BE SCHEDULE 40 PIPE. THE MAIN WALL SHALL BE SCHEDULE 40 PIPE.



These drawings were prepared under my supervision and to the best of my knowledge, they comply with all applicable codes.

REV	REVISION/DATE	DATE
	ISSUED FOR PERMIT	05/23/23

Rick Gilmore, F.A.S.A.
Vice President of the Association of Licensed Architects
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GENERAL REQUIREMENTS

- A. Furnish all labor, materials, tools, insurance and permits necessary to complete the work as shown and as reasonably implied by the drawings, specifications, notes and required by any code with jurisdiction to complete the scope of work...
B. The General Contractor is solely responsible for dimensional accuracy. All differences in indicated dimensions or conditions to be reviewed and specified in writing to the Architect prior to the commencement or continuation of work...
C. Any condition from these drawings and specifications without prior written consent of the Architect shall be the responsibility of the Contractor and will nullify and void any architectural certification pertaining to this project.

1. CODES All work shall comply with the following:

- A. All Applicable Local, State, County and Federal Codes, Ordinances, Laws, Regulations and Executive Orders governing the site of work...
B. Before final Construction Documents are issued for construction, they shall be submitted to all governing bodies having jurisdiction over all applicable local and national codes, if code discrepancies in the Construction Documents appear, the Architect shall be notified at such discrepancies in writing by the Contractor or building official and allowed to alter the Construction Documents so as to comply with governing codes before construction begins...
C. If code discrepancies are discovered during the construction process, the Architect shall be notified in writing and allowed ample time to remedy said discrepancies.

2. INTENTION

- A. The intention of these documents is to include all labor, materials and services, necessary for complete and proper execution of the Work indicated on the Construction Documents or reasonably inferred therefrom...
B. The Architect shall not have control over or charge of and shall not be responsible for construction means, methods, techniques, sequences or precautions, or for safety precautions and programs in connection with the work...
C. All Contractors, Subcontractors, Suppliers and Fabricators shall be responsible for the content of the Construction Documents, and for the supply and design of appropriate materials and shall insure that all materials and equipment to be used conform to the quality of materials and methods and shall replace any materials or items damaged by Contractor's performance...
D. All Subcontractors work shall be of quality to meet specifications or of any other criteria work and to successfully complete the execution of the Work...
E. All Contractors, Suppliers and Fabricators shall be responsible for the quality of materials and methods and shall replace any materials or items damaged by Contractor's performance...
F. All Contractor work shall be of quality to meet specifications or of any other criteria work and to successfully complete the execution of the Work...
G. All Contractor work shall be of quality to meet specifications or of any other criteria work and to successfully complete the execution of the Work...
H. All Contractor work shall be of quality to meet specifications or of any other criteria work and to successfully complete the execution of the Work...
I. All Contractor work shall be of quality to meet specifications or of any other criteria work and to successfully complete the execution of the Work...
J. All Contractor work shall be of quality to meet specifications or of any other criteria work and to successfully complete the execution of the Work...

3. DESIGN LOADS

Table with 4 columns: Item, Description, Minimum, Maximum. Includes Floor, Roof, Wind, and Seismic loads.

4. PLANS AND SPECIFICATIONS

- A. NOT SCALE DRAWINGS: Written dimensions always take precedence over scaled dimensions. These plans, details, and specifications remain the property of the Architect and may not be altered in any way without the written consent of the Architect.

5. SITE WORK

- A. Excavation, filling, backfilling, rough grading and final grading shall be performed and the site returned to the grade as directed by the Contractor...
B. Backfill materials shall be earth, free of debris, roots, organic matter and frozen substances...
C. Provide complete compaction of the top 8" of subgrade, all fill and backfill...
D. Provide foundation drainage at the perimeter of excavated basement areas using 4" minimum diameter exterior pipe and appropriate fittings...
E. Keep all excavations free from water. Remove from the construction site all unutilized soil, debris and materials...
F. Do not place fill on muddy or frozen areas. Fill only after all subsoil installations have been completed...
G. Do not place fill in horizontal layers not exceeding 12 inches and compact to 95% minimum density at optimum moisture.

CONCRETE

- A. All work to be done as indicated in the drawings and in accordance with accepted standards of good practice, governing codes and shall comply with the following: ALL CONCRETE TO BE 6 BAG MIX

- A. Reinforced Concrete: ASTM C84. Unless noted otherwise, concrete shall have a 28 day compressive strength of 3,000 PSI...
B. Reinforcing Steel: ASTM A615, Grade 60, deformed bars...
C. Welded Wire Fabric: ASTM A185, 6 on 6 in. to 8 in. to 10 in. GAUGE FLOOR TO HAVE 6 X 6 8/9 W/F...
D. Copper Anode: ASTM A505, 1/4" thickness...
E. Mesh: #4 or #5...
F. Vapor Barrier: 6 mil polyethylene sheet...
G. Expandable Shrinker: Asphalt saturated fiber filler strips, 1/2" inch thick by the full thickness of the slab...
H. Concrete Finish: Install concrete slabs with finish grade. Scream the surface with a straightedge, level to required level, and steel trowel to a smooth finish...
I. Curing: Protect flat surfaces, not in contact with forms, against loss of moisture...
J. Sumo for normal weight concrete shall be as follows: 1. Footings, walls and walls 4 in. - 8 in. 2. Slabs 8 in. - 12 in. 3. If mechanical vibrators are used, reduce slump by one inch.

MASONRY

Provide masonry veneer on concrete per local codes.

METALS

All structural steel shall comply with appropriate ASTM specifications as follows:

ASTM A36, ASTM A33, ASTM A307 and ASTM A572.

CARPENTRY AND MILLWORK

Furnish all labor, material and equipment necessary to complete work as shown on the Construction Documents and/or specified manufacturer and listed below.

1. SCOPE

- A. All work is to conform to all governing codes and the following: The Woodwork Kit Manual of the Woodwork Products Association for selection and use of products included in that manual...
B. All wood indicated as "Fire Retardant" shall be fire retardant preservative treated...
C. All wood indicated as "Fire Retardant" shall be fire retardant preservative treated...
D. "Standard Specifications for Grades of California Redwood Lumber" of the Redwood Inspection Bureau for Redwood...
E. Western Pine Lumber Association standards and specifications for cedar.

2. GRADING

- A. Provide lumber and materials meeting or exceeding the following standards of quality. All framing members shall be grade stamped...
B. Minimum Insulation Requirements: 1. Medium Density Fiberboard - 1,000,000 PSI 2. Rigid Insulation - 150 PSI 3. Rigid Insulation - 150 PSI 4. Rigid Insulation - 150 PSI 5. Rigid Insulation - 150 PSI 6. Rigid Insulation - 150 PSI 7. Rigid Insulation - 150 PSI 8. Rigid Insulation - 150 PSI 9. Rigid Insulation - 150 PSI 10. Rigid Insulation - 150 PSI 11. Rigid Insulation - 150 PSI 12. Rigid Insulation - 150 PSI 13. Rigid Insulation - 150 PSI 14. Rigid Insulation - 150 PSI 15. Rigid Insulation - 150 PSI 16. Rigid Insulation - 150 PSI 17. Rigid Insulation - 150 PSI 18. Rigid Insulation - 150 PSI 19. Rigid Insulation - 150 PSI 20. Rigid Insulation - 150 PSI 21. Rigid Insulation - 150 PSI 22. Rigid Insulation - 150 PSI 23. Rigid Insulation - 150 PSI 24. Rigid Insulation - 150 PSI 25. Rigid Insulation - 150 PSI 26. Rigid Insulation - 150 PSI 27. Rigid Insulation - 150 PSI 28. Rigid Insulation - 150 PSI 29. Rigid Insulation - 150 PSI 30. Rigid Insulation - 150 PSI 31. 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SLADE STREET CROSSING

PLAN 544

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DATE PAGES REVISED

DATE	PAGES REVISED
04-24	ISSUED FOR PERMIT

CODES

APPLICABLE BUILDING CODES

- 2015 INTERNATIONAL RESIDENTIAL CODE w/ AMENDMENTS EXISTING BUILDINGS AND STRUCTURES, APPENDIX J
- 2015 INTERNATIONAL MECHANICAL CODE w/ AMENDMENTS
- 2015 INTERNATIONAL FUEL GAS CODE
- 2016 INTERNATIONAL ENERGY CONSERVATION CODE
- 2017 NATIONAL ELECTRICAL CODE w/ AMENDMENTS
- 2014 ILLINOIS PLUMBING CODE w/ AMENDMENTS
- VILLAGE OF PALATINE CODE OF ORDINANCES

OCCUPANCY

R3 - RESIDENTIAL

CLIMATIC AND GEOGRAPHICAL DESIGN CRITERIA

Ground Snow Load: 30 psf
 Wind Speed: 90 mph - 3 second gust
 Seismic Category: A
 Weathering: Severe
 Frost Line Depth: 48"
 Termites - Moderate
 Winter Design temp: -4 F
 Ice Barrier Underlayment Required: Yes
 Air Freezing Index: 1750
 Mean Annual temp: 50 F

PLUMBING FIXTURE COUNT	TYPE	NO. PERmitted	NO. INSTALLED	NO. REMOVED
WATER CLOSERS	3	3	4	1
LAUNDERS	3	1	2	2
WATER HEATERS	2	2	4	4
WATER SINKS	1	2	2	2
WATER TOILETS	1	1	1	1
WATER URINALS	1	1	1	1
WATER SINKS	2	2	2	2

DESIGN LOADS

Roof:	Live Load	40 PSF Minimum
	Dead Load	10 PSF Minimum
Roof:	Live Load	30 PSF Minimum
Slab:	Bearing Capacity	3,000 PSF Minimum
	Bearing Capacity - SEVERE AREAS	3,500 PSF Minimum

DISTRIBUTIVE LIVE LOADS

ATTICS w/ LIMITED STORAGE	20 P.S.F.
ATTICS w/o STORAGE	10 P.S.F.
ATTICS HABITABLE	40 P.S.F.
DECKS	60 P.S.F.
EXTERIOR BALCONIES	80 P.S.F.
STAIRWAYS AND HALLWAYS	200 P.S.F.
ROOMS OTHER THAN SLEEPING	40 P.S.F.
SLEEPING ROOMS	40 P.S.F.
STAIRS	40 P.S.F.

SHEET INDEX

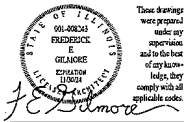
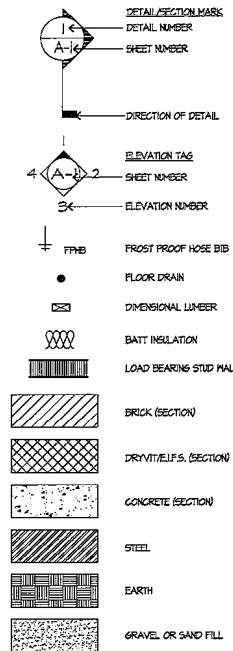
- COVER SHEET
- FRONT & RIGHT SIDE ELEVATIONS/LV SCHEDULE
- REAR & LEFT SIDE ELEVATION
- ELEVATION OPTIONS
- FOUNDATION PLAN
- OPTIONAL SLAB ON GRADE PLAN
- FIRST FLOOR PLAN
- SECOND FLOOR PLAN / ROOF PLAN
- FIRST FLOOR ELECTRICAL PLAN
- SECOND FLOOR ELECTRICAL PLAN
- WALL SECTIONS
- DETAILS / RISER DIAGRAMS
- SPECIFICATIONS

ABBREVIATIONS

AFF	ADHESIVE	INS	INSULATING
ADJ	ADJUSTABLE SHELF	INT	INTERIOR
ADJSH	ADJUSTABLE SHELF	JNT	JOINT
AG	AIR CONDITIONING	JST	JOIST
ALT.	ALTERNATE	LAM	LAMINATED PLASTIC
L	STEEL ANGLE	LL	LIVE LOAD
ANL	ANNING	MO	MASONRY OPENING
BRK	BRICK	MATL	MATERIAL
BR	BEAM	MG	MEDICINE CABINET
BRG	BREASTING	METAL	METAL
CBMT	CASEMENT	MIS.	NOT TO SCALE
CLD	CEILING	O.C.	ON CENTER
CL	CENTER LINE	OPN	OPENING
C	STEEL CHANNEL	O.H.	OVERHEAD
CLD	CLOSET	PFT	FLANGED AND TOP SANDED
CLS	POLE AND SHELF	PG	PAGES
COL	COLUMN	PL	PLATE
CONC	CONCRETE	PLY	PLYWOOD
CONST	CONSTRUCTION	PSF	POUNDS PER SQUARE FOOT
C.J.	CONTROL JOINT	P.S.I.	REINFORCING
CONT	CONTINUOUS	REIN	REINFORCED
CO	CASSET OPENING	RS	ROUGH SAWN
CI	CAST IRON	SH	SHEET
CRS	CORNER	SH	SOLID CORE
DL	DEAD LOAD	SHT. MIL.	SHEET METAL
DTL	DETAIL	SHGLR	SHINGLE
DIA	DIAMETER	SID	STANDARD
DM	DIMENSION	ST	STEEL
DM	DISMANTLER	TEMP	TEMPERED
DM	DOUBLE HANG	THLD	THRESHOLD
DS	DOWNSPOUT	T&G	TONGUE AND GROOVE
EACH	EACH	T	TREADS
EQ	EQUAL	T/	TOP OF
EXP	EXPANSION	UC	UNDER CABINET
EXT	EXTERIOR	WC	WATER CABINET
FIN	FINISHED	WH	WATER HEATER
FP	FIREPLACE	WFR	WEATHER PROOF
FL	FLOOR	WHS	WEATHER STRIPPING
FD	FLOOR DRAIN	WFL	WIDE FLANGE
FR	FROTHING	WFR	WATER
FRN	FOUNDATION	WFR	WOOD
GA/V	GALVANIZED	WFR	WRUGHT IRON
GL	GLASS	WFR	WRAPPED OPENING
GYP. BD.	GYP. BOARD	WFR	WRAPPED OPENING
HST	HEIGHT	WFR	WRAPPED OPENING
HM	HOLLOW METAL	WFR	WRAPPED OPENING
HC	HOLLOW CORE	WFR	WRAPPED OPENING

FLOOR JOIST SPANS - TABLE R502.3(2) RESIDENTIAL LIVING AREAS (LIVE LOAD = 40 PSF)			
JOIST SPACING	SPECIES & GRADE	SPAN	MAX. SPAN
12"	HEM-FR #2	15'-10"	20'-4"
16"	HEM-FR #2	15'-2"	17'-7"

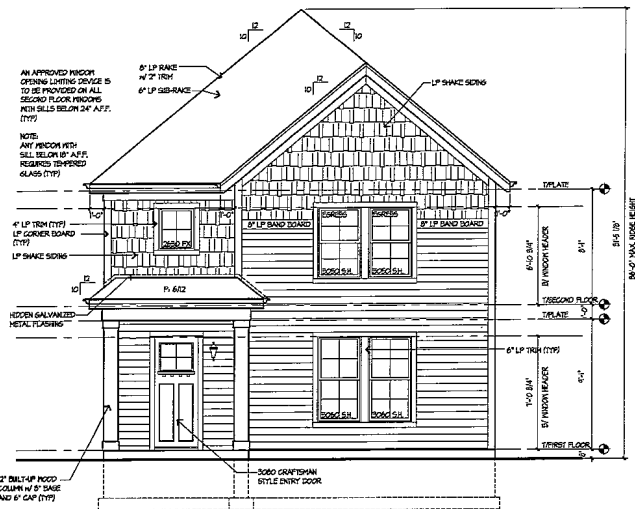
SYMBOLS



REV	DESCRIPTION	DATE
	ISSUED FOR PERMIT	04/24

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FRONT ELEVATION

SCALE: 1/4" = 1'-0"
 NOTE:
 TOP OF FOUNDATION IS TO BE A MINIMUM OF 6" ABOVE FINISH GRADE (TYPICAL)

NOTE:
 PENETRATION SHALL BE LISTED AND LABELLED BY PERM, MAX. AIR INFILTRATION OF PENETRATION UNITS AND GLAZED DOORS IS 0.5 CFM/FT². MAX. AIR INFILTRATION OF SWINGING DOORS IS 0.5 CFM/FT².

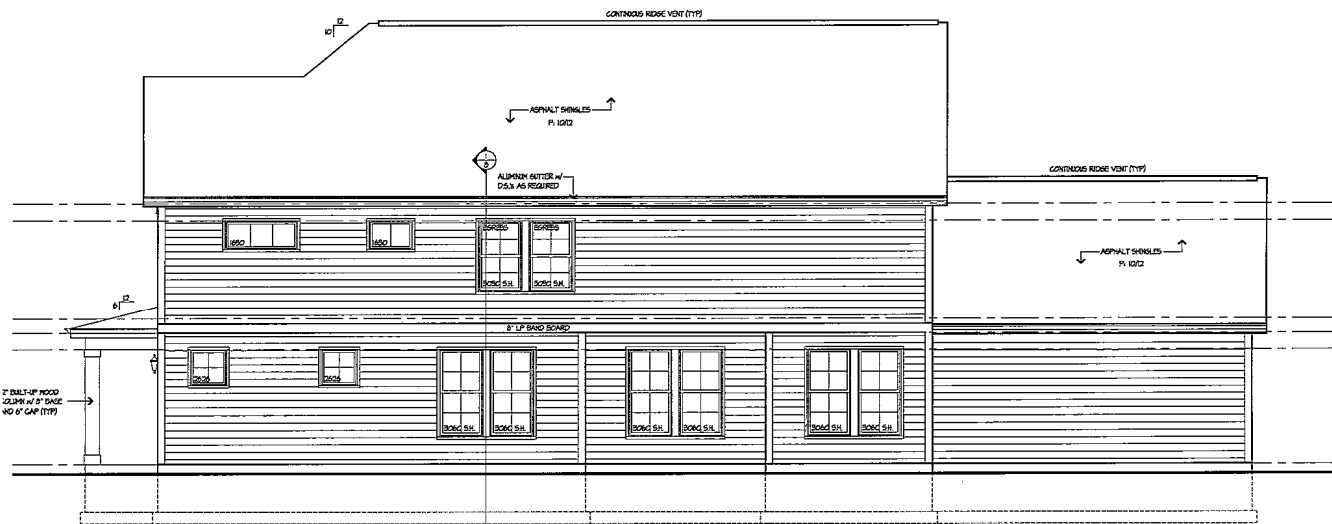
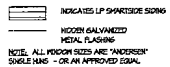
ROOM NAME	AREA	LIGHT		VENT		MEQR CFM
		REQ.	ACT.	REQ.	ACT.	
KITCHEN/DINING	36.0	20.0	28.4	14.4	34.2	—
LIVING ROOM	28.5	22.1	42.2	12.2	—	—
OFFICE	14.5	11.8	32.4	5.1	12.2	—
PORCH ROOM	37.5	—	—	—	—	58 CFM
LOFT	14.5	4.1	26.4	4.6	12.2	—
MASTERS BATH	14.5	—	20.8	—	12.2	222 CFM
MASTERS BEDROOM	23.0	5.4	32.4	4.2	12.2	—
BEDROOM #2	14.1	5.4	26.4	5.5	12.2	—
BEDROOM #3	14.1	5.4	26.4	5.5	12.2	—
BATH #2	5.4	—	—	—	12.2	122 CFM

ELEVATION NOTES:

- DO NOT SCALE DRAWINGS
- PROVIDE SPLASH BLOBS AT ALL DOWN SPOUTS DEPRESSING AT GRADE. EXT. TO DISCHARGE ACROSS HALF-PIKE
- PROVIDE DRAIN CAPS AT ALL PORCHES AND DOORS
- ALL ROOF SADDLES TO BE SHEATHED W/ BUILDING PAPER AND SHINKLES
- REFER TO FLOOR PLANS FOR DOOR SIZES
- ROOM SIZES ARE AS PER ELEVATIONS. ROOM HITS TO VERIFY ALL BEDROOMS HAVE EGRESS WINDOW
- ROOT VENTS TO BE SCREENED AND BALANCED INCOME AND EXHAUST
- PROVIDE "F" FLASHING ALONG ALL HORIZONTAL TRIM
- PROVIDE GALV. METAL FLASHING AT ALL ROOF AND WALL INTERSECTIONS
- FIREPLACE FLUE TO BE MIN. 2'-0" ABOVE ANY ROOF SURFACE WITHIN 10'-0" HORIZONTALLY MIN. 3'-0" PENETRATION ABOVE ROOF
- SAFETY GLAZING AT 2ND FLOOR WINDOWS, ALL HEIGHTS BELOW 8'-0" EXT. DOORS AND WINDOWS W/ IN 3'-0" OF DOOR (AS PER GOVERNING CODES)
- EXTERIOR FINISH MATERIALS:
- TYPICAL ROOFING SHALL BE ARCHITECTURAL GRADE 30 YEAR ASPHALT SHINKLES
- TYPICAL - ALUMINUM EXTTERS W/ DOWN SPOUTS OVER 18" PAGES AND WITH 1/2" FREEZE BOARD UNLESS OTHERWISE NOTED
- 1/2" OR 1" OR 1 1/2" FREEZE BOARD TYPICAL
- TYPICAL SIDING - "1" X 6" SIDING
- TYPICAL TRIM - "1" X 6" SIDING
- ALL EYE AND RAKE OVERHANGS ARE 1'-0" UNLESS OTHERWISE NOTED

STANDARD ELEVATION NOTES

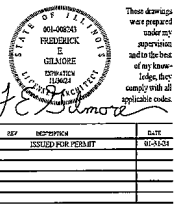
- 30 YEAR ARCHITECTURAL GRADE ASPHALT SHINKLES
- ALUMINUM EXTTERS AND COMPRESSION OVER ALUMINUM PAGES
- "1" X 6" TRIM W/ INTERIOR VENT
- SHEET METAL FLASHING OVER WINDOWS, DOORS AND MOOD TRIM
- SHEET METAL FLASHING AT ALL ROOF AND WALL INTERSECTIONS
- 1/2" FREEZE BOARD OVER 18" RAKE SIDING
- NO RAKE SIDING
- ALL RAKE AND OVERHANGS ARE 1'-0" UNLESS OTHERWISE NOTED
- REFER TO ELEVATIONS AND ROOF PLAN FOR OVERHANGS



RIGHT ELEVATION

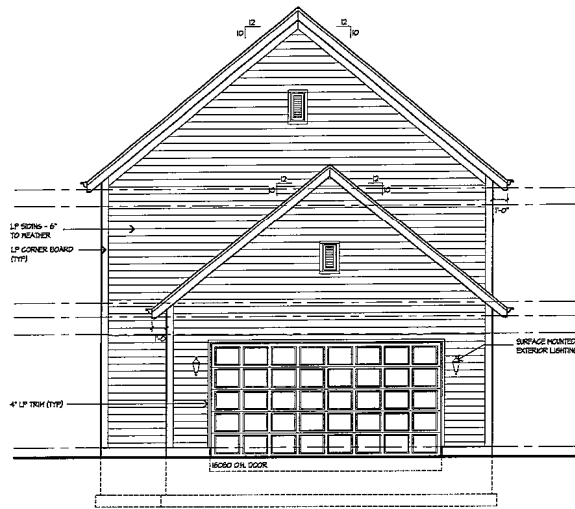
SCALE: 1/4" = 1'-0"

NOTE:
 MAX. INFILTRATION OF 3.0 FOR PENETRATION. ALL NEW WINDOWS AND GLAZED DOORS MUST EXCEED MANUFACTURERS SPECIFICATIONS. COMPLIANCE CAN BE CONFIRMED BY INSPECTOR.



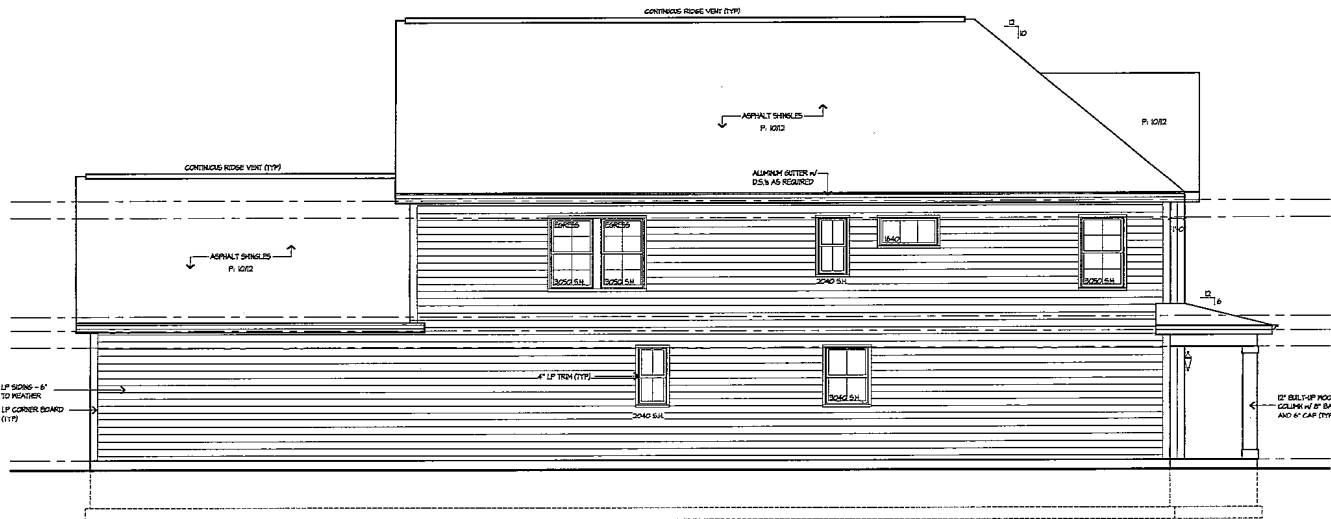
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REAR ELEVATION

SCALE: 1/4" = 1'-0"

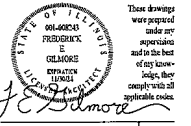


LEFT ELEVATION

SCALE: 1/4" = 1'-0"

ELEVATION NOTES:

- DO NOT SCALE DRAWINGS
 - 1. PROVIDE SPLASH BLOCKS AT ALL DOWN SPOTS DISCHARGING AT GRADE. (NOT TO DISCHARGE AGRESS PAUC-PAV)
 - 2. PROVIDE DRIP CAPS AT ALL HOODS AND DOORS
 - 3. ALL ROOF SADDLES TO BE SHEATHED
 - 4. REFER TO FLOOR PLANS FOR DOOR SIZES
 - 5. WINDOW SIZES ARE AS PER ELEVATIONS. WINDOW HERE TO VERIFY ALL BEDROOMS HAVE EXPRESS WINDOW
 - 6. ROOF VENTS TO BE SECURED AND BALANCED INTAKE AND EXHAUST.
 - 7. PROVIDE 12" FLASHING ALONG ALL HORIZONTAL TRIM
 - 8. PROVIDE GALV METAL FLASHING AT ALL ROOF AND WALL INTERSECTIONS.
 - 9. FLASHING FLUE TO BE MIN. 2'-0" ABOVE ANY ROOF SURFACE WITHIN 12'-0" HORIZONTALLY, MIN. 3'-0" PENETRATION ABOVE ROOF.
 - 10. SAFETY GLAZING AT: (A) BATHROOMS, (B) SILL HEIGHTS BELOW 6", (C) EXT. DOORS AND WINDOWS 18" IN 24" OR DOORLAG FOR SCHEDULED GLASS
- EXTERIOR FINISH MATERIALS:**
- 11. TYPICAL ROOFING SHALL BE ARCHITECTURAL GRADE 30 YEAR ASPHALT SHINGLES
 - 12. TYPICAL - ALUMINUM GUTTERS BY DOWN SPOTS OVER 180 FASCIA AND MIN 180 FREEZE BOARD UNLESS OTHERWISE NOTED.
 - 13. IJC ON 180 RAKE BOARD TYPICAL
 - 14. TYPICAL SIDING - 1/2" IN 6" EXPOSED
 - 15. TYPICAL TRIM - 1/2"
 - 16. ALL EXT. AND RAKE OVERHANGS ARE 1'-0" UNLESS OTHERWISE NOTED.



These drawings were prepared under my supervision and to the best of my knowledge they comply with all applicable codes.

REV	DESCRIPTION	DATE

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2A

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FRONT ELEVATION OPTION "A"
SCALE: 1/4" = 1'-0"



FRONT ELEVATION OPTION "B"
SCALE: 1/4" = 1'-0"



FRONT ELEVATION OPTION "C"
SCALE: 1/4" = 1'-0"



FRONT ELEVATION "D"
SCALE: 1/4" = 1'-0"

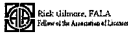
ELEVATION NOTES:

- DO NOT SCALE DRAWINGS
- 1. PROVIDE FLASH BLOCKS AT ALL DOWN SPOTS (DRAWINGS AT GRADE NOT TO DIMENSION ACROSS WALLS)
- 2. PROVIDE DRIP CAPS AT ALL PORCHES AND DOORS
- 3. ALL ROOF SADDLES TO BE SHEATHED W/ BUILDING PAPER AND SHINGLES
- 4. REFER TO FLOOR PLANS FOR DOOR SIZES
- 5. FINISH SIZES ARE AS PER ELEVATIONS. FINISH HERE TO VERIFY ALL BEDROOMS HAVE EGRESS WINDOWS
- 6. ROOF VENTS TO BE SCREENED AND BALANCED INTAKE AND EXHAUST
- 7. PROVIDE 2" FLASHING ALONG ALL HORIZONTAL TRIM
- 8. PROVIDE GALVE METAL FLASHING AT ALL ROOF AND WALL INTERSECTIONS
- 9. FIREPLACE FLUE TO BE MIN. 2'-0" ABOVE ANY ROOF SURFACE WITH MIN. 1'-0" HORIZONTALLY, MIN. 3'-0" PENETRATION ABOVE ROOF
- 10. SAFETY GLAZING AT PATIO/SCREENDOOR, SILL HEIGHTS BELOW 6", EXTL. DOORS AND WINDOWS W/ IN 24" OF DOOR JAMB PER GOVERNING CODES
- EXTERIOR FINISH MATERIALS:
- 11. TYPICAL ROOFING WILL BE ARCHITECTURAL GRADE 30 YEAR ASPHALT SHINGLES
- 12. TYPICAL ALUMINUM GUTTERS W/ DOWN SPouts OVER DSB FASCIA AND WITH 1/2" FREEZE BOARD UNLESS OTHERWISE NOTED.
- 13. USE ON DSB RAKE BOARD TYPICAL
- 14. TYPICAL SIDING - 1" x 4" EXPOSED
- 15. TYPICAL TRIM - 1" x 4"
- 16. ALL D.E.C AND RAISE OVERHANGS ARE 1'-0" UNLESS OTHERWISE NOTED.

These drawings were prepared under my supervision and to the best of my knowledge, they comply with all applicable codes.

Frederick Gilmore

REV	DESCRIPTION	DATE
	ISSUED FOR PERMIT	03/15/24

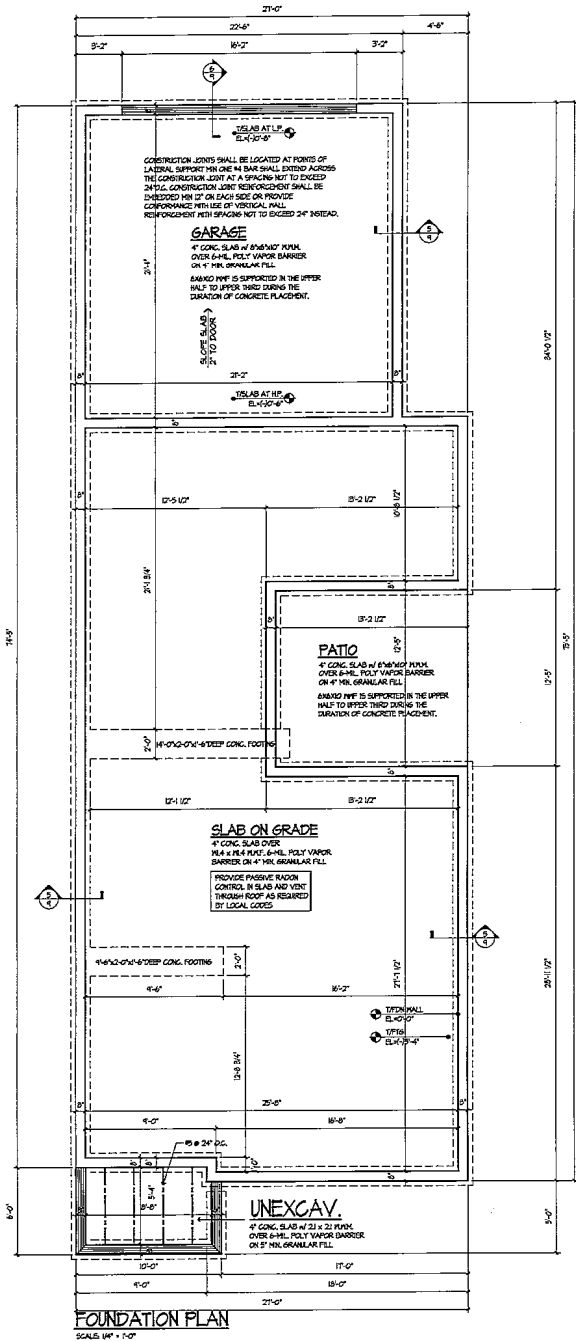
 Rick Gilmore, P.E.
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2B

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ROOF CONSTRUCTION

ASPHALT SHINGLE (SEE YEAR TYPE) OR ASPHALT IMPREGATED BUILDING FELT 1/2" OVER INSULATION AND ROOF RAFTERS. 1/2" O.C. ROOF RAFTERS AT EVERY ROOF TRUSS R-14 FIBERGLASS INSULATION IN INTERIOR VLS. 2" DRYWALL CEILING. ICE AND WATER SHIELD OR APPROVED EQUAL TO BE APPLIED OVER AT LEAST 1/2" SLICE OF ROOF TO A POINT 24" INSIDE EXTERIOR WALL. MENT LAPS TO BE MIN. 3". MENT LAPS TO BE MIN. 6" ICE AND WATER SHIELD OR APPROVED EQUAL TO BE APPLIED TO ALL VALLEYS.

PROVIDE SIMPSON STRONG-TIE TRUSS CONNECTORS TO ATTACH PRE-ENG. TRUSSES TO TOP PLATE OF STUD FRAMING. TYPICAL FOR ALL TRUSSES.

FASCIA AND SOFFIT

ALUMINUM GUTTER 4 DOWNSPOUTS WITH FLASH BLOCKS 2" LP FASCIA OVER ALUMINUM SOFFIT W/ INTEGRAL VENTS 2" LP TRIM BOARD OVER 2" LP BARGE BOARD 2" LP 5/8" RAKE

VAPOR BARRIER NOTE

INTEGRAL VAPOR BARRIERS ARE TO BE INSTALLED ON THE WARM IN WINTER SIDE OF WALLS AND CEILING.

SLOWN IN OR SPRAYED ROOFING INSULATION SHALL BE WRITTEN IN NOTES ON DRAWINGS THAT ARE INSTALLED AT LEAST ONE FOR EVERY 500 SQ FT THROUGH THE ATTIC SPACE. BARRIERS ARE TO BE ATTACHED TO TRUSSES OR JOISTS.

SLOWN IN OR SPRAYED INSULATION (FIBERGLASS AND CELLULOSE) INSTALLATION CERTIFICATION SHALL INCLUDE THICKNESS, SETTLED THICKNESS, SETTLED R-VALUE, INSTALLED DENSITY, COVERAGE AREA AND NUMBER OF BAGS SHALL BE LISTED ON CERTIFICATION.

FOR SPRAYED POLYURETHANE FOAM INSULATION THE INSTALLATION THICKNESS OF THE AREAS COVERED AND R-VALUE OF INSTALLED THICKNESS SHALL BE POSTED ON THE CERTIFICATION. INSULATION INSTALLER IS TO SIGN DATE AND POST THE CERTIFICATION ON THE JOB SITE.

SECOND FLOOR CONSTRUCTION

3/4" x 6" OMB SHEATHING KLEED AND NAILLED 1/4" MIN. SPACING IN FLOOR AREAS. 1" TOP ECG FLG. JOISTS (SEE FLOOR PLAN FOR SPACING AND SERIES) WITH 1/4" THICKNESS AND 1/4" MIN. JOIST 1/2" BOTTOM BOARD CEILING KLEED AND SCREWED TO UNDERSIDE OF FLOOR JOISTS.

WALL CONSTRUCTION

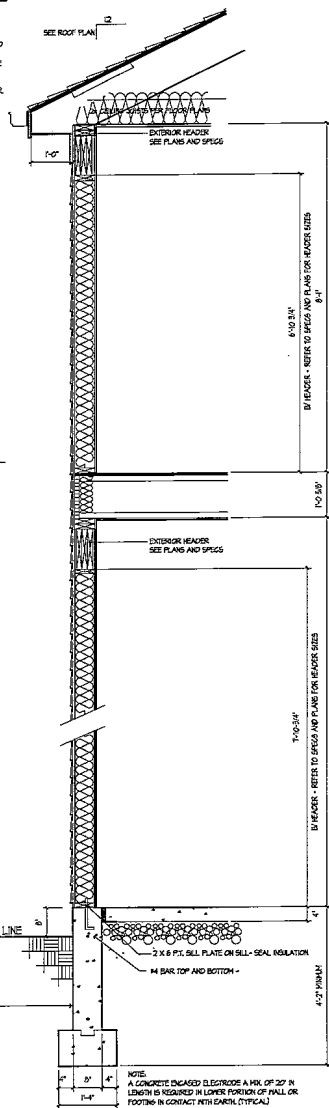
1/2" THICKNESS SOLID CONCRETE 8" MIN. OR EQUAL TAPE AROUND ALL WINDOW AND DOOR OPENINGS. PROVIDE R-2 BATT INSULATION IN WALL CAVITIES. IN INTERIOR VLS ON FINISH SIDE OF WALL, 1/2" FIBROOD SHEATHING W/ 24" HOOD STRIPS @ 8" O.C. W/ 1/2" ENT. 5/8" FINISH.

SILL PLATE

CONTINUOUS PRESSURE TREATED SILL PLATE W/ SILL SEALER 1/2" DIA. 1/2" ANCHOR BOLTS W/ NUTS & WASHERS @ MAX. 4' O.C. 1/2" FROM CORNERS, MIN. 2 PER CORNER. NOTE: TOP OF FOUNDATION IS TO BE A MINIMUM OF 6" ABOVE FINISH GRADE. SPRAY ON DAMP-PROOFING OR APPROVED EQUAL.

CONCRETE SLAB CONSTRUCTION

4" CONC. SLAB W/ 8" MIN. PERK. 5/8" POLY VAPOR BARRIER OVER MINIMUM 4" COMPACTED GRAVEL OVER COMPACTED SAND (GRAVEL TO BE POURED AT FINISHED SURFACE).



FRAME WALL SECTION
SCALE: 3/4" = 1'-0"

BASEMENT FND NOTES:

- DO NOT SCALE DRAWING
- TYPICAL BASEMENT SLAB
- 4" CONC. SLAB W/ 8" MINIMUM PERK OR 4" POLY VAPOR BARRIER OVER MIN. 5" GRAVEL FILL OR COMPACTED SAND. GARAGE SLAB
- 5" THICK W/ 8" MINIMUM PERK
- TYPICAL GRAVEL
- 2" SLAB EDGE OVER
- 4" GRAVEL COVER OVER
- 4" MIN. VAPOR BARRIER
- TYPICAL FIBERGLASS
- 4" CONCRETE SLAB W/ 8" REBAR
- 24" O.C. OVER COMPACTED FILL
- PROVIDE ENT. GLASS BRACKET UNDER PERK SLABS (AS REQUIRED BY LOCAL CODES)
- PROVIDE REGULAR BLOCK OUTS AT STEEL COLUMN LOCATIONS
- CONTROL JOINTS TO CONSIST OF "ZIP STRIP" OR TOLIED JOINTS AS SHOWN WITH MIN. DEPTH OF 1/4" OF SLAB THICKNESS
- ALL ANKLED WALLS AND FOOTINGS ARE TO BE STRESS UNLESS OTHERWISE NOTED
- SLOPE CONCRETE SLAB TO FLOOR DRAIN WITHIN 5" OF DRAIN
- HIGH TRADES RESPONSIBLE FOR PROVIDING AND LOCATING FOUNDATION SLEEVES. LOCATION OF SLEEVES FOR UTILITIES SHALL BE DETERMINED BY BUILDERS PRIOR TO CONSTRUCTION IN ACCORDANCE WITH LOCAL CODES.
- PROVIDE 20# TREATED PLATES ON ALL STEEL BRACES OTHERWISE NOTED
- ALL CONCRETE LOADS FROM BEAMS OR GIRDERS TRUSSES TO TRANSFER TO FOUNDATION VIA POSTS BEAMS OR SOLID BLOCKING.
- LOCATION OF A/C SHALL BE VERIFIED BY BUILDER PRIOR TO CONSTRUCTION IN ACCORDANCE WITH LOCAL CODES. EQUIPMENT SHALL NOT BE LOCATED IN REQUIRED SILENT ZONE BEYONDS
- LOCATION OF A/C SHALL BE VERIFIED BY BUILDER PRIOR TO CONSTRUCTION IN ACCORDANCE WITH LOCAL CODES. EQUIPMENT SHALL NOT BE LOCATED IN REQUIRED SILENT ZONE BEYONDS
- LOCATION OF A/C SHALL BE VERIFIED BY BUILDER PRIOR TO CONSTRUCTION IN ACCORDANCE WITH LOCAL CODES. EQUIPMENT SHALL NOT BE LOCATED IN REQUIRED SILENT ZONE BEYONDS
- FOR ADDITIONAL NOTES SEE SPECIFICATIONS AND DETAILS

REBAR NOTE: DOUBLE WIRE JOINT REINFORCEMENT IS TO BE USED AND NO CORNERS OF WAGERS EXCEEDING A MIN. OF 12" BEYOND EACH SIDE OF OPENING (TYP)

REBAR NOTE: NOT LESS THAN ONE VERTICAL 14 BAR SHALL BE PROVIDED ON EACH SIDE OF OPENINGS EQUAL TO OR GREATER THAN 2 FEET IN WIDTH. VERTICAL REINFORCEMENT SHALL EXTEND THE FULL HEIGHT OF THE WALL AND BE LOCATED WITHIN 12" OF EACH SIDE OPENING.

ALL VAPOR BARRIERS NOTED ON DRAWING AND GARAGE SLAB ARE TO HAVE JOISTS LAPPED NOT LESS THAN 12"

COMPRESSIVE STRENGTH OF CONCRETE

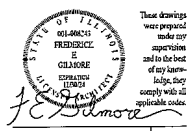
MIN. SPECIFIED COMPRESSIVE STRENGTH	TYPICAL POTENTIAL SOURCE
3500	BASEMENT WALLS, FND & OTHER WALLS NOT EXPOSED TO THE WEATHER
2500	BASEMENT SLABS & INTERIOR SLABS ON GRADE EXCEPT GARAGE FLOOR SLABS
3000	EXTERIOR WALLS, FND WALLS, EXTERIOR WALLS & OTHER VERTICAL CONC. EXPOSED TO WEATHER
2500 (AIR-ENTRAINED)	FOURGES, GARAGEF SLABS & STEPS EXPOSED TO THE WEATHER & GARAGE FLOOR SLABS

MECHANICAL VENTILATION NOTES:

- DISHVEST HOOD SYSTEMS CAPABLE OF EXHAUSTING IN EXCESS OF 400 CUBIC FEET PER HOUR SHALL BE PROVIDED WITH MAKE-UP AIR AT A RATE APPROXIMATELY EQUAL TO THE EXHAUST RATE. SUCH MAKE-UP AIR SYSTEMS SHALL BE SERVED WITH A DUCTS IF GLASURE AND SHALL BE AUTOMATICALLY CONTROLLED TO START AND OPERATE SIMULTANEOUSLY WITH THE DISHVEST SYSTEM.
- WHOLE HOUSE MECHANICAL VENTILATION SYSTEMS SHALL BE DESIGNED IN ACCORDANCE WITH SECTION R903.6 THROUGH R903.8.
- WHOLE HOUSE VENTILATION SYSTEM SHALL CONSIST OF ONE OR MORE SUPPLY OR EXHAUST FANS OR A COMBINATION, AND ASSOCIATED DUCTS AND CONTROLS. LOCAL EXHAUST OR SUPPLY FANS ARE PERMITTED TO SERVE SUCH A SYSTEM. OUTDOOR AIR DUCTS CONNECTED TO THE RETURN SIDE OF AN AIR HANDLER SHALL BE CONSIDERED TO PROVIDE SUFFICIENT VENTILATION.
- WHOLE HOUSE MECHANICAL VENTILATION SYSTEM SHALL BE PROVIDED WITH CONTROLS THAT ENABLE MANUAL OVERRIDE.
- WHOLE HOUSE MECHANICAL VENTILATION SYSTEM SHALL PROVIDE OUTDOOR AIR AT A CONTINUOUS RATE OF NOT LESS THAN THAT DETERMINED IN ACCORDANCE WITH TABLE R903.6.1.

PROVIDE A MINIMUM SEPARATION OF 10 FEET BETWEEN THE WATER HEATER FLE DISCHARGE LOCATION AND THE COMBUSTION AIR INTAKE OPENING FOR THE TUNNAGE.

OUTDOOR AIR INTAKES AND EXHAUSTS SHALL HAVE AUTOMATIC OR GRAVITY DAMPERS THAT CLOSE WHEN VENTILATION SYSTEM IS NOT OPERATING.



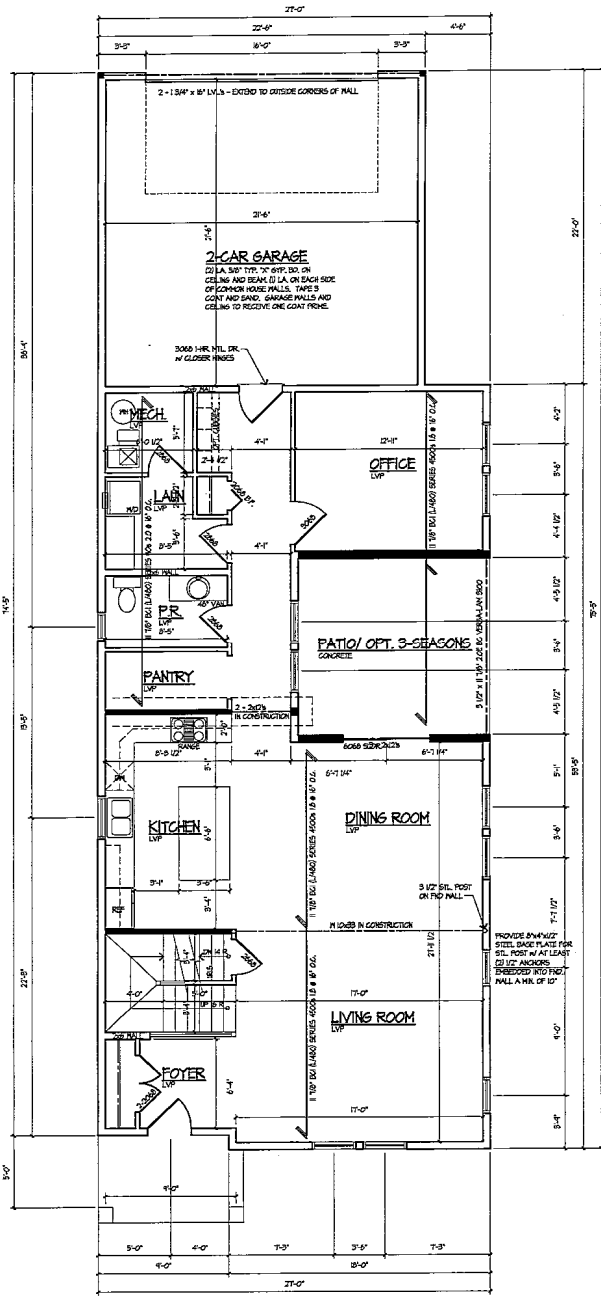
These drawings were prepared under my supervision and to the best of my knowledge they comply with all applicable codes.

REP: *Fredrick Gilmore*

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3A



FIRST FLOOR PLAN

CORNER NOTE:
HERE A MIN. 2" WOOD STRUCTURAL PANEL CANNOT BE PROVIDED AT A BRACED WALL. A HOLD-DOWN TIE MAY BE USED AS AN ALTERNATE. PROVIDE 2" WOOD STRUCTURAL PANEL TO BE A MINIMUM STRONG-TIE "SMOKE" OR AN APPROVED EQUAL THAT COMPLIES WITH 2023 CODE REQUIREMENTS.

WALL BRACING NOTE:
WHERE BRACING IS NOTED ON THIS PLAN CONTIGUOUS BRACING METHOD USING 1/2" WOOD STRUCTURAL PANEL IS USED. CONNECTION CRITERIA IS 60 COMMON WALLS AT 8" SPACING (PANEL EDGE) AND AT 12" SPACING (DISCRETE SUPPORTS).

BATH REMEDIATION NOTE:
REMOVE WOOD BLOCKING WITHIN THE WALL FINISHING LOCATED 8'-0" AFF. IN ALL WALLS ADJACENT TO TOILET, SHOWER, BATH, OR BATH.

2023 ILLINOIS ENERGY CONSERVATION NOTES:
1. A PERMANENT CERTIFICATE SHALL BE POSTED ON OR IN THE ELECTRICAL DISTRIBUTION PANEL WHEN ELECTRICAL SERVICE INSPECTION IS COMPLETED WHICH PROVIDES THE RANGES OF THE INSULATION INCLUDING THE R-VALUES, AND THE TYPES OF STRATEGIES OF HEATING, COOLING, AND SERVICE WATER HEATING EQUIPMENT. MUST BE COMPLETED BY THE BUILDING OR A REGISTERED DESIGN PROFESSIONAL.
2. INSULATION AND PENETRATION - THE BUILDING THERMAL ENVELOPE SHALL MEET THE REQUIREMENTS OF TABLE S602.1.
3. AIR LEAKAGE - THE BUILDING THERMAL ENVELOPE SHALL COMPLY WITH PARAGRAPH 4.0 AND PROGRAMMABLE THERMOSTAT FOR EACH SEPARATE HEATING AND COOLING SYSTEM. INSTALL PROGRAMMABLE THERMOSTAT THAT DECREASES HEAT AND NOT LOWER THAN 78 DEGREES COOLING.
4. AIR SEALING - DOORS, AIR WHOLESALES, AND FILTER DOORS SHALL BE SEALED. DUCT TIGHTNESS TEST - NOT REQUIRED IF DUCTS WITHIN BUILDING THERMAL ENVELOPE.
5. BUILDING CAVITIES - BUILDING FRAMING CAVITIES SHALL NOT BE SEALED AS DUCTS OR PLUMBING.
6. MECHANICAL SYSTEM PIPING - VACS DEBRIS OR 6ES DEBRIS INSULATE WITH MINIMUM R-8. CIRCULATING HOT WATER SYSTEM PUMP NOT IN USE SWITCH OFF. HOT WATER PIPE INSULATION R-8.
7. MECHANICAL VENTILATION - THE BUILDING SHALL BE PROVIDED WITH VENTILATION THAT MEETS THE REQUIREMENTS OF TABLE S602.1.2. OUTDOOR AIR INTAKE AND EXHAUST SHALL HAVE AUTOMATIC OR GRAVITY DAMPERS. LIGHTING EQUIPMENT - A MINIMUM OF 50% OF THE LAMPS IN PERMANENTLY INSTALLED FIXTURES SHALL HAVE HIGH-EFFICIENCY LAMPS.

WINDOW, SKYLIGHTS, AND SLIDING GLASS DOORS SHALL HAVE AN AIR INFILTRATION RATE OF NO MORE THAN 0.5 CFM PER SF, AND SHAKING DOORS NO MORE THAN 0.5 CFM PER SF. PENETRATORS SHALL BE 2X30 OR BETTER. LEAVE ALL MANUFACTURER STICKERS ON WINDOWS AND DOORS UNTIL AFTER INSULATION INSPECTION.

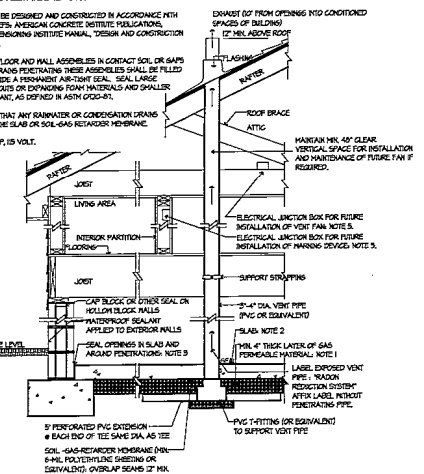
JACK STUD REQUIREMENTS FOR 16" STUD SPACINGS		
SIZE OF OPENING (FEET-INCHES)	No. OF JACK STUDS	No. OF KING STUDS
1'-0" TO 1'-6"	1	1
1'-6" TO 2'-0"	1	2
2'-0" TO 2'-6"	2	2
2'-6" TO 3'-0"	2	3
3'-0" TO 3'-6"	3	3
3'-6" TO 4'-0"	3	5
4'-0" TO 4'-6"	4	4
4'-6" TO 5'-0"	4	4

LEAKAGE NOTE:
BUILDING SHALL BE TESTED AND VERIFIED AS HAVING AIR LEAKAGE NOT EXCEEDING 5 GPM PER HOUR PER GROSS AREA OF ALL PENETRATIONS OF THE BUILDING THERMAL ENVELOPE. TESTING SHALL BE CONDUCTED WITH BLOWER AT A PRESSURE OF 50 Pascals. A WRITTEN AIR LEAKAGE REPORT SHALL BE PROVIDED TO THE CODE OFFICIAL.
BUILDING SHALL BE PROVIDED WITH VENTILATION THAT MEETS THE REQUIREMENTS OF THE IRC OR IBC. AUTOMATIC AIR SHUTTERS AND EXHAUSTS SHALL HAVE AUTOMATIC OR GRAVITY DAMPERS THAT CLOSE WHEN THE VENTILATION SYSTEM IS NOT OPERATING.

A DUCT LEAKAGE TEST IS REQUIRED FOR ANY EXHAUST, OUTSIDE OF THE CONDITIONED SPACE. TEST SHALL BE PERFORMED BY AN APPROVED OUTSIDE THIRD PARTY. TEST RESULTS TO BE MAILED PRIOR TO CALLING FOR FINAL INSPECTION.

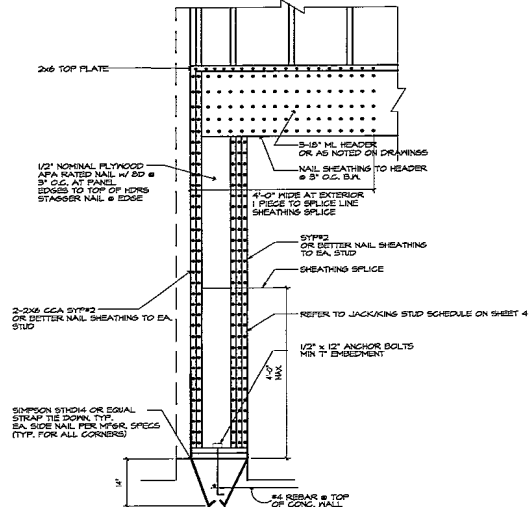
NOTES:

1. ALL CONCRETE SLABS THAT COME IN CONTACT WITH THE GROUND SHALL BE LAID OVER A GAS PERMEABLE MATERIAL 1/8" OF THICK OR A MINIMUM 4" THICK INSULATED LAYER OF CLEAN AGGREGATE OR A MINIMUM 4" THICK UNIFORM LAYER OF SAND, OVERLAIN BY A LAYER OR STRIPS OF MANUFACTURED MATTING DESIGNED TO ALLOW THE LATERAL FLOW OF SOIL GASES.
2. ALL CONCRETE FLOOR SLABS SHALL BE DESIGNED AND CONCRETED IN ACCORDANCE WITH LOCAL BUILDING CODES. ADDITIONAL REINFORCING CONCRETE REINFORCEMENT, "ACROSS" OR "ACROSS" OR THE JOINT REINFORCING REINFORCEMENT, DESIGN AND CONCRETION OF POST-TENSIONED SLABS OR BRACED.
3. ALL OPENING GAPS AND JOINTS IN FLOOR AND WALL ASSEMBLIES IN CONTACT SOIL OR GAPS AROUND PIPES, TOILETS, DRAINAGE OR GRAND PENETRATING THESE ASSEMBLIES SHALL BE FILLED OR GAPPED WITH MATERIALS THAT PROVIDE A PERMANENT AIR-TIGHT SEAL. SEAL LARGE OPENINGS WITH NON-HARDENING MORTAR, GROUTS OR EXPANDING FOAM MATERIALS AND SMALLER GAPS WITH AN ELASTOMERIC JOINT SEALANT, AS DEFINED IN ASTM C920-07.
4. VENT PIPES SHALL BE INSTALLED SO THAT ANY RAINWATER OR CONDENSATION DRAINS DOWNWARD AND THE GROUND BENEATH THE SLAB OR SOIL GAS RESISTANCE.
5. CIRCUITS SHOULD BE A MINIMUM 5 AMP, 150V.



PASSIVE SUB-SLAB DEPRESSURIZATION RADON CONTROL SYSTEM FOR NEW CONSTRUCTION

SCALE: 3/4" = 1'-0"

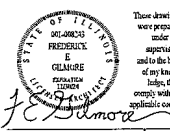


BRACED WALL PANEL W/ HOLD DOWNS

SCALE: 3/4" = 1'-0"

FLOOR PLAN NOTES:

1. DO NOT SCALE DRAWINGS.
2. ALL INTERIOR NON-LOAD BEARING WALLS TO BE 2x4 STUD @ 16" O.C. UNLESS OTHERWISE NOTED.
3. ALL INTERIOR PARTITIONS ARE 2" X 2" STUDS.
4. ALL ANGLED PARTITIONS ARE 45 DEGREES UNLESS OTHERWISE NOTED.
5. 2x4 STUDS AT EACH END OF ALL BEAMS AND GIRDERS UNLESS OTHERWISE NOTED.
6. ALL HIGH CONCENTRATED LOADS SHALL BE TRANSFERRED TO FOUNDATION VIA BEAMS, POSTS OR SOLID BLOCKS.
7. ALL EXTERIOR OPENINGS SHALL BE TO FACE OF SHEATHING UNLESS OTHERWISE NOTED.
8. ALL TRUSSES TO BEAR ON EXTERIOR WALLS AND/OR GIRDERS UNLESS OTHERWISE NOTED.
9. TRUSSES TO BE SIZE, SPACING, FASTENERS, HANGERS AND SET SPACING FOR ALL TRUSSES.
10. PERSON SUPPORTS TO VERIFY AT LEAST ONE PERSON IN EACH BEDROOM TO HAVE A CLEAR PASSAGE OPENING OF 32" H.T. WITH MIN. CLEARANCE OF 24" IN HEIGHT AND 20" IN WIDTH AND ALL HEIGHT NO GREATER THAN 44" ABOVE FLOOR.
11. WALLS OVER 10 FEET HIGH SHALL HAVE NAIL BRACING/BRIDGES LOCATED AT JOINT IN BRACING.
12. ALL HANGING CEILING LIGHTS TO BE SPACED SUCH THAT 4" SPHERE CAN NOT PASS BETWEEN CEILING LIGHTS.
13. ALL MECHANICAL, ELECTRICAL, AND HEATING EQUIPMENT ARE SUBJECT TO ELECTRICAL CODE TO FIELD.
14. ALL MECHANICAL CONTRACTOR TO VERIFY.
15. ALL WOODEN HEAD HEIGHTS AT 6'-4" UNLESS OTHERWISE NOTED.
16. PROVIDE 1/4" X 1/2" SOLID CORE 1/8" RAISED STEEL DOOR AT HOUSE TO GARAGE DOOR, W/ GLAZER.
17. PROVIDE ACCESSIBLE SPACE DOOR SWAYS SHALL HAVE 50" TYPE "X" 6/16" RD ON THE WALLS AND CEILING.
18. PROVIDE DOUBLE STUDS AT PARALLEL PARTITIONS AND SOLID BLOCKS AT PERPENDICULAR PARTITIONS.
19. PROVIDE 2x4 @ 16" O.C. HEADERS OVER ALL EXTERIOR OPENINGS UNLESS OTHERWISE NOTED.
20. ALL EXTERIOR DOOR, WINDOWS, POSTS, STAIRS, HANDRAILS AND BALUSTERS TO BE PRESSURE TREATED UNLESS OTHERWISE NOTED.
21. FOR ADDITIONAL NOTES SEE SPECIFICATIONS AND SHEET DETAILS.
22. ALL WINDOW AND DOOR STEEL LINTELS ARE TO BE 3" (2"x4"x8") UNLESS OTHERWISE NOTED.

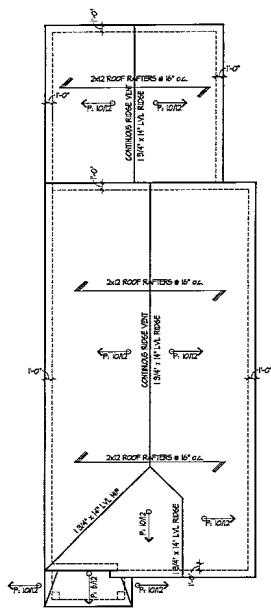


REV	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	03-23-23

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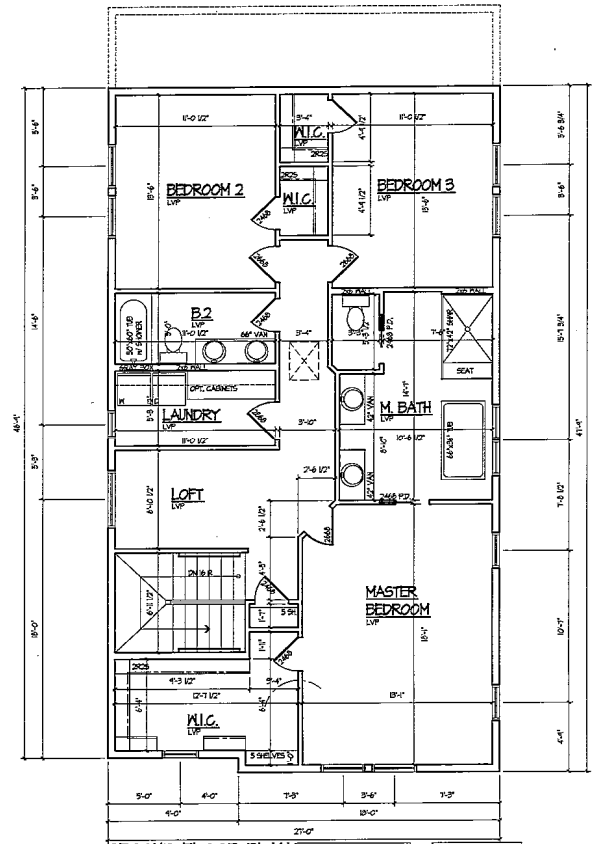
ROOF PLAN

SCALE: 1/8" = 1'-0"

180 SQUARE ROOF
 180 SQ. FT. OF ATTIC AREA TO BE VENTED
 180 X 1800 = 527 SQ. FT. FREE AREA REQUIRED TOTAL
 527 X 144 = 75958 SQ. IN. (21 - 37 1/2" 57A400 + 63 (7 ROOF VENTS REQUIRED)
 57A400 + 63 (7 SOFFIT VENTS REQUIRED)

600 SQUARE ROOF
 600 SQ. FT. OF ATTIC AREA TO BE VENTED
 600 X 1800 = 1700 SQ. FT. FREE AREA REQUIRED TOTAL
 170 X 144 = 24480 SQ. IN.
 24480 ÷ 402 (6 SOFFIT VENT REQUIRED)

NOTE:
 ALL ROOF TRUSSES ARE TO TRANSFER LOADS TO EXTERIOR WALLS
 ALL ROOF OVERHANGS ARE TO BE 1'-0" UNLESS NOTED OTHERWISE ON THE ROOF PLAN



SECOND FLOOR PLAN

SCALE: 1/8" = 1'-0"

IRAC NOTE:
 R-8 INSULATION REQUIRED OUTSIDE OF BUILDING OR BETWEEN THE DUCT & EXTERIOR FINISH

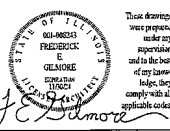
HEADER NOTE:
 ALL HEADERS FOR EXTERIOR WINDOWS ARE TO BE INSTALLED DIRECTLY UNDER THE WALL SUD PLATES

DOUBLE ALL JOISTS UNDER BATHS AND LAUNDRY UNLESS NOTED

ALL INTERIOR WALLS ARE 5/8" UNLESS OTHERWISE NOTED

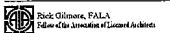
FLOOR PLAN NOTES:

- DO NOT SCALE DRAWINGS
- ALL WINDOW NON-LOAD BEARING WALLS TO BE 2X4 STUD @ 16" O.C. UNLESS OTHERWISE NOTED.
- ALL NON-PERFORMED PARTITIONS ARE 3/2" ROUGH.
- ALL ANGLED PARTITIONS ARE 45 DEGREES UNLESS OTHERWISE NOTED.
- 3/2" DIA. HUB AT EACH END OF ALL BEAMS AND BRACKERS UNLESS OTHERWISE NOTED. ALL HIGH CONCENTRATED LOADS SHALL BE TRANSFERRED TO FOUNDATION VIA BEAMS, POSTS OR SOLID BLOCCING.
- ALL EXTERIOR FINISHES ARE TO FACE OF SHEATHING UNLESS OTHERWISE NOTED.
- ALL TRUSSES TO BEAR ON EXTERIOR WALLS AND/OR BRACKER TRUSSES UNLESS OTHERWISE NOTED.
- TRUSSES TO BE SIZE MEMBERS, FASTENERS, HANGERS AND SET SPACING FOR ALL TRUSSES.
- TRUSS SUPPLIER TO VERIFY AT LEAST ONE HOOKUP IN EACH BEDROOM TO HAVE A CLEAR EXCESS OPENING OF 57.5 SQ. FT. WITH MIN. OVERHANG OF 24" IN HEIGHT AND 27" X WIDTH AND ALL HEIGHT NO GREATER THAN 44" ABOVE FLOOR.
- WALLS OVER 10 FEET HIGH SHALL HAVE BRACKER/HOOKUPS LOCATED AT JOINT & SHEATHING.
- ALL HORIZONTAL BALUSTERS TO BE SPACED SUCH THAT A SPHERE CAN NOT PASS BETWEEN BALUSTERS.
- ALL ELECTRICAL AND MECHANICAL EQUIPMENT & METERS ARE SUBJECT TO RELOCATION DUE TO FIELD CONDITIONS. CONTRACTOR TO VERIFY.
- ALL WINDOW HEAD HEIGHTS AT 6'-0" SHY UNLESS OTHERWISE NOTED.
- PROVIDE 1/2" SOLID CORE 1 HR. RATED STEEL DOOR AT ROBE TO WARDROBE DOOR IN CLOSET.
- ENCLOSE ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE 5/8" TYPE "C" GYP. BO. ON THE WALLS AND CEILING.
- PROVIDE DOUBLE CISTS AT PARALLEL PARTITIONS AND SOLID BLOCCING AT PERPENDICULAR PARTITIONS.
- PROVIDE 2-2X2 PT 1/2" PLY. HEADERS OVER ALL EXTERIOR OPENINGS UNLESS OTHERWISE NOTED.
- ALL EXTERIOR WINDOW, DOOR, STAIRS, HANDRAILS AND BALUSTERS TO BE PRESSURE TREATED UNLESS OTHERWISE NOTED.
- FOR ADDITIONAL NOTES SEE SPECIFICATIONS AND SHEET DETAILS.
- ALL WINDOW AND DOOR STEEL LINTELS ARE TO BE 8 1/2" X 4" X 1/4" ANGLE UNLESS OTHERWISE NOTED.



These drawings were prepared under my supervision and to the best of my knowledge they comply with all applicable codes.

PROJECT	1827297124	DATE	06-13-24
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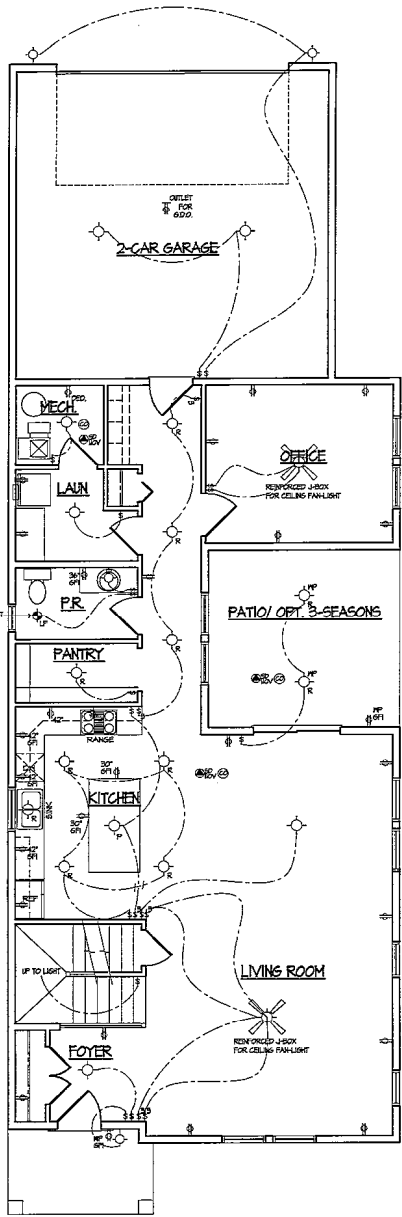


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1. LEGEND: ALL 120-VOLT SINGLE PHASE IS AND 20-AMP RECEPTACLES THAT SERVE COUNTERTOP SURFACES SHALL HAVE A GROUND FAULT CIRCUIT INTERRUPTER PROTECTION FOR PERSONNEL.
2. BATHROOMS: ALL 120-VOLT SINGLE PHASE IS AND 20-AMP RECEPTACLES INSTALLED SERVICING BATHROOMS SHALL HAVE A GROUND FAULT CIRCUIT INTERRUPTER PROTECTION FOR PERSONNEL.
3. BEDROOMS: ALL BRANCH CIRCUITS THAT SUPPLY 120-VOLT SINGLE PHASE IS AND 20-AMP RECEPTACLES INSTALLED IN DRESSING ROOMS SHALL BE PROTECTED BY AN ARC-Fault CIRCUIT INTERRUPTER LISTED TO PROVIDE PROTECTION OF THE ENTIRE BRANCH CIRCUIT.
4. RECEPTACLES INSTALLED IN THE BUILDING ENVELOPE (SECOND FLOOR CEILING) ARE TO BE 10' RATED OR INSTALLED IN A SEALED BOX CONSTRUCTED OF A 1/2" THICK WALLBOARD.
5. LOCAL LIGHTING IS TO BE PROVIDED FOR REAR PATIO WATER HEATER, COORDINATE LOCATION WITH BUILDING INSPECTOR.
6. MINIMUM LOCATION OF PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH EFFICACY LIGHTS.
7. SERVICE LUBRICATION/MAINTENANCE FIXTURES ARE TO BE INSTALLED NO CLOSER THAN 12" TO THE NEAREST OPEN STORAGE SPACE. GARAGE REMODEL FLOODESCENT FIXTURES ARE TO BE INSTALLED NO CLOSER THAN 18" TO THE NEAREST OPEN STORAGE SPACE. RECESSIBLE RECESSED AND FLOODESCENT FIXTURES WITH COMPLETELY ENCLOSED LAMP NO CLOSER THAN 6" TO NEAREST STORAGE SPACE.
8. ALL 120 VOLT SINGLE PHASE IS AND 20 AMPERE BRANCH CIRCUITS SUPPLYING OUTLETS INSTALLED IN DRESSING AND FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DEN, BEDROOMS, BATHROOMS, REAR ROOMS, GLOBES, HALLWAYS, DR. SINK, ROOMS, AND AREAS SHALL BE PROTECTED BY A LISTED ARC-Fault CIRCUIT INTERRUPTER, COMBINATION TYPE, INSTALLED TO PROVIDE PROTECTION OF THE CIRCUIT. ALL RECEPTACLES SHALL BE LISTED TAMPER RESISTANT RECEPTACLES.
9. ALL STAIRWAYS SHALL BE PROVIDED WITH A LIGHT IN THE IMMEDIATE VICINITY OF EACH AND EVERY LANDINGS OF THE STAIRWAY, INCLUDING TOP AND BOTTOM. THE CONTROL FOR THESE LIGHTS SHALL BE A 3-WAY SWITCH LOCATED AT THE TOP AND BOTTOM OF THE STAIRS.
10. SEPARATE CIRCUITS SHALL BE PROVIDED FOR ALL RANGES, OVEN, WATER HEATERS, LAUNDRY, GARAGE DISPOSAL, MICROWAVE, CONVECTION DISHWASHER, FOOD FREEZER, REFRIGERATOR, SINGLE DOOR VACUUM, TUB, HOT TUBS, CLEAN EXHAUSTORS, SUMP AND ELEVATOR PUMPS, FRIGIDAYS, AND AIR CONDITIONERS.
11. CONVECTION RECEPTACLES ARE TO BE INSTALLED SO NO POINT ALONG THE WALL IS MORE THAN 24" FROM A RECEPTACLE OUTLET.
12. A CONVENIENCE OUTLET SHALL BE INSTALLED FOR SERVICES OF HEATING AND COOLING AND REFRIGERATOR EQUIPMENT.
13. SHOCK ALARM POWER SOURCE SHALL NOT BE CONNECTED TO A DEDICATED CIRCUIT.

- ELECTRICAL NOTES:**
- ALL LIGHT / FAN FIXTURES IN THE BATHROOMS SHALL HAVE A DEDICATED SWITCH THAT OPERATES ONLY THE FAN PER SECTION VAN 34 (A)
 - A LIGHT FIXTURE SHALL BE INSTALLED WITHIN 3 FEET OF THE ELECTRICAL PANEL PER SECTION VAN 34 (A)
 - THE DISHWASHER SHALL HAVE A DISCONNECT SWITCH LOCATED ON THE WALL IN THE IMMEDIATE VICINITY OF THE APPLIANCE PER SECTION VAN 32 (B)
 - WATER PIPES AND GAS PIPE OF THE WATER HEATER SHALL BE PROPERLY BONDED.
 - ALL RECEPTACLES SHALL BE TAMPER RESISTANT.
 - ALL BEDROOM RECEPTACLES AND SMOKE DETECTORS SHALL BE ARC-FAULT CIRCUIT INTERRUPTER PROTECTED.
 - GFCI RECEPTACLES IN THE GARAGE SHALL BE 4 FEET ABOVE THE FLOOR.
 - LIGHTSWITCH FAN COMBINATION FIXTURE SHALL HAVE A DEDICATED SWITCH TO OPERATE THE FAN.
 - PROVIDE ARC-Fault PROTECTION (AFPI) FOR OUTLETS AND DEVICES IN THE REAR FAMILY ROOM, OFFICE/DINING ROOM, DINING ROOM, LIVING ROOM, BEDROOMS, GLOBES, PANTRY, HALLS, LAUNDRY ROOM AND MUDROOM. (2017 NEC 210.12(A))
 - THE SMOKE DETECTORS SHALL BE AFPI PROTECTED ON A DEDICATED CIRCUIT.
 - LOW VOLTAGE WIRING THAT IS INACCESSIBLE SHALL BE IN THE CIRCUIT.
 - FOLLOWING APPLIANCES AND EQUIPMENT SHALL HAVE A DEDICATED CIRCUIT:
 - BAWIRING, EACH AIR CONDITIONER, EACH WATER HEATER, MICROWAVE, DISHWASHER, DISPOSAL, AND OVEN.
 - THE FOLLOWING APPLIANCES AND EQUIPMENT SHALL HAVE A DISCONNECT SWITCH, EACH FRIGIDAY, EACH AIR CONDITIONER, EACH WATER HEATER, AND DISHWASHER.

LOW VOLTAGE WIRING THAT IS INACCESSIBLE SHALL BE IN THE CIRCUIT.

FOLLOWING APPLIANCES AND EQUIPMENT SHALL HAVE A DEDICATED CIRCUIT:

BAWIRING, EACH AIR CONDITIONER, EACH WATER HEATER, MICROWAVE, DISHWASHER, DISPOSAL, AND OVEN.

THE FOLLOWING APPLIANCES AND EQUIPMENT SHALL HAVE A DISCONNECT SWITCH, EACH FRIGIDAY, EACH AIR CONDITIONER, EACH WATER HEATER, AND DISHWASHER.

ELECTRICAL SYMBOLS		ALL EXTERIOR W/ 6FT OUTLETS SHALL BE LISTED PER THE CODE
1-P	SINGLE POLE SWITCH	HEAT LAMP
1-P*	THREE POLE SWITCH	FAN
1-P**	FOUR POLE SWITCH	FAN / LIGHT
1-P-5	WEATHER PROOF SWITCH/WEATHER PROOF INTERRUPTER	FAN / LIGHT / HEAT LAMP
1-C	PHOTOCELL	EMERGENCY LIGHT WITH BATTERY BACKUP
1-P-5	WEATHER PROOF OUTLET GROUND FAULT INTERRUPTER w/ IN USE INDICATOR COVER	SURFACE MOUNTED FIXTURE
1-O	SINGLE OUTLET	SURFACE MOUNTED FIXTURE WITH PULL CHAIN
1-2O	DUPLEX OUTLET	WALL MOUNTED FIXTURE
1-2O*	SWITCH OUTLET - ONE HALF SWITCHED	RECESSED FIXTURE
1-2O**	220 VOLT OUTLET	RECESSED OVERALL FIXTURE
1-T	THERMOSTAT	LIGHT TRACE - NUMBER INDICATES LENGTH (FEET)
1-J	JUNCTION BOX	25' STRIP LIGHT - NUMBER INDICATES LENGTH (INCHES)
1-D	GARAGE DISPOSAL	1 x 4
1-S	120 VOLT SMOKE DETECTOR INTERCONNECTED IN BATTERY BACKUP	2 x 4
1-A	GARISON MONOXIDE ALARM	3 x 2
1-B	DOOR BELL BUTTON	4 x 4
1-C	DOOR BELL CHIMES	
1-T	TELEPHONE OUTLET	
1-KV	COAXIAL TELEVISION OUTLET	
1-I	INTERCOM	
1-P	ELECTRICAL PANEL	
1-M	ELECTRICAL METER	
1-F	INDICATES WATERPROOF	
1-GFI	INDICATES GROUND FAULT INTERRUPT	

- ELECTRICAL PLAN NOTES:**
1. DO NOT SCALE DRAWING
 1. ELECTRICAL CONTRACTOR IS TO SUPPLY REQUIRED SMOKE DETECTORS AND CIRCUITS.
 2. HVAC CONTRACTOR TO VERIFY THERMOSTAT LOCATION.
 3. ALL ELECTRICAL AND MECHANICAL EQUIPMENT ARE SUBJECT TO RELOCATION DUE TO FIELD CONDITIONS.
 4. ALL SMOKE DETECTORS AND CO. DETECTORS TO BE 10' W/ WIRED IN SERIES IN BATTERY BACKUP INTERCONNECTED TO ALL OTHERS 10M W/ OF FROM ALL BEDROOM DOORS. MAX 1 SMOKE DETECTOR PER FLOOR AND ONE IN EACH SLEEPING ROOM.
 5. PROVIDE AND INSTALL LOCALLY CERTIFIED SMOKE DETECTORS AS REQUIRED BY NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) AND MEETING THE REQUIREMENTS OF ALL GOVERNMENT CODES.
 6. PROVIDE AND INSTALL GROUND FAULT CIRCUIT INTERRUPTERS (GFI) AS REQUIRED BY NATIONAL ELECTRIC CODE (NEC) AND MEETING THE REQUIREMENTS OF ALL GOVERNMENT CODES.
 7. GROUND FAULT FOR SERVICE DISTRIBUTION TO BE LOCATED ON STREET SIDE OF WATER METER.
 8. GROUND WIRE FOR SERVICE DISTRIBUTION GO TO STREET SIDE OF WATER METER AND JUMPER ACROSS METER. METER SOCKET SHALL HAVE DRIVEN GROUND RODS.
 9. PROVIDE CUT CIRCUIT FROM WATER METER THROUGH OUTSIDE HALLWAY REDUCE METER READING. LOCATE NEAR GAS METER.
 10. PROVIDE AN EXTERIOR DISCONNECT SWITCH ON THE ELECTRICAL SERVICE.
 11. ALL NON-INDICATED OUTLETS IN THE GARAGE SHALL BE 60 VOLT, 5 OR 20 AMP GFI PROTECTED RECEPTACLES.
 12. PROVIDE GLOBE LAMPS OR ALL FLOODESCENT FIXTURES.

These drawings were prepared under my supervision and to the best of my knowledge, they comply with all applicable codes.

J.C. Gilmore

DATE: 05-11-24

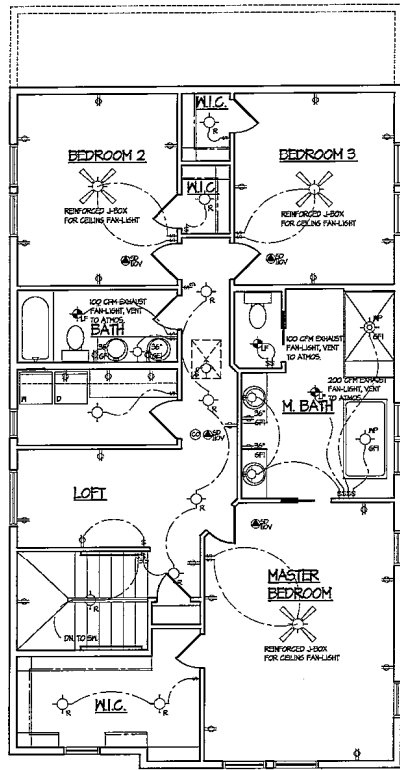
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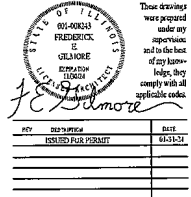
SECOND FLOOR ELEC. PLAN
SCALE 1/4"=1'-0"

WATER PIPES AND GAS PIPE OF THE WATER HEATER SHALL BE PROPERLY BONDED.
ALL RECEPTACLES SHALL BE TAMPER RESISTANT.
ALL BEDROOM RECEPTACLES AND SMOKE DETECTORS SHALL BE ARC-FAULT CIRCUIT INTERRUPTER PROTECTED.
600V RECEPTACLES IN THE GARAGE SHALL BE 4 FEET ABOVE THE FLOOR.
LIGHTSWITCHES/FAN COMBINATION FIXTURE SHALL HAVE A DEDICATED SWITCH TO OPERATE THE FAN.

- STIPPLED ALL 120-VOLT SINGLE PHASE IS AND 20-AMP RECEPTACLES THAT SERVE CONCRETE SURFACES SHALL HAVE A GROUND FAULT CIRCUIT INTERRUPTER PROTECTION FOR PERSONNEL.
- BATHROOMS ALL 120-VOLT SINGLE PHASE IS AND 20-AMP RECEPTACLES INSTALLED SERVE IN BATHROOMS SHALL HAVE A GROUND FAULT CIRCUIT INTERRUPTER PROTECTION FOR PERSONNEL.
- RECESSED OUTLETS ALL BRANCH CIRCUITS THAT SUPPLY 120-VOLT SINGLE PHASE IS AND 20-AMP RECEPTACLES INSTALLED IN DWELLING UNITS SHALL BE PROTECTED BY AN ARC-FAULT CIRCUIT INTERRUPTER LISTED TO PROVIDE PROTECTION OF THE ENTIRE BRANCH CIRCUIT.
- RECESSED FIXTURES INSTALLED IN THE BATHING ENVELOPE SECOND FLOOR (CELLING) ARE TO BE "IC" RATED OR INSTALLED IN A SEALED BOX CONSTRUCTED OF A HALF" THICK WALLBOARD.
- CEILING LIGHTING IS TO BE PROVIDED FOR REAR PORCH WATER METER ROOM, COORPORATE LOCATION WITH BUILDING INTERIOR.
- REAR PORCH LIGHTING PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH EFFICACY LIGHTS.
- SURFACE MOUNTED INCANDESCENT FIXTURES ARE TO BE INSTALLED NO CLOSER THAN 12" TO THE NEAREST STORAGE SPACE. SURFACE MOUNTED FLUORESCENT FIXTURES ARE TO BE INSTALLED NO CLOSER THAN 6" TO THE NEAREST STORAGE SPACE. RECESSED INCANDESCENT AND FLUORESCENT FIXTURES WITH COMPLETELY ENCLOSED LAMP NO CLOSER THAN 6" TO NEAREST STORAGE SPACE.
- ALL 120 VOLT SINGLE PHASE IS AND 20 AMPERE BRANCH CIRCUITS SUPPLYING OUTLETS INSTALLED IN DWELLING UNIT FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DEN'S, BEDROOMS, BATHROOMS, REAR ROOMS, CLOSETS, HALLWAYS, OR BREAK ROOMS OR AREAS SHALL BE PROTECTED BY A LISTED ARC-FAULT INTERRUPTER, COMMAND TYPE, INSTALLED TO PROVIDE PROTECTION OF THE CIRCUIT. ALL RECEPTACLES SHALL BE LISTED TAMPER RESISTANT RECEPTACLES.
- ALL STAIRWAYS SHALL BE PROVIDED WITH A LIGHT IN THE IMMEDIATE VICINITY OF EACH AND EVERY LANDING OF THE STAIRWAY, INCLUDING TOP AND BOTTOM. THE CONTROL FOR THESE LIGHTS SHALL BE A SWITCH LOCATED AT THE TOP AND BOTTOM OF THE STAIRS.
- SEPARATE CIRCUITS SHALL BE PROVIDED FOR ALL KITCHENS, Ovens, WATER HEATERS, LAUNDRY, GARAGE DISPOSAL, REFRIGERATOR, COMPACTOR, DISHWASHER, FOOD FREEZER, REFRIGERATOR, WALK-IN COOLER, VACUUM, UPS WITH PUMPS, STEAM GENERATORS, SUMP AND ELEVATOR PUMPS, FURNACES, AND A/C CONDITIONS.
- GROUND-FEED RECEPTACLES ARE TO BE INSTALLED SO NO POINT ALONG THE WALL IS MORE THAN 24" FROM A RECEPTACLE OUTLET.
- A COMMERCIAL OUTLET SHALL BE INSTALLED FOR SERVING OF HEATING AND COOLING AND REFRIGERATION EQUIPMENT.
- SHAKE ALARM POWER SOURCE SHALL NOT BE CONNECTED TO A DEDICATED CIRCUIT.

- ELECTRICAL PLAN NOTES:**
- DO NOT SCALE DRAWING.
 - ELECTRICAL CONTRACTOR IS TO SUPPLY REQUIRED DIRECT HOOK-UPS AND CIRCUITS.
 - MEAC CONTRACTOR TO VERIFY THERMOSTAT LOCATIONS.
 - ALL ELECTRICAL AND MECHANICAL EQUIPMENT ARE SUBJECT TO RELOCATION DUE TO FIELD CONDITIONS.
 - ALL SMOKE DETECTORS AND CO. DETECTORS TO BE 10 V WIRED IN SERIES W/ BATTERY BACK-UP. INTERCONNECTED TO ALL OTHERS. MIN. 8" OF FROM ALL BEDROOM DOORS. MIN. 1 SMOKE DETECTOR PER FLOOR AND ONE IN EACH SLEEPING ROOM.
 - PROVIDE AND INSTALL LEGALLY CERTIFIED SMOKE DETECTORS AS REQUIRED BY NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) AND MEET THE REQUIREMENTS OF ALL GOVERNING CODES.
 - PROVIDE AND INSTALL GROUND FAULT CIRCUIT INTERRUPTERS (GFCI) AS REQUIRED BY NATIONAL ELECTRIC CODE (NEC) AND MEET THE REQUIREMENTS OF ALL GOVERNING CODES.
 - GROUND FAULT FOR SERVICE DISTRIBUTION TO BE LOCATED ON STREET SIDE OF WATER METER.
 - GROUND WIRE FOR SERVICE DISTRIBUTION GO TO STREET SIDE OF WATER METER AND LAMP OR ADDRESS METER. METER SOCKET SHALL HAVE DRIVEN GROUND ROD.
 - PROVIDE 12" CONDUIT FROM WATER METER THROUGH GARAGE WALLS TO REAR PORCH METER READER. LOCATE NEAR GAS METER. PROVIDE AN EXTERIOR DISCONNECT SWITCH ON THE EXTERIOR SERVICE.
 - ALL NON-DEDICATED OUTLETS IN THE BASEMENT SHALL BE 125 VOLT, 15 OR 20 AMP GFI PROTECTED RECEPTACLES.
 - PROVIDE CLOSED LAMPS ON ALL FLUORESCENT FIXTURES.

ELECTRICAL SYMBOLS		ALL EXTERIOR W/ W/ OUTLETS SHALL BE EQUIPPED WITH W/ USE COVERS	
1-P	SINGLE POLE SWITCH	□	HEAT LAMP
3-P	THREE POLE SWITCH	FAN	FAN
4-P	FOUR POLE SWITCH	FAN / LIGHT	FAN / LIGHT
1-P/2-P	WEATHER PROOF OUTDOOR/INDOOR FAULT INTERRUPTER	FAN / LIGHT / HEAT LAMP	FAN / LIGHT / HEAT LAMP
1-P	PHOTOCELL	BATTERY BACKUP	BATTERY BACKUP
1-P/2-P	WEATHER PROOF OUTLET GROUND FAULT INTERRUPTER W/ IN USE SINGLE COVER	SURFACE MOUNTED FIXTURE	SURFACE MOUNTED FIXTURE WITH FULL CHAIN
○	SINGLE OUTLET	WALL MOUNTED FIXTURE	RECESSED FIXTURE
○	DUPLEX OUTLET	RECESSED SYMBOL FIXTURE	RECESSED SYMBOL FIXTURE
○	DUPLEX OUTLET - ONE HALF SWITCHED	2-P	LIGHT TRAC - NUMBER INDICATES LENGTH (FEET)
○	220 VOLT OUTLET	2-P	LIGHT TRAC - NUMBER INDICATES LENGTH (FEET)
○	THERMOSTAT	2-P	LIGHT TRAC - NUMBER INDICATES LENGTH (FEET)
○	JUNCTION BOX	2-P	LIGHT TRAC - NUMBER INDICATES LENGTH (FEET)
○	GARBAGE DISPOSAL	2-P	LIGHT TRAC - NUMBER INDICATES LENGTH (FEET)
○	10 VOLT SMOKE DETECTOR INTER-CONNECTED W/ BATTERY BACKUP	2-P	LIGHT TRAC - NUMBER INDICATES LENGTH (FEET)
○	CARBON MONOXIDE ALARM	1 x 4	FLUORESCENT LIGHT FIXTURE
○	DOOR BELL BUTTON	2 x 4	FLUORESCENT LIGHT FIXTURE
○	DOOR BELL CHIMES	2 x 2	FLUORESCENT LIGHT FIXTURE
○	TELEPHONE OUTLET	4 x 4	FLUORESCENT LIGHT FIXTURE
○	COAXIAL TELEVISION OUTLET		
○	INTERCOM		
○	ELECTRICAL PANEL		
○	ELECTRICAL METER		
○	W/ INDICATES WATERPROOF		
○	GFI INDICATES GROUND FAULT INTERRUPT		



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ROOF CONSTRUCTION

240 LB. MIN. ASPHALT SHINGLES YEAR 2400 MIN. TYP. 1/2" ASPHALT IMPREGATED BULBING FELT 5/8" EXT. GRADE PLYWOOD DECKING
 1/2" O.C. ROOF RAFTERS AT 12" O.C. ROOF BATTLES AT EVERY CAVITY,
 R-41 FIBERGLASS INSULATION IN INTERNAL VJS, 5/8" DRYWALL CEILING,
 ICE AND WATER SHIELD OR APPROVED EQUAL TO BE APPLIED OVER AT
 EAVE UP SLOPE OF ROOF TO A POINT 24" INSIDE EXTERIOR WALL. (NOTE:
 LAPS TO BE MIN. 9", HORIZ. LAPS TO BE MIN. 6") ICE AND WATER SHIELD
 OR APPROVED EQUAL TO BE APPLIED TO ALL VALLEYS.

FASCIA AND SOFFIT

ALUMINUM GUTTER & DOWNSPOUTS
 OVER 1/2" FASCIA OVER
 1/2" SOFFIT W/ INTERNAL VENTS
 1/2" 1" x 1" TRIM BOARD OVER
 1/2" SIDING - 1/2"

WHERE EAVE VENTS ARE INSTALLED, INSULATION SHALL NOT BLOCK THE
 FREE FLOW OF AIR. A MIN. OF 1" SPACE SHALL BE PROVIDED BETWEEN
 THE INSULATION AND ROOF SHEATHING AT THE LOCATION OF THE VENT.
 INSULATION BATTLES WITH WIND BLOCK OR ON RAFTERS TO BE PROVIDED
 ADJACENT TO SOFFIT AND EAVE VENTS. BATTLES SHALL MAINTAIN AN
 OPENING EQUAL TO THE SIZE OF THE VENT.

SECOND FLOOR CONSTRUCTION

1 1/2" 5/8" FLR JOISTS (SEE FLOOR PLAN FOR SPACING)
 WITH 1/2" 1" x 1" JOIST
 5/8" TYPE 1" SYSTEM BOARD CEILING GILDED AND SCREWED TO
 UNDERSIDE OF FLOOR JOISTS

1/2" LP BOARD

NOTE

FIREBLOCKING IS TO BE INSTALLED AS REQUIRED
 PER 2022 IBC, (NOTES TYPICAL AT ALL LOCATIONS)
 FIREBLOCK AT THE ROOF HEIGHT OR EAVE WITH 2" X 4" WOOD BLOCKING,
 EVERY 5'0" SPACE ALL AROUND OR
 PROVIDE WATER RESISTANT 5/8" GILD. OR 1/2" DURAL COMPLETELY DOWN
 TO THE FLOOR BELOW ALL 180° AND SHARP CORNERS FOR PROPER FIRESTOPPING
 OR USE OTHER APPROVED MATERIALS.

FRAME WALL CONSTRUCTION

1/2" 5/8" SEE ELEVATIONS FOR FINISH OVER 1/2" MIN. 1/2" W/ 1/2" W/ 1/2" W/ 1/2"
 EQUAL, TAPE AROUND ALL WINDOW AND DOOR OPENINGS. PROVIDE
 R-30 BATT INSULATION IN WALL CAVITIES W/ INTERNAL VJS ON INWARD
 SIDE OF WALL. 1/2" CONTROLS 250 SHEATHING, 240 WOOD STUDS @
 16" O.C. W/ 5/8" TYPE 1" SYSTEM BOARD FINISH.

R-30 INSULATION REQUIRED IN EXPOSED FLOORS, ALL LOCATIONS

FIRST FLOOR CONSTRUCTION

MIN. OF 2" LAYERS OF PLYWOOD TOTAL MIN. THICKNESS
 CONSISTING OF 3/4" 1/2" OR 2" LAYERS OF 5/8"
 HARDWOOD FLOORING MAY BE SUBSTITUTED FOR SECOND
 LAYER OF PLY W/ MIN. 3/4" SUB-FLOOR IS USED
 DRUGS MAY BE SUBSTITUTED FOR SECOND LAYER OF PLY
 W/ NO TILED AREA WHEN 3/4" SUB-FLOOR IS USED
 1/2" INSULATION IN TILED AREAS
 2x12 FLR JOISTS (SEE FLOOR PLAN FOR SPACING)
 WITH 2x2 RH JOIST
 5/8" TYPE 1" SYSTEM BOARD CEILING GILDED AND SCREWED TO
 UNDERSIDE OF FLOOR JOISTS

SILL PLATE

CONFORMING PRESSURE TREATED SILL PLATE W/
 SILL SEALER NOT 2" x 4" ANCHOR BOLTS W/
 MIN. 4" HORIZONTAL W/ MIN. 12" O.C. 1" x 1" x 1" x 1"
 FROM CORNERS, MIN. 2" PER BOARD, EMBED MIN.
 1" IN CONC.

DELTA MEMBRANE DAMP PROOFING OR APPROVED
 EQUAL, CHANGES OVER FOUNDATION WALL

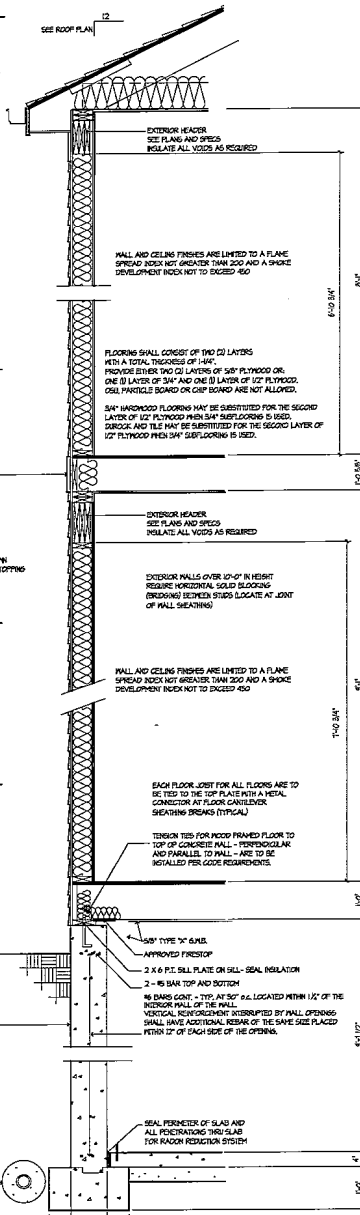
CONCRETE SLAB CONSTRUCTION

4" CONC. SLAB W/ 4" x 4" x 4" W/ 4"
 4" x 4" POLY W/ 4" BARRERS - LAP ALL SEAMS
 12" EACH DIRECTION FOR RADON SYSTEM
 OVER MINIMUM 2" COMPACTED GRAVEL
 OVER COMPACTED DIRT
 (GRAVEL TO BE MINIMUM 4" WASHED STONE)

4" DRAIN TILE ON OUTSIDE OF
 FOOTING MINIMUM 4" GRAVEL COVER
 SLEIGHT, PROX. UTILIZATION OF FITTINGS
 & ALL CONNECTIONS IS TYP.

1 FRAME WALL SECTION

SCALE: 3/4" = 1'-0"



NOTE: FOUNDING RODS ARE REQUIRED IN LOWER PORTION
 OF WALL OR FOOTING IN CONTACT WITH EARTH.
 (TYPICAL)

EXPOSED GRAFT PAPER INSULATION
 IS NOT PERMITTED. IF USED IT MUST BE
 COVERED WITH 1/2" WALL BOARD.

ROOF CONSTRUCTION

STANDING SEAM METAL ROOF INSTALLED PER MANUFACTURER'S
 SPECIFICATIONS OR ASPHALT IMPREGATED BULBING FELT, 5/8" O.S.B.
 DECKING, 240 RAFTERS @ 16" O.C. ICE AND WATER SHIELD OR
 APPROVED EQUAL TO BE APPLIED OVER AT EAVE UP SLOPE OF
 ROOF. (NOTE: LAPS TO BE MIN. 9", HORIZ. LAPS TO BE MIN. 6")

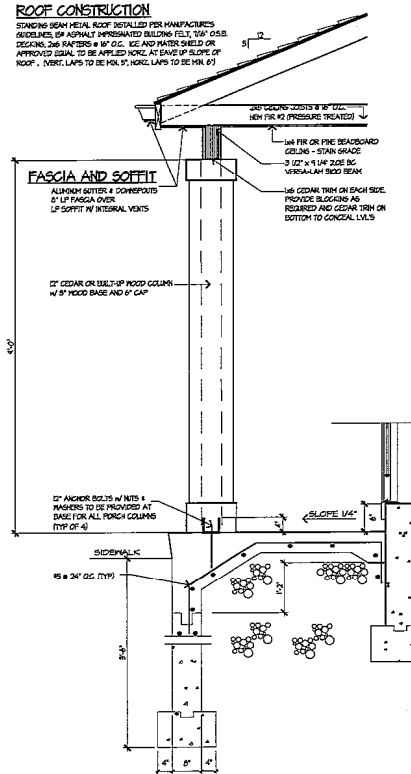
FASCIA AND SOFFIT

ALUMINUM GUTTER & DOWNSPOUTS
 1/2" FASCIA OVER
 1/2" SOFFIT W/ INTERNAL VENTS

1/2" CEDAR OR BUILT-UP WOOD COLUMN
 W/ 5" WOOD BASE AND 1" CAP

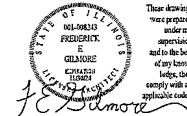
1/2" ANCHOR BOLTS W/ NTS &
 WASHERS TO BE PROVIDED AT
 BASE FOR ALL PORCH COLUMNS
 (TYP. OF 4)

5/8" 2" x 4" (TYP)



2 PORCH SECTION

SCALE: 3/4" = 1'-0"



These drawings
 were prepared
 under my
 supervision
 and to the best
 of my knowl-
 edge, they
 comply with all
 applicable codes.

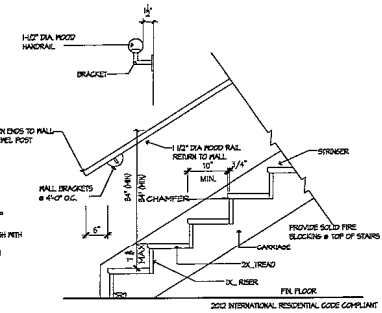
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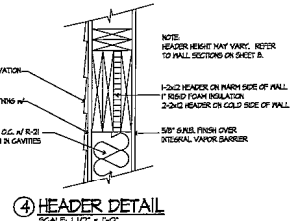
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Gilmore
 Fredrick Gilmore, Architect

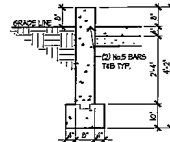
3189 Gallatin Flee Drive
 Elgin IL 60124
 847-421-8076
 email: gilmorearch@icloud.com
 www.gilmorearchitects.com



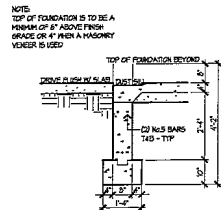
① STAIR DETAIL
SCALE: 3/4" = 1'-0"



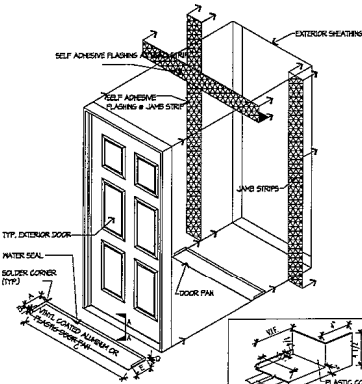
④ HEADER DETAIL
SCALE: 1/2" = 1'-0"



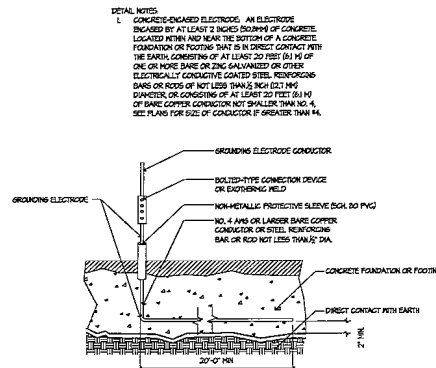
⑤ END AT GARAGE
SCALE: 1/2" = 1'-0"



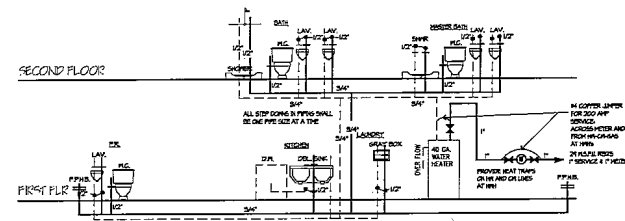
⑥ GARAGE OPENING
SCALE: 1/2" = 1'-0"



② TYP. DOOR FLASHING
SCALE: 1/2" = 1'-0"



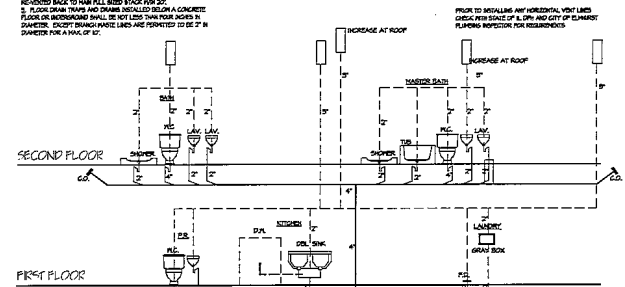
⑦ UPPER GROUND DETAIL
SCALE: NO SCALE



SUPPLY DIAGRAM
NO SCALE

LEGEND
HOT WATER
COLD WATER

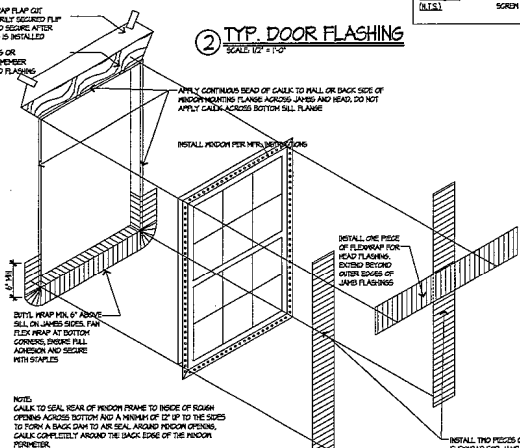
NO SCALE
1. DRAIN TRAPS SHALL HAVE A FULL SIZE CLEAN-OUT BY INSTALLED OUTSIDE THE BUILDING.
2. ALL DRAIN TRAPS SHALL NOT BE LOCATED ON THE ROOF OR ON A BALCONY UNLESS THE ROOF OR BALCONY IS A PERMANENT STRUCTURE.
3. TRAPS SHALL BE INSTALLED TO THE FLOOR OR WALL SHALL BE 2 INCHES FROM THE WALL OR SHALL BE 1/2 INCH FROM THE WALL OR SHALL BE 1/2 INCH FROM THE WALL OR SHALL BE 1/2 INCH FROM THE WALL.
4. IF FULL SIZE SPACE IS PROVIDED FOR WATER CLOSURES UNLESS INDICATED OTHERWISE, FULL SIZE OF CLEAN-OUT SHALL BE INSTALLED. ALL HOSE COUPLINGS SHALL BE WATERTIGHT.
5. IF FULL SIZE SPACE IS PROVIDED FOR WATER CLOSURES UNLESS INDICATED OTHERWISE, FULL SIZE OF CLEAN-OUT SHALL BE INSTALLED.
6. FLOOR DRAIN TRAPS AND DRAINS INSTALLED BELOW A CONCRETE FLOOR OR BELOW A FLOOR SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS. EXCEPT DRAIN TRAPS AND DRAINS SHALL BE 2 INCH DIA. UNLESS OTHERWISE NOTED.



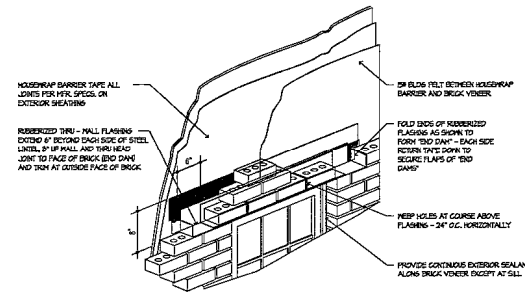
WASTE DIAGRAM
NO SCALE

LEGEND
VENT
WASTE

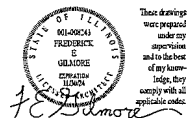
NO SCALE
1. ALL WASTE LINES SHALL BE INSTALLED TO THE FLOOR OR WALL SHALL BE 1/2 INCH FROM THE WALL OR SHALL BE 1/2 INCH FROM THE WALL OR SHALL BE 1/2 INCH FROM THE WALL.
2. ALL WASTE LINES SHALL BE INSTALLED TO THE FLOOR OR WALL SHALL BE 1/2 INCH FROM THE WALL OR SHALL BE 1/2 INCH FROM THE WALL OR SHALL BE 1/2 INCH FROM THE WALL.
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③ TYP. WINDOW FLASHING
SCALE: 1/2" = 1'-0"



⑧ THRU-WALL FLASHING @ WINDOW
SCALE: 3/4" = 1'-0"



These drawings were prepared under my supervision and to the best of my knowledge, they comply with all applicable codes.

REV.	DESCRIPTION	DATE
001	ISSUED FOR PERMIT	02-11-13

Rick Gilmore, F.A.S.A.
Fellow of the Association of Licensed Architects
SLADE STREET CROSSING
PLAN S44
PALATINE, IL 60067

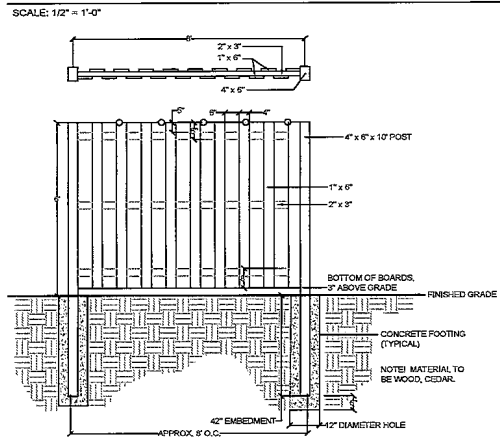
Gilmore
Frederick Gilmore, Architect

5499 Gallant Fox Drive
Elgin, IL 60124
815-231-9676
email: gilmorec@aol.com
www.gilmorearchitects.com

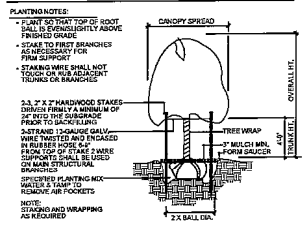
PLANT & MATERIALS LIST

CODE	QTY	SIZE	BOTANICAL NAME	COMMON NAME
Shade Trees				
ISS	1	2.5' caliper	Tilia tomentosa 'Storling Silver'	Storling Silver Linden
Columnar Shade Trees				
CRP	2	2.5' caliper	Quercus coccinea 'Regal Prince'	Regal Prince English Oak
Evergreen Trees				
PGD	1	6' high	Picea glauca 'Demaris'	Black Hills Spruce
Ornamental Trees				
AC	1	6' high	Amelanchier canadensis	Shadblow Serviceberry
BRV	1	6' high	Betula nigra 'Toe Valley'	Fox Valley Dwarf River Birch
HV	1	6' high	Hamelis venalis	Vernal Witchhazel
MC	1	6' high	Mabax x 'Camelet'	Camelet Crab
NRU	1	6' high	Natus x 'Red Jewel'	Red Jewel Flowering Crabapple
Evergreen Shrubs				
BGG	29	24" wide	Buxus x 'Green Giant'	Green Giant Boxwood
BSM	3	30" high	Buxus x 'Green Mountain'	Green Mountain Boxwood
MD	3	24" wide	Microbiota decussata	Siberian Cypress
PME	2	30" wide	Prunus mugo 'Etna'	Etnc Dwarf Mugo Pine
Large & Medium Deciduous Shrubs				
AMIB	1	7 Gal./3P	Aronia melanocarpa 'Inoquois Beauty'	Inoquois Beauty Black Chokeberry
CAH	3	7 Gal./3P	Cornus alba 'Raietto'	May Hoyo Tartarian Dogwood
FG	3	7 Gal./3P	Fuchsia gardenii	Dwarf Fuchsia
HPL	1	7 Gal./3P	Hydrangea paniculata 'Little Quick Fire'	Little Quick Fire Hydrangea
SMP	1	7 Gal./3P	Syringa meyeri 'Palibin'	Dwarf Korean Lilac
SAP	2	7 Gal./3P	Syringa x 'Phenice'	Blossoming Lilac
VCC	7	7 Gal./3P	Viburnum carlesii 'Compactum'	Dwarf Kousaspice Viburnum
Small Deciduous Shrubs				
ALSM	14	5 Gal./2P	Aronia melanocarpa 'UCONMOUNTAIN 185'	Low Scape Mound Black Chokeberry
BBC	1	5 Gal./2P	Buddleia 'Blue Chip'	Lo & Behold Butterfly Bush
DYC	2	5 Gal./2P	Doutzia x 'NCDAZ'	Yuki Cherry Blossom Deutzia
SGP	14	5 Gal./2P	Spiraea banicola 'Goldflame'	Goldflame Spirea
WMW	9	5 Gal./2P	Wiegelia tosta 'Midnight Wine'	Midnight Wine Weigela
Ornamental Grasses				
CKP	15	3 Gal.	Calamagrostis acutiflora 'Karl Foerster'	Karl Foerster Feather Reed Grass
FEB	21	1 Gal.	Festuca ovina glauca 'Elijah Blue'	Elijah Blue Fescue Grass
SA	14	1 Gal.	Sesleria autumnalis	Autumn Moor Grass
Perennials & Groundcovers				
ABI	25	1 Gal.	Amsonia montana 'Blue Ice'	Blue Ice Blue Star
ARCG	32	1 Gal.	Alaga reptans 'Cathin's Giant'	Cathin's Giant Bugleweed
CASN	29	1 Gal.	Callirrhiza nepeta s. nepeta	Callirrhiza
CGX	17	1 Gal.	Geonium x 'Saxondor'	Brookside Canebloss
NKK	19	1 Gal.	Nepeta fassenii 'Kit Cat'	Kit Cat Catmint
Materials				
-	5	C.Y.	-	Soil Amendments (1" deep)
-	15	C.Y.	-	Shredded Hardwood Mulch (2" deep)
-	18D	S.F.	-	Kentucky Bluegrass Blend Seed (24lb/50')
-	4.0AS	S.F.	-	Kentucky Bluegrass Blend Seed
-	4.215	S.F.	-	Kentucky Bluegrass Blend Seed & Blanket
-	20	EACH	-	Splash Blocks (for downspout exits)
-	189	L.F.	-	Board on Board Wood Fence (6' high)

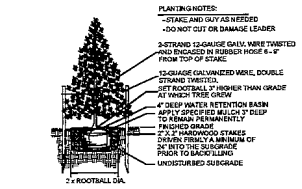
DETAIL: FENCE



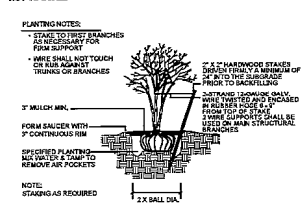
DETAILS: PLANTING



TREE PLANTING & STAKING



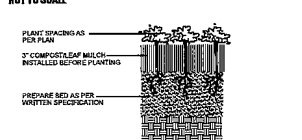
EVERGREEN TREE PLANTING



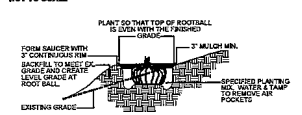
MULTI-TREE STAKING



SHRUB PLANTING



PERENNIAL PLANTING



HILLSIDE PLANTING

NOTES - GENERAL LANDSCAPE

- CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS REQUIRED. ALL CONSTRUCTION SHALL CONFORM TO APPLICABLE STANDARDS AND CODES.
- CALL ULLULE UTILITY LOCATING SERVICE (TEL 608.682.0123), 48 HOURS PRIOR TO THE START OF ANY DIGGING.
- GENERAL PLANT NOTES
 - ALL PLANT MATERIAL SHALL CONFORM IN SIZE AND GRADE IN ACCORDANCE WITH AMERICAN STANDARD FOR NURSERY STOCK.
 - ALL PLANT MATERIAL SHALL BE MAINTAINED ALIVE, HEALTHY, AND FREE FROM DISEASE AND PESTS.
 - ALL NEW PLANT MATERIAL SHALL BE FROM A LOCAL SOURCE WHENEVER POSSIBLE (LESS THAN 50 MILES).
 - PLANTS SHALL BE ALLOWED TO GROW IN THEIR NATURAL FORM/HABIT. PLANTS SHALL NOT BE PRUNED/DOCKED UNLESS ABSOLUTELY NECESSARY (DUE TO VISIBILITY OR HAZARDOUS OBSTRUCTION).
 - ALL LANDSCAPED AREAS SHALL BE FREE OF WEEDS, LITTER, AND SIMILAR SIGNS OF DEFERRED MAINTENANCE.
- LOCATIONS OF PROPOSED PLANT MATERIAL SHALL BE ADJUSTED AT TIME OF INSTALLATION DUE TO FINAL ENGINEERING AND FINAL LOCATION OF SITE UTILITIES.
- THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR PROVIDING AND SPREADING TOPSOIL (6\"/>

PROJECT TEAM

DEVELOPER:
GWR BUILDERS
47 N. BOTHWELL
PALATINE, IL
TEL (847) 209-1214

CONTACT: GREG ROSE

SURVEYOR:
MORRISON SURVEYING CO., INC.
604 BEDFORD RD. UNIT A MORRIS, IL 60450
TEL (815) 942-2620

CONTACT: MATTHEW MORRISON

CIVIL ENGINEER:
SPIES & ASSOCIATES, INC.
534 WEST CAMPUS DRIVE
ARLINGTON HEIGHTS, IL 60004
TEL (847) 577-6908

CONTACT: TIM SPIES

LANDSCAPE ARCHITECT:
DICKSON DESIGN STUDIO, INC.
9 CRYSTAL LAKE ROAD, SUITE 110
LAKE IN THE HILLS, IL 60156
TEL (224) 241-8181

CONTACT: SHARON DICKSON / JEFF TORRENS



dickson design
STUDIO
9 CRYSTAL LAKE ROAD
SUITE 110
LAKE IN THE HILLS, IL 60156
(224) 241 8181

CLIENT NAME AND ADDRESS

GWR BUILDERS

PALATINE, IL

PLAN DATE

JANUARY 2, 2024

REVISIONS

NO.	REVISIONS
1.	
2.	
3.	
4.	
5.	
6.	
7.	
8.	
9.	
10.	

PROJECT NAME AND SHEET TITLE

SLADE STREET CROSSING
PALATINE, IL

LANDSCAPE PLAN - COVER

SHEET NUMBER

L0.1

SHEET INDEX

- L0.1 PROJECT TEAM
- NOTES - GENERAL LANDSCAPE
- DETAILS: PLANTING
- PLANT & MATERIALS LIST
- DETAIL: FENCE
- L1.1 OVERALL LANDSCAPE PLAN

PUBLIC IMPROVEMENT PLANS FOR SLADE STREET CROSSING SUBDIVISION PALATINE, IL BY GWR BUILDERS, INC.

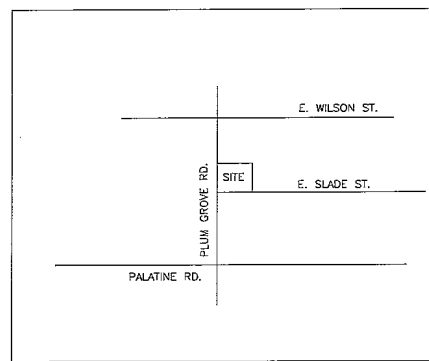
LEGAL DESCRIPTION:

PAGE 1:
LOT 8 & 7 IN BLOCK "C" IN AREA MOORE SUBDIVISION OF THE TOWN OF PALATINE IN SECTIONS 14, 15, 22 AND 23, IN TOWNSHIP 42 NORTH, RANGE 10, EAST OF THE 1850 PRINCIPAL MERIDIAN, RECORDED DECEMBER 7, 1955 IN BOOK 98 OF MAPS PAGE 26, IN COOK COUNTY, ILLINOIS

PAGE 2:
THE WEST 1/2 OF LOT 5 AND THE WEST 1/2 OF LOT 8 IN BLOCK "C" IN AREA MOORE SUBDIVISION OF THE TOWN OF PALATINE, IN SECTIONS 14, 15, 22 AND 23, IN TOWNSHIP 42 NORTH, RANGE 10, EAST OF THE 1850 PRINCIPAL MERIDIAN, RECORDED DECEMBER 7, 1955 IN BOOK 98 OF MAPS PAGE 26, IN COOK COUNTY, ILLINOIS

INDEX OF SHEETS

1. TITLE SHEET
2. GENERAL NOTES
3. EXISTING CONDITIONS
4. GRADING PLAN
5. UTILITY PLAN
6. EROSION CONTROL PLAN
7. DETAILS



LOCATION MAP

EXISTING UTILITIES

WHEN THE PLANS OR SPECIAL PROVISIONS INCLUDE INFORMATION PERTAINING TO THE LOCATION OF UNDERGROUND UTILITY FACILITIES, SUCH INFORMATION REPRESENTS ONLY THE OPINION OF THE ENGINEER AS TO THE LOCATION OF SUCH UTILITIES AND IS ONLY INCLUDED FOR THE CONVENIENCE OF THE BIDDER. THE ENGINEER AND THE OWNER ASSUME NO RESPONSIBILITY WHATSOEVER IN RESPECT TO THE SUFFICIENCY OR VERACITY OF THE INFORMATION SHOWN ON THE PLANS RELATIVE TO THE LOCATION OF UNDERGROUND UTILITY FACILITIES OR THE MANNER IN WHICH THEY ARE TO BE REMOVED OR ADJUSTED. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO DETERMINE THE ACTUAL LOCATION OF ALL SUCH FACILITIES. HE SHALL ALSO OBTAIN FROM THE RESPECTIVE UTILITY COMPANIES DETAILED INFORMATION RELATIVE TO THE LOCATION OF THEIR FACILITIES AND THE WORKING SCHEDULES OF THE UTILITY COMPANIES FOR REMOVING OR ADJUSTING THEM.

DRAINAGE STATEMENT

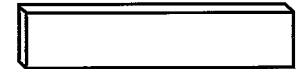
TO THE BEST OF OUR KNOWLEDGE AND BELIEF, THE DRAINAGE OF SURFACE WATERS WILL NOT BE CHANGED BY THE CONSTRUCTION OF THIS SUBDIVISION OR ANY PART THEREOF, OR, THAT DRAINAGE WILL BE CHANGED, REASONABLE PROVISION HAS BEEN MADE FOR THE COLLECTION AND DIVERSION OF SUCH SURFACE WATERS INTO THE PUBLIC AREAS, OR DRAINS APPROVED FOR THE USE BY THE MUNICIPAL ENGINEER, AND THAT SUCH SURFACE WATERS ARE PLANNED FOR IN ACCORDANCE WITH GENERALLY ACCEPTED ENGINEERING PRACTICES SO AS TO REDUCE THE LIKELIHOOD OF DAMAGE TO THE ADJOINING PROPERTY BECAUSE OF THE CONSTRUCTION OF THIS SUBDIVISION.

REGISTERED PROFESSIONAL ENGINEER 62-42874

PREPARED FOR:
GWR BUILDERS
47 N. BOTHWELL
PALATINE, IL

LEGEND		
DESCRIPTION	EXISTING	PROPOSED
SHADY SIDE	→	→
STORM SEWER	—	—
UNDERGROUND	—	—
WEDGEMAN	—	—
GAS	—	—
SEWER	—	—
WATER	—	—
CABLE	—	—
ELECTRIC	—	—
MANHOLE, VALET, OR PILE HEADMAN, VALVE	⊙	⊙
ELEVATIONS	(XXXXXX)	XXXXXX
TOP OF CURB	XXXXXX	XXXXXX
EDGE OF PAVEMENT	XXXXXX	XXXXXX
GEOMETRIC COORDINATE	⊙	⊙
LIGHT POLES	⊙	⊙
DRAINAGE ARROWS	→	→
SEWER CLEANOUT	○	○
WATER METER VAULT	—	—
UTILITY POLE	⊙	⊙
SOIL BERMING	N/A	⊙
TRAFFIC SIGN	→	→
TRAFFIC ARROW	→	→
PARKING STALL COUNT	⊙	⊙
TRUCK	⊙	⊙
RELOCATE TREE	○	○
TREE REMOVAL	X	N/A
PAVEMENT REMOVAL	XXXXXX	N/A
P.C.C.	XXXXXX	N/A
MARSH	XXXXXX	N/A

ALL DIMENSIONS AND COORDINATES ARE REFERENCED TO THE EDGE OF PAVEMENT UNLESS INDICATED OTHERWISE.
DASHED LINES AND DOTTED LINES INDICATE EXISTING IMPROVEMENTS



EXPIRES 11-30-25

CALL TOLL FREE
1(800)892-0123
ORDER 30 MIN. A
OR 24 HRS. A YEAR



CALL
1(800)892-0123
48 HOURS BEFORE
YOU DIE

PROJECT BENCHMARK:
CROSS CUT ON NW UPPER FLANGE BOLT OF
FIRE HYDRANT LOCATED AT THE NW CORNER
OF PLUM GROVE RD. & WILSON STREET
NGVD29 ELEVATION 755.77
TO OBTAIN NAVD88 DATUM SUBTRACT 0.284'

SPIES & ASSOCIATES, INC.
Civil Engineers - Land Surveyors

534 WEST CAMPUS DRIVE
ARLINGTON HEIGHTS, ILLINOIS 60004
PH 847.577.8808 FAX 847.577.0229

REVISIONS
PER VILL 02-01-24

DRAWN BY: L.T.S.

JOB NO. 5351

DESIGNED BY: T.J.S.

CHECKED BY: T.J.S.

DATE: 10-10-23

PUBLIC IMPROVEMENT PLANS
COVER SHEET & LOCATION MAP

SHEET NO.

1

OF 7 SHEETS

GENERAL NOTES AND CONDITIONS

1. ALL EARTHWORK, GRADING AND PAVING SHALL BE PERFORMED IN ACCORDANCE WITH THE ILLINOIS DEPARTMENT OF TRANSPORTATION, CURRENT EDITION, AND ALL REVISIONS AND SUPPLEMENTS THEREON, AND THE REQUIREMENTS AND SPECIFICATIONS OF THE VILLAGE OF PALMATE.
 2. ALL SANITARY SEWER, WATER MAIN, AND STORM SEWER SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE ILLINOIS DEPARTMENT OF TRANSPORTATION, CURRENT EDITION, AND ALL REVISIONS AND SUPPLEMENTS THEREON, AND THE REQUIREMENTS AND SPECIFICATIONS OF THE VILLAGE OF PALMATE.
 3. THE REQUIREMENTS AND SPECIFICATIONS OF THE ILLINOIS DEPARTMENT OF TRANSPORTATION, CURRENT EDITION, AND ALL REVISIONS AND SUPPLEMENTS THEREON, AND THE REQUIREMENTS AND SPECIFICATIONS OF THE VILLAGE OF PALMATE, SHALL GOVERN OVER ALL.
 4. THE VILLAGE OF PALMATE ENGINEERING DEPARTMENT MUST BE NOTIFIED AT LEAST TWO (2) WORKING DAYS PRIOR TO THE REQUEST FOR INSPECTION, COMMENCEMENT OR RESUMPTION OF ANY WORK.
 5. THE CONTRACTOR SHALL KEEP COMPLETE MEASUREMENTS AND RECORDS OF ALL CONSTRUCTION AND SHALL FURNISH THE ENGINEER AND THE VILLAGE WITH RECORD DRAWINGS UPON COMPLETION OF HIS WORK. SET OF REPRODUCIBLE RECORD DRAWINGS AND COPIES MUST BE FURNISHED TO THE VILLAGE BY THE DEVELOPER.
- THE CONTRACTOR SHALL ACCURATELY MARK THE LOCATION OF EACH SANITARY SEWER, STORM SEWER AND WATER SERVICE CONNECTION BY PLACING A 4" X 4" POST EVERY FEET LONG AT THE END OF EACH SERVICE CONNECTION. EACH POST SHALL BE SET SO IT IS PLUMB AND THE TOP END IS TWO FEET ABOVE FINISHED GRADE. THE TOP OF THE TOP LIGHTEN (18) INCHES OF EACH POST SHALL BE NEATLY PAINTED TO BE WHITE WHICH COULD BE MARKED WITH REDDISH SHADINGS. GREEN INDICATES STORM AND BLUE INDICATES WATER. POSTS WHICH ARE DESTROYED, BROKEN OR PULLED OUT SHALL BE REPLACED BY THE CONTRACTOR.

THE CONTRACTOR SHALL PROVIDE THE ENGINEER WITH A TABULAR LISTING OF EACH SANITARY SEWER CONNECTION WITH THE LOCATIONS RELATIVE TO PERMANENT FIXED OBJECTS SUCH AS MANHOLES, PROPERTY CORNERS, CURBS, ETC. THREE PRECISE INTERSECTING LOCATION MEASUREMENTS. THE DISTANCE MEASURED FROM FINISHED GRADE SHALL ALSO BE RECORDED. FINALLY, THE LOCATION OF ALL WAYS AND SERVICE LINE WAYS SHALL BE ACCURATELY RECORDED BY MEASURING THE DISTANCE TO THE NEAREST CONSTRUCTION STRUCTURE.

THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES IN THE FIELD PRIOR TO CONSTRUCTION. THIS INCLUDES SANITARY SEWER, WATER MAIN, STORM SEWER, ILLINOIS BELL TELEPHONE, COMMERCIAL ENERGY, WIRELESS ILLINOIS GAS, AND CABLE TELEVISION IF ANY. THE JULIE NUMBER IS 1-800-892-0123.

 7. ALL WORK PERFORMED BY THE CONTRACTOR SHALL BE GUARANTEED BY THE CONTRACTOR FOR A PERIOD OF NINETY (90) DAYS FROM THE DATE OF FINAL ACCEPTANCE. THIS GUARANTEE SHALL INCLUDE ALL DEFECTS IN MATERIALS AND WORKMANSHIP.
 8. ANY DEFECT OR MATERIALS SHALL BE DISPOSED OF BY THE CONTRACTOR OFFSITE AT THE CONTRACTOR'S EXPENSE. THE DISPOSAL LOCATION MUST BE APPROVED BY THE VILLAGE OF PALMATE.
 9. ALL STRUCTURES, INLETS, PIPES, SHALES AND ROADS MUST BE KEPT CLEAN AND FREE OF DIRT AND DEBRIS AT ALL TIMES.
 10. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ADEQUATE SIGNS, BARRICADES, FLAGMEN, TRAFFIC CONTROL, LIGHTS AND MEASURES, AND ALL OTHER MEASURES THAT ARE NECESSARY TO PROTECT THE SAFETY OF THE PUBLIC. THESE MEASURES SHALL BE AS PER THE MANUAL OF TRAFFIC CONTROL DEVICES, CURRENT EDITION.
 11. THE CONTRACTOR, BY AGREEING TO PERFORM THE WORK, AGREES TO INDEMNIFY AND HOLD HARMLESS THE OWNER, THE ENGINEER, THE VILLAGE AND ALL AGENTS AND ASSIGNS OF THOSE PARTIES, FROM ALL SUITS AND CLAIMS ARISING OUT OF THE PERFORMANCE OF SAID WORK, AND FURTHER AGREES TO DEFEND OR OTHERWISE PAY ALL LEGAL FEES ARISING OUT OF THE DEFENSE OF SAID PARTIES.
 12. ALL ELEVATIONS ARE IN 1985 DATUM.

SOIL EROSION AND SEDIMENT CONTROL

1. REASONABLE CARE MUST BE TAKEN TO MINIMIZE SOIL EROSION. REFER TO THE STATE OF ILLINOIS PROCEDURES AND STANDARDS FOR URBAN SOIL EROSION AND SEDIMENTATION CONTROL. THE U.S. SOIL CONSERVATION SERVICE IS ALSO AVAILABLE TO PROVIDE GUIDANCE.
2. ANY DISTURBED AREAS SHALL BE KEPT TO A PRACTICAL MINIMUM AND SHALL BE MULCHED, SEEDED, SOODED, OR PAVED WITHIN 7 CALENDAR DAYS FOLLOWING THE END OF ACTIVE DISTURBANCE.
3. ALL INLETS, STRUCTURES, PIPES, SHALES, AND ROADS SHALL BE KEPT CLEAN AND FREE OF DIRT AND DEBRIS.
4. STOCKPILES SHALL HAVE A BERM OR TRENCH AROUND THE CIRCUMFERENCE TO CONTROL SILT. STOCK PILES IN PLACE LONGER THAN 10 DAYS SHALL BE SEEDING.
5. STORM SALES FINELY ANCHORED SHALL BE PLACED AROUND ALL INLETS, CATCHBASINS, SHALES, AND ADJACENT LAMPS THAT RECEIVE SILTY RUNOFF DURING THE COURSE OF CONSTRUCTION. ALL STORM STRUCTURES SHALL HAVE FILTER FABRIC PLACED UNDER THE COVER AS ADDED PROTECTIVE ADDITIONAL MEASURES AS DIRECTED BY THE VILLAGE ENGINEER.
6. ALL WETLANDS AND WATERCOURSE SHALL BE TOTALLY PROTECTED WITH SILT FENCE.
7. ADDITIONAL SOIL EROSION CONTROL MEASURES SHALL BE UNDERTAKEN DURING THE COURSE OF CONSTRUCTION, AS NEEDED.
8. MAINTAIN SOIL EROSION CONTROL DEVICES THROUGH THE DURATION OF THIS PROJECT.
9. REPLACE SOIL EROSION CONTROL DEVICES WITH SOO AND TOPSOIL AT THE COMPLETION OF THE PROJECT.
10. FOLLOWING PRELIMINARY EARTHWORK AND STORM SEWER CONSTRUCTION, SILT FENCE WILL BE PLACED AROUND THE DETENTION POND AND EITHER MAY BARS OR SILT FENCE WILL BE STAKED AROUND INLET STRUCTURES AS DIRECTED BY THE CITY ENGINEER.
11. PERENNIAL RYE GRASS SHALL BE SEEDING AND MAINTAINED IN AREAS WITH HIGH EROSION POTENTIAL.

STORM SEWER

1. ALL STORM SEWER SHALL BE CONSTRUCTED OF REINFORCED CONCRETE PIPE CLASS IV OR HEAVIER CONFORMING TO ASTM C-76, WITH REINFORCED JOINTS (ASTM C-433).
2. ALL INLETS, CATCHBASINS, AND MANHOLES SHALL BE PRECAST CONCRETE.
3. ALL STORM SEWERS UNDER AND WITHIN TWO FEET OF ANY EXISTING OR PROPOSED PAVEMENT OR SIDEWALK SHALL BE BACKFILLED WITH GRANULAR BACKFILL MATERIAL FOOT GRADATION CA-7 OR APPROVED EQUAL. (FOUR CRUSHED)
4. ANY FIELD TILES ENCOUNTERED SHALL BE RECONNECTED OR CONNECTED TO THE STORM SEWER SYSTEM. THE SIZE, LOCATION, AND DEPTH OF THE TILES SHALL BE RECORDED BY THE CONTRACTOR AND IMMEDIATELY REPORTED TO THE VILLAGE OF PALMATE. LOCATION, SIZE & INVERT OF FIELD TILES TO BE SHOWN ON RECORD DRAWINGS.
5. FOOTING DRAINS SHALL DISCHARGE TO GRADE VIA SUMP PUMP DISCHARGE.

WATER SERVICE

1. THE MINIMUM COVER FOR ALL WATER WATER SERVICE PIPE IS FIVE AND A HALF FEET (5'-6") FROM FINISHED GRADE TO TOP OF PIPE.
2. A MINIMUM HORIZONTAL DISTANCE OF 10 FEET SHALL BE MAINTAINED BETWEEN THE WATER MAIN AND ANY SEWERS WHEN THEY ARE PARALLEL. HOWEVER, A SEWER CROSSES A WATER MAIN, A MINIMUM VERTICAL DISTANCE OF 18 INCHES MUST BE MAINTAINED BETWEEN THE OUTSIDE OF THE WATER MAIN AND ANY SEWERS WHEN THEY ARE PARALLEL. CONSTANT AS FAR AS POSSIBLE FROM THE WATER MAIN JOINTS. WHEN IT IS NECESSARY FOR A SEWER TO CROSS OVER THE TOP OF A WATER MAIN, THE FOLLOWING METHODS MUST ALSO BE CONSTRUCTED: A) THE SEWER SHALL BE DESIGNED AND CONSTRUCTED EQUAL TO WATER MAIN PIPE FOR A DISTANCE TO FEET EITHER SIDE OF THE CROSSING AND SHALL BE PRESSURE-TESTED TO INSURE WATER TIGHTNESS PRIOR TO BACKFILLING.

THE WATER MAINS SHALL BE 18" DIA. THE CURB STOP SHALL BE WUELLER #115104 AND THE SERVICE BOX SHALL BE WUELLER #115103. ALL ITEMS SHALL CONFORM TO THE REQUIREMENTS OF THE VILLAGE OF PALMATE.

SANITARY SEWER NOTES

1. ALL SANITARY PIPE AND SERVICES SHALL BE PVC (S.D.A. 26) PIPE CONFORMING TO ASTM D-3034 WITH Gasket JOINTS CONFORMING TO ASTM D-3212.
2. ALL JOINTS SHALL BE PROTECTED WITH A MINIMUM OF 1" OF SAND.
3. ALL FLOOR DRAINS SHALL DISCHARGE TO THE SANITARY SEWER.
4. ALL DOWNSPOUTS AND OUTSIDE DRAINS SHALL DISCHARGE TO GRADE AND NOT TO THE SANITARY SEWER.
4. ALL SANITARY SEWER CONSTRUCTION REQUIRES STONE BEDDING MATERIAL 1/4" TO 3/4" IN SIZE, WITH A THICKNESS BELOW THE BOTTOM OF THE PIPE UP NOT LESS THAN 4" AND EXTENDING TO A MINIMUM OF 12" ABOVE THE TOP BACKFILL SHALL BE 04-11/13, 100% CRUSHED PER ASTM D-3321, EQUIVALENT TO CLASS 1 OR APPROVED EQUAL.
5. "BAND-SAW" OR SIMILAR FLEXIBLE-TYPE COUPLINGS SHALL BE USED IN THE CONNECTION OF SEWER PIPE OF DISSIMILAR MATERIALS. ALL HARDWARE ASSOCIATED WITH THE COUPLINGS SHALL BE OF STAINLESS STEEL.
6. WHEN CONNECTING TO AN EXISTING SEWER MAIN BY MEANS OTHER THAN AN EXISTING WYE TEE OR AN EXISTING MANHOLE, ONE OF THE FOLLOWING METHODS SHALL BE USED: A) REMOVE AN ENTIRE SECTION OF PIPE (BRANCH ONLY THE TOP OF ONE BELL) AND REPLACE WITH A WYE OR TEE BRANCH SECTION. B) WITH PIPE CUTTER, NEARLY AND ACCURATELY CUT THE DESIRED LENGTH OF PIPE FOR INSURANCE OF PROPER FITTING, USING "BAND-SAW" OR SIMILAR COUPLINGS TO HOLD IT FIRMLY IN PLACE. C) INSTALL A NEW MANHOLE.
7. ALL SEPTIC TANKS (IF ANY) BEING ABANDONED SHALL BE FILLED OR DESTROYED. ALL SEPTIC TANKS SHALL BE REMOVED FROM THE PROPERTY.
8. ALL SEWER CONNECTIONS SHALL BE MADE UPSTREAM FROM THE DEPARTMENT. CONTRACTORS SHALL OBTAIN ANY NECESSARY PERMITS FOR REMOVAL.
11. ALL SANITARY AND STORM MANHOLES SHALL BE PRECAST CONCRETE, TYPE A WITH PRECAST CONCRETE ADJUSTING RINGS, AND SHALL HAVE A MINIMUM INSIDE DIAMETER OF 48 INCHES. THE MANHOLE FRAME SHALL BE SECURED TO THE MANHOLE WITH MASTIC OR MORTAR.
9. A MINIMUM HORIZONTAL DISTANCE OF 10 FEET SHALL BE MAINTAINED BETWEEN THE WATER MAIN AND ANY SEWERS WHEN THEY ARE PARALLEL. HOWEVER, A SEWER CROSSES A WATER MAIN, A MINIMUM VERTICAL DISTANCE OF 18 INCHES MUST BE MAINTAINED BETWEEN THE OUTSIDE OF THE PIPES AND THE SEWER JOINTS. WHEN IT IS NECESSARY FOR A SEWER TO CROSS OVER THE TOP OF A WATER MAIN, THE FOLLOWING METHOD MUST ALSO BE CONSTRUCTED: A) THE SEWER SHALL BE DESIGNED AND CONSTRUCTED EQUAL TO THE WATER MAIN PIPE FOR A DISTANCE TEN (10) FEET EITHER SIDE OF THE CROSSING AND SHALL BE PRESSURE-TESTED TO INSURE WATER TIGHTNESS PRIOR TO BACKFILLING.
11. ALL SANITARY WATER MAINS SHALL BE 18" DIA. WITH 150 PSI MIN. WALL THICKNESS. ALL SANITARY & STORM SEWERS MUST BE TRENCHED AND THE DEPTH SHALL BE 18" BELOW THE FINISHED GRADE. ALL TRENCHES SHALL BE BACKFILLED WITH SAND AND DETRITS. ETC LOCATED AND TESTING AND DEFLECTION TESTING OF ALL SANITARY SEWERS IS REQUIRED.
- CONSTRUCTION SHALL CONFORM TO ILLINOIS RECOMMENDED STANDARDS FOR SEWER WORKS, LATEST EDITION, PUBLISHED BY THE ILLINOIS E.P.A. ENGINEER FOR SEWERAGE WITH THE VILLAGE OF PALMATE PRECEDENCE. WHERE THE VILLAGE ORDINANCE SHALL TAKE PRECEDENCE.
11. ALL MANHOLES, CATCHBASINS & VALVE VAULTS IN STREET SHALL BE SET IN A FULL MORTAR BED.

EARTHWORK, GRADING, AND PAVING

1. ALL PROPOSED PAVEMENT AREAS SHALL BE STRIPPED OF ALL TOPSOIL AND UNDESIRABLE MATERIAL AND EXCAVATED OR FILLED TO WITHIN 0.10 FEET OF DESIGN SUBGRADE.
2. THE SUBGRADE SHALL BE FREE OF ALL UNSUITABLE MATERIAL AND SHALL BE COMPACTED TO A MINIMUM 95 PER CENT OF MOISTURE PROCTOR DENSITY.
3. THE SUBGRADE SHALL BE INSPECTED BY A QUALIFIED SOILS TESTING LABORATORY REPRESENTATIVE.
4. STOCKING OF SOIL SHALL BE AT LOCATIONS DESIGNATED BY OWNER, AND AS SHOWN ON THE PLANS.
5. THE EARTHWORK CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF SPILL MATERIAL FROM THE UNDERGROUND CONTRACTORS, PREPARING THE PROPOSED GRADE, PLACING TOPSOIL TO A MINIMUM DEPTH OF 6 INCHES TO FINISHED GRADE, GRADING OR DRAINAGE SHALES, AND ALL OTHER TASKS AS DIRECTED BY THE OWNER OR ENGINEER.
6. THE QUANTITIES CONTAINED IN THESE DOCUMENTS ARE APPROXIMATE AND ESTIMATED, AND ARE PRESENTED AS A GUIDE TO THE CONTRACTOR IN DETERMINING ALL QUANTITIES AND TO BECOME FAMILIAR WITH THE SITE AND SOIL CONDITIONS.
7. THE EARTHWORK CONTRACTOR IS RESPONSIBLE FOR MAINTAINING POSITIVE DRAINAGE AT THE COMPLETION OF EACH WORKING DAY.
8. THE PAVING CONTRACTOR IS RESPONSIBLE FOR THE FINAL SUBGRADE PREPARATION, THE FINISHING BASE, FINISH, AND SURFACE, AND ALL FINAL CLEAN-UP AND RELATED WORK ASSOCIATED WITH THE PAVING OPERATION.
9. THE PROPOSED CURB AND GUTTER AND PAVEMENT SHALL BE OF THE TYPE AND THICKNESS AS SPECIFIED IN THE ENGINEERING DRAWINGS, AND CONSTRUCTED IN STRICT CONFORMANCE WITH THE PREVIOUS REFERENCED STANDARD SPECIFICATIONS, AND THE REQUIREMENTS OF THE VILLAGE OF PALMATE.
10. THE CONSTRUCTION CURB AND CUTTER SHALL BE CONSTRUCTED OF LOCAL CLASS II CONCRETE AND SHALL BE IN STRICT CONFORMANCE WITH THE PROVISIONS OF SECTION 720.04 OF STANDARD SPECIFICATIONS, CURRENT EDITION. ALL CURB AND CUTTER SHALL BE BROOM FINISHED.
11. CURING AND PROTECTION OF ALL CONCRETE SHALL BE IN STRICT CONFORMANCE WITH THE PROVISIONS OF SECTION 720.13 OF STANDARD SPECIFICATIONS, CURRENT EDITION.
12. THE CURB AND CUTTER SHALL HAVE TWO (2) 3/4"-THICK REINFORCED FIBER REINFORCED PLASTER JOINTS WITH 3/4"-DIAMETER BY 10'-HIGH LONG PLAIN ROUND STEEL DOWN BAR AT 10'-FOOT INTERVALS AT ALL R.C.S. AND P.T.S. AND AT ALL CURB RETURNS. CONSTRUCTION JOINTS SHALL BE CONSTRUCTED AT 10'-FOOT INTERVALS. THE COST OF THESE JOINTS SHALL BE INCIDENTAL TO THE CURB AND CUTTER.
13. DEPRESSED CURB SHALL BE PROVIDED FOR HANDICAPPED RAMPS AT ALL SIDEWALKS ADJUTING THE CURB AND GUTTER.

NOTES ON

SEQUENCE OF EROSION CONTROL MEASURES PRIOR TO ANY EXCAVATION WORK THE PERIMETER OF THE PROJECT SHALL BE SILT FENCED AS WELL AS ANY WETLANDS THAT ARE TO BE PROTECTED.

1. STRIPPING & STOCKING OF TOPSOIL AND ROUGH GRADING.
2. PLACEMENT OF ALL SILT FENCE AS SOON AS BASINS ARE COMPLETED.
3. FINAL GRADING AND CONSTRUCTION.
4. ESTABLISH PERMANENT VEGETATION OR EROSION CONTROL MATING DURING THE FIRST POSSIBLE GROWING SEASON.

NOTES ON SOIL DEPOSIT LEFT ON EROSION CONTROL DEVICES WILL BE REMOVED AFTER EACH RAINFALL.

1. SOIL DEPOSITS LEFT ON EROSION CONTROL DEVICES WILL BE REMOVED AFTER EACH RAINFALL.
2. IF PART OF THE SILT FENCE DETRIORATES DURING THE CONSTRUCTION, IT WILL BE REPLACED. SILT FENCES SHALL BE INSPECTED AND REPAIRED DAILY.
3. AFTER THE COURSE OF CONSTRUCTION AND AFTER GRASS HAS TAKEN, EROSION CONTROL DEVICES WILL BE REMOVED. SHALES WILL BE GRADED TO CONFORM TO THE PROPOSED GRADING PLAN, AND GRASS WILL BE PLACED IN THESE AREAS.

NOTE:

ALL STOCK PILES SHALL BE SILT FENCED & TEMPORARILY SEEDING. ALL TEMPORARY SEEDING SHALL BE DONE WITHIN 7 DAYS OF ROUGH GRADING. ALL PERMANENT SEEDING SHALL BE DONE WITHIN 7 DAYS OF FINAL GRADING. ALL STORM RUNOFF TO BE COLLECTED & CONVEYED TO THE DETENTION BASIN IN STORM SEWERS. ALL DRAINAGE CHANNELS SHALL BE SEEDING & NETTED OR SOODED AND SHALL BE INSPECTED AFTER EACH 1/2" RAINFALL. ANY MAINTENANCE REQUIRED SHALL BE DONE IMMEDIATELY. ALL SHALES SHALL BE PROTECTED BY ROCK CHECK DAMS PER DETAIL 0 50' INTERVALS, ACCORDING TO CONSERVATION PRACTICES #910.

SCHEDULE OF QUANTITIES			
VALUE	GRADE AREA	PAVEMENT AREA	IMPRINT
10.00	R-1712-C	R-1712-C	"WATER"
0.00	R-4340-B	R-4340-B	NONE
0.00	R-1712-C	R-1712-C	"STORM"
0.00	R-1712-C	R-1712-C	"SANITARY"
0.00	R-1712-C	R-1712-C	NONE

ALL QUANTITIES SHALL BE MEASURED OR APPROVED EQUAL. ALL QUANTITIES SHALL BE PROVED AS APPLICABLE. THE VILLAGE OF PALMATE SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.

TABLE OF PIPE & JOINT SPECIFICATIONS			
USE	MATERIAL	GRADE SPEC.	JOINT SPEC.
STORM	R.C.P.	N C-76	C-443
SANITARY SEWER	P.V.C.	D-3034	ASTM D-3212
SANITARY SUMP	P.V.C.	D-3034	ASTM D-3212
WATER MAIN	D.I.P.	A-53	ASTM A-53

NOTE: MINIMUM REQUIREMENT ALL SEWER PIPES AS L.A.P. SHALL BE 18" DIA. UNLESS OTHERWISE SPECIFIED. ALL TRENCHES SHALL BE BACKFILLED WITH SAND AND DETRITS. ETC LOCATED AND TESTING AND DEFLECTION TESTING OF ALL SANITARY SEWERS IS REQUIRED.

SPICES & ASSOCIATES, INC.
Civil Engineers - Land Surveyors

534 WEST CAMPUS DRIVE
ARLINGTON HEIGHTS, ILLINOIS 60004
PH 847.577.8808 FAX 847.577.0229

REVISIONS

PER VILL 02-01-24

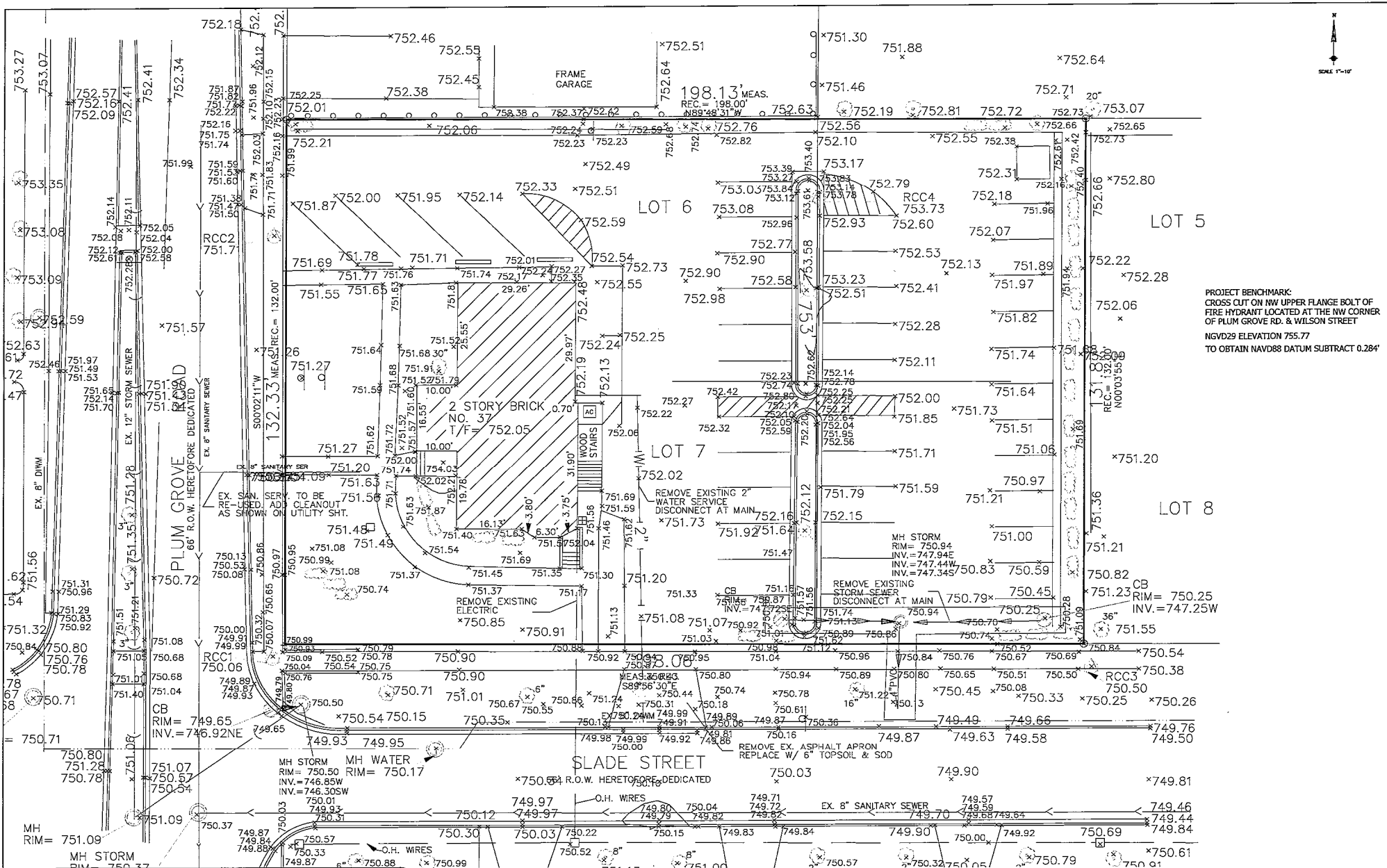
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DESIGNED BY: TJS SCALE:

CHECKED BY: TJS DATE: 10-10-23

GENERAL NOTES
SLADE STREET CROSSING SUBDIVISION

SHEET NO. 2 OF 7 SHEETS



PROJECT BENCHMARK:
 CROSS CUT ON NW UPPER FLANGE BOLT OF
 FIRE HYDRANT LOCATED AT THE NW CORNER
 OF PLUM GROVE RD. & WILSON STREET
 NGVD29 ELEVATION 755.77
 TO OBTAIN NAVD83 DATUM SUBTRACT 0.284'

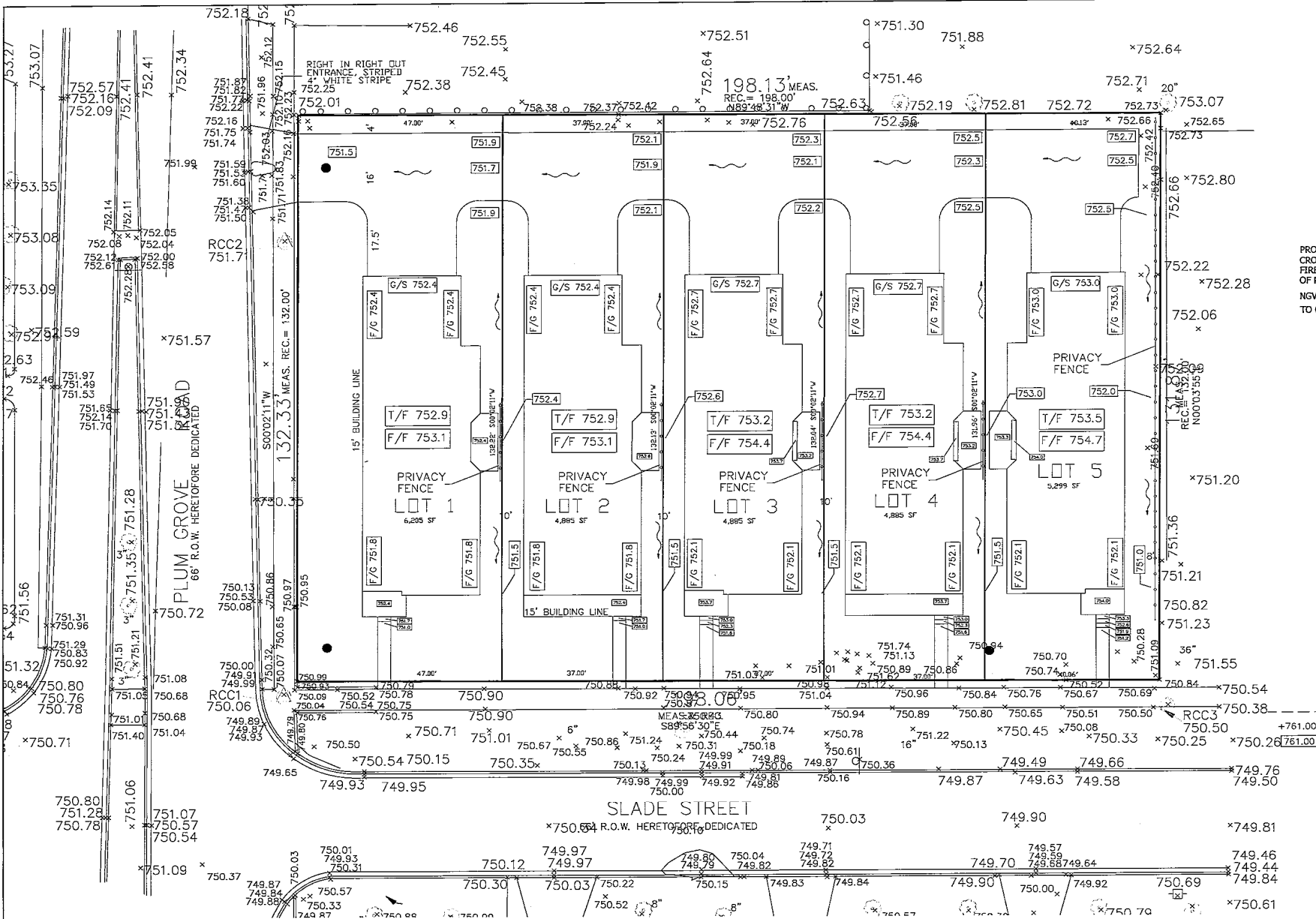
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REVISIONS
 PER VILL 02-01-24

DRAWN BY: TJS
 DESIGNED BY: TJS
 CHECKED BY: TJS
 JOB NO. 5351
 SCALE: 1"=10'
 DATE: 10-10-23

EXISTING CONDITIONS
 SLADE STREET CROSSING SUBDIVISION

SHEET NO.
3
 OF 7 SHEETS



PROJECT BENCHMARK:
 CROSS CUT ON NW UPPER FLANGE BOLT OF
 FIRE PLUMBRANT LOCATED AT THE NW CORNER
 OF PLUM GROVE RD. & WILSON STREET
 NGVD29 ELEVATION 755.77
 TO OBTAIN NAVD88 DATUM SUBTRACT 0.284'

EXISTING CONTOUR LINE
 --- EXISTING ELEVATION
 - - - PROPOSED ELEVATION

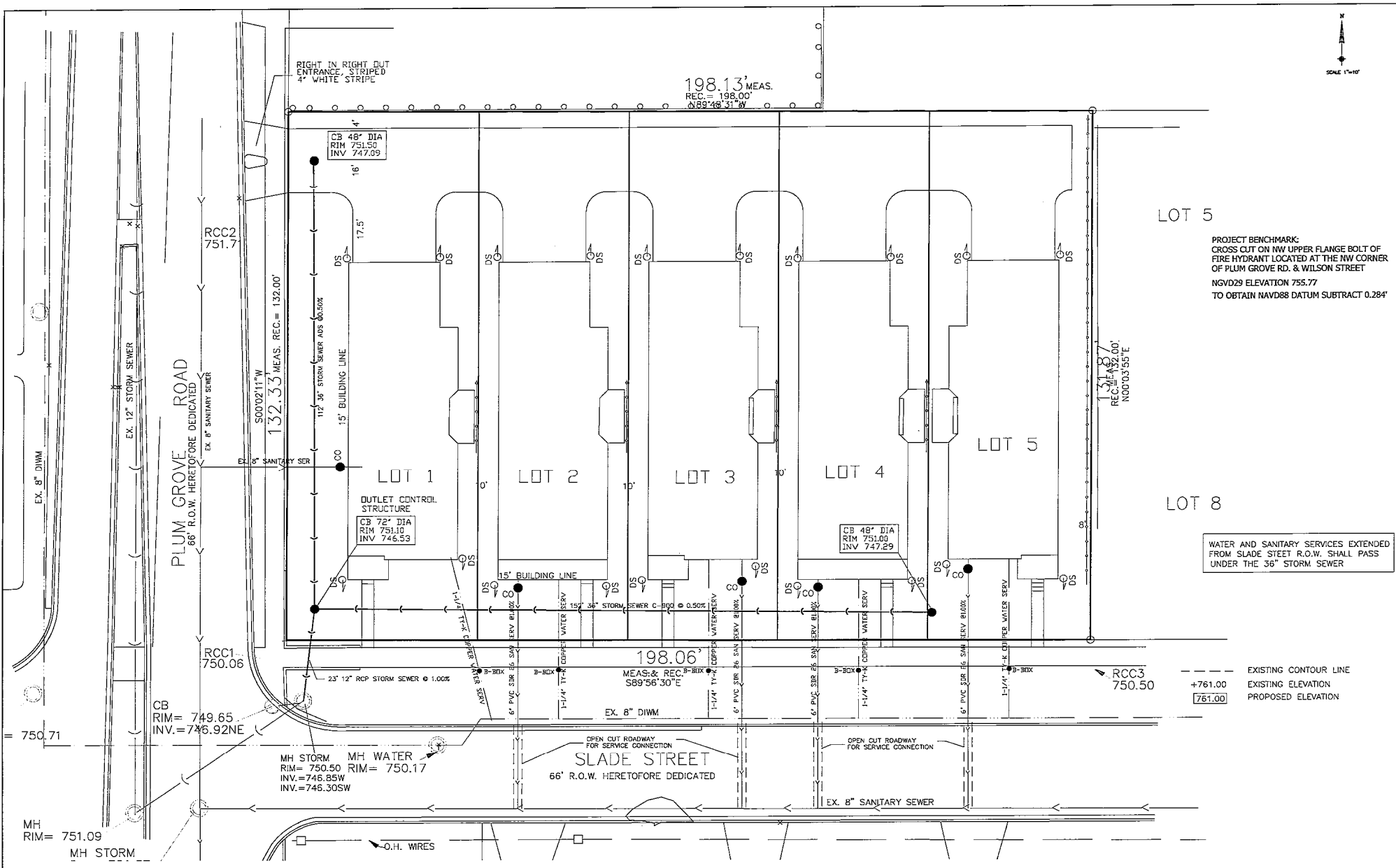
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REVISIONS	
PER VILL 02-01-24	

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CHECKED BY: TJS	DATE: 10-10-23

GRADING PLAN
SLADE STREET CROSSING SUBDIVISION

SHEET NO.
4
 OF 7 SHEETS



PROJECT BENCHMARK:
CROSS CUT ON NW UPPER FLANGE BOLT OF
FIRE HYDRANT LOCATED AT THE NW CORNER
OF PLUM GROVE RD. & WILSON STREET
NGVD29 ELEVATION 755.77
TO OBTAIN NAVD88 DATUM SUBTRACT 0.284'

WATER AND SANITARY SERVICES EXTENDED
FROM SLADE STREET R.O.W. SHALL PASS
UNDER THE 36" STORM SEWER

SPIES & ASSOCIATES, INC.
Civil Engineers - Land Surveyors

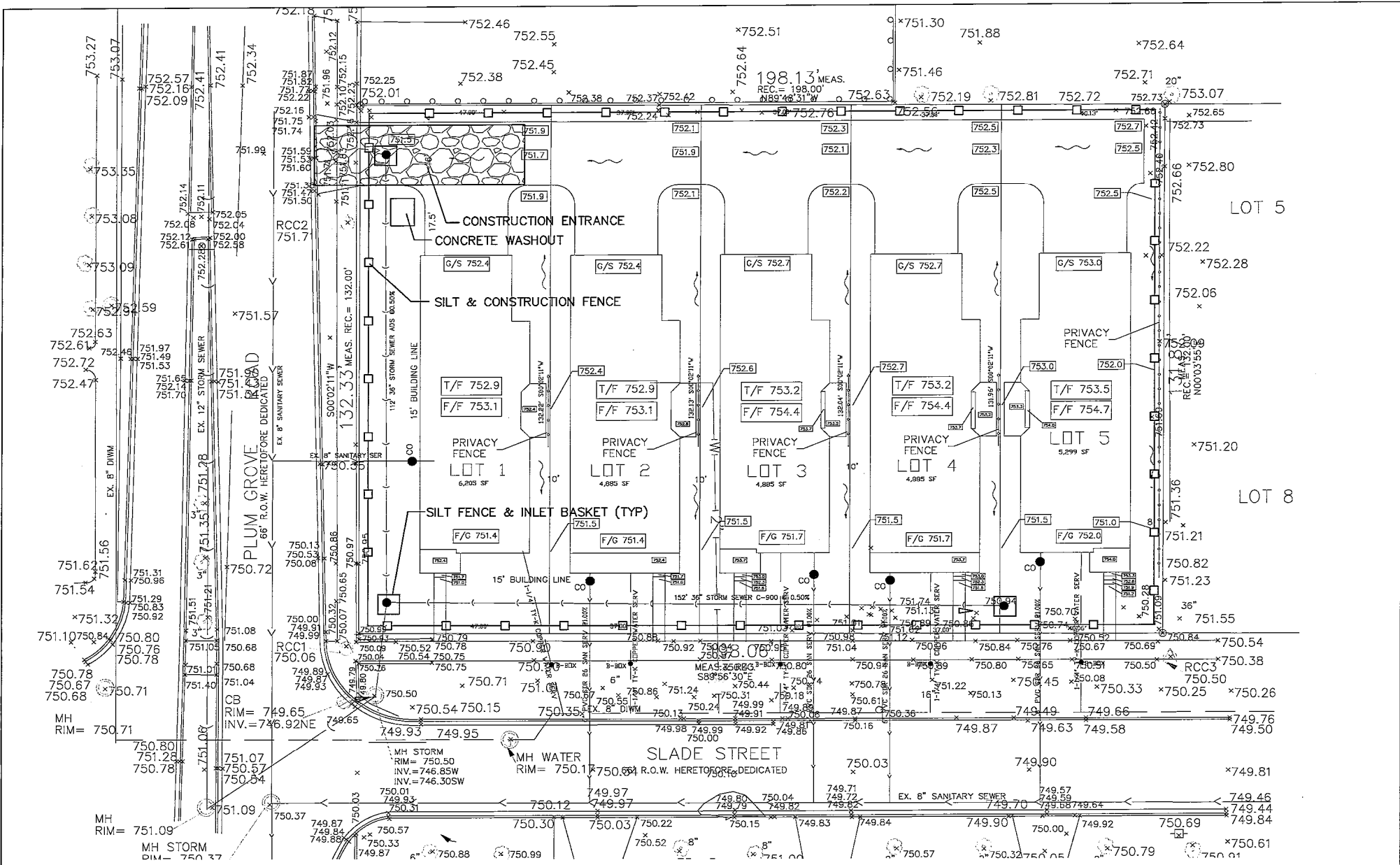
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REVISIONS	
PER VILL 02-01-24	

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UTILITY PLAN
SLADE STREET CROSSING SUBDIVISION

SHEET NO.
5
OF 7 SHEETS



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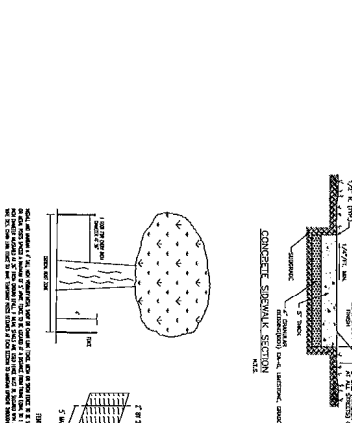
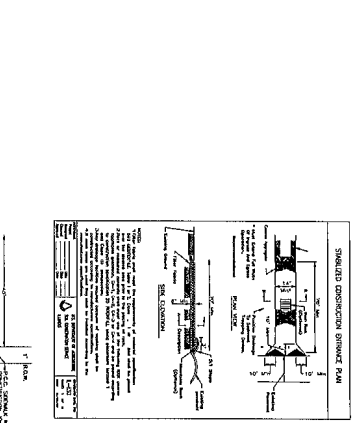
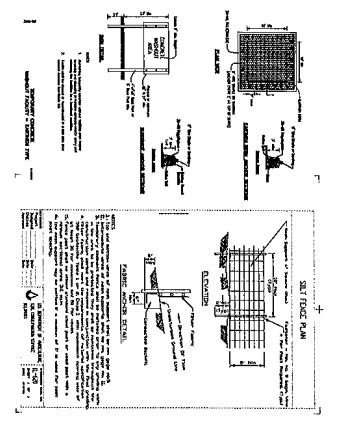
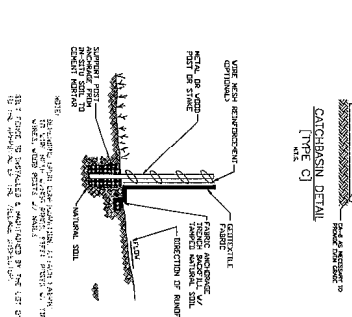
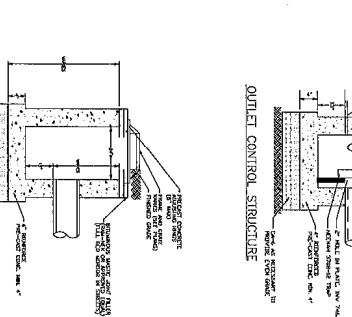
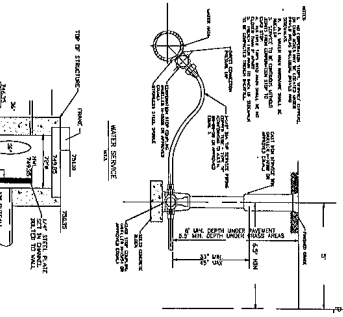
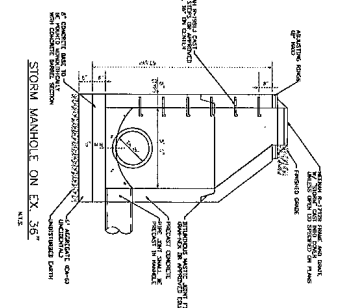
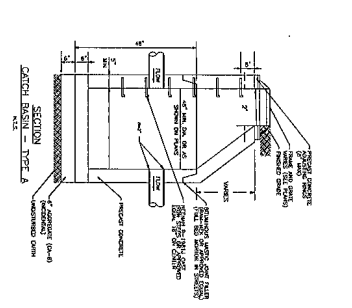
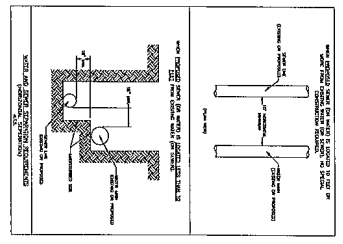
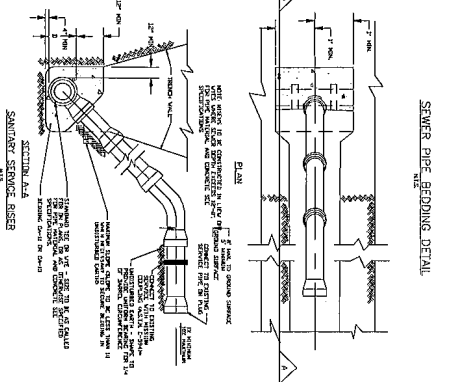
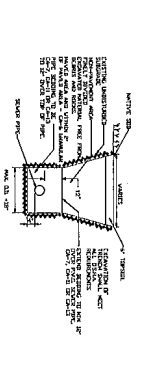
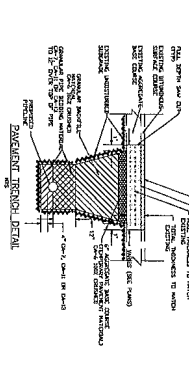
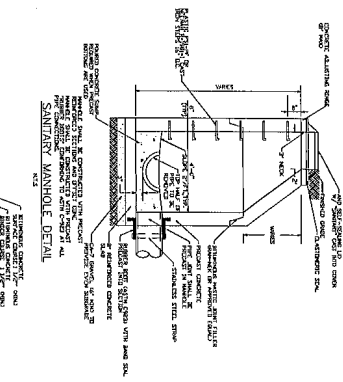
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PER VILL 02-01-24	

DRAWN BY: TJS
 DESIGNED BY: TJS
 CHECKED BY: TJS

JOB NO. 5351
 SCALE:
 DATE: 10-10-23

EROSION CONTROL PLAN
SLADE STREET CROSSING SUBDIVISION

SHEET NO.
6
 OF 7 SHEETS



SPIES & ASSOCIATES, INC.
 Civil Engineers - Land Surveyors
 534 WEST CAMPUS DRIVE
 ARLINGTON HEIGHTS, ILLINOIS 60004
 PH 847.577.8808 FAX 847.577.0229

REVISIONS
 PER VIII 02-01-24

DRAWN BY: TJS
 DESIGNED BY: TJS
 CHECKED BY: TJS
 JOB NO. 5351
 SCALE:
 DATE: 10-10-23

DETAIL SHEET
 SLADE STREET CROSSING SUBDIVISION

SHEET NO. 7 OF 7 SHEETS



PLANNING AND ZONING COMMISSION

MAY 12, 2026 AT 7:00 PM

VILLAGE HALL - COUNCIL CHAMBERS
200 E. WOOD STREET
PALATINE, IL 60067-5339
(847) 359-9050 www.palatine.il.us

MINUTES

REGULAR MEETING

7:00 PM

I. CALL TO ORDER

Chairman Wood Called the Meeting to order at 7:05PM

II. ROLL CALL

PRESENT :	Planning & Zoning Commissioner Jan Wood, Planning & Zoning Commissioner Cindy Roth Wurster, Planning & Zoning Commissioner Tim Schubert, Planning & Zoning Commissioner Stephen Fedota, Planning & Zoning Commissioner Rodney Bettenhausen, Planning & Zoning Commissioner Robert Kolososki
ABSENT :	Planning & Zoning Commissioner Kevin Cavanaugh, Planning & Zoning Commissioner Eric Friedman, Planning & Zoning Commissioner Patrick Noonan
ARRIVED :	

III. APPROVAL OF MINUTES

RESULT:	APPROVED
MOVER:	Rodney Bettenhausen
SECONDER:	Robert Kolososki
AYES:	Jan Wood, Cindy Roth Wurster, Tim Schubert, Stephen Fedota, Rodney Bettenhausen, Robert Kolososki
NAYES:	None

A. Draft PZC Minutes - 04/28/2026

IV. PUBLIC HEARING

A. 4-20 E. Slade Street

1. Planned Development Amendment to permit a raised exit landing, with stairs providing access to the yard and a patio on the west side of the property of Lot 1 (4 E. Slade Street); and
2. Special Use for a fence in a side yard abutting the street, which abuts the side yard of a front yard of an adjacent lot at Slade Street Crossing;

FPD-000258-2026 – 4-20 E Slade St – District #6

Notice was published in the Journal & Topics on April 23rd, 2026 and mailed to the owners of the surrounding properties.

Petitioner's Exhibits:

1. **Application**
2. **Proof of Ownership**
3. **Lot 1 Plans – Fencing & Landing**
4. **Fence Elevation**
5. **Slade Street Planned Development Files**
6. **Public Notice**

Background:

Mr. Auer provides background and states the Subject Property was previously approved as a five-lot single-family residential Planned Development. Four of the lots have been developed with single-family homes, while Lot 1, located at the northeast corner of E. Slade Street and N. Plum Grove Road, remains vacant. The petitioner is proposing a 4-foot tall picket-style fence along the Plum Grove Road frontage of the lot, set back approximately 3 feet from the western property line. Although the proposed fence height, setback, and openness would typically be permitted through a standard building permit review, the Zoning Ordinance requires Special Use approval because the fence is located within a side yard abutting a street and adjacent to the side lot line of a front yard.

Mr. Auer further states the petitioner is also requesting a Planned Development Amendment to revise the approved architectural plans for Lot 1 to allow for an approximately 84 square-foot patio on the west side of the home, along with a raised exit landing and stairs providing access to the yard within the side yard abutting the street.

Sworn in petitioner: Greg Rose – GWR Builders -47 N Bothwell, Palatine, IL

Mr. Rose states the existing subdivision is a Planned Unit Development with four homes already constructed. The petitioner is proposing to build a ranch-style residence that fits within the required setbacks and overall parameters of the

development. He states the request is for a minor amendment to the Planned Development to allow a deck and patio within the side yard setback area. He further explains the petitioner is requesting a 4-foot tall picket-style fence located approximately 3 feet from the sidewalk at the front of the home, extending along the sidewalk and back toward the garage. Mr. Rose states the patio and landing are not covered structures.

Chair Wood asks whether the request is primarily for safety purposes related to children and dogs, and Mr. Rose confirms that it is.

Mr. Rose states the Planned Development does not permit larger 5- or 6-foot fences and they are attempting to work within the existing parameters of the ordinance.

Commissioner Kolososki asks about the distance between the curb and the proposed fence. Mr. Rose states the setback would be a minimum of approximately 7 feet, increasing to approximately 9 to 10 feet moving north along the property.

Commissioner Schubert asks whether gates are proposed. Mr. Rose states there would definitely be a gate at the rear of the fence and potentially one near the front.

Mr. Rose states the footprint of the proposed home, excluding the garage, is identical to the other homes previously constructed within the development. He notes the request is not related to the size of the home, but rather the fencing, patio, and stair landing, which are outside the original Planned Development approvals. He further states the home will be a raised ranch design.

Chair Wood asks about the proposed height difference between the new home and the neighboring residence to the east. Mr. Rose states the proposed home would be approximately 8 feet shorter than the adjacent home and would provide a good visual transition along the busy roadway.

Commissioner Kolososki asks whether the attic space would be used for storage and whether roof trusses are proposed. Mr. Rose states the home would be stick-built and acknowledges the attic could potentially accommodate an additional room in the future, although no such plans are currently proposed.

Chair Wood asks whether the neighboring property owners had been contacted regarding the proposal. Mr. Rose states the neighbor to the east had been spoken with regarding the request.

Commissioner Fedota asks about the size of the proposed patio. Mr. Rose states the patio would measure approximately 7 feet by 12 feet. He further states the landing extending from the house would project approximately 4 feet, with a 42-inch by 42-inch landing and full-width stairs leading to the patio area.

Mr. Auer provides additional information regarding the request and explains the petitioner is seeking an amendment to a previously approved Planned Development.

He reviews the requirements associated with the Special Use request and provides clarification regarding the proposed fence and deck improvements. Mr. Auer states Staff does not anticipate the proposal would create adverse impacts on the surrounding properties or area.

Staff Recommendation:

The Village Code requires Special Use review for the proposed fence, as the side yard abutting a street for Lot 1 abuts the side lot line of the front yard of the property to the north. With the proposed height and openness of the fence and the approximately 37- foot setback from the shared property line, there should be no impact upon that property. Additionally, the proposed style and height are directly comparable to other fencing in the established neighborhoods around the downtown area within the Village. The proposed architectural modifications for the patio and existing landing on the west side of the home, while an amendment from the approved final Planned Development, also maintain the overall development's characteristics. Therefore, Staff recommends approval of the Planned Development Amendment and Special Use for the proposed 4- foot tall picket-style fencing, subject to the following conditions:

1. The final architectural plans shall substantially conform to the Lot 1 plans date 2/10/26, except as such plans shall be revised to conform to Village Codes and Ordinances.
2. The fencing site plan and elevation shall substantially conform to the fencing site plan, dated 3/17/26, except as such plans shall be revised to conform to Village Codes and Ordinances

There were no further questions. The public hearing was closed.

Commissioner Schubert Made a motion to approve subject staff's conditions; seconded by Commissioner Roth-Wurster

DISCUSSION:

Commissioner Schubert states this is the final piece of the puzzle at the Slade Street crossing development. He states it is nice to see the last home being developed and believes the proposal will complement the existing homes while improving the functionality of the property with the porch and deck improvements. He notes the use of the side yard will be beneficial and states the proposed 4-foot fence style is common in the area, low in height, and does not create a safety concern. He believes the request meets the required standards and will be a nice addition to the neighborhood.

Commissioner Roth-Wurster agrees the request meets the applicable standards and states the proposed fence style is a popular feature within the downtown area that fits

the character of the neighborhood. She believes the proposal will be a nice addition to the development.

Commissioner Kolososki states the development has been well done from beginning to end.

Chair Wood states there were initial concerns from neighbors during the original development process, but the homes have turned out very nicely and have enhanced the appearance of the area. She states the proposal will continue to add value to the neighborhood and believes nearby residents should be pleased with the final result. She notes the requested changes are modest in nature, will not negatively impact property values, and the proposed fence is not an overreach. She believes the request meets the required standards.

Mr. Auer states the proposal meets the standards for corner yard fencing and would not adversely impact neighboring properties.

Chair Wood summarized that this request has met the standards and was unanimously approved by a vote of 6-0. This item will tentatively go to Village Council on Monday May 18th, 2026.

RESULT:	MOTION APPROVED BY ROLL CALL
MOVER:	TIM SCHUBERT
SECONDER:	CINDY ROTH WURSTER
AYES:	Jan Wood, Cindy Roth Wurster, Tim Schubert, Stephen Fedota, Rodney Bettenhausen, Robert Kolososki
NAYES:	None

B. 315 W. Johnson Street

1. Preliminary Planned Development to permit a new 4-unit townhome building.

PPD-000016-2026 – 315 W. Johnson Street – District #2

Notice was published in the Journal & Topics on April 23rd, 2026 and mailed to the owners of the surrounding properties.

Petitioner's Exhibits:

1. **Application**
2. **Proof of Ownership**

PUBLIC NOTICE

A Public Hearing will be held before the Village of Palatine Planning and Zoning Commission on Tuesday, May 12, 2026 at 7 PM, in the Village Council Chambers in the Palatine Village Hall, 200 E. Wood Street, relative to a request for the following:

Planned Development Amendment to permit a raised exit landing, with stairs providing access to the yard on the west side of Lot 1 (4 E. Slade Street), and a patio to be located within the side yard abutting a street yard; and a

Special Use to permit a 4-foot tall picket-style fence, with an approximately 3-foot setback, in the side yard abutting a street, where the side lot line of said side yard abutting a street abuts the side lot line of a front yard of an adjacent lot.

The property is commonly known as the Slade Street Crossing subdivision – 4-20 E. Slade Street. The Petitioner is requesting a Planned Development Amendment to allow a raised landing, with stairs, and a patio (approximately 84 square feet), both of which would be located in the side yard abutting a street for on the west side of Lot 1 (4 E. Slade Street). The 4-foot picket style fence would be set back approximately 37 feet from the shared side lot line of the adjacent front yard to the north.

The above petition has been filed the developer/property owner Greg Rose and is available for examination in the office of the Village Clerk, 200 E. Wood Street.

FILE #: FPD-000258-2026 VILLAGE OF PALATINE

Jan Wood, Chair
Palatine Planning & Zoning Commission

DATED: This 23rd day of April 2026

BV

CERTIFICATE OF PUBLICATION

DES PLAINES JOURNAL, INC., a corporation organized and existing under and by virtue of the laws of the State of Illinois, does hereby CERTIFY that it is the publisher of the:

Journal & Topics Newspapers
AKA Des Plaines Journal, Inc.
622 Graceland Ave.
Des Plaines, IL 60016-4556

and that said newspaper(s) is a secular newspaper of general circulation and has been published weekly in the

(Village) (Town) (City) (Township) of PALATINE SLADE STREET CROSSING 4-20 E. SLADE ST.



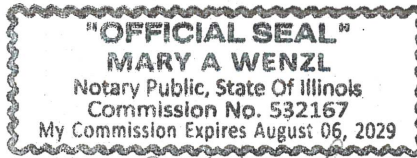
County of COOK

and State of Illinois, continuously for more than one year prior to date of the first publication of the notice attached hereto, and that said newspaper(s) complies with the requirements of Paragraphs 5 and 10, Chapter 100, of the Illinois Revised Statutes.

Further, that the notice, of which the attached is a true copy, was published ONE times in the said newspaper(s), namely once each week for ONE successive week(s) and that the first publication of said notice was made on the 23RD day of APRIL, A.D. 20²⁶, and the last publication thereof was made on the 23RD day of APRIL, A.D. 20²⁶.

Your Legal appeared in the following Journal & Topics Newspapers (Des Plaines Journal, Inc.)

- Des Plaines Journal
- Elk Grove Village Journal
- Mt. Prospect Journal
- Niles Journal
- Park Ridge-Golf Mill Journal
- Prospect Heights Journal
- Rosemont Journal
- Arlington Heights Topics
- Buffalo Grove Topics
- Palatine Topics
- Rolling Meadows Topics
- Wheeling Topics
- Suburban Journal
- Northwest Journal
- Glenview Journal



Mary A. Wenzl

IN WITNESS WHEREOF, THE DES PLAINES JOURNAL, INC., has caused this certificate to be signed and its corporate seal affixed hereto at Des Plaines, Illinois this 23RD day of APRIL A.D., 20²⁶.

By Todd Wesell

President
Title of Corporate Officer

County of Cook
State of Illinois

Subscribed and sworn to before me this 23RD day of APRIL A.D., 20²⁶.

My commission expires the 6TH day of AUGUST A.D., 20²⁹.

Consider an Ordinance Approving a Special Use to Permit a Use that Will Provide for the Transfer, Storage, and Treatment of General Construction Materials, Demolition Debris, and Wood Waste and Accessory Permitted Office Uses at 560 S. Hicks Road

BACKGROUND:

The Subject Property, approximately 2.4 acres, is zoned Manufacturing. The property contains an approximately 60,000 square foot building, associated parking lot, and exterior paved areas. Economy Disposal Service (EDS) is proposing to operate another material processing facility (EDS operates a similar facility directly south at 630 S. Hicks Road). The Village Code was amended in 2005 to include services for the "... Transfer, Storage, and Treatment of General Construction Materials, Demolition Debris, and Wood Waste..." as a Special Use in the Manufacturing District. Therefore, the Petitioners are requesting approval of the following:

Special Use to allow for a use that will provide for the transfer, storage, and treatment of general construction materials, demolition debris, and wood waste and accessory permitted office uses.

KEY ISSUES:

- The Petitioners have acquired the property and are proposing to expand their Economy Disposal Service into the Subject Property. The existing waste management uses and operations at 630 S. Hicks Road would continue to function at their current capacity and the Subject Property would function similarly.
- The proposed materials served by the 560 building would include brick, concrete, and masonry materials, rock, and wood (including non-hazardous painted, treated and coated wood, and wood products). Additionally, such construction materials and debris, including plaster, drywall, plumbing fixtures, non-asbestos insulation, roofing materials, asphalt, glass, plastics (not sealed to conceal waste/contaminates), and electric wiring or piping would also be processed.
- The Subject Building is approximately 60,000 square feet and the process management would include material sorting and bailing, followed by processing and refinement. The waste management process would be completed through packaging and distribution.
- The floor plan of the building would be separated into various stages and work areas to address the internal processing of each phase of the waste management process.
- The internal equipment necessary for the waste management services include balers, palletizing equipment, separators, conveyors, and quality testing units. The installation of these items would be subject to building permit review, which would also include an egress route to the exit doors on the west side of the

property. Although both waste management uses are proposed to operate on adjacent properties, the existing building and parking configurations are not conducive for any interconnections of the buildings and uses. Nevertheless, there is likely a shared benefit provided by the proximity of the buildings and uses.

- The submitted business plan and information indicate that the proposed business expansion would operate similarly to the existing Special Use at 630 S. Hicks Road. As the use is contemplated as a Special Use in the Manufacturing District, Staff does not believe that the use will impact the surrounding properties and is compatible with the surrounding manufacturing uses along Hicks Road.
- In addition to the proposed Special Use conditions, the waste management use would have to adhere to the Manufacturing District's performance standards.

BUDGET IMPACT:

N/A

RECOMMENDATION:

Public Hearing: Planning & Zoning Commission (PZC) meeting on April 28, 2026.

Residents testifying: None.

Vote: The PZC voted unanimously to approve the Special Use and Staff concurs.

ACTION REQUIRED:

A Motion to Approve a Special Use to Permit a Use that will Provide for the Transfer, Storage, and Treatment of General Construction Materials, Demolition Debris, and Wood Waste and Accessory Permitted Office Uses at 560 S. Hicks Road.

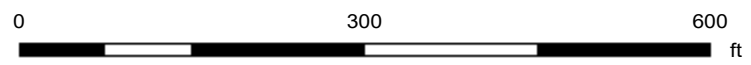
ATTACHMENTS:

1. Aerial Map
2. ORD SU 560 S. Hicks Road
3. EXHIBIT - Plat of Survey
4. EXHIBIT - Business Plan and Floorplan
5. Special Use Application
6. PZC minutes - April 28, 2026
7. Public Notice



Legend

Notes



Print Date: 5/12/2026

Disclaimer: The GIS Consortium and MGP Inc. are not liable for any use, misuse, modification or disclosure of any map provided under applicable law. This map is for general information purposes only. Although the information is believed to be generally accurate, errors may exist and the user should independently confirm for accuracy. The map does not constitute a regulatory determination and is not a base for engineering design. A Registered Land Surveyor should be consulted to determine precise location boundaries on the ground.

ORDINANCE NO. _____

**AN ORDINANCE GRANTING A SPECIAL USE
AT 560 S. HICKS ROAD**

WHEREAS, pursuant to a petition and public hearing on April 28, 2026, of which public notice was given as required by law, the Planning and Zoning Commission of the Village of Palatine, in accordance with the Zoning Ordinance of the Village of Palatine, in such case made and provided, has held such public hearing and reported their findings relative to a request for a Special Use to permit a Use That Will Provide For The Transfer, Storage, And Treatment Of General Construction Materials, Demolition Debris, And Wood Waste And Accessory Permitted Office Uses At 560 S. Hicks Road, pursuant to Section 12.01(h)(18) of the Palatine Zoning Ordinance, on the following legally described property:

The South 245 feet of Lot 6 in Klefstad’s Palatine Industrial Park, being a Subdivision of that part of the East ½ of Section 23, Township 42 North, Range 10 East of the Third Principal Meridian lying West of the right-of-way of State Route 53 (Hicks Road) in Cook County, Illinois

Commonly known as 560 South Hicks Road (PIN# 02-23-313-023-0000).

NOW, THEREFORE, BE IT ORDAINED, by the Mayor and Village Council of the Village of Palatine, Cook County, Illinois, acting in the exercise of their home rule power that:

SECTION 1: A Special Use to permit a Use That Will Provide For The Transfer, Storage, And Treatment Of General Construction Materials, Demolition Debris, And Wood Waste And Accessory Permitted Office Uses At 560 S. Hicks

Road, pursuant to

Section 12.01(h)(18) of the Village of Palatine Zoning Ordinance is hereby granted, subject to the following condition(s):

- 1. The Special Use shall substantially conform to the business plan and floorplan, submitted by the Petitioner, except as such plans may be changed to conform to Village Codes and Ordinances.**
- 2. The business operations are limited to the receiving, sorting, storing, and consolidating for shipment of "Debris Material." Debris Material consists of and is limited to the following non-hazardous substances resulting from construction, remodeling, repair, and demolition of utilities, structures, and roads, as identified in the business plan. Debris does not include asbestos or asbestos-containing material, as defined by the most stringent of the Illinois Environmental Protection Act, Clean Air Act or regulations adopted thereunder.**
- 3. All required extra agency permits (e.g., IEPA, MWRD, etc.) shall be submitted to the Village in conjunction with the business license.**
- 4. All business operations shall occur within the existing building, except for the storage of vehicles associated with the use and the screened dumpster storage. There shall be no stockpiling of material outside the building.**
- 5. The final screening plan for the dumpster area (north side) shall be submitted in a manner acceptable to the Director of Planning and Zoning.**
- 6. Any change or expansion to the proposed business operations will require Village review and approval.**
- 7. All operations must be in compliance with all applicable State and Federal laws and regulations and operate without creating or perpetuating a public nuisance.**
- 8. Other than the grinding of wood, there shall be no crushing, grinding, reducing, shredding, burning or other treatment of any other debris material on site.**
- 9. As part of the building permit/occupancy process, an NFPA 25 hazard evaluation of the sprinkler system shall be completed in a manner acceptable to the Fire Marshal. Also, a clear and unobstructed access route to the fire hydrant in the north**

parking lot shall be provided in a manner acceptable to the Fire Marshal.

- 10. If qualified and required by the State of Illinois, as a General Construction or Demolition Debris (GCDD) facility, a copy of the GCDD permit shall be forwarded to the Environmental Health Department, as part of the business license process.

SECTION 2: That a copy of the public notice be attached hereto and form a part of this ordinance.

SECTION 3: That this ordinance shall be in full force and effect from and after its passage and approval as provided by law.

PASSED: This _____ day of _____, 2026

AYES:_____ **NAYS:**_____ **ABSENT:**_____ **PASS:**_____

APPROVED by me this _____ day of _____, 2026

Mayor of the Village of Palatine

ATTESTED and FILED in the office of the Village Clerk this

_____ day of _____, 2026

Village Clerk

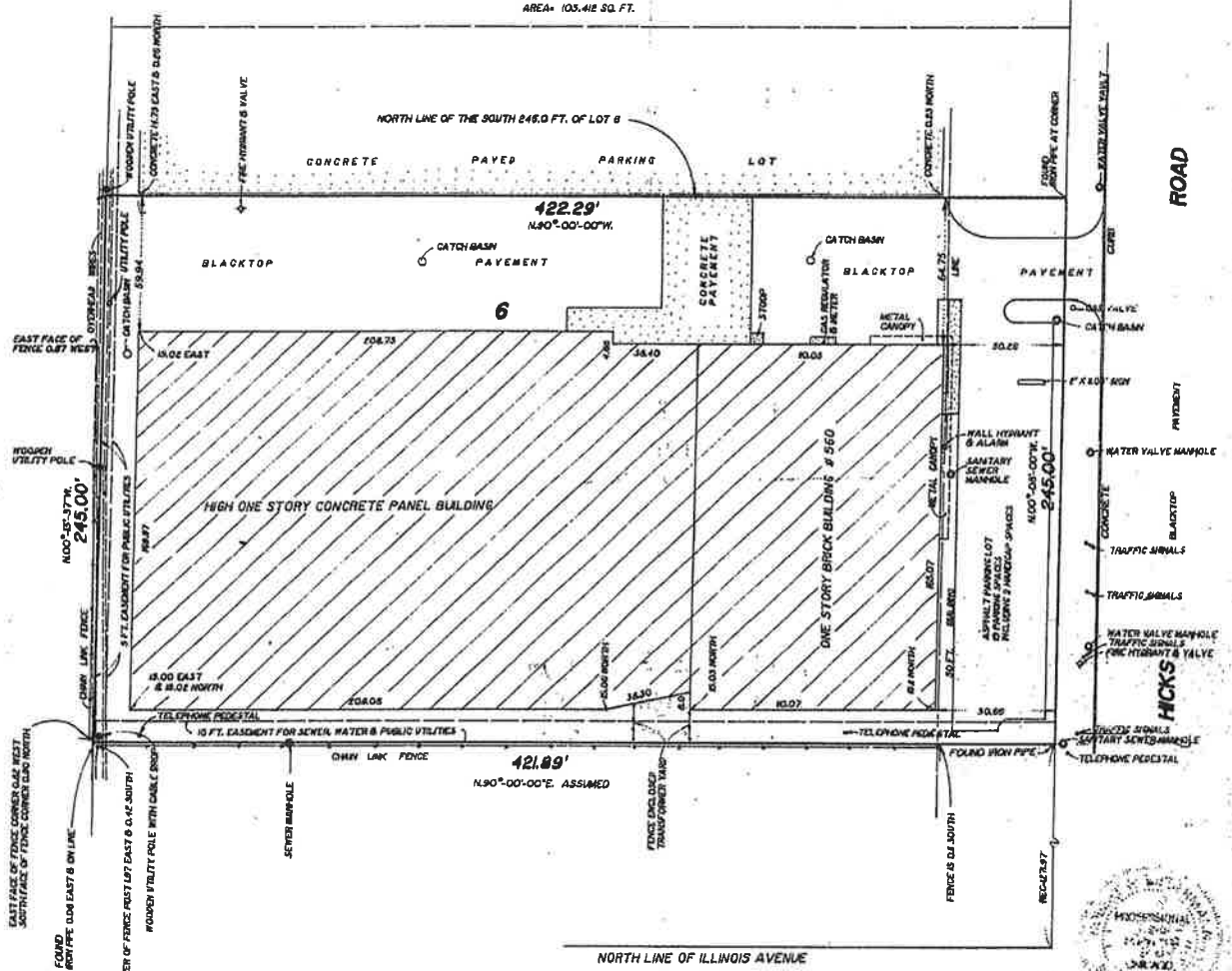
4606 N. ELSTON AVENUE
CHICAGO, ILLINOIS 60630
PHONE: AC 312/686-5102

PLAT OF SURVEY

GREMLEY & BIEDERMANN INC.

ALTA / ACSM LAND TITLE SURVEY

The South 245 feet of Lot 6 in Kiefstad's Palatine Industrial Park, being a Subdivision of that part of the East Half of the Southwest Quarter of Section 23, Township 42 North, Range 10, East of the Third Principal Meridian, lying West of the West right of way line of State Route number 53 (Hicks Road) in Cook County, Illinois.



EASEMENTS AND BUILDING LINES SHOWN HEREON
ARE AS PER DOC. NO. S 19478927, & 19563220

REVISED 1-16-83 CERT. NAMES
REVISED 1-9-83
RECERTIFIED TO ALTA FOR WEBER STEPHEN PRODUCTS CO. & MATTERS APPEARING OF PUBLIC RECORD
NOVEMBER 4, 1993 NO. 933068
REVISED 11/25/87 REVIEWED WITH TITLE COMMITMENT
NO. 71 41 052 DATED NOV. 10 1987

THIS SURVEY IS SUBJECT TO ALL RESTRICTIONS
AS MIGHT BE DISCLOSED BY A CURRENT TITLE
COMMITMENT.

Order No. **873296**
Scale 1 inch = **40** feet
Date **NOVEMBER 20, 1987**
Owner _____
Ordered by **ROSS & HARDIES**

DRAWN	CHECKED
RL	

DISTANCES ARE MARKED IN FEET AND DECIMAL PARTS THEREOF. COMPARE ALL POINTS BEFORE BUILDING BY SAME AND AT ONCE REPORT ANY DIFFERENCES BEFORE DAMAGE IS DONE.
FOR EASEMENTS, BUILDING LINES AND OTHER RESTRICTIONS NOT SHOWN ON SURVEY PLAT REFER TO YOUR ABSTRACT, DEED, CONTRACT, TITLE POLICY AND LOCAL BUILDING LINE REGULATIONS.
NO DIMENSIONS SHALL BE ASSUMED BY SCALE MEASUREMENT UPON THIS PLAT.

State of Illinois)
County of Cook)
TO: HARTFORD COMPUTER GROUP, INC.
A CHICAGO TITLE INSURANCE COMPANY
This is to certify that this map or plat and the survey on which it is based were made in accordance with "Minimum Standard Detail Requirements For ALTA/ACSM Land Title Surveys" jointly established and adopted by ALTA and ACSM in 1988; and meets the accuracy requirements of a Class A Survey, as defined therein.

Dated: November 9, 1993
[Signature]
Illinois Professional Land Surveyor #1439

560 Hicks Road

LEGAL DESCRIPTION

The South 245 feet of Lot 6 in Klefstad's Palatine Industrial Park, being a Subdivision of that part of the East ½ of the Southwest ¼ of Section 23, Township 42 North, Range 10 East of the Third Principal Meridian lying West of the right of way of State Route 53 (Hicks Road) in Cook County, Illinois

Common Address: 560 South Hicks Road, Palatine, Illinois 60067
PIN: 02-23-313-023-0000

EXHIBIT D

Business Plan Proposal – Material
Processing Facility at 560 South Hicks
Road, Palatine, Illinois 60067

Business Plan Proposal – Material Processing Facility at 560 South Hicks Road, Palatine, Illinois 60067

1. Executive Summary

Our company, Taz Holdings LLC will establish a state-of-the-art material processing facility at 560 South Hicks Road, Palatine, Illinois 60067 (the “Facility”) with the focus on recycled plastics, cardboard, drywall, industrial metals, and certain construction materials.

Our company already operates such a facility on the property next door at 630 South Hicks Road, Palatine, Illinois 60067. The Facility is intended to increase our operational capacity in the efficient, sustainable, and high-quality processing of the above-mentioned materials in order to meet the growing demand from manufacturers, construction firms, and export markets.

The Facility will help our business fill a critical gap in the regional supply chain by providing high-quality, sustainable processed materials. With strong market demand, advanced technology, and a skilled team, the Facility will help position our business for rapid growth and long-term profitability.

2. Company Overview

- **Name:** Taz Holdings, LLC – MBL Recycling Series
- **Business Structure:** a series company associated with a master Illinois limited liability company
- **Principal Members:** Daniel Rudman and Ronald Tazelaar
- **Industry:** Waste Management

3. Services and Market

- **Products:** Processed Materials
 - Bricks, Concrete, and Masonry Materials
 - Clean soil (without contaminants)
 - Rocks
 - Wood (including non-hazardous painted, treated, and coated wood and wood products)

- Wall coverings
 - Plaster
 - Drywall
 - Plumbing fixtures
 - Non-asbestos insulation
 - Roofing shingles and other roof coverings
 - Reclaimed asphalt pavement
 - Glass
 - Plastics (that are not sealed in a manner that conceals waste or contaminants)
 - Electrical wiring
 - Piping or metals incidental to any of those materials
- **Processing**
 - Material sorting and bailing
 - Processing and refinement
 - Packaging and distribution

- **Industry Outlook**

The global demand for processed materials is projected to grow due to infrastructure expansion, manufacturing needs, and sustainability initiatives.

- **Target Market:**

- Manufacturers requiring raw material inputs
- Construction companies
- Export buyers

- **Competitor Analysis:**

While our competitors focus on volume, our business will focus on quality consistency, faster turnaround, and sustainability certifications.

4. Facility

- **Facility Size:** 59,975 sq. ft. with dedicated zones for receiving, processing, storage, and dispatch.
- **Equipment:** Bailers, palletizing equipment, separators, conveyors, skid steer/forklift, and quality testing units.
- **Staffing:** Plant manager, machine operators, quality control specialists, logistics team.
- **Production Capacity:** 100 tons per day.

- **Sustainability Measures:** Waste minimization, commodity recycling, and energy-efficient machinery.
-

5. Marketing & Sales Strategy

- **Brand Positioning:** Reliable, eco-conscious, and high-quality supplier.
 - **Channels:** Direct B2B sales, trade shows, industry partnerships, and online presence.
 - **Pricing Strategy:** Competitive pricing with volume discounts.
 - **Customer Retention:** Long-term contracts, consistent quality, and responsive service.
-

6. Financial Projections

- **Startup Costs:** Land/lease, equipment purchase, installation, licensing, and initial working capital.
 - **Revenue Streams:** Sale of processed materials, by-product sales, and potential recycling credits.
-

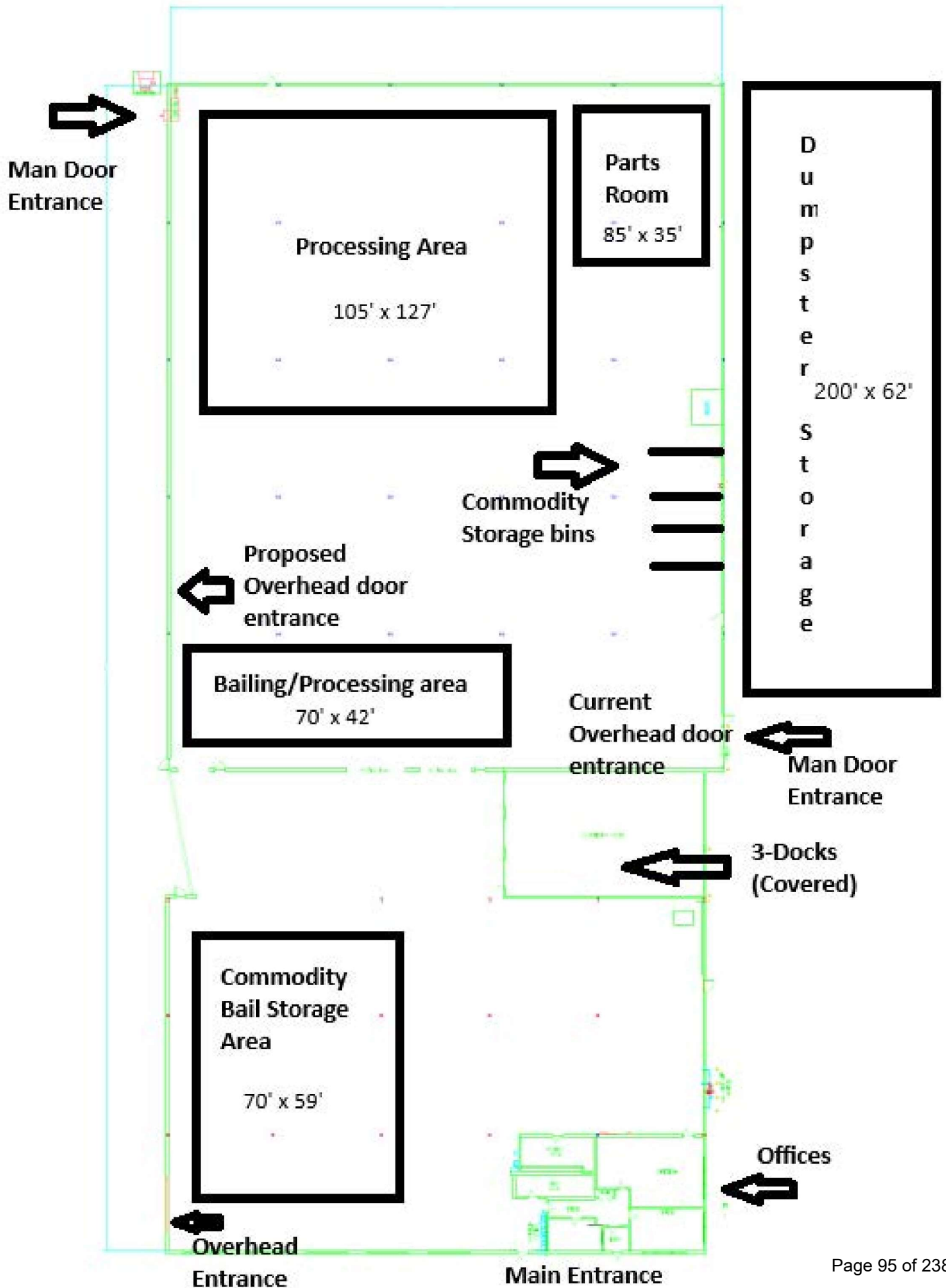
7. Risk Management

- **Operational Risks:** Equipment breakdown (mitigated by preventive maintenance)
 - **Market Risks:** Price fluctuations (mitigated by diversified client base)
 - **Regulatory Risks:** Compliance with environmental and safety standards
-

EXHIBIT E

560 S Hicks Rd – Building Floor Plan

560 S Hicks Rd - Building Floor Plan





SPECIAL USE APPLICATION

Department of Planning & Zoning
200 E. Wood Street · Palatine, IL · 60067-5339
Telephone: (847) 359-9047 · Fax (847) 963-6247

Petitioner Name

Taz Holdings

Business Name (if applicable)

Economy Disposal Service

Subject Property Address

560 S. Hicks Road

Please provide a description of your proposed request:

Waste management, as fully described in the business plan.

Petitioner Justification

Special Uses shall not be granted except on findings based upon the evidence in each specific case. Please address the following standards as these will be used in considering the specific relief you are seeking.

That use deemed necessary for the public convenience at that location. Explain:

The use is necessary for public convenience at this location because the applicant can provide better and more reliable waste management services to local businesses, communities, and projects from this location. The use is intended to work in tandem with the same special use that is currently allowed on 630 S Hicks Road, an abutting property to the south which is also owned and operated by the applicant.

The use is designed, located, and proposed to be operated that the public health, safety, welfare will be protected. Explain:

The use will be designed, located, and proposed to be operated in a way that the public health, safety, welfare will be protected. The applicant currently relies on the same special use on 630 S Hicks Road (the abutting property to the south that is owned and operated by the applicant). The applicant has done so since 2005 without causing any issues to public health, safety, and welfare.

The use will not cause substantial injury to nearby property values. Explain:

The use will not cause substantial injury to nearby property values. The applicant already engages in the same special use on 630 S Hicks Road (the abutting property to the south that is owned and operated by the applicant). The same use on 630 S Hicks Road has not caused substantial injury to nearby property values since it was approved in 2005. The use on this property will merely be an extension of the currently permitted use.

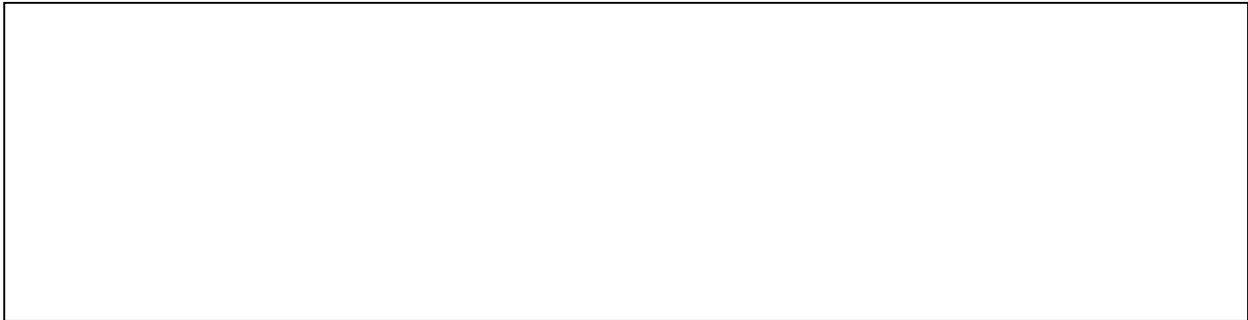
In order to supplement the above standards, the Planning and Zoning Commission may also consider the following:

With respect to front yard fencing and fencing in a rear yard/side yard abutting a street, the following additional standards must be met:

a. Will meet the following aesthetic criteria:

- i. Will not destroy existing vistas in the area;
- ii. Will enhance the appearance of the homes and the streets in the area; and
- iii. Will not detract from the overall appearance of the community; or

b. The fencing is found to be necessary to protect private property or the safety of the inhabitants of the property.



Sworn in Mr. Joe Lewis, Spaceco – Project Engineer — 9575 W. Higgins Road, Rosemont, IL 60018 clarified that the plan dates listed the conditions does not reflect the current plans.

Mr. Vyverberg concurred and indicated that the recommendation should be amended to reflect the Petitioner’s current plan.

Commissioner Cavanaugh motioned to approve, with the current engineering and architecture plan dates. Commissioner Noonan seconded the motion.

Commissioner Roth Wurster concurred that the elevations are a great enhancement.

Chair Wood summarized the improvements and concurred that the plans and improvements are appropriate for this section of the Rand Road corridor.

Unanimously approved.

RESULT:	MOTION APPROVED BY ROLL CALL
MOVER:	Kevin Cavanaugh
SECONDER:	Patrick Noonan
AYES:	Jan Wood, Cindy Roth Wurster, Tim Schubert, Kevin Cavanaugh, Stephen Fedota, Patrick Noonan, Rodney Bettenhausen
NAYES:	None

- C. 560 S. Hicks Road - Special Use to Permit a use that will provide for the transfer, storage, and treatment of general construction materials, demolition debris, and wood waste and accessory permitted office uses.

SU-000228-2025 – 560 S. Hicks Road

Notice was published in the Palatine Journal & Topics newspaper on April 9, 2026, and mailed to the required surrounding property owners.

Chair Wood identified the contents of the Exhibit Folder:

- Special Use application;
- Proof of ownership;
- Plat of Survey’
- Business Plan and Floorplan;
- Public Notice.

Background:

Mr. Vyverberg provided a summary of the request and noted that the Subject Property is approximately 2.4 acres and is zoned manufacturing. The Petitioners are proposing to operate another material processing facility (the Petitioners operate a similar use at the property directly south @ 630 S. Hicks Road). The Village Code was amended in 2005 to recognize uses which provide services for the "... Transfer, Storage, and Treatment of General Construction Materials, Demolition Debris, and Wood Waste...", as Special Uses in the Zoning Ordinance. Therefore, the Petitioner is requesting the following:

Special Use to allow for a use that will provide for the transfer, storage, and treatment of general construction materials, demolition debris, and wood waste and accessory permitted office uses.

Sworn in Petitioners:

Mr. Keito Ito 200 S. Wacker Drive, Chicago, IL; Ron Tazelaar 630 S. Hicks Road; Palatine, IL, 60067 and Dan Rudman, 630 S. Hicks Road, 60067.

Mr. Ito summarized the requested special use and activities proposed for the treatment of construction materials and demolition materials. The proposed state of the art material processing company will process bricks, concrete, clean soil, wood, drywall, glass, and other allowable materials. This facility will mirror the sister property located at 630 S. Hicks Road.

Chair Wood inquired about the Patriot portables at this address.

Mr. Ito indicated those would not be associated with this building.

Mr. Tazelaar indicated that there is a loading dock when the units are delivered, but any storage would be inside that building.

Chair Wood inquired about the demolition material and any impact on the environment.

Mr. Tazelaar confirmed that their focus is in processing anything that could be diverted away from the land fills and processed to another approved location. Examples include aluminum and processed cardboard. He noted that this is all inert materials and does not include food waste.

Mr. Schubert inquired as to the main locations, as to where the materials were

sourced ? Is it more typically residential or commercial ?

Mr. Tazelaar indicated that they have 4 locations and Palatine is the headquarter location. Cook County and Lake County are the predominant locations and include both residential and commercial projects.

Mr. Schubert asked about any environmental assessments which were completed.

Mr. Tazelaar indicated that the initial visual review is the starting point and monitoring.

Chair Wood inquired about the interior systems to assist in this process.

Mr. Tazelaar confirmed that all the processing occurs inside the building and there is an interior dust cannon.

Mr. Vyverberg summarized the floorplan and proposed process. He additionally described the other extra governmental agencies, including the State, Cook County, IEPA, and MWRD.

Chair Wood inquired whether there have been any outstanding issues or problems with the operation of property to the south.

Mr. Vyverberg indicated that there had not.

Commissioner Fedota inquired about the standards for the special use and manufacturing district requirements.

Mr. Vyverberg provided the Staff recommendation. The submitted business plan and information indicate that the proposed business expansion would operate in a similar manner to the existing Special Use at 630 S. Hicks Road. As the use is contemplated as a Special Use in the manufacturing district, Staff does not believe that the use should impact the surrounding properties and would be compatible with the surrounding manufacturing uses within the corridor along S. Hicks Road. Additionally, in addition to the proposed Special Use conditions, the waste management use would be required to adhere to the performance standards in the manufacturing district. Therefore, Staff recommends approval subject to the following conditions:

1. The Special Use shall substantially conform to the business plan and floorplan, submitted by the Petitioner, except as such plans may be changed to conform to Village Codes and Ordinances.

2. The business operations are limited to the receiving, sorting, storing, and consolidating for shipment of "Debris Material." Debris Material consists of and is limited to the following non-hazardous substances resulting from construction, remodeling, repair, and demolition of utilities, structures, and roads, as identified in the business plan. Debris does not include asbestos or asbestos-containing material,

as defined by the most stringent of the Illinois Environmental Protection Act, Clean Air Act or regulations adopted thereunder.

3. All required extra agency permits (e.g. IEPA, MWRD, etc.) shall be submitted to the Village in conjunction with the business license.

4. All business operations shall occur within the existing building, except for the storage of vehicles associated with the use and the screened dumpster storage. There shall be no stockpiling of material outside the building.

5. The final screening plan shall be submitted in a manner acceptable to the Director of Planning and Zoning for the dumpster area on the north side of the building.

6. Any change or expansion to the proposed business operations will require approval of the Village.

7. All operations must be in compliance with all applicable State and Federal laws and regulations and operate without creating or perpetuating a public nuisance.

8. Other than the grinding of wood, there shall be no crushing, grinding, reducing, shredding, burning or other treatment of any other debris material on site.

9. As part of the building permit/occupancy process, an NFPA 25 hazard evaluation of the sprinkler system shall be completed in a manner acceptable to the Fire Marshal. Also, a clear and unobstructed access route to the fire hydrant in the north parking lot shall be provided in a manner acceptable to the Fire Marshal.

10. If qualified and required by the State of Illinois, as a General Construction or Demolition Debris (GCDD) facility, a copy of the GCCG permit shall be forwarded to the Environmental Health Department, as part of the business license process.

Chair Wood inquired about condition #8.

Mr. Vyverberg confirmed that the business plan does not conflict with this and this is similar to the requirement for the property to the south. This would provide a belt and suspender approach.

Commissioner Schubert indicated that handling debris requires a specialty operation and is supportive of the proposed business operations' plan.

Commissioner Roth-Wurster indicated that the standards were met.

Chair Wood indicated that there is a 5-year operational history and providing the safe disposal of waste in a potentially recycled manner is a huge priority and wonderful activity.

RESULT:	APPROVED
MOVER:	Noonan
SECONDER:	Cavanaugh
AYES:	Jan Wood, Cindy Roth Wurster, Tim Schubert, Kevin Cavanaugh, Stephen Fedota, Patrick Noonan, Rodney Bettenhausen

PUBLIC NOTICE

A Public Hearing will be held before the Village of Palatine Planning and Zoning Commission on Tuesday, April 28, 2026 at 7 PM, in the Village Council Chambers in the Palatine Village Hall, 200 E. Wood Street, relative to a request for the following:

Special Use to allow for a use that will provide for the transfer, storage, and treatment of general construction materials, demolition debris, and wood waste and accessory permitted office uses.

The property is commonly known as 560 S. Hicks Road.

The Petitioners, Economy Disposal Services, are proposing for a use the provides for the transfer, storage, and treatment of general construction materials, demolition debris, and wood waste at the Subject Property. The proposed would be a continuation of the existing Special Use operated by the Petitioners on the property directly to the south. The proposed use will utilize the existing building and property.

The above petition has been filed by Keito Ido, agent, and is available for examination in the office of the Village Clerk, 200 E. Wood Street.

FILE #: SU-000228-2025

VILLAGE OF PALATINE

Jan Wood, Chair
Palatine Planning & Zoning Commission

DATED: This 9th day of April, 2026

CERTIFICATE OF PUBLICATION

DES PLAINES JOURNAL, INC., a corporation organized and existing under and by virtue of the laws of the State of Illinois, does hereby CERTIFY that it is the publisher of the:

Journal & Topics Newspapers
AKA Des Plaines Journal, Inc.
622 Graceland Ave.
Des Plaines, IL 60016-4556

and that said newspaper(s) is a secular newspaper of general circulation and has been published weekly in the

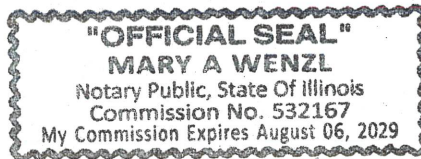
(Village) (Town) (City) (Township) of PALATINE 560 S. Hicks

County of COOK

and State of Illinois, continuously for more than one year prior to date of the first publication of the notice attached hereto, and that said newspaper(s) complies with the requirements of Paragraphs 5 and 10, Chapter 100, of the Illinois Revised Statutes.

Further, that the notice, of which the attached is a true copy, was published ONE times in the said newspaper(s), namely once each week for ONE successive week(s) and that the first publication of said notice was made on the 9TH day of APRIL, A.D. 2026, and the last publication thereof was made on the 9TH day of APRIL, A.D. 2026.

- Your Legal appeared in the following Journal & Topics Newspapers (Des Plaines Journal, Inc.)
- Des Plaines Journal
 - Elk Grove Village Journal
 - Mt. Prospect Journal
 - Niles Journal
 - Park Ridge-Golf Mill Journal
 - Prospect Heights Journal
 - Rosemont Journal
 - Arlington Heights Topics
 - Buffalo Grove Topics
 - Palatine Topics
 - Rolling Meadows Topics
 - Wheeling Topics
 - Suburban Journal
 - Northwest Journal
 - Glenview Journal



Mary A. Wenzl

IN WITNESS WHEREOF, THE DES PLAINES JOURNAL, INC., has caused this certificate to be signed and its corporate seal affixed hereto at Des Plaines, Illinois this 9TH day of APRIL A.D., 2026.

By Todd Wessell

President
Title of Corporate Officer

County of Cook
State of Illinois

Subscribed and sworn to before me this 9TH day of APRIL A.D., 2026.

My commission expires the 6TH day of AUGUST A.D., 2029.

Consider a Resolution of Support for the Filing of a 6B Cook County Tax Classification Application for the Property Located at 560 S. Hicks Road

BACKGROUND:

One of the economic development tools available to communities within Cook County is the 6B Tax Classification program. This program is designed to encourage industrial/manufacturing development through the reduction of a property's tax assessment over a twelve-year period. In conjunction with an application for the program, a resolution of support is required from the municipality in which the property is located. Therefore, the Petitioner is seeking approval of the following:

Resolution of support for the filing of a 6B Cook County Tax Classification application for the property located at 560 S. Hicks Road.

KEY ISSUES:

- The Petitioner, Taz Holdings, LLC, is seeking to complete a variety of improvements to the interior and exterior of the existing approximately 60,000 square foot building at 560 S. Hicks Road. The planned investment in the property will exceed \$1,000,000.
- Following completion of the proposed improvements, the Subject Property is projected to have a market value of approximately \$5,000,000, which would generate an estimated \$2,125,336 in total taxes over the life of the Class 6b Tax Incentive (an approximate average of \$157,000 per year).
- The Village Council previously approved similar 6B requests for other properties within the Village, including 315 and 514 S. Hicks Road.
- The Cook County 6B Tax Classification is used for property tax relief for industrial/manufacturing uses. Properties are assessed at 10% of market value for the first 10 years, 15% for the 11th year, and 20% in the 12th year. In the absence of this incentive, the property would normally be assessed at 25% of its market value.

BUDGET IMPACT:

N/A

RECOMMENDATION:

Staff recommends approval of the Resolution.

ACTION REQUIRED:

Motion to approve a resolution of support for the filing of a 6B Cook County Tax Classification for the property located at 560 S. Hicks Road.

ATTACHMENTS:

1. 560 S Hicks Road 6B Resolution of Support May 18 2026
2. 6b Application - 560 S Hicks Rd VC PPacket Version
3. Cook County 6B Eligibility Bulletin

RESOLUTION NO. _____

**A RESOLUTION SUPPORTING THE USE OF CLASS 6B PROPERTY TAX
CLASSIFICATION FOR THE PROPERTY LOCATED
AT 560 S. HICKS ROAD**

WHEREAS, the Village of Palatine (the “Village”) is a Home Rule municipality within the purview of Article VII, Section 6(a) of the Illinois Constitution (1970), and the said Village, therefore, may exercise any power and perform any function pertaining to its government and affairs; and

WHEREAS, the Village desires to promote and preserve industrial uses in the Village; and

WHEREAS, the Village of Palatine is adopting this resolution supporting the use of Class 6B property tax classification by the County of Cook for the property located at 560 S. Hicks Road; and

WHEREAS, the Village of Palatine finds that the Class 6B real estate tax classification is essential to the revitalization of the Property, while simultaneously ensuring the continued viability and redevelopment of industrial properties within the Village; and

WHEREAS, the Petitioner, Taz Holdings, LLC, has indicated they are not willing to complete the improvements to the property at 560 S. Hicks Road without the approval of the 6B real estate tax classification; and

WHEREAS, an Economic Disclosure Statement has been received from the Petitioner and filed by the Village of Palatine.

NOW, THEREFORE, BE IT RESOLVED, by the Mayor and Village Council of the Village of Palatine that the Village of Palatine supports and consents to this Class 6B application and that it finds Class 6B necessary for investment to occur on the Subject Property at 560 S. Hicks Road, Palatine, Illinois (PIN # 02-23-313-023-0000).

DATED: This 18th day of May, 2026

AYES:_____ NAYS:_____ ABSENT:_____ PASS:_____

APPROVED by me this _____day of _____, 2026

Mayor of the Village of Palatine

ATTEST and FILE in the office of the Village Clerk this ____ day of

_____, 2026

Village Clerk



200 S. WACKER, SUITE 820 CHICAGO, ILLINOIS 60606
BRIAN P. LISTON (312) 580-1594 PETER TSANTILIS (312) 604-3808 FACSIMILE (312) 580-1592

May 13, 2026

VIA MAIL

Village of Palatine
200 E. Wood Street
Palatine, IL 60067
Attention: Michael Jacobs

Re: Class 6b Tax Incentive Request

Taz Holdings, LLC
560 S. Hicks Road,
Palatine, Illinois 60067
PIN: 02-23-313-023-0000

Dear Michael:

Taz Holdings, LLC (the “Applicant” or “Taz”) is the owner of the above-referenced property (the “Subject Property”) and is requesting a Resolution from the Village of Palatine (the “Village”) supporting and consenting to a Class 6b Tax Incentive covering the Subject Property based on Substantial Rehabilitation and Re-Occupation of Abandoned Property with Special Circumstance.

Current State and History of the Subject Property

The Subject Property currently consists of a 59,975 square-foot industrial building located on a 103,364 square-foot site. Weber Inc. previously occupied the Subject Property for 30+ years. It started winding down operations in February 2025 and vacated in May 2025. Over Weber’s 30+ year occupancy, the Subject Property was tailored to suit the specific business needs of Weber. Thus, when the company vacated, it had to strip the building of most of its prior improvements and leave a bare warehouse (in order to comply with the underlying lease agreement requiring restoration of the property to its original conditions).

Given the foregoing, the Subject Property would have likely remained vacant because any potential occupant would have to incur significant costs in refitting the property to suit its basic needs. Fortunately, the Applicant owns and operates on the neighboring 630 S. Hicks Road Palatine, Illinois 60067 (the “Sister Property”) and purchased the Subject Property in July 2025 with the plan of using the sites synergistically. When making the purchase, it anticipated securing a special use that is substantially similar or identical to the special use covering the Sister Property. Since July 2025, the Subject Property has remained vacant but for dead-storage while the Applicant awaits zoning approval.

Future Use and Occupant

Taz is a local, family-owned company with over 50 years of combined industry experience in providing waste management services in Chicago and the surrounding areas. Specifically, it offers reliable and cost-effective roll-off container and trash compactor services and transports and processes reusable and recyclable materials at one of its state-of-the-art recycling facilities located in Aurora, McCook, Palatine, and Plainfield. Taz believes in being good stewards of the environment and promoting sustainability through responsible waste management services.

Taz plans to establish a state-of-the-art material processing facility at 560 South Hicks Road, Palatine, Illinois 60067 (the “New Facility”) with the focus on recycled plastics, cardboard, drywall, industrial metals, and other permitted materials. Taz already operates such a facility at the Sister Property and expects both sites to work synergistically. With the New Facility, Taz plans to meet the growing demand from manufacturers, construction firms, and export markets for its services. By increasing Taz’s operational capacity in the efficient, sustainable, and high-quality processing of the above-mentioned materials, the New Facility will help Taz fill a critical gap in the regional supply chain.

Property Improvements

To establish the New Facility, the Applicant plans to spend \$1,000,000+ to make various improvements to the Subject Property. Specifically, the Applicant plans to make the following interior improvements:

- Upgraded lighting
- Upgraded sprinkler system
- Upgraded security systems
- Upgraded electrical systems
- Office renovation
- Upgraded air ventilation system
- Installation of demising walls

Further, the Applicant plans to make the following exterior improvements:

- Roof Repairs
- Upgraded HVAC system
- Installation roll-up garage door
- Landscaping
- Paving of concrete between 560 S Hicks Road and 630 S Hicks Road
- Door lock replacements
- Installation of new windows
- Painting

See enclosed *Preliminary Improvement Plans* for additional details.

Construction, Job Creation, and Fiscal Impact

As mentioned above, the Applicant plans to spend \$1,000,000+ in property improvements. The Applicant expects initial employment figures of 10-12 full-time employees, and the planned improvements on this specific site is expected to result in 5-10 temporary construction jobs. All employees will be compensated in accordance with the Cook County Living Wage.

Following completion of the improvements and the subsequent occupation, the Subject Property is projected to have a market value of approximately \$5,051,004 which would generate an estimated \$2,125,336 in total taxes (or approximately \$157,432 per year) over the life of the Class 6b Tax Incentive. Without the incentive, the Subject Property is likely to remain vacant and unimproved. With vacancy relief, the unimproved Subject Property is expected to generate approximately \$1,438,173 in taxes over the next 12 years (or approximately \$127,565 per year) based on the current market value. Therefore, with the Class 6b Tax Incentive, the Subject Property would generate approximately **\$687,163** in additional real estate taxes over the life of the Class 6b Tax Incentive. Please see the enclosed *12 Year Tax Comparison Chart* for more details.

In addition to increased property tax revenues, Taz's presence in the Village will continue to and additionally benefit the local community. Taz expects its employees and visitors to frequent the village's local establishments (including restaurants, gas stations, and retailers). According to the enclosed *New Employee Business Impact Chart*, an estimated 10 full-time employees at the Subject Property would spend over \$42,375 per year in the village on gas, entertainment, groceries, etc. In total, the construction and reoccupation of the newly proposed facility could generate approximately **\$1,100,000+** in additional revenue over the life of the incentive.

Employee Business Impact Chart					
Purchase	Employees	%	Ex./Week	Weeks	Total
Lunch	10	55%	\$55	50	\$15,125.00
Grocery	10	30%	\$50	50	\$7,500.00
Consumer Goods	10	25%	\$35	50	\$4,375.00
Entertainment	10	15%	\$55	50	\$4,125.00
Auto-Gas	10	75%	\$30	50	\$11,250.00
TOTAL (Per Year)					\$42,375.00

"But-For" Condition Statement

The Applicant has determined that, without the incentive, the heavy Cook County property tax burden (31.169%) will make the proposed property improvements and long-term occupancy financially infeasible. In the event the Subject Property is not improved, the Applicant is likely to keep the Subject Property vacant and unused to limit tax exposure and eventually sell it off.

Conclusion

Based on the foregoing, the Applicant requests that the Village of Palatine review its Class 6b Tax Incentive request and approve a Resolution supporting and consenting to a Class 6b Tax Incentive for the Subject Property based on Substantial Rehabilitation and Re-Occupation of Abandoned Property with Special Circumstance. Should you need any additional documentation or have any

questions or concerns, do not hesitate to contact me at (312) 604-3815 or via email at kido@lflawchicago.com.

Respectfully Submitted,

A handwritten signature in red ink, appearing to read 'Keito Ido', is positioned above the typed name.

Keito Ido
Petitioner's Attorney
Liston & Tsantilis P.C.



CLASS 6B
ELIGIBILITY APPLICATION

Carefully review the Class 6B Eligibility Bulletin before completing this Application. For assistance, please contact the Assessor's Office, Development Incentives Department (312) 603-7529. This application, *a filing fee of \$1000.00*, and supporting documentation (*except drawings and surveys*) must be filed as follows:

This application must be filed **PRIOR TO** the commencement of New Construction or **PRIOR TO** the commencement of Substantial Rehabilitation Activities or **PRIOR TO** the commencement of Reoccupation of Abandoned Property.

Applicant Information

Name: Taz Holdings, LLC Telephone: (847) 776-1500
Company: Taz Holdings, LLC
Address: 5300 S Lawndale Ave
City: McCook State: IL Zip Code: 60525
Email: rtazelaar@tazrecycling.com

Contact Person (if different than the Applicant)

Name: Ronald J. Tazelaar Telephone: (847) 776-1500
Company: Taz Holdings, LLC
Address: 5300 S Lawndale Ave
City: McCook State: IL Zip Code: 60525
Email: rtazelaar@tazrecycling.com

Property Description (per PIN)

If you are applying for more than three different PINs, please submit the additional PIN information in an attachment.

Street Address: (1) 560 S. Hicks Road
Permanent Real Estate Index Number: 02-23-313-023-0000
(2) _____
Permanent Real Estate Index Number: _____
(3) _____
Permanent Real Estate Index Number: _____
City: Palatine State: IL Zip Code: 60067
Township: Palatine Existing Class: 5-93

Attach legal description, site dimensions and square footage and building dimensions and square footage.

Identification of Person Having an Interest in the Property

Attach a complete list of all owners, developers, occupants and other interested parties (*including all beneficial owners of a land trust*) identified by names and addresses, and the nature and extent of their interest.

Industrial Use

Attach a detail description of the precise nature and extent of the intended use of the subject property, specifying in the case of the multiple uses the relative percentages of each use.

Include copies of materials, which explain the occupant's business, including corporate letterhead, brochures, advertising material, leases, photographs, etc.

Employment Opportunities

How many construction jobs will be created as a result of this development? 5-10

How many new permanent full-time and part-time employees do you now employ in Cook County?

Full-time: 115 Part-time: 0

How many new permanent full-time jobs will be created by this proposed development? 10-12

How many new permanent part-time jobs will be created by this proposed development? 0

Nature of Development

Indicate nature of proposed development by checking the appropriate space:

- New Construction (**Read and Complete Section A**)
- Substantial Rehabilitation (**Read and Complete Section A**)
Incentive only applied to the market value attributable to the rehabilitation
- Occupation of Abandoned Property - No Special Circumstance
(**Read and Complete Section B**)
- Occupation of Abandoned Property - With Special Circumstance
(**Read and Complete Section C**)
- Occupation of Abandoned Property - (**CEERM Supplemental Application**)
(**Read and Complete Section C**)

SECTION A (NEW CONSTRUCTION/SUBSTANTIAL REHABILITATION)

If the proposed development consists of *New Construction* or *Substantial Rehabilitation*, provide the following information:

Estimated date of construction commencement (*excluding demolition, if any*): Q2 2026

Estimated date of construction completion: Q4 2026 - Q1 2027

Attach copies of the following:

1. Specific description of the proposed *New Construction* or *Substantial Rehabilitation*
2. Current Plat of Survey for subject property
3. 1st floor plan or schematic drawings
4. Building permits, wrecking permits and occupancy permits (*including date of issuance*)
5. Complete description of the cost and extent of the *Substantial Rehabilitation* or *New Construction* (*including such items as contracts, itemized statements of all direct and indirect costs, contractor's affidavits, etc*)

SECTION C (SPECIAL CIRCUMSTANCES)

If the applicant is seeking special circumstances to establish that the property was abandoned for purposes of the Incentive where there was a **purchase for value**, but the period of *abandonment prior to purchase was less than 12 months*, complete section (1).

If the applicant is seeking special circumstances to establish that the property was abandoned for purposes of the Incentive where there was **no purchase for value**, but the period of **abandonment prior to the application 12 continuous months or greater**, complete section (2).

1. How long was the period of abandonment prior to the purchase for value? 3+ months

When and by whom was the subject property last occupied prior to the purchase for value?

The subject property was previously occupied by Weber Inc. Weber vacated
in May 2025 but had begun winding down its operations in February 2025.

Attach copies of the following documents:

- (a) Sworn statements from persons having personal knowledge attesting to the fact and the duration of the vacancy and abandonment
- (b) Information (*such as statements of utility companies*) which demonstrate that the property was vacant and unused and indicate duration of vacancy
- (c) Include the finding of special circumstances supporting “abandonment” as determined by the municipality, or the County Board, if located in an unincorporated area. *Also include the ordinance or resolution from the Board of Commissioners of Cook County stating its approval for less than 12-month abandonment period.*

Application must be made to the Assessor prior to the commencement of reoccupation of the abandoned property.

Estimated date of Reoccupation:	<u>ASAP</u>
Date of purchase:	<u>July 2025</u>
Name of purchaser:	<u>TAZ HOLDINGS LLC - HICKS SERIES</u>
Name of seller:	<u>RANCHO PALATINE LLC</u>
Relationship of purchaser to seller:	<u>Purchaser-Seller</u>

Attach copies of the following documents:

- (a) Sale Contract
- (b) Closing Statement
- (c) Recorded Deed
- (d) Assignment of Beneficial Interest
- (e) Real Estate Transfer Declaration

2. How long has the subject property been unused?

- 12 or greater continuous months (*Eligible for Special Circumstance*)
- 3 continuous months and maintain/create 250 Employees (*Eligible for Special Circumstance under CEERM*) - **Complete CEERM Supplemental Application**
- Not Eligible for Special Circumstance if No purchase and less than 12 continuous months vacant, or not a CEERM**

LOCAL APPROVAL

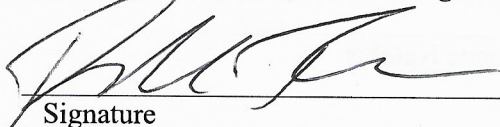
A certified copy of a resolution or ordinance from the municipality in which the real estate is located (*or the County Board, if the real estate is located in an unincorporated area*) should accompany this Application. *The ordinance or resolution must expressly state that the municipality supports and consents to this Class 6B Application and that it finds Class 6B necessary for development to occur on the subject property.* If a resolution is unavailable at the time the application is filed, a letter from the municipality or the County Board, as the case may be, stating that a resolution or ordinance supporting the incentive has been requested may be filed with this application instead. If the applicant is seeking to apply based on the reoccupation of abandoned property and will be seeking a finding of "special circumstances" from the municipality, in addition to obtaining a letter from the municipality confirming that a resolution or ordinance supporting the incentive has been requested, the applicant must file a letter from the County Board confirming that a resolution validating a municipal finding of special circumstances has been requested. If, at a later date, the municipality or the County Board denies the applicant's request for a resolution or ordinance, the applicant will be deemed ineligible for the Class 6B incentive, whether or not construction has begun. In all circumstances, the resolution must be submitted by the time the applicant files an "Incentive Appeal".

FINALIZING THE INCENTIVE PROCESS

In order to finalize the class change you will need to file an **Incentive Appeal** with supporting documentation (including **Proof of Occupancy**) in the year that the property has been substantially occupied. It is advised that you access our website (*www.cookcountyassessor.com*) to determine the allowable filing dates for such action.

When filing an appeal requesting an Incentive Class Change, a \$100.00 filing fee (made out to the Cook County Assessor) must be included. The property cannot receive Class 6B designation until you file an Incentive Appeal Form, AND this office grants reclassification for the parcel(s).

I, the undersigned, certify that I have read this Application and that the statements set forth in this Application and in the attachments hereto are true and correct, except as those matters stated to be on information and belief and as to such matters, the undersigned certifies that he/she believes the same to be true.



Signature

Ronald J. Tazelaar

Print Name

5-11-26

Date



Title

Property Information

560 S. Hicks Road
Palatine, Illinois 60067
PIN: 02-23-313-023-0000

The Subject Property currently consists of a 59,975 square-foot industrial building located on a 103,364 square-foot site.

Attached hereto please find:

- Legal Description
- Aerial of Subject Property
- Street View of the Subject Property
- Proposed Floor Plan

LEGAL DESCRIPTION

THE SOUTH 245 FEET OF LOT 6 IN KLEFSTAD'S PALATINE INDUSTRIAL PARK,
BEING A SUBDIVISION OF THAT PART OF THE EAST 1/2 OF THE SOUTHWEST ¼ OF
SECTION 23, TOWNSHIP 42 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL
MERIDIAN LYING WEST OF THE RIGHT OF WAY OF STATE ROUTE 53
(HICKSROAD), IN COOK COUNTY, ILLINOIS.

Common Address: 560 S. HICKS RD, PALATINE, IL 60067
PIN: 02-23-313-023-0000

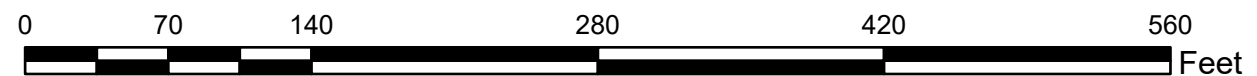


Legend

Selected Parcels

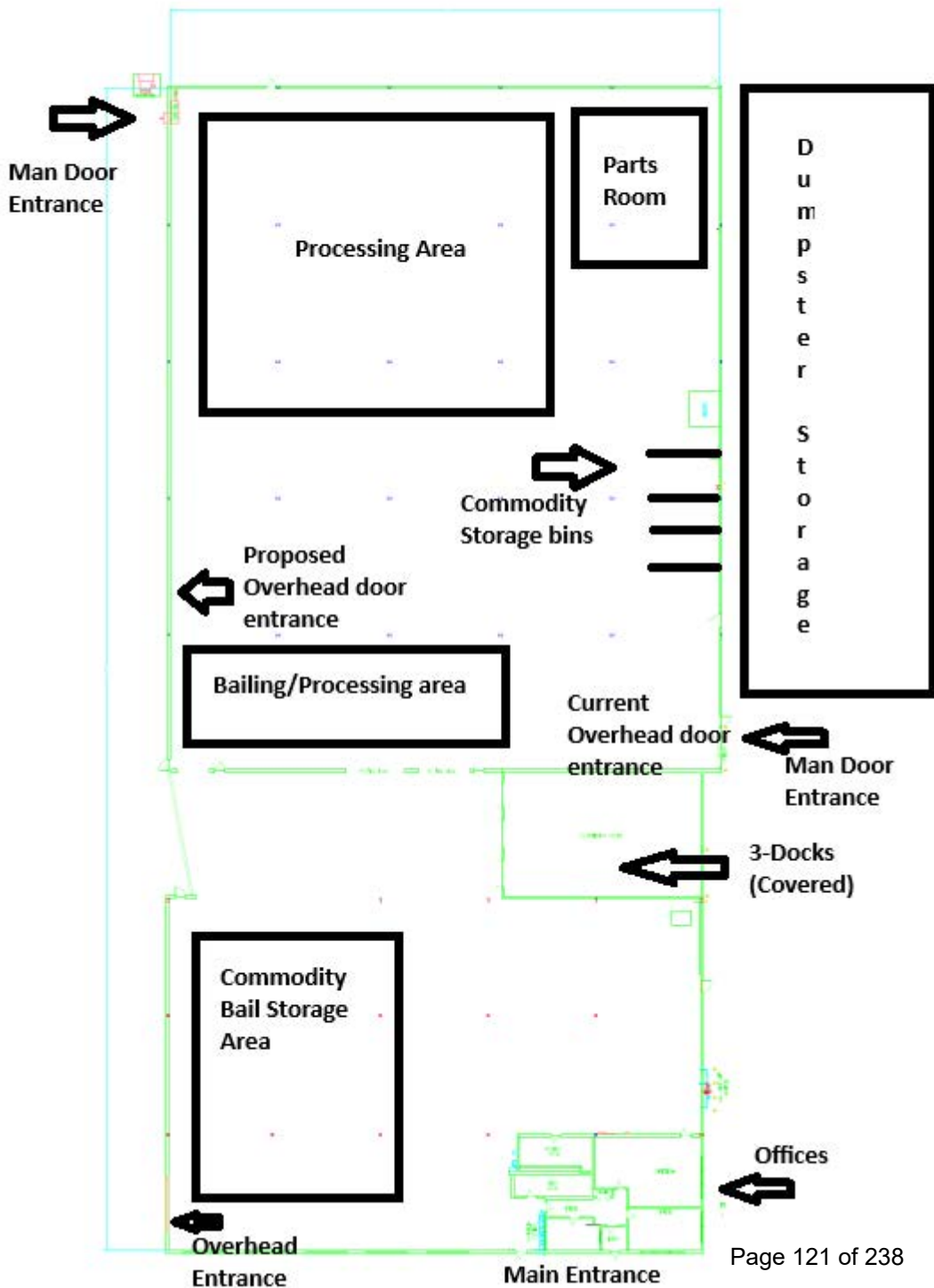
Source Parcel

Parcels Current



Map generated from CookViewer, Cook County's Parcel Viewer application maintained by the Bureau of Technology's GIS Division. For parcel and property identification number (PIN) questions, contact the Cook County Clerk's Office. For property detail and assessment questions, contact the Cook County Assessor's Office. For property tax bill questions, contact the Cook County Treasurer.





Industrial Use and Fiscal Impact

560 S. Hicks Road
Palatine, Illinois 60067
PIN: 02-23-313-023-0000

Taz plans to establish a state-of-the-art material processing facility at 560 South Hicks Road, Palatine, Illinois 60067 (the “New Facility”) with the focus on recycled plastics, cardboard, drywall, industrial metals, and other permitted materials. Taz already operates such a facility at the Sister Property and expects both sites to work synergistically. With the New Facility, Taz plans to meet the growing demand from manufacturers, construction firms, and export markets for its services. By increasing Taz’s operational capacity in the efficient, sustainable, and high-quality processing of the above-mentioned materials, the New Facility will help Taz fill a critical gap in the regional supply chain.

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Consumer Goods	10	25%	\$35	50	\$4,375.00
Entertainment	10	15%	\$55	50	\$4,125.00
Auto-Gas	10	75%	\$30	50	\$11,250.00
TOTAL (Per Year)					\$42,375.00

12 Year Tax Estimates

560 S Hicks Rd
Palatine, Illinois 60067
PIN: 02-23-313-023-0000

Estimated Taxes Based on:
2025 Assessor Certified Value + Improvement Value + Class 6b Tax Incentive
Compared to
2025 Assessor Certified Value at Full Vacancy & No 6b Incentive

Tax Year	2024 Tax Rate	2024 Multiplier	Estimated Effective Tax Rate*
2026	10.268%	3.0355	31.169%
2027	10.268%	3.0355	31.169%
2028	10.268%	3.0355	31.169%
2029	10.268%	3.0355	31.169%
2030	10.268%	3.0355	31.169%
2031	10.268%	3.0355	31.169%
2032	10.268%	3.0355	31.169%
2033	10.268%	3.0355	31.169%
2034	10.268%	3.0355	31.169%
2035	10.268%	3.0355	31.169%
2036	10.268%	3.0355	31.169%
2037	10.268%	3.0355	31.169%

2025 Assessor Certified Value + Improvement Value + Class 6b Tax Incentive			
Estimated Market Value	Assessment Level with a Class 6b**	Estimated Assessed Value With a Class 6b	Estimated Tax With a Class 6b
\$5,051,004	10%	\$505,100	\$157,432
\$5,051,004	10%	\$505,100	\$157,432
\$5,051,004	10%	\$505,100	\$157,432
\$5,051,004	10%	\$505,100	\$157,432
\$5,051,004	10%	\$505,100	\$157,432
\$5,051,004	10%	\$505,100	\$157,432
\$5,051,004	10%	\$505,100	\$157,432
\$5,051,004	10%	\$505,100	\$157,432
\$5,051,004	10%	\$505,100	\$157,432
\$5,051,004	10%	\$505,100	\$157,432
\$5,051,004	10%	\$505,100	\$157,432
\$5,051,004	15%	\$757,651	\$236,148
\$5,051,004	20%	\$1,010,201	\$314,865
Total Estimated Taxes (2027 to 2038)			\$2,125,336

2025 Assessor Certified Value at Full Vacancy & No 6b Incentive			
Estimated Market Value	Assessment Level With NO Class 6b	Estimated Assessed Value Without a Class 6b	Estimated Taxes at Full Vacancy Without a Class 6b
\$1,637,106	25.00%	\$409,277	\$127,565
\$1,637,106	25.00%	\$409,277	\$127,565
\$1,637,106	25.00%	\$409,277	\$127,565
\$1,637,106	25.00%	\$409,277	\$127,565
\$1,637,106	25.00%	\$409,277	\$127,565
\$1,637,106	25.00%	\$409,277	\$127,565
\$1,637,106	25.00%	\$409,277	\$127,565
\$1,637,106	25.00%	\$409,277	\$127,565
\$1,637,106	25.00%	\$409,277	\$127,565
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\$1,637,106	25.00%	\$409,277	\$127,565
\$1,637,106	25.00%	\$409,277	\$34,953
\$1,637,106	25.00%	\$409,277	\$127,565
Total Estimated Taxes (2027 to 2038)			\$1,438,173

Property Tax Revenue Generated from the Property's Class 6b Tax Incentive:	\$687,163
--	------------------

Notes:
 * The 2024 Effective Tax Rate (2024 tax rate x 2024 multiplier) was used. It does not take into account any increases or decreases in the Effective Tax Rate between 2026 and 2037.
 **The above is based on the assumption that the Class 6b Tax Incentive for the subject property will be granted in 2026 and activated in 2026.
 ***A 20% occupancy factor was applied to the 2025 Assessor Certified Value

The above estimates are speculative, and should be treated as such.

Preliminary Improvement Plans		
Improvements	Estimated Costs	Expected Completion Date
Exterior		
Roof Repairs	\$ 149,750.00	Winter 2026
AC/Heater Roof Units	\$ 50,000.00	Spring 2027
Roll up garage door	\$ 112,000.00	Fall 2026
Tree trimming	\$ 9,000.00	Summer 2026
Concrete between properties	\$ 20,000.00	Summer 2027
Parking lot repairs	\$ 150,000.00	Spring 2028
Door lock replacements	<i>Waiting for Quote</i>	Spring 2026
Paint	\$ 15,000.00	Spring 2027
Landscaping	\$ 25,000.00	Spring 2027
Windows	\$ 25,000.00	Spring 2028
TOTAL	\$ 555,750.00	
Interior		
Lighting	\$ 10,000.00	Spring 2026
Sprinkler system	<i>Waiting for Quote</i>	Spring 2026
Security System/Cameras	<i>Waiting for Quote</i>	Spring 2026
Bailers	\$ 65,000.00	Spring 2026
CAT 938 Loader	\$ 314,136.50	Summer 2026
Bucket for Loader	\$ 26,950.00	Summer 2026
Clark Forklift	\$ 37,026.00	Spring 2026
Kubota Skid Steer	\$ 65,711.00	Fall 2026
Bunkers	\$ 100,000.00	Winter 2026/27
Welder	\$ 30,000.00	Summer 2026
Electrical improvements	\$ 50,000.00	Winter 2026
Scale	\$ 20,000.00	Spring 2026
Forklift Bail Grapple	\$ 20,000.00	Spring 2026
Air Compressor	\$ 25,000.00	Summer 2026
Overhead Door Floor Repair	\$ 10,000.00	Summer 2026
Air Venting System	\$ 15,000.00	Winter 2026
Office Remodel	\$ 200,000.00	Winter 2027
Demising Wall	\$ 20,000.00	Winter 2026
TOTAL	\$ 1,008,823.50	



CLASS 6B ELIGIBILITY BULLETIN

Cook County Living Wage Ordinance

Please be advised that every applicant for this incentive will be required to provide an affidavit to the Assessor's Office to confirm compliance with the Cook County Living Wage Ordinance. The Cook County Assessor will not grant any request for incentive classification until it receives the required affidavit.

Incentive Benefits

The Class 6b classification is designed to encourage industrial development throughout Cook County by offering a real estate tax incentive for the development of new industrial facilities, the rehabilitation of existing industrial structures, and the industrial reutilization of abandoned buildings. The goal of Class 6b is to attract new industry, stimulate expansion and retention of existing industry and increase employment opportunities.

Under the incentive provided by Class 6b, qualifying industrial real estate would be eligible for the Class 6b level of assessment from the date that new construction or substantial rehabilitation is completed and initially assessed or, in the case of abandoned property, from the date of substantial re-occupancy. Properties receiving Class 6b will be assessed at 10% of market value for the first 10 years, 15% in the 11th year and 20% in the 12th year. This constitutes a substantial reduction in the level of assessment and results in significant tax savings. In the absence of this incentive, industrial real estate would normally be assessed at 25% of its market value.

Where buildings or other structures qualify for the incentive as new construction or as abandoned property as defined below, the reduced level of assessment under Class 6b will apply to those structures in their entirety as well as to the land upon which they are situated. Where there is substantial rehabilitation of an existing structure which has not been abandoned, the reduced incentive level of assessment is applicable to the additional market value attributable to the rehabilitation, including qualified land related to the rehabilitation. ***(Please note that the additional value attributable to the rehabilitation for assessment purposes is likely to be lower than the actual amount spent on the rehabilitation.)*** Land qualifies when the rehabilitation adds vertical or horizontal square footage to the improvements. The amount of land eligible for the incentive shall be in such proportion as the square footage added by the rehabilitation bears to the total square footage of the improvements on the parcel.

Eligibility Requirements

Real estate is eligible for Class 6b status under the following conditions:

1. The real estate is used primarily for "industrial purposes".
2. There is either (a) new construction, (b) substantial rehabilitation, or (c) substantial re-occupancy of "abandoned" property.
3. An Eligibility Application and supporting documents have been timely filed with the Office of the Assessor according to deadlines as set forth in the "What Must Be Filed" and "Time for Filing" sections of this Bulletin.
4. The municipality in which such real estate is located (or the County Board, if the real estate is located in an unincorporated area) must, by lawful resolution or ordinance, expressly state that it supports and consents to the filing of a Class 6b Application and that it finds Class 6b necessary for development to occur on the subject property.

The following definitions, as set forth in the Cook County Real Property Assessment Classification Ordinance, pertain to the Class 6b incentive provision:

Industrial purposes: "Any real estate used primarily in manufacturing ... or in the extraction or processing of raw materials unserviceable in their natural state to create new physical products or materials, or in the processing of materials for recycling, or in the transportation or storage of raw materials or finished or partially finished physical goods in the wholesale distribution of such materials or goods for sale or leasing."

Manufacturing: "The material staging and production of goods used in procedures commonly regarded as manufacturing, processing, fabrication, or assembling which changes existing material into new shapes, new qualities, or new combinations and including research and development associated with the production of goods."

Abandoned property: "Buildings and other structures that, after having been vacant and unused for at least 12 continuous months, are purchased for value by a purchaser in whom the seller has no direct financial interest." An exception to this definition shall be, "if the municipality or the Board of Commissioners, as the case may be, finds that special circumstances justify finding that the property is 'abandoned' for the purpose of Class 6b."

The finding of abandonment, along with the specification of the special circumstances, shall be included in the resolution or ordinance supporting and consenting to the incentive application. Notwithstanding the foregoing, special circumstances may not be determined to justify finding that a property is deemed "abandoned" where:

- A. There has been a purchase for value and the buildings and other structures have not been vacant and unused prior to such purchase; or
- B. There has been no purchase for value and the buildings and other structures have been vacant and unused for less than 12 continuous months.

If the ordinance or resolution containing a finding of "special circumstances" is that of a municipality, the approval of the County Board of Commissioners is required to validate such a finding that the property is deemed "abandoned" for purposes of the incentive, and a resolution to that effect shall be included with the eligibility application.

What Must Be Filed

An applicant seeking the reclassification of real estate to Class 6b is required to file a "Class 6b Eligibility Application" with the Office of the Assessor. At the time of filing the application, a filing fee of \$1,000.00 must be paid. In addition, an applicant may submit, at the same time, a certified copy of an ordinance or resolution adopted by the municipality in which the real estate is located (or the County Board, if the real estate is located in an unincorporated area) expressly stating that it supports and consents to the filing of a Class 6b Application and that it finds Class 6b necessary for development to occur on the subject property. If the resolution is not filed at the time the Eligibility Application is submitted to the Assessor, the applicant must file, at that time, a letter from the municipality or the County Board confirming that a resolution or ordinance supporting the incentive has been requested. If the applicant is seeking to apply based on the reoccupation of abandoned property and will be seeking a finding of "special circumstances" from the municipality, in addition to obtaining a letter from the municipality confirming that a resolution or ordinance supporting the incentive has been requested, the applicant must also file a letter from the County Board confirming that a resolution validating a municipal finding of special circumstances has been requested.

Should the municipality or the County Board, at a later date, deny the applicant's request for a resolution or ordinance, whether or not construction or re-occupancy has begun, the applicant will be deemed ineligible for reclassification to Class 6b. Any information that is not known or any supporting documents that are not available at the time of the initial filing must be submitted as a supplement to the Application.

After the construction or re-occupancy has taken place, an applicant must also file an "Incentives Appeal Form" requesting that the real estate be reclassified to Class 6b. If a resolution from the municipality where the property is located, or the Cook County Board of Commissioners if located in an unincorporated area, was not filed with the Eligibility Application, the applicant must file a certified copy of the resolution or ordinance supporting the incentive at this time. No final action on a request for reclassification to Class 6b will be taken until an Appeal and an Eligibility Application, along with the required documentation as described therein, are completed and filed with the Office of the Assessor.

In addition, during the term of the incentive, the Class 6b recipient must file a triennial affidavit attesting to the use of the property and the number of workers employed at the Class 6b site. The Assessor will mail Class 6b recipients the affidavit forms at the time of their triennial reassessments. The affidavit must be signed, notarized and returned to the Assessor within three weeks. Failure to file the triennial affidavits within that time will result in the loss of the incentive.

Time for Filing

The Eligibility Application along with the appropriate resolution or letter confirming that a resolution has been requested *must be filed* with the Assessor *prior to*, but no earlier than one year before, *commencement of new construction* (excluding demolition, if any) *or substantial rehabilitation*. With respect to abandoned property, the eligibility application must be made to the Assessor ***prior to the commencement of the reoccupation of the vacant and unused property.***

Where reoccupation of "abandoned" property and subsequent substantial rehabilitation is planned, a single Eligibility Application and resolution, ordinance, or letter confirming that a resolution has been requested, may be filed for both situations, provided that the Application is filed prior to the commencement of reoccupation and such rehabilitation.

To finalize the classification change, a "Real Estate Assessed Valuation Appeal" must be filed after the construction or re-occupancy has taken place. In instances where a certified copy of an ordinance or resolution expressly stating that the municipality or County Board supports and consents to filing of a Class 6b Application has not yet been filed, it must be filed at this time. For the purpose of certifying final assessments on a timely basis to the Board of Appeals, deadlines for filing Appeals are established on a township basis. Check with the Office of the Assessor to determine when the deadline occurs for a particular township.

The 6b classification may be renewed during the last year in which a property is entitled to a 10% assessment level or when the incentive is still applied at the 15% or 20% assessment level, by filing a renewal application and a certified copy of a resolution or ordinance adopted by the municipality in which the real estate is located, or by the County Board, if located in an unincorporated area of Cook County, expressly stating that it supports and consents to the renewal of the Class 6b incentive and that it has determined that the industrial use of the property is necessary and beneficial to the local economy. The notice of intent to request renewal will be forwarded by the Assessor's Office to the Cook County Board. The owners must notify the Assessor's Office of their intent to request renewal at the time they request a resolution or ordinance agreeing to the renewal from the municipality or County Board. The number of renewal period requests is not limited.

Questions regarding Class 6b may be directed to the Development Incentives Department of the Office of the Cook County Assessor, Room 301, 118 North Clark Street, Chicago, Illinois 60602, (312) 603-7529.

Consider an Ordinance Approving a Special Use Amendment to Allow for the Storage, Distribution, and General Cleaning of Portable Toilets for the Property Located at 630 S. Hicks Road

BACKGROUND:

The Subject Property, approximately 5.2 acres, is zoned Manufacturing. Economy Disposal Service has operated as a material processor and waste distributor at this location under an existing Special Use since 2005. The current owner acquired the business and completed a Special Use transfer in 2021. In 2025, the Village received an inquiry and concern regarding the storage of portable toilets on the Subject Property. As this was not part of the 2005 Special Use approval, Staff contacted the business owner and indicated that a Special Use Amendment would be required to allow the proposed operation. Therefore, the Petitioner is requesting approval of the following:

Special Use Amendment to Special Use # O-39-05 to allow for the storage, distribution, and general cleaning of portable toilets on the Subject Property.

KEY ISSUES:

- The Economy Disposal Service operates a material handling use, within numerous Special Use conditions. The Petitioners recently began servicing, renting, and supplying portable toilets and handwashing stations from this location. This service is regulated through licensure from the required Federal and State agencies, including the Illinois Department of Public Health, Cook County Public Health, and MWRD. The business plan further indicates compliance with the Clean Water Act and following OSHA standards. The Petitioner maintains active permits from the required regulatory agencies for this use. The business plan indicates that this operation includes 14 employees.
- All the toilet rental units are cleaned by a pumper truck at the customer location and then transferred to an external licensed treatment facility, prior to the clean pumper truck returning to S. Hicks Road. Therefore, no unclean/loaded toilets are ever returned to this location. Any general cleaning activities would not involve any sewage. Due to the rotation of toilets, when rented and in use, the Petitioners anticipate a maximum of 50 units being stored onsite, when otherwise not in use.
- As part of the business plan review, the Petitioners identified an approximately 4,500 square foot location in the south-west corner of the property for storing the units. Staff also notes that the property directly west of the site also maintains a manufacturing zoning. Per Code, this area is required to be solidly screened through the height of the item/materials being stored. The business plan identifies 2 fencing alternatives, which would be further determined as part of the building permit review.
- The units are approximately 7.5 to 7.75 feet tall. The zoning ordinance requires

that this 4,500 square foot area is screened accordingly above the height of the toilets. There is existing chain link fencing, with barbed wire, which is 8 feet in height.

- The portable toilet rental and storage will be an accessory use to the principal use of the property.
- The proposed Special Use Amendment aligns with the storage, transfer, and servicing uses contemplated in the manufacturing district. Additionally, there are numerous other regulatory agencies for the use and its operations and the Petitioner maintains those required permits. The storage and distribution components are compatible with the surrounding uses. Additionally, as each unit is maintained and cleaned externally and with the proposed business plan requirements, there should not be any issues associated with this amendment.

BUDGET IMPACT:

N/A

RECOMMENDATION:

Public Hearing: Planning & Zoning Commission (PZC) meeting on April 28, 2026.

Residents testifying: None.

Vote: The PZC voted unanimously to approve the Special Use and Staff concurs.

ACTION REQUIRED:

A motion to approve a Special Use Amendment to allow for the storage, distribution, and general cleaning of portable toilets for the property located at 630 S. Hicks Road.

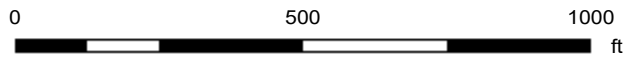
ATTACHMENTS:

1. Aerial Map
2. ORD SUA 630 S. Hicks Road
3. EXHIBIT - Proposed site and screening plans
4. EXHIBIT - Business Plan
5. Current Special Use Ordinance - #O-39-05
6. Plat of Survey (6)
7. Special Use Application (11)
8. PZC minutes - April 28, 2026 meeting
9. Public Notice (11)



Legend

Notes



Print Date: 5/13/2026

Disclaimer: The GIS Consortium and MGP Inc. are not liable for any use, misuse, modification or disclosure of any map provided under applicable law. This map is for general information purposes only. Although the information is believed to be generally accurate, errors may exist and the user should independently confirm for accuracy. The map does not constitute a regulatory determination and is not a base for engineering design. A Registered Land Surveyor should be consulted to determine precise location boundaries on the ground.

ORDINANCE NO. _____

**AN ORDINANCE GRANTING A SPECIAL USE AMENDMENT
AT 630 S. HICKS ROAD**

WHEREAS, pursuant to a petition and public hearing on April 28, 2026, of which public notice was given as required by law, the Planning and Zoning Commission of the Village of Palatine, in accordance with the Zoning Ordinance of the Village of Palatine, in such case made and provided, has held such public hearing and reported their findings relative to a request for a Special Use Amendment to allow for the storage, distribution, and general cleaning of portable toilets, pursuant to Ordinance #O-39-05 and Section 14.05 of the Village of Palatine Zoning Ordinance, on the following legally described property:

Lots 4 and 5 in Klefstad’s Palatine Industrial Park, being a Subdivision of that part of the East ½ of the Southwest ¼ of Section 23, Township 42 North, Range 10, East of the Third Principal Meridian, lying West of the West right-of-way of State Route 53 (Hicks Road) in Cook County, Illinois

Commonly known as 630 South Hicks Road (PIN# 02-23-313-005-0000 & 02-23-313-006-0000).

NOW, THEREFORE, BE IT ORDAINED, by the Mayor and Village Council of the Village of Palatine, Cook County, Illinois, acting in the exercise of their home rule power that:

SECTION 1: A Special Use Amendment to allow for the storage, distribution, and general cleaning of portable toilets, pursuant to Special Use Ordinance #O-39-05 and Section 14.05 of the Village of Palatine Zoning Ordinance for the property located at 630 S. Hicks Road, is hereby granted, subject to the following condition(s):

1. The Special Use Amendment shall substantially conform to the business plan, including the site plan, submitted by the Petitioner, except as such plans may be changed to conform with Village Codes and Ordinances. All conditions of Special Use Ordinance #O-39-05, as amended, shall remain in active and in effect.
2. All required extra-agency permits (e.g. IEPA, IDPH (Portable Sanitation Business License), MWRD (Chemical Toilet Waste Disposal), Cook County Public Health) be provided to the Village as a component of the business license.
3. The final fencing and screening plan for the portable toilet storage area shall be revised in a manner acceptable to the Director of Planning and Zoning.

SECTION 2: That a copy of the public notice be attached hereto and form a part of this ordinance.

SECTION 3: That this ordinance shall be in full force and effect from and after its passage and approval as provided by law.

PASSED: This ____ day of _____, 2026

AYES:____ **NAYS:**____ **ABSENT:**____ **PASS:**____

APPROVED by me this ____ day of _____, 2026

Mayor of the Village of Palatine

ATTESTED and FILED in the office of the Village Clerk this

____ day of _____, 2026

Village Clerk

Dumpster Storage
200' x 62'

8' Fence
(6' fence with
2' of barbed wires)

Portable Toilet
Storage Area
100' x 45'
(Screened by
8' uniformly colored
fences)

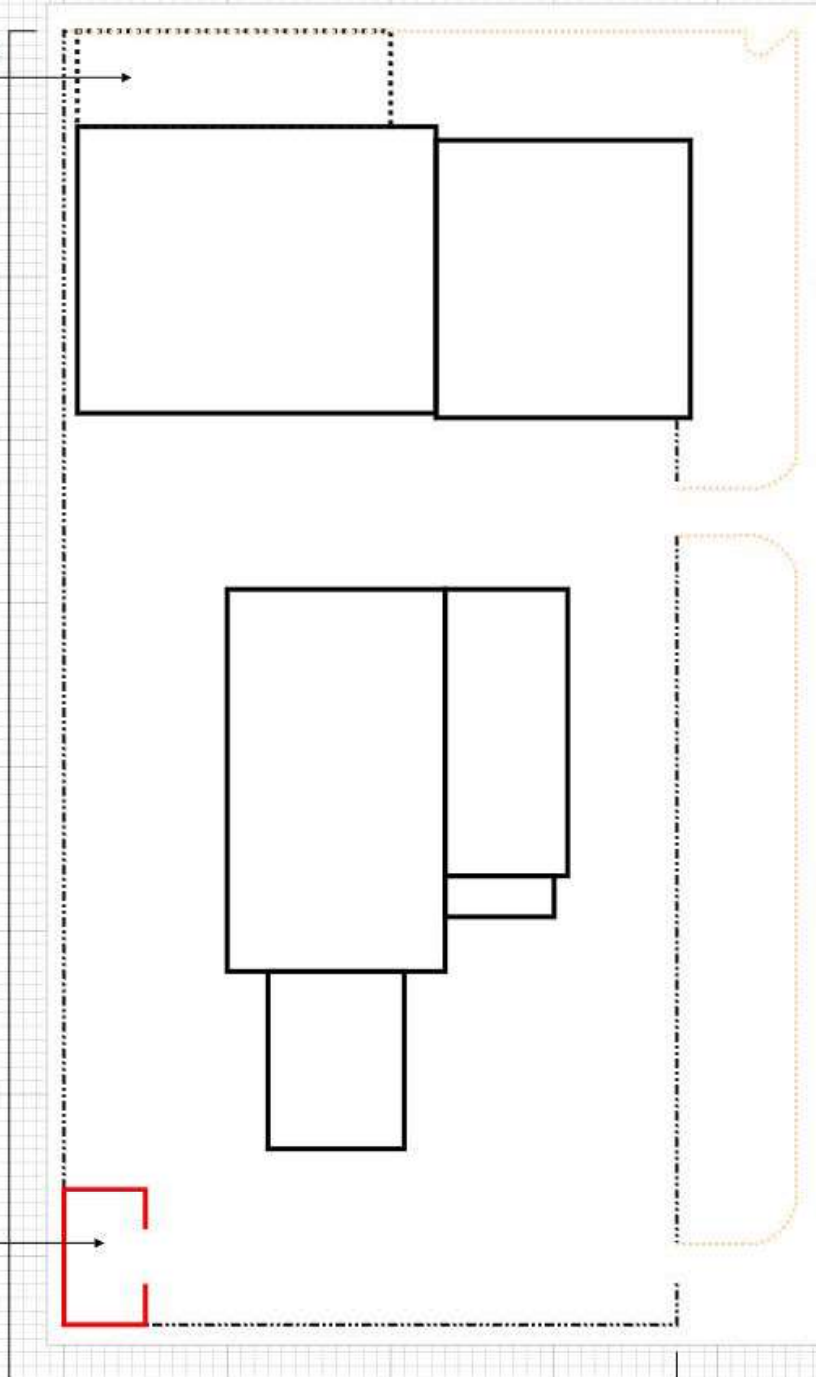


8' Screened Fence
(6' screened fence
with 2' of barbed wires)

Dumpster Storage
200' x 62'

8' Fence
(6' fence with
2' of barbed wires)

Portable Toilet
Storage Area
100' x 45'
(Screened by
8' uniformly colored
fences)



8' Screened Fence
(6' screened fence
with 2' of barbed wires)

Option 2

Dumpster Storage
200' x 62'

8' Fence
(6' fence with
2' of barbed wires)

The existing fence here
will be screened

Portable Toilet
Storage Area
100' x 45'

8' Screened Fence
(6' screened fence
with 2' of barbed wires)

The existing fence here will be screened



Dumpster Storage
200' x 62'

8' Fence
(6' fence with
2' of barbed wires)

The existing fence here
will be screened

Portable Toilet
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100' x 45'

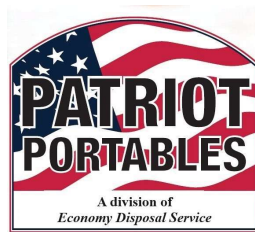
8' Screened Fence
(6' screened fence
with 2' of barbed wires)

The existing fence here will be screened

EXHIBIT C
Patriot Portables Business Plan

PATRIOT PORTABLES

Business Plan



560-630 South Hicks Road, Palatine, Illinois 60067

**Created on January 26, 2026 by
TAZ Holdings LLC – Patriot Portable Series**

Executive Summary

Our Specialty

TAZ Holdings LLC – Patriot Portable Series (“Patriot Portables”) is a supplier and servicer of rentable portable toilets for events and construction projects.

Our Unique Value

Our business provides efficient and eco-friendly waste disposal services on and flexible rental terms. Our focus is on customer service and hospitality, going beyond the norm, especially when it comes to cleanliness of our products.

Company Description

Industry

Sanitation and Waste Management

Mission Statement

Provide clean, reliable, and environmentally responsible portable sanitation solutions

Principal Members

Ronald Tazelaar — Owner

Daniel Rudman – Owner

Legal Structure

Patriot Portable Series is a series company associated with Taz Holdings, LLC, an Illinois limited liability company. Other associated entities include Economy Disposal Services and C&D Recycling.

History

Taz Holdings, LLC acquired a small sanitation business with 18 years of experience. Taz Holdings, LLC has over 26 years of experience in the sanitation and waste management industry.

Products and Services

Products

Standard Units, XL ADA Units, Crane Units, and Handwash Stations.

Services

- Delivering and setting up our products
- Performing scheduled waste removal and cleaning

Finance

- Revenue Sources
 - Rentals (daily/weekly/monthly)
 - Service contracts
- Expenditures
 - Products – maintenance and new acquisition
 - Trucks – maintenance and new acquisition
 - Others (e.g., cleaning supplies, insurance, and permits)

Customers

- Construction companies
- Event organizers
- Municipalities
- Disaster relief agencies

Marketing

- Local advertising
- Partnerships with event planners
- Online booking system

Operations

Employees

- Managers - 1
- Dispatchers - 1
- Drivers - 5
- Cleaners – 5
- Administrative Support Staff - 2

Equipment

- 5 pumper trucks
- 1 delivery truck
- 754 toilets
- 43 handwash stations

Experience and Qualification

Our business operates with an Illinois Department of Public Health Portable Sanitation Business License (#900-00189). Per Ill. Admin. Code tit. 77, § 905.135(a), any person operating in Illinois who sells, rents, leases, transports, services, cleans, sanitizes or maintains a portable toilet or portable potable hand-washing unit or pumps, transports or disposes of waste from portable toilets or portable potable hand-washing units shall be licensed as a portable sanitation business.

Per Ill. Admin. Code tit. 77, § 905.135(b), only a portable sanitation technician or portable sanitation technician trainee certified by the Department as working for a portable sanitation business may service, clean, sanitize or maintain a portable toilet or portable potable hand-washing unit, or pump, transport or dispose of waste from portable toilets or portable potable hand-washing units. Our business employs five Certified Portable Sanitation Technicians. Per Ill. Admin. Code tit. 77, §905.135(f)-(m), our business is involved in the certification and training of sanitation technicians.

Our business operates under a Metropolitan Water Reclamation District of Greater Chicago Chemical Toilet Wastes Disposal Permit (#2026-31240). The Metropolitan Water Reclamation District of Greater Chicago (MWRD) enacted an ordinance setting forth a uniform policy for permittees of chemical toilet wastes disposal to the facilities of the MWRD in order to ensure compliance with all applicable State and Federal laws, including the Clean Water Act (33 United States Code U.S.C. Section 1251 et seq.) and the General Pretreatment Regulations (Title 40 of the Code of Federal Regulations Part 403). Our business is a permittee under this ordinance.

Cleaning and Waste Disposal Process

- Step 1: Suck down unit and remove waste. Clean unit inside and out. Refill unit with blue and water. Restock hand dispenser and toilet paper. Finish by wiping unit down.
- Step 2: Transport waste by truck to a licensed treatment facility in accordance with the *New Employee Training Manual & Safety Rules*.
- Step 3: Dispose of the waste at a licensed treatment facility in accordance with the company's dumping procedures. See *Patriot Portables Dumping Procedures*.
- Step 4: Inspect pumper trucks before and after each daily use, log any issues for mechanics.

Occupational Safety and Health Administration (OSHA) Standards

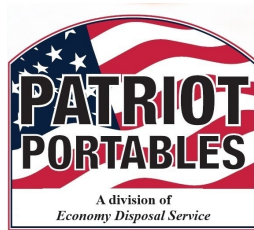
At the request of our customers, our business provides portable toilets for compliance with OSHA standards relating to the provision of portable toilets at jobsites, including but not limited to §1926.51(c).

EXHIBIT D

Business Plan Proposal – Material
Processing Facility at 560 South Hicks
Road, Palatine, Illinois 60067

PATRIOT PORTABLES

Business Plan



560-630 South Hicks Road, Palatine, Illinois 60067

**Created on January 26, 2026 by
TAZ Holdings LLC – Patriot Portable Series**

Executive Summary

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Per Ill. Admin. Code tit. 77, § 905.135(b), only a portable sanitation technician or portable sanitation technician trainee certified by the Department as working for a portable sanitation business may service, clean, sanitize or maintain a portable toilet or portable potable hand-washing unit, or pump, transport or dispose of waste from portable toilets or portable potable hand-washing units. Our business employs five Certified Portable Sanitation Technicians. Per Ill. Admin. Code tit. 77, §905.135(f)-(m), our business is involved in the certification and training of sanitation technicians.

Our business operates under a Metropolitan Water Reclamation District of Greater Chicago Chemical Toilet Wastes Disposal Permit (#2026-31240). The Metropolitan Water Reclamation District of Greater Chicago (MWRD) enacted an ordinance setting forth a uniform policy for permittees of chemical toilet wastes disposal to the facilities of the MWRD in order to ensure compliance with all applicable State and Federal laws, including the Clean Water Act (33 United States Code U.S.C. Section 1251 et seq.) and the General Pretreatment Regulations (Title 40 of the Code of Federal Regulations Part 403). Our business is a permittee under this ordinance.

Cleaning and Waste Disposal Process

- Step 1: After receiving a request from a customer to clean one or more of our portable toilet units, we first inspect the pumper truck to be used to fulfil the request. After the inspection is complete, we travel to the client's location in the pumper truck.
- Step 2: At the customer's location, we suck out the waste from a unit using the pumper truck. We then refill the unit with water as needed, restock hand dispenser and toilet paper, and wipe down the unit's interior and exterior.
- Step 3: We transport the waste in the pumper truck to a licensed treatment facility in accordance with the *New Employee Training Manual & Safety Rules* and then dispose of the waste in accordance with the company's dumping procedures (*Patriot Portables Dumping Procedures*).
- Step 4: We return to 560-630 South Hicks Road in the pumper truck. There, we inspect the truck again, log any issues with a mechanic, and re-load the truck with fresh water and supplies.

Specific Zoning Notes

- Our portable toilet units are never stored at 560-630 South Hicks Road without first being emptied and cleaned at the customers' location or a licensed treatment facility.
- All pumper and delivery trucks are parked indoors at 560-630 South Hicks Road. Our business maintains four locations, including 560-630 South Hicks Road, and the trucks may be parked at 560-630 South Hicks Road or another location.
- Odors may emanate from the pumper trucks.
- Of the 745 portable toilet units, 90% of them are expected to be maintained at our customers' locations at any given time. The remainder, approximately 75 units, are expected to be stored throughout the company's four locations, including 560-630 South Hicks Road. The maximum number of units stored at 560-630 South Hicks Road is expected to be 30-50.

Occupational Safety and Health Administration (OSHA) Standards

At the request of our customers, our business provides portable toilets for compliance with OSHA standards relating to the provision of portable toilets at jobsites, including but not limited to §1926.51(c).



Dumping Procedures

1. Open hatch on the top of the waste tanker
2. Identify the room left in the tanker
 - a. Max load is 12" from the bottom of the top hatch
 - b. Once the tanker is $\frac{3}{4}$ full notify management to have switched
3. Hook hose from truck to the tanker
 - a. Make sure both cam lock tabs are locked against the hose
4. Reverse pump on the Pumper truck.
 - a. Once truck tank is empty, close the valve on the tanker
5. Reverse pump opposite direction while hose is still hooked and tanker valve is closed
 - a. Once hose is dry, close the valve on the truck.
6. Turn off pump
7. Disconnect hose from tank and truck
8. Place empty hose on side of tanker
9. Suck dry the overflow containment barrel
10. Ensure there is nothing leaking
 - a. Any leak must be reported immediately
11. Close the top hatch on the tanker

Please acknowledge that you have read and understand the above instructions by printing and signing your name and dating where indicated below.

Name: _____

Date: _____, 2025

Sign: _____

ORDINANCE NO. 0-39-05

**ORDINANCE GRANTING A SPECIAL USE
630 S. HICKS ROAD (CASE NO. 05-16)**

**Published in pamphlet form by authority of the
Mayor and Village Council of the Village of Palatine
On March 7, 2005**

ORDINANCE NO. 0-39-05

**AN ORDINANCE GRANTING A SPECIAL USE
630 S. HICKS ROAD (CASE NO. 05-16)**

WHEREAS pursuant to a petition and public hearing, held on March 1, 2005 of which public notice was given as required by law, the Zoning Board of Appeals of the Village of Palatine, in accordance with the Zoning Ordinance of the Village of Palatine, in such case made and provided, has held such public hearings and reported its findings regarding granting a Special Use to allow a “Transfer, Storage, and Treatment of General Construction Materials, Demolition Debris and Wood Waste” facility, pursuant to Section 12.01(h) of the Palatine Zoning Ordinance, on the following legally described property:

Lots 4 and 5 in Klefstad’s Palatine Industrial Park, a subdivision of that part of the East 1/2 of the Southwest 1/4 of Section 23, Township 42 North, Range 10, East of the Third Principal Meridian, lying West of the West right of way line of State Route Number 53, in Cook County, Illinois

commonly known as 630 S. Hicks Road (PIN #02-23-313-005/006)

NOW, THEREFORE, BE IT ORDAINED, by the Mayor and Village Council of the Village of Palatine, Illinois, acting in the exercise of their home rule power:

SECTION 1: That a Special Use to allow a “Transfer, Storage, and Treatment of General Construction Materials, Demolition Debris and Wood Waste”, pursuant to Section 12.01(h) of the Palatine Zoning Ordinance, is hereby granted, subject to the following conditions:

- 1. The operation of the business shall be limited to the receiving, sorting, storing, and consolidating for shipment of “Debris Material”. “Debris Material” consists of and is limited to the following non-hazardous, uncontaminated materials containing no hazardous substances resulting from the construction, remodeling, repair, and demolition of utilities,**

structures, and roads: bricks, concrete, and masonry materials; clean soil without contaminants; rock; wood (including non-hazardous painted, treated, and coated wood and wood products); wall coverings; plaster; drywall; plumbing fixtures; non-asbestos insulation; roofing shingles and other roof coverings; reclaimed asphalt pavement; glass; plastics that are not sealed in a manner that conceals waste or contaminants; electrical wiring; and piping or metals incidental to any of those materials. Debris Material does not include asbestos or asbestos containing material ("ACM") as defined by the most stringent of the Illinois Environmental Protection Act, the Clean Air Act or the regulations adopted thereunder.

- 2. All operations of the proposed facility shall occur within the existing building, except for the storage of vehicles solely associated with the Petitioner's operation and processing of clean wood product as described in the Petitioner's letter dated February 28, 2005, attached hereto as "Exhibit A".**
- 3. The only treatment or actions permitted under this Special Use are those specifically identified in Conditions #1 and #2 of this ordinance.**
- 4. Any change or expansion to the proposed operation shall receive approval from the Village Council.**
- 5. Any required permits and licenses, including, but not limited to, a Scavenger's License, from the Village, County and State (including any approvals required by the IEPA) for the proposed operation shall be submitted prior to the issuance of a business license.**
- 6. All operations must be conducted in compliance with all applicable State and Federal laws and regulations and without creating or perpetuating a nuisance.**
- 7. Other than the grinding of wood there shall be no crushing, grinding, reducing, shredding, burning or other treatment of any other Debris Material on site.**
- 8. Any signage shall comply with the Village's Zoning Code.**
- 9. Except for the relief outlined within this ordinance, the operation shall comply with all applicable regulations within the Village Code, including, but not limited to, the Performance Standards outlined in Section 12.02 of the Village's Zoning Code.**
- 10. Prior to the issuance of a business license the Petitioner shall provide plans indicating the proposed location and screening of the wood grinder and outdoor wood product storage area. These plans shall conform to the**

Village Code and shall be subject to the review and approval of the Village's Director of Planning and Zoning.

11. All finished wood products shall be transported off site within 24 hours of processing.

SECTION 2: That the petition for special use, the minutes of the Zoning Board of Appeals and the public notice be attached hereto and form a part of this ordinance.

SECTION 3: This Ordinance shall be in full force and effect from and after its passage and approval as provided by law.

PASSED: This 7 day of March, 2005

AYES: 4 NAYS: 0 ABSENT: 1 PASS: 2

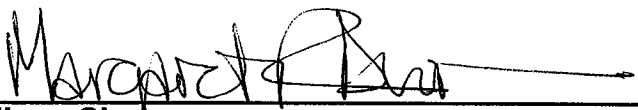
APPROVED by me this 7 day of March, 2005



Mayor of the Village of Palatine

ATTESTED and FILED in the office of the Village Clerk this 7

day of March, 2005



Village Clerk

**MBL Recycling, Inc.
P.O. Box 264
Lincolnshire, IL 60069
(847)634-8775**

February 28, 2005

Michael Jacobs
Village of Palatine
200 E. Wood St.
Palatine, IL 60067

Mike:

In response to your concerns regarding the processing of our clean wood product, the following is a detailed description of our operations:

- All wood products will be stored indoors *prior* to processing.
- Once the wood is prepared for processing, it is then conveyed outside of the building directly into an enclosed processing grinder (the grinder will be adjacent to the east side of the building). The grinder has an electric motor so there will be no emissions concerns. The sound level decibels inside of the property line are within your requirements. Due to the fact that we are processing *clean* wood, there will be no odor omitted.
- The finish product will be stored in a contained area constructed of 12 ft. high pre-cast concrete panels for screening purposes. In addition, the entire length of the parkway is landscaped with tall pines and other trees that provide additional screening.
- The finished product will be transported off site daily.
- We feel any of our outside activities will meet your performance standards under section 12.02.

If we have not adequately addressed your concerns, please do not hesitate to give us a call with any further questions. We thank you again for your efforts and continued support enabling us to meet our critical deadline.

Sincerely,

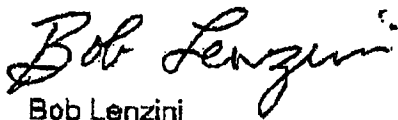

Bob Lenzini

EXHIBIT "A"

PALATINE VILLAGE COUNCIL
200 E. WOOD ST.
PALATINE IL 60067

3-3-05

re: Case 05-16, Demolition Debris Processing Center, 630 S. Hicks

Dear Council Members,

I am unable to present my opposition to this proposal in person due to prior commitments. Please accept this as my written statement.

Construction debris contains many pollutants: dusts, mold, asbestos, lead, human waste, insects, rodents, mercury, household & industrial chemicals (PCBs, DDT, Chlordane). Some take centuries to decompose. Many are invisible in the debris, hidden in paint or part of the fabrication (i.e. lead, asbestos).

Petitioner claims no hazardous material would enter the property. For that they would depend on the certification and actions of others, including work of unskilled labor not under their direct control.

Petitioner asserts the proposed use is essentially the same as BFI's prior recycling of paper and packaging. Not so. At BFI, materials were limited to very specific types. All construction and remodeling waste was strictly prohibited, for good reason. Also, there was no inherent dust problem.

I was a manufacturing manager for over 20 years. My employers and I had positive attitudes toward the environment. It is my experience that, of the thousands of people who would do the trucking, handling, processing and managing of this material over the years, a few would be unwilling to follow the rules. A few would not know all the procedures. Some would be pressured by time or money to rush to act. There will be communications breakdowns. There will be mechanical breakdowns. There will be accidents. Fires, explosions, or weather can expand risks rapidly.

You have all seen construction sites with trails of mud, rocks and dust on the surrounding roadways. You've seen open trucks with their loads blowing all over, or dirty water splashing on the pavement. When my garbage is picked up there is stuff that missed the truck or oily puddles of some unknown material dripped on the street. None of that is supposed to happen, but it does. These are only occasional, temporary events; the debris processing risk would be there around the clock.

The site is within an industrial park where thousands of people would be exposed every day. It is near residential neighborhoods 1 block to the west and 2 blocks to the south. Some homes there still use shallow wells for their water supply. It is 1 1/2 blocks from a restaurant. It is 2 blocks from a day school and a residential shelter. It's on a busy highway and right next to a trucking company where carryover of potential pollutants can go far and wide.

Processing debris at 630 S. Hicks represents too much risk for the area.

Sincerely,

Richard Cichanski
130 E. Wilmette Ave.
Palatine IL 60067
847-359-0696



communications

Electrodynamics, Inc.

1200 Hicks Road Rolling Meadows, IL 60008
847-259-0740 Fax: 847-255-3827

Mike Jacobs
200 E. Wood Street
Palatine, IL. 60067

Dear Mr. Jacobs.

This letter is in regards to a letter I received dated 2-14-05 notifying me of a public hearing for 630 S. Hicks Road, case no. 05-16. The business that I represent is located at 1200 Hicks Road, which is across the street and to the south of the subject location. My understanding is that a company wishes to use the facility to process demolition debris and I have some concerns.

The previous company at that location processed recyclable material. On windy days, which are frequent in this area, my property would be littered with dozens of newspaper pages, plastic bags, and various other materials that were blown across the street. Although the material was technically all handled inside the building, when the doors were opened to let the trucks in and out, the loose material inside was able to escape.

I request that the city committees inquire into the process that will be used by the new company and require safeguards be put in place to insure whatever is handled on the property, stays on the property.

Thank you.

A handwritten signature in black ink, appearing to read 'D. Quant'.

Donald Quant
Director
L-3 Electrodynamics, Inc.
1200 Hicks Road
Rolling Meadows, IL. 60008

KEMPSTER, KELLER AND LENZ-CALVO, LTD.

ATTORNEYS AT LAW

SUITE 1428
332 SOUTH MICHIGAN AVENUE
CHICAGO, ILLINOIS 60604
(312) 341-8730
FAX (312) 341-0388
www.kkcltd.com

DONALD B. KEMPSTER
CHERYL LENZ-CALVO
MARTINA M. KELLER

WILLIAM A. QUICENO
THERESA A. CORCORAN
DIANA C. BAVERLE

ALSO ADMITTED IN INDIANA

OF COUNSEL
DOUGLAS BRISTOL

February 28, 2005

Mr. Kevin Anderson
Planning & Zoning
Village of Palatine
200 E. Wood Street
Palatine, IL 60067-5339

VIA FACSIMILE: 847/359-9040

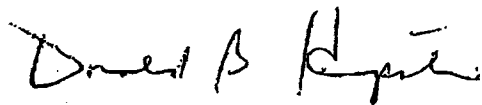
RE: 630 S. Hicks Road, Palatine
Case No. 05-16

Dear Mr. Anderson:

I am writing on behalf of Hicks Properties, LLC, the owner of 560 Hicks Road, to register our opposition to the zoning change and the special use permit that are being requested by Lenzini Holdings, LLC. As you may know, Hicks Properties purchased the building at 560 S. Hicks Road last year. Since that time, the Company has re-surfaced the parking lot; it has cleaned up the property around the building; it has invested a considerable amount in landscaping and it has installed fencing to improve the property's appearance. One of the Company's largest tenants operates a chain of ethnic grocery stores and their space in the building is used to warehouse food items. As a result, we are very concerned that not only our building, but also the entire neighborhood are kept clean. We, therefore, would oppose any new use that would permit the storage and treatment of demolition debris and wood waste.

Thank you for your consideration. I hope that you will keep us advised as to any further developments regarding this matter.

Very truly yours,



Donald B. Kempster
Attorney at Law
DBK/vk

Objector's
Exhibit #1

Solid Waste Agency of Northern Cook County

2700 Patriot Boulevard
Suite 110
Glenview, IL 60026

Phone (847) 724-9205
Fax (847) 724-9605
www.swancc.org

Members

- Arlington Heights
- Barrington
- Buffalo Grove
- Elk Grove Village
- Evanston
- Glencoc
- Glenview
- Hoffman Estates
- Inverness
- Kenilworth
- Lincolnwood
- Morton Grove
- Mount Prospect
- Niles
- Palatine
- Park Ridge
- Prospect Heights
- Rolling Meadows
- Skokie
- South Barrington
- Wheeling
- Wilmette
- Winnetka

March 3, 2005

Honorable Rita Mullins, Mayor
Village Council
Village of Palatine
200 E. Wood Street
Palatine, IL 60067

RE: MBL Recycling Inc. 630 S. Hicks Road

Dear Mayor Mullins and Village Council:

The Solid Waste Agency has been made aware that the Village will be considering at its March 7, 2005 Village Board meeting a request to allow MBL Recycling Inc. to operate a Demolition Debris and Wood Waste transfer, storage and treatment facility at 630 S. Hicks Road. The Solid Waste Agency is concerned that this unneeded facility will have a negative impact to the finances of the Solid Waste Agency.

The proposed facility will accept waste that is currently being delivered to existing facilities in the area which include the Onyx Rolling Meadows transfer station and the Solid Waste Agency's Glenview transfer station.

The Solid Waste Agency currently receives \$0.40 per ton for all waste delivered to the Onyx Rolling Meadows transfer station, and if the MBL Recycling Inc. facility is operational, a percentage of the construction and demolition waste currently delivered to the Onyx facility will be diverted to the MBL Recycling Inc. facility. The Agency receives approximately \$122,000 per year from Onyx.

In addition, the Agency annually generates approximately \$300,000 in revenue from private operators that deliver construction and demolition waste to the Solid Waste Agency's Glenview transfer station. If waste is diverted to the MBL's facility, the Agency will see reduced revenue from these sources.

The Solid Waste Agency utilizes the above revenue to reduce its members' tipping fees. This fiscal year, the above revenue streams have reduced Palatine's tipping fee by \$1.23 per ton for a total saving of \$35,500.

Further, there currently is significant processing capacity for construction and demolition waste in the Northern Cook County region. In addition to the Onyx Rolling Meadows transfer station and the Agency Glenview facility, transfer

George Van Dusen
Chairman,
Board of Directors

Timothy Corcoran
Vice Chairman,
Board of Directors

William R. Balling
Secretary/Treasurer,
Board of Directors
Chairman,
Executive Committee

C. Brooke Beal
Executive Director



Honorable Rita Mullins, Mayor
Village Council
March 3, 2005
Page 2

stations currently are operating in Evanston, Elk Grove Village, Mt. Prospect and Northbrook. Also, there is a construction and demolition recycling facility currently operating at 50% of its capacity on the north side of Hoffman Estates.

Due to the above reasons, the Solid Waste Agency respectfully requests that the Village of Palatine deny MBL Recycling Inc. request to operate a redundant facility that is unneeded from a recycling processing and transfer station capacity analysis, and would negatively impact the cost of the Village of Palatine's and other members of the Solid Waste Agency tipping fees.

Thank you for your consideration of the Solid Waste Agency's comments.

Sincerely,



C. Brooke Beal
Executive Director

cc. Reid Ottesen

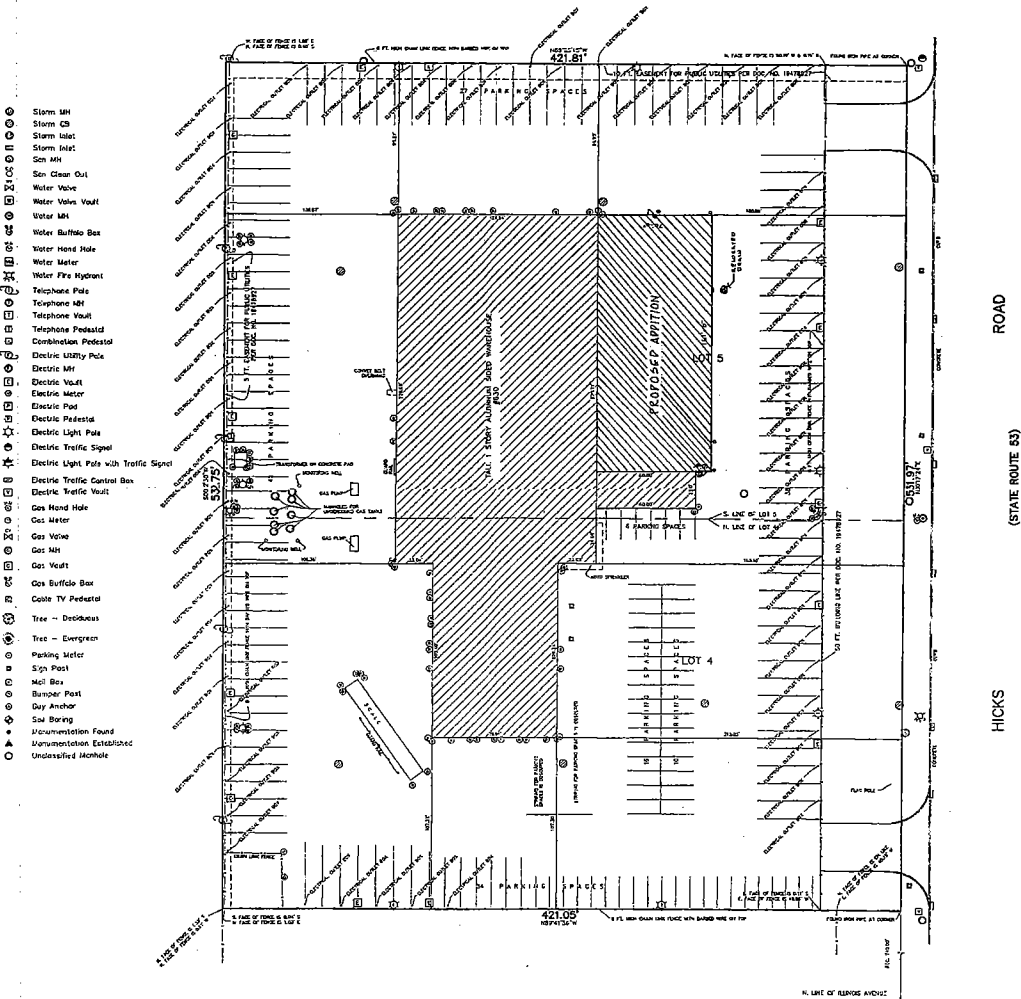
GREMLEY & BIEDERMANN, INC.

PROFESSIONAL ILLINOIS LAND SURVEYORS

1505 N. Elston Avenue Chicago, Illinois 60630
 Telephone: (773) 685-3102 Fax: (773) 286-4184
 Illinois Land Surveyor Corporation No. 15
 License No. 184-002761

Plat of Survey ALTA / ACSM Land Title Survey

Lots 4 and 5 in Reflector's Palatine Industrial Park, a Subdivision of that part of the East Half of the Southwest Quarter of Section 33, Township 42 North, Range 10, East of the Third Principal Meridian, 1000 West of the West right of way line of State Route Number 53, in Cook County, Illinois.



PROPERTY AREA = 224,352 sq. ft. OR 5.115 ACRES
 AREA OF BUILDING FOOT PRINT = 32,697 SQ. FT.

NOTE: IN REGARDS TO ADJOINING PROPERTY OWNERS, NAMES WERE NOT SHOWN AS THEY WERE NOT FURNISHED AS SPECIFIED IN ALTA/ACSM REQUIREMENTS OF 1998.

RECORDING MATTERS OF PUBLIC RECORD WE HAVE RELIED UPON CHICAGO TITLE INSURANCE COMPANY COMMITMENT NO. 1401 003247897 D1 EFFECTIVE DATE DECEMBER 15, 2004.

Distances are implied in feet and decimal parts thereof. Compare all points BEFORE building by same and in case report any difference BEFORE occupancy is done.

For easements, building lines and other restrictions not shown on survey refer to your abstract, deed, contract, title policy and local building line regulations.

300 dimensions shall be assumed by state measurement upon this plat.

Manufacturers or witness points were not set at the clients request.

UTILITY WARNING
 The underground utilities shown have been located from field survey information and existing diagrams. The surveyor makes NO guarantee that the underground utilities shown comprise all such utilities in the area either in service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated although the data certify that they are located on approximately as specified from information available. The surveyor has not physically located the underground utilities.

Call DODGE - (312) 744-7000 within the City of Chicago. Outside of the City of Chicago call JAJ L.L.E. (800) 892-0123 prior to construction or excavation.

State of Illinois
 County of Cook

This is to certify to 630 S. HICKS, LLC, an Illinois limited liability company, LP 322, LLC, an Illinois limited liability company and Chicago Title Insurance Company that this map or plat and the survey on which it is based were made in accordance with "Minimum Standard Detail Requirements and Classifications for ALTA/ACSM Land Title Surveys," jointly established and adopted by ALTA, ACSM and NSPS in 1998. Pursuant to the Accuracy Standards as adopted by ALTA and ACSM and in effect on the date of this certification, undersigned further certifies that the Professional Standards resulting from the survey measurements made on the survey do not exceed the allowable Professional Tolerance.

Field measurements completed on January 06, 2005.
 Signed on March 2, 2005
 By [Signature]

Professional Illinois Land Surveyor No. 2,822
 My License Expires November 30, 2006
 This professional service conforms to the current Illinois minimum standards for an ALTA survey.

REVISED: 3/2/05 CERT NAME ADDED (88)
 REVISED: 3/7/05 CERT NAME ADDED (88)
 REVISIONS: 01-06-2005 FOR STRIPES & WALK PER
 ORDER NO. 2004-02553 (C.L.)
 REVISED: 10-31-02 CERT NAMES (85)
 REVISED: 10-31-02 ADDED AREA 304

1021883
 Checked Drawn
 JB CL

ORDER NO. 1021883
 SCALE: 1" = 30' ±
 DATE: DECEMBER 22, 2004
 ADDRESS: 1505 N. ELSTON AVENUE, CHICAGO, ILLINOIS
 ORDERED BY: DELUCCI, PETERSON & WILMANS, LTD.
 © 2004 BY GREMLEY & BIEDERMANN, INC. ALL RIGHTS RESERVED



LEGAL DESCRIPTION

LOTS 4 AND 5 IN KLEFSTAD'S PALATINE INDUSTRIAL PARK, A SUBDIVISION OF THAT PART OF THE EAST ½ OF THE SOUTHWEST ¼ OF SECTION 23, TOWNSHIP 42 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, LYING WEST OF THE WEST RIGHT OF WAY LINE OF STATE ROUTE NUMBER 53, IN COOK COUNTY, ILLINOIS.

Common Address: 630 S Hicks Road, Palatine, Illinois 60067
PINs: 02-23-313-006-0000 and 02-23-313-005-0000



SPECIAL USE APPLICATION

Department of Planning & Zoning
200 E. Wood Street · Palatine, IL · 60067-5339
Telephone: (847) 359-9047 · Fax (847) 963-6247

Petitioner Name

[Empty text box]

Business Name (if applicable)

Economy Disposal Service

Subject Property Address

630 S. Hicks Road

Please provide a description of your proposed request:

The applicant requests that an existing Special Use under 12.02(h)(18) of Palatine Code Ordinances - Appendix A - Zoning be amended to include the storage and maintenance of portable toilets as a permitted use.

Petitioner Justification

Special Uses shall not be granted except on findings based upon the evidence in each specific case. Please address the following standards as these will be used in considering the specific relief you are seeking.

That use deemed necessary for the public convenience at that location. Explain:

The new use is necessary for public convenience at this location because the applicant can readily service local events, as well as events in neighboring villages, with portable toilets from this location.

The new use is also necessary for public convenience at this location because the storage and maintenance of portable toilets is a large part of the applicant's business at the location.

The use is designed, located, and proposed to be operated that the public health, safety, welfare will be protected. Explain:

The new use is designed, located, and proposed to be operated in a way that the public health, safety, welfare will be protected. The company has procedures, workplace rules, and proper employee training in place to ensure the protection of public health, safety, and welfare. Further, the applicant plans to pursue upgrades and improvements to help screen the new use and to control and eliminate noxious odors.

The use will not cause substantial injury to nearby property values. Explain:

The new use will not be injurious to the use and enjoyment of other properties in the immediate vicinity for three reasons. Firstly, the property is located in a Manufacturing District and surrounded by industrial properties and uses. Accordingly, the new use, so long as it is reasonable, should not cause substantial injury to nearby property values as the storage of commercial equipment is common in industrial and manufacturing districts such as the one in which the property is located. Secondly, the applicant has procedures and rules in place relating to the new use which will ensure that no waste product or byproduct from the new use will cause substantial injury to nearby property values. Thirdly, the applicant has significant experience with the storage and maintenance of portable toilets and has a history of engaging in such use with due care.

In fact, a prohibition of the new use may cause injury to nearby property values. The applicant is planning to expand its operation as it relates to the new and existing uses across this property and 560 S Hicks Road, Palatine, IL 60067. Without the Special Use, the Applicant will not be able to operate a large part of their business on the property as intended. This inability will result in reduced operational efficiency and decreased job numbers, and may force the applicant to eventually sell and vacate the site. These effects will, in turn, negatively impact village and surrounding property owners.

In order to supplement the above standards, the Planning and Zoning Commission may also consider the following:

With respect to front yard fencing and fencing in a rear yard/side yard abutting a street, the following additional standards must be met:

a. Will meet the following aesthetic criteria:

- i. Will not destroy existing vistas in the area;
- ii. Will enhance the appearance of the homes and the streets in the area; and
- iii. Will not detract from the overall appearance of the community; or

b. The fencing is found to be necessary to protect private property or the safety of the inhabitants of the property.

NAYES: None

- D. 630 S Hicks Road - Special Use Amendment Special Use Amendment to Special Use # O-39-05, which allows the transfer, storage, and treatment of general construction materials, demolition debris, and wood waste to allow for the storage, distribution, and general cleaning of portable toilets on the Subject Property.

Notice was published in the Palatine Journal & Topics newspaper on April 9, 2026 and mailed to the required surrounding property owners.

Chair Wood identified the contents of the Exhibit Folder:

Special Use Application;
Proof of ownership;
Plat of Survey;
Site Plan;
Business Plan;
Ordinance #O-39-05;
Public Notice.

Mr. Vyverberg introduced the background for the proposed Special Use amendment for the property at 630 S. Hicks Road. The existing Special Use was approved for a recycling operation, material processor, and waste distributor. The petitioner is requesting to service, rent, and supply portable toilets and handwashing stations from this location.

Sworn in petitioner:

Petitioners were sworn in for the previous petition and remained present for the commission.

Petitioner's representative stated the majority of portable toilets are maintained at client properties and not at the 630 S. Hicks location. The petitioner estimates 18 toilets to be stored at the subject property.

The petitioners describe the cleaning procedures and standards established by Illinois Department of Public Health(IDPH).

The petitioners have filed necessary permit documentation for Metropolitan Water Reclamation District(MWRD).

Chair Wood requests information on fencing.

The petitioner confirms that the fence is proposed and have provided two fencing

options for Staff and the Commission to review. The petitioner continues to state that a fence currently screens the east side of the lot. The proposal includes two fence designs.

Staff will coordinate with the petitioner to determine compliance related to fence location and design.

Commissioner Bettenhausen asks if the fence is a solid fence and requests information on materials.

The petitioner states that the fence will screen the lot using a mesh material.

The petitioner stated that staff had contacted them after discovery of the toilet-service use. Staff has communicated that approval from Village Council would be required.

Planning and Zoning Director, B. Vyverberg, stated that an inquiry was made to the Village requesting confirmation of business compliance. This inquiry was the catalyst for Village investigation and Staff enagagin the petitioner in the zoning procedure and application.

The existing Special use will continue being conducted on the property.

The proposed use is not dissimilar to uses in the surrounding Manufacturing district.

Public comment was opened by Chair, Jan Wood.

There was no public comment made.

Mr. Vyverberg provided Staff recommendation to the commission.

The proposed Special Use Amendment aligns with the storage, transfer, and servicing uses contemplated in the manufacturing district. Additionally, there are numerous other regulatory agencies for the use and its operations and the Petitioner maintains those required permits. Staff does not disagree that the storage and distribution components are compatible with the surrounding uses. Additionally, as each unit is maintained and cleaned externally and with the proposed business plan requirements, there should not be any issues associated with this amendment. Therefore, Staff recommends approval of the proposed Special Use Amendment, subject to the following conditions:

1. The Special Use Amendment shall substantially conform to the business plan, including the site plan, submitted by the Petitioner, except as such plans may be changed to conform with Village Codes and Ordinances. All conditions of Special Use Ordinance #O-39-05, as amended, shall remain in active and in effect.

2. All required extra-agency permits (e.g. IEPA, IDPH (Portable Sanitation Business License), MWRD (Chemical Toilet Waste Disposal), Cook County Public Health) be provided to the Village as a component of the business license.

3. The final fencing and screening plan for the portable toilet storage area shall be revised in a manner acceptable to the Director of Planning and Zoning.

Chair Wood requested response from the Commission.

There were no comments made by the Commission members.

Chair Wood and Stephen Fedota each described the petition's conformity to the Special Use standards.

The item will be evaluated by the Village Council on May 11th.

RESULT:	APPROVAL
MOVER:	P. Noonan
SECONDER:	R. Bettenhausen
AYES:	Jan Wood, Cindy Roth Wurster, Tim Schubert, Kevin Cavanaugh, Stephen Fedota, Patrick Noonan, Rodney Bettenhausen
NAYES:	None

V. PUBLIC COMMENT

VI. COMMUNICATIONS

VII. ADJOURNMENT

PUBLIC NOTICE

A Public Hearing will be held before the Village of Palatine Planning and Zoning Commission on Tuesday, April 28, 2026 at 7 PM, in the Village Council Chambers in the Palatine Village Hall, 200 E. Wood Street, relative to a request for the following:

Special Use Amendment to Special Use # O-39-05, which allows the transfer, storage, and treatment of general construction materials, demolition debris, and wood waste.

The Special Use Amendment will allow for the storage, distribution, and general cleaning of portable toilets on the Subject Property.

The property is commonly known as 630 S. Hicks Road.

The Petitioners, Economy Disposal Services, presently operate a special use which provides for the transfer, storage, and treatment of general construction materials, demolition debris, and wood waste at the Subject Property. The proposed amendment would allow for the storage, distribution, and general clearing of portable toilets to be commercially rented at the Subject Property.

The above petition has been filed by Keito Ido, agent, and is available for examination in the office of the Village Clerk, 200 E. Wood Street.

FILE # SU-000227-2025:

VILLAGE OF PALATINE

Jan Wood, Chair
Palatine Planning & Zoning Commission

DATED: This 9th day of April, 2026

CERTIFICATE OF PUBLICATION

DES PLAINES JOURNAL, INC., a corporation organized and existing under and by virtue of the laws of the State of Illinois, does hereby CERTIFY that it is the publisher of the:

Journal & Topics Newspapers
AKA Des Plaines Journal, Inc.
622 Graceland Ave.
Des Plaines, IL 60016-4556

and that said newspaper(s) is a secular newspaper of general circulation and has been published weekly in the

(Village) (Town) (City) (Township) of PALATINE 630. S. Hicks Rd

County of COOK

and State of Illinois, continuously for more than one year prior to date of the first publication of the notice attached hereto, and that said newspaper(s) complies with the requirements of Paragraphs 5 and 10, Chapter 100, of the Illinois Revised Statutes.

Further, that the notice, of which the attached is a true copy, was published ONE times in the said newspaper(s), namely once each week for ONE successive week(s) and that the first publication of said notice was made on the 9TH day of APRIL, A.D. 2026, and the last publication thereof was made on the 9TH day of APRIL, A.D. 2026.

Your Legal appeared in the following Journal & Topics Newspapers (Des Plaines Journal, Inc.)

- Des Plaines Journal
- Elk Grove Village Journal
- Mt. Prospect Journal
- Niles Journal
- Park Ridge-Golf Mill Journal
- Prospect Heights Journal
- Rosemont Journal
- Arlington Heights Topics
- Buffalo Grove Topics
- Palatine Topics
- Rolling Meadows Topics
- Wheeling Topics
- Suburban Journal
- Northwest Journal
- Glenview Journal



Mary A. Wenzl

IN WITNESS WHEREOF, THE DES PLAINES JOURNAL, INC., has caused this certificate to be signed and its corporate seal affixed hereto at Des Plaines, Illinois this 9TH day of APRIL A.D., 2026.

By Todd Wessell

President
Title of Corporate Officer

County of Cook
State of Illinois

Subscribed and sworn to before me this 9TH day of APRIL A.D., 2026.

My commission expires the 6TH day of AUGUST A.D., 2029.

**Consider a Motion Approving the Halloween Hustle 5K & Kids Dash,
Including a Waiver of the Village's Sound Amplification Ordinance and
Temporary Closure of a Portion of Eric Drive, on Saturday, October
24, 2026**

BACKGROUND:

Adrenaline Sports Management is proposing a Halloween Hustle 5K in downtown Palatine on Saturday, October 24, 2026, from 8 AM to 11 AM. This event has been held the last several years. The Petitioner is requesting Village Council approval.

KEY ISSUES:

- There will be two courses (5K and Kids Dash), with an estimated 1,000 participants.
- Adrenaline will take full responsibility for the event that will benefit the Boys and Girls Club of Palatine.
- In conjunction with the event, the Petitioner is requesting a waiver of the Village's sound amplification ordinance to allow announcements and music played through a speaker system (amplified sound). In past years, sound amplification was not permitted until 8 AM and the Village received no complaints. Staff recommends the hours of 8 AM - 10:30 AM (consistent with past years).
- As in past years, the event will utilize an inflatable starting line erected over Eric Drive but will not place race-related materials on public sidewalks and parkways. Any use or obstruction of the Village right-of-way needs specific Village approval. The request does not provide any details in regard to equipment they wish to utilize in conjunction with the event and thus, unless their plans are amended, there will be no additional encroachment to the ROW.
- The Palatine Police Department will be working with event organizers to determine police staffing on the route and to conduct traffic control. The event sponsor will be responsible for 100% of all Village services provided as part of this event.
- In 2025, Adrenaline paid a Usage Fee for the use of public streets (ROW) in the amount of \$1,640.
- Approval is contingent upon receiving the required Hold Harmless and Certificate of Insurance.

BUDGET IMPACT:

N/A

RECOMMENDATION:

Staff recommends action at the discretion of the Village Council.

ACTION REQUIRED:

A motion to approve the Halloween Hustle 5K on October 24, 2026.

ATTACHMENTS:

1. Halloween Hustle

VILLAGE OF PALATINE SPECIAL EVENT PERMIT APPLICATION

THIS FORM MUST BE COMPLETED IN FULL AND SUBMITTED 60 DAYS PRIOR TO THE EVENT
Village Manager's Office, 200 E. Wood St., Palatine, IL 60067 Fax: 847-359-9094

INSTRUCTIONS: PLEASE TYPE OR PRINT CLEARLY. INCOMPLETE APPLICATIONS WILL NOT BE PROCESSED.

GENERAL EVENT INFORMATION

Name of Event

Halloween Hustle 5K & Kids Dash Benefiting Boys and Girls Club of the Northwest Suburbs

Exact Address of Event

345 N Eric Dr, Palatine, IL 60067

Type of Event (Check all applicable)

Festival Run/Walk Parade Car Show Craft Fair Fireworks Other

Date(s) of Event

Saturday, October 24, 2026

Hours of Event

8:30 - 11:00 AM

Total Hours (Step-up - Tear down)

4:00 AM - 12:00 PM

Phone number/website for publication

<https://halloweenhustle.com>

Estimated attendance

1000

Last years actual attendance

1000

Describe the event's community and/or cultural benefit

Annual Halloween Hustle race is a 5K & Kids Dash traditional event in Palatine. The Halloween H



SPONSORING ORGANIZATION INFORMATION

Name of Sponsoring Organization

Adrenaline Special Events, LLC

Contact person from Sponsoring Organization

Aaron Del Mar

Sponsoring Organization Address

345 N Eric Dr

City

Palatine

Zip

60067

Phone Number

E-Mail

Website

adrenalinespecialevents.com

ORGANIZER/COORDINATOR INFORMATION

Name of Organizer/Coordinator

Dani Snare

E-mail

danielle@adrenalinespecialevents.com

Organizer/Coordinator Address

345 N Eric Dr

City

Palatine

Zip

60067

Phone Number

Cell Phone Number

Fax Number

EMERGENCY CONTACT INFORMATION

Name of Emergency Contact

E-mail

[Redacted Emergency Contact Information]

VILLAGE OF PALATINE SPECIAL EVENT PERMIT APPLICATION

THIS FORM MUST BE COMPLETED IN FULL AND SUBMITTED 60 DAYS PRIOR TO THE EVENT
Village Manager's Office, 200 E. Wood St., Palatine, IL 60067 Fax: 847-359-9094

INSTRUCTIONS: PLEASE TYPE OR PRINT CLEARLY. INCOMPLETE APPLICATIONS WILL NOT BE PROCESSED.

EVENT OVERVIEW

Are you providing/serving food at your event that is considered potentially hazardous, being prepared on-site, or being re-packed and sold in bulk?

Yes No

If yes, how many vendors? _____

Below are some foods exempt from a permit (not all are listed):
-Pre-packaged, non-potentially hazardous foods (i.e. packaged cookies, chips, crackers, bread, etc.)
-Non-potentially hazardous, minimally cut, unprocessed fruits or vegetables (i.e. apples, bananas, etc.)

QUESTIONS ON WHAT QUALIFIES AS EXEMPT? CALL (847) 359-9090.

Each vendor must submit a Temporary Food Event Permit Application 14 days prior to the event. Applications can be found at: https://permits.palatine.il.us/EnerGov_Prod/SelfService/PalatineILProd#/home Questions? Contact (847) 359-9090. Please see application for full details on what is required.

Are you erecting either: (1) tent(s) larger than 20'x40' (or 800 sq. ft.) or (2) that accommodates more than 100 people or (3) temporary structure(s) (i.e. stage) taller than 2' in height or (4) that will be equipped with temporary electrical power?

Yes No

If yes, you must submit a Temporary Structure Permit Application 30 days prior to the event. Applications can be found at: https://permits.palatine.il.us/EnerGov_Prod/SelfService/PalatineILProd#/home Questions? Contact (847) 359-9037. Electric submissions are required. Please see application for full details on what is required.

Are you serving alcoholic beverages at your event?

Yes No

Alcohol vendors must submit a Special Event Liquor License 60 days prior to the event. You must obtain a Special Event Liquor License for each liquor vendor. Applications can be found at: <http://www.palatine.il.us/events/forms/applications.aspx> Questions? Contact (847) 359-9031.

Will the event include a Race/Walk or Parade?

Yes No

If yes, you must complete, Page 3, Section 1.

Will electronic sound amplification equipment or a public address system be used at the event?

Yes No

If yes, you must complete, Page 3, Section 2.

Are you utilizing any public parking lots, Village streets or other Village property for your event?

Yes No

If yes, you must complete, Page 3, Section 3.

ACKNOWLEDGEMENT/SIGNATURE

By signing this document, I certify that the information provided above is correct. I agree to conduct the special event in compliance with all applicable codes, ordinances, laws and the conditions contained in the special event permit.



Signature of Organizer

5/7/2026

Date

Application must include the following documentation

- Special Event Application (Page 1, 2, 3, 4)
- Certificate of Insurance (see Section 5)
- Site Plan and/or Race/Parade Route Map
***You MUST submit a new site plan or parade/race route on an annual basis.**

APPLICATIONS WITH MISSING INFORMATION WILL NOT BE PROCESSED.

VILLAGE OF PALATINE SPECIAL EVENT PERMIT APPLICATION

THIS FORM MUST BE COMPLETED IN FULL AND SUBMITTED 60 DAYS PRIOR TO THE EVENT
Village Manager's Office, 200 E. Wood St., Palatine, IL 60067 Fax: 847-359-9094

INSTRUCTIONS: PLEASE TYPE OR PRINT CLEARLY. INCOMPLETE APPLICATIONS WILL NOT BE PROCESSED.

Name of Event

Halloween Hustle 5K & Kids Dash Benefiting Boys and Girls Club of the Northwest Suburbs

SECTION 1: RACE/WALK, PARADE INFORMATION Not Applicable

Starting Location 345 N Eric Dr, Palatine (On Street)	Ending Location 345 N Eric Dr, Palatine (On Street)
Approximate Number of Attendees (runners/marchers) 1000	Approximate Number of Vehicles (cars/floats) 2 (Lead & Follow Vehicles)
Location of Assemble (Registration) 345 N Eric Dr, Palatine (Under Tents)	Location of Personal Vehicle Parking Side of Building & Parking Garage

Please attach a course map, with location of the staging area, start/finish lines, and water/first aid stations

SECTION 2: NOISE CONTROL PLAN Not Applicable

Please attach a Site Plan, with the location of the stages and sound systems, the location and direction of all speakers, and the proximity to residential properties

Amplified sound will be used from: (am/pm) 8:00 AM	Amplified sound will be used to: (am/pm) 11:30 AM
---	--

Describe the sound system(s)

The sound system will have multiple speakers lining the street (Eric Dr). Speakers will be faced south, away from residential buildings. The speakers will be connected to a sound board controlled by a sound tech. Music and announcements will be played.

Explain how the sound will be controlled and identify the means by which it can be further controlled if necessary:

The sound will be controlled by a central sound board controlled by a hired sound tech. The volume can be adjusted at any moment.

The Village has the right to require applicants to revise locations, hours, or plans to control amplified music/speech.

SECTION 3: PARKING LOT/PROPERTY USAGE/CLOSURE INFORMATION Not Applicable

Public Parking Lot / Property Intended for "Event"

Lot Number or Location	Date of Closure	Time of Closure	Date to Reopen	Time of Reopen
Eric Dr (Colfax to Cornell)	10/24/2026	4AM	10/24/2026	12PM
Eric Dr (Colfax to Cornell)	10/24/2026	4AM	10/24/2026	12PM
Eric Dr (Colfax to Cornell)	10/24/2026	4AM	10/24/2026	12PM

1. No staking in the street or public parking lot is permitted.
2. Only chalk or other Village approved marking is permitted (no spray paint).
3. Any debris/stains must be removed immediately prior to the opening of the street/public parking lot.
4. No structures may be erected on any street/public parking Lot without prior approval/permit.

VILLAGE OF PALATINE SPECIAL EVENT PERMIT APPLICATION

THIS FORM MUST BE COMPLETED IN FULL AND SUBMITTED 60 DAYS PRIOR TO THE EVENT
Village Manager's Office, 200 E. Wood St., Palatine, IL 60067 Fax: 847-359-9094

INSTRUCTIONS: PLEASE TYPE OR PRINT CLEARLY. INCOMPLETE APPLICATIONS WILL NOT BE PROCESSED.

SECTION 4: INDEMNITY/HOLD HARMLESS AGREEMENT

Name of Sponsoring Organization

Adrenaline Special Events, LLC

Name of Event

Halloween Hustle 5K & Kids Dash Benefiting Boys and Girls Club of the Northwest Suburbs

Date(s) of Event

Saturday, October 24, 2026

To the fullest extent permitted by law, the Organization hereby agrees to defend, indemnify and hold harmless the Village of Palatine, its officials, agents and employees, against all injuries, deaths, loss, damages, claims, patent claims, suits, liabilities, judgments, cost and expenses, which may in any way accrue against the Village of Palatine, its officials, agents and employees, arising in whole or in part or in consequence of the Event, and/or its employees, and or subcontractors' participation in Event, or which may in any way result therefore. The Organization shall, at its own expense, appear, defend and pay all charges of attorneys and all costs and other expenses arising therefore or incurred in connection therewith, and, if any judgment shall be rendered against the Village of Palatine, its officials, agents and employees, in any such action, the Organization shall, at its own expense, satisfy and discharge the same.

The Organization expressly understands and agrees that any performance bond or insurance policies required by the Village of Palatine, or otherwise provided by the Organization shall in no way limit the responsibility to indemnify, keep and save harmless and defend the Village of Palatine, its officials, agents and employees as herein provided.

The Organization expressly understands and agrees that the Village shall be named as an additional insured party on the insurance policy and that the Organization shall have no permission or authority to engage in the Event until evidence deemed acceptable to the Village has been provided to establish that the Village has been named as an additional insured party on the insurance policy .



SIGNATURE

Danielle Snare

Event Director

5/7/2026

PRINT NAME

TITLE/POSITION

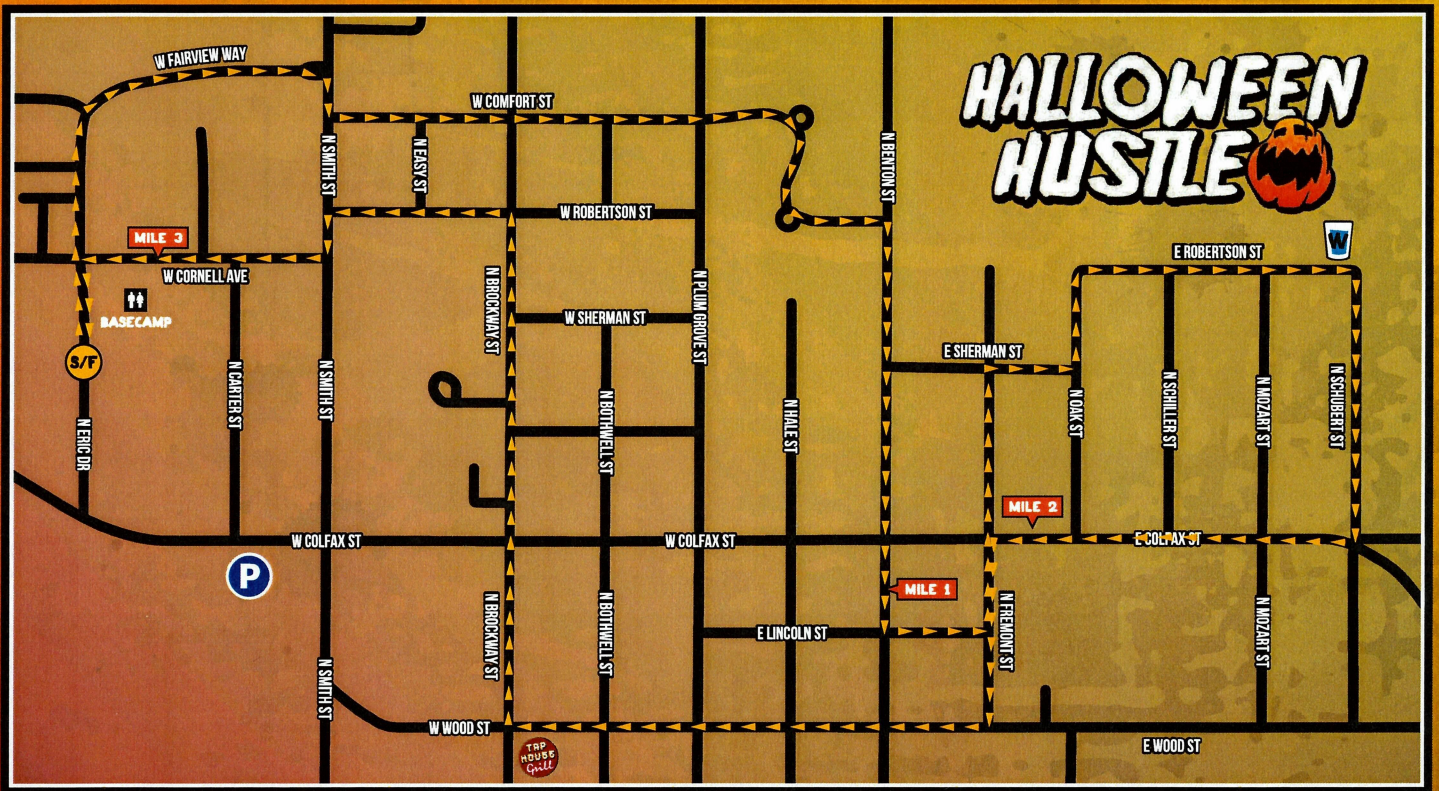
DATE

SECTION 5: INSURANCE REQUIREMENTS

INSURANCE REQUIREMENTS

Sponsoring Organization will be required to provide an original Certificate of Insurance, as well as the additional insured endorsement evidencing the following insurance minimums: Commercial General Liability - minimum \$1,000,000 per occurrence. Final acceptance of applicant is contingent on applicant naming the Village of Palatine, their employees, agents and officials as additional insured on a primary and non-contributory basis.

5K COURSE MAP





HALLOWEEN HUSTLE



- | | |
|--|----------------------|
| | START & FINISH TRUSS |
| | AMBULANCE |
| | PORTOPOTTIES |
| | BARRICADES |
| | ROUTE |
| | CORRAL SIGNS |
| | SPEAKERS |

BASECAMP MAP

Consider a Motion Granting a Waiver of the Sound Amplification Ordinance, Closure of Village Parking Lot and a Portion of Wilson Street and Bothwell Street, for Palatine Street Feast (A Sunday Food Truck Series) at 36. W. Wilson Street (Lot E or 9) on August 16, 2026, from 11 a.m. - 7 p.m.

BACKGROUND:

The Village of Palatine plans to host their 2nd Food Truck series, "Palatine Street Feast - A Sunday Food Truck Series", on the north side of the railroad tracks, Sunday, August 16, 2026, from 11 a.m. - 7 p.m. The Village will utilize the Village's commuter parking lot located at 36 W. Wilson Street, Lot E (or Lot 9), north of Wilson Street. Staff will temporarily close Wilson Street, between the Tap House Grill parking lot entrance and Bothwell Street and also close Bothwell Street between Wood and Wilson streets.

KEY ISSUES:

The Village of Palatine is requesting approval of the following:

1. Temporary waiver of sound amplification ordinance for live music and performances during the following hours: Sunday, August 16: 11 a.m. to 7 p.m.;
2. Temporary closure of parking lot E on Sunday, August 16 starting at 7 a.m. through Monday, June 8, 7 a.m.; and
3. Temporary closure of Wilson Street between Tap House Grill parking lot entrance and Bothwell on Sunday, August 16, starting at 7 a.m. until 8 p.m.
4. Temporary closure of Bothwell Street between Wilson Street and Wood Street on Sunday, August 16, starting at 7 a.m. until 8 p.m.

All food trucks in Lot E will be gone Sunday evening after the event concludes. While Port-A-Potties and furniture will be dropped off on Friday August 14, it will be stored in the corner of Lot E (Lot 9) until Monday morning for pick-up, eliminating the need for full parking lot closure.

BUDGET IMPACT:

Funds are budgeted in the Village's CY26 Operating Budget.

RECOMMENDATION:

Staff recommends approval of the waiver of the Sound Amplification Ordinance, closure of the Village parking lot and a portion of Wilson and Bothwell Streets, for the event.

ACTION REQUIRED:

A motion to grant a Waiver of the Sound Amplification Ordinance, Closure of the Village Parking Lot and a Portion of Wilson and Bothwell Streets, for "Palatine Street Feast - A

Sunday Food Truck Series".

ATTACHMENTS:

1. Palatine Street Feast August

VILLAGE OF PALATINE SPECIAL EVENT PERMIT APPLICATION

THIS FORM MUST BE COMPLETED IN FULL AND SUBMITTED 60 DAYS PRIOR TO THE EVENT
Village Manager's Office, 200 E. Wood St., Palatine, IL 60067 Fax: 847-359-9094

INSTRUCTIONS: PLEASE TYPE OR PRINT CLEARLY. INCOMPLETE APPLICATIONS WILL NOT BE PROCESSED.

GENERAL EVENT INFORMATION

Name of Event

Street Feast - A Sunday Food Truck Series

Exact Address of Event

36 W. Wilson Street - Lot E

Type of Event (Check all applicable)

Festival Run/Walk Parade Car Show Craft Fair Fireworks Other

Date(s) of Event

August 16, 2026

Hours of Event

11 am - 7 pm

Total Hours (Step-up - Tear down)

11 hrs

Phone number/website for publication

847-359-9028

Estimated attendance

800

Last years actual attendance

N/A

Describe the event's community and/or cultural benefit

The Village is hosting it's 2nd food truck event for the community on the North Side of the tracks.

SPONSORING ORGANIZATION INFORMATION

Name of Sponsoring Organization

Village of Palatine

Contact person from Sponsoring Organization

Susan Storelli

Sponsoring Organization Address

200 E. Wood Street

City

Palatine

Zip

60067

Phone Number

847-359-9028

E-Mail

sstorelli@palatine.il.us

Website

www.palatine.il.us

ORGANIZER/COORDINATOR INFORMATION

Name of Organizer/Coordinator

Susan Storelli

E-mail

sstorelli@palatine.il.us

Organizer/Coordinator Address

200 E. Wood Street

City

Palatine

Zip

60067

Phone Number

847-359-9028

Cell Phone Number

Fax Number

EMERGENCY CONTACT INFORMATION

Name of Emergency Contact

same as above

E-mail

Emergency Contact Address

City

Zip

Phone Number (24hours)

Cell Phone Number

Fax Number

VILLAGE OF PALATINE SPECIAL EVENT PERMIT APPLICATION

THIS FORM MUST BE COMPLETED IN FULL AND SUBMITTED 60 DAYS PRIOR TO THE EVENT
Village Manager's Office, 200 E. Wood St., Palatine, IL 60067 Fax: 847-359-9094

INSTRUCTIONS: PLEASE TYPE OR PRINT CLEARLY. INCOMPLETE APPLICATIONS WILL NOT BE PROCESSED.

EVENT OVERVIEW

<p>Are you providing/serving food at your event that is considered potentially hazardous, being prepared on-site, or being re-packed and sold in bulk? <small>Below are some foods exempt from a permit (not all are listed): -Pre-packaged, non-potentially hazardous foods (i.e. packaged cookies, chips, crackers, bread, etc.) -Non-potentially hazardous, minimally cut, unprocessed fruits or vegetables (ie. apples, bananas, etc.) QUESTIONS ON WHAT QUALIFIES AS EXEMPT? CALL (847) 359-9090.</small></p>	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<p>If yes, how many vendors? <u>6</u></p> <p>Each vendor must submit a Temporary Food Event Permit Application 14 days prior to the event. Applications can be found at: https://permits.palatine.il.us/EnerGov_Prod/SelfService/PalatinelLProd#home Questions? Contact (847) 359-9090. Please see application for full details on what is required.</p>
<p>Are you erecting either: (1) tent(s) larger than 20'x40' (or 800 sq. ft.) or (2) that accommodates more than 100 people or (3) temporary structure(s) (ie. stage) taller than 2' in height or (4) that will be equipped with temporary electrical power?</p>	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<p>If yes, you must submit a Temporary Structure Permit Application 30 days prior to the event. Applications can be found at: https://permits.palatine.il.us/EnerGov_Prod/SelfService/PalatinelLProd#home Questions? Contact (847) 359-9037. Electric submissions are required. Please see application for full details on what is required.</p>
<p>Are you serving alcoholic beverages at your event?</p>	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<p>Alcohol vendors must submit a Special Event Liquor License 60 days prior to the event. You must obtain a Special Event Liquor License for each liquor vendor. Applications can be found at: http://www.palatine.il.us/events/forms/applications.aspx Questions? Contact (847) 359-9031.</p>
<p>Will the event include a Race/Walk or Parade?</p>	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<p>If yes, you must complete, Page 3, Section 1.</p>
<p>Will electronic sound amplification equipment or a public address system be used at the event?</p>	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<p>If yes, you must complete, Page 3, Section 2.</p>
<p>Are you utilizing any public parking lots, Village streets or other Village property for your event?</p>	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<p>If yes, you must complete, Page 3, Section 3.</p>

ACKNOWLEDGEMENT/SIGNATURE

By signing this document, I certify that the information provided above is correct. I agree to conduct the special event in compliance with all applicable codes, ordinances, laws and the conditions contained in the special event permit.

Digitally signed by Susan
 DN: cn=Susan, o=Village of Palatine, ou, email=sstorelli@palatine.il.us, c=US
 Date: 2026.05.11 10:16:07 -05'00'

Signature of Organizer

Date

Application must include the following documentation

- Special Event Application (Page 1, 2, 3, 4)
- Certificate of Insurance (see Section 5)
- Site Plan and/or Race/Parade Route Map
***You MUST submit a new site plan or parade/race route on an annual basis.**

APPLICATIONS WITH MISSING INFORMATION WILL NOT BE PROCESSED.

VILLAGE OF PALATINE SPECIAL EVENT PERMIT APPLICATION

THIS FORM MUST BE COMPLETED IN FULL AND SUBMITTED 60 DAYS PRIOR TO THE EVENT
Village Manager's Office, 200 E. Wood St., Palatine, IL 60067 Fax: 847-359-9094

INSTRUCTIONS: PLEASE TYPE OR PRINT CLEARLY. INCOMPLETE APPLICATIONS WILL NOT BE PROCESSED.

Name of Event

SECTION 1: RACE/WALK, PARADE INFORMATION <input type="checkbox"/> Not Applicable	
Starting Location	Ending Location
Approximate Number of Attendees (runners/marchers)	Approximate Number of Vehicles (cars/floats)
Location of Assemble (Registration)	Location of Personal Vehicle Parking

Please attach a course map, with location of the staging area, start/finish lines, and water/first aid stations

SECTION 2: NOISE CONTROL PLAN <input type="checkbox"/> Not Applicable
--

Please attach a Site Plan, with the location of the stages and sound systems, the location and direction of all speakers, and the proximity to residential properties

Amplified sound will be used from: (am/pm) 11:00 am	Amplified sound will be used to: (am/pm) 7:00 p.m.
--	---

Describe the sound system(s)

live music on stage in grassy lot just north of Tap House parking lot along Wood Street

Explain how the sound will be controlled and identify the means by which it can be further controlled if necessary:

controlled by volume by sound guy

The Village has the right to require applicants to revise locations, hours, or plans to control amplified music/speech.

SECTION 3: PARKING LOT/PROPERTY USAGE/CLOSURE INFORMATION <input type="checkbox"/> Not Applicable
--

Public Parking Lot / Property Intended for "Event"

Lot Number or Location	Date of Closure	Time of Closure	Date to Reopen	Time of Reopen
Lot E (Wilson + Wood St)	August 16	8:00 a.m.	August 17	7:00 a.m.
Wilson St. (between Tap House lot + Bethwell)	August 16	8:00 a.m.	August 16	8:00 p.m.
Bethwell (between Wilson + Wood Street)	August 16	8:00 a.m.	August 16	8:00 p.m.

- No staking in the street or public parking lot is permitted.
- Only chalk or other Village approved marking is permitted (no spray paint).
- Any debris/stains must be removed immediately prior to the opening of the street/public parking lot.
- No structures may be erected on any street/public parking Lot without prior approval/permit.

VILLAGE OF PALATINE SPECIAL EVENT PERMIT APPLICATION

THIS FORM MUST BE COMPLETED IN FULL AND SUBMITTED 60 DAYS PRIOR TO THE EVENT
Village Manager's Office, 200 E. Wood St., Palatine, IL 60067 Fax: 847-359-9094

INSTRUCTIONS: PLEASE TYPE OR PRINT CLEARLY. INCOMPLETE APPLICATIONS WILL NOT BE PROCESSED.

SECTION 4: INDEMNITY/HOLD HARMLESS AGREEMENT

Name of Sponsoring Organization

Village of Palatine

Name of Event

Palatine Street Feast - A Sunday Food Truck Series

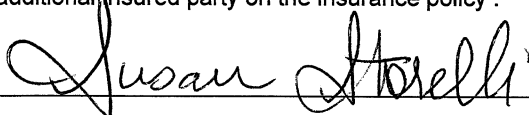
Date(s) of Event

August 16, 2026

To the fullest extent permitted by law, the Organization hereby agrees to defend, indemnify and hold harmless the Village of Palatine, its officials, agents and employees, against all injuries, deaths, loss, damages, claims, patent claims, suits, liabilities, judgments, cost and expenses, which may in any way accrue against the Village of Palatine, its officials, agents and employees, arising in whole or in part or in consequence of the Event, and/or its employees, and or subcontractors' participation in Event, or which may in any way result therefore. The Organization shall, at its own expense, appear, defend and pay all charges of attorneys and all costs and other expenses arising therefore or incurred in connection therewith, and, if any judgment shall be rendered against the Village of Palatine, its officials, agents and employees, in any such action, the Organization shall, at its own expense, satisfy and discharge the same.

The Organization expressly understands and agrees that any performance bond or insurance policies required by the Village of Palatine, or otherwise provided by the Organization shall in no way limit the responsibility to indemnify, keep and save harmless and defend the Village of Palatine, its officials, agents and employees as herein provided.

The Organization expressly understands and agrees that the Village shall be named as an additional insured party on the insurance policy and that the Organization shall have no permission or authority to engage in the Event until evidence deemed acceptable to the Village has been provided to establish that the Village has been named as an additional insured party on the insurance policy .



SIGNATURE

Susan Storelli

Event Coordinator

5 - 11 - 2026

PRINT NAME

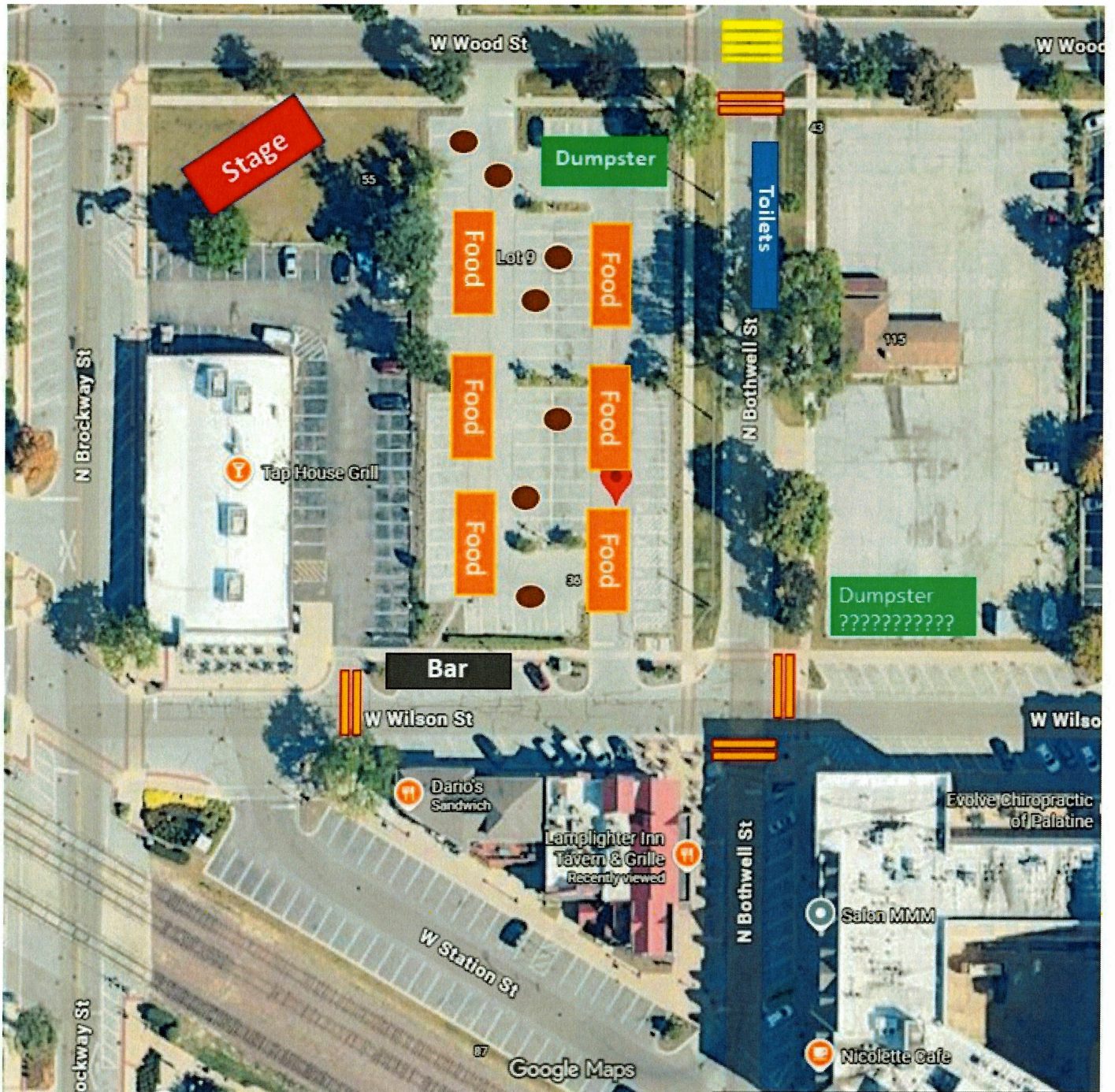
TITLE/POSITION

DATE

SECTION 5: INSURANCE REQUIREMENTS

INSURANCE REQUIREMENTS

Sponsoring Organization will be required to provide an original Certificate of Insurance, as well as the additional insured endorsement evidencing the following insurance minimums: Commercial General Liability - minimum \$1,000,000 per occurrence. Final acceptance of applicant is contingent on applicant naming the Village of Palatine, their employees, agents and officials as additional insured on a primary and non-contributory basis.



Consider a Motion to Award a Contract for the 2026 Pavement Striping Program

BACKGROUND:

Over the years, the Village has been systematically upgrading all pavement markings from paint to thermoplastic. Much of this upgrading was performed on streets that were being resurfaced or reconstructed. This upgrade has improved durability and visibility of all pavement markings throughout the Village. Due to the specialized equipment needed to perform this work, all work has been contracted.

Thermoplastic pavement markings are provided on all arterial and collector streets which warrant pavement markings. This material lasts roughly three times longer than paint, with the only exception being on major intersections constructed of concrete. At these locations, pavement marking tape has been utilized. Items to be marked include crosswalks, stop bars, lane lines, center lines, arrows, and "ONLY" markings.

KEY ISSUES:

- On Tuesday, May 12, 2026, three bids were received ranging from a high of \$97,727.48 to a low of \$55,749.25.
- The low responsive and responsible bidder was Maintenance Coatings Company of South Elgin, Illinois in the amount of \$55,749.25.
- The Engineer's estimate was \$59,566.86.

BUDGET IMPACT:

Funds in the amount of \$45,500 have been appropriated in the Public Works Operating Budget to accommodate this work. \$10,249.25 is proposed to be redirected from savings on reduced contractual snow and ice control costs from last winter to accommodate this pavement maintenance.

RECOMMENDATION:

Staff recommends that the contract for the 2026 Pavement Striping Program be awarded to Maintenance Coatings.

ACTION REQUIRED:

Motion to award the contract for the 2026 Pavement Striping Program to Maintenance Coatings Company of South Elgin, Illinois in the amount of \$55,749.25.

ATTACHMENTS:

1. Bid Tabulation-2026 Pavement Striping Program
2. Location Map-2026 Pavement Striping Program



Bidding Summary
2026 Pavement Striping Program
May 12, 2026

	Bidding Contractors	As Read Bid Amount	As Corrected Bid Amount
1	Maintenance Coatings Co.	\$ 55,761.25	\$ 55,749.25
2	Marking Specialists Corp.	\$ 79,584.50	Correct as Read
3	Precision Pavement Markings, Inc.	\$ 97,727.48	Correct as Read



**BID
OPENING**

DATE:	May 12, 2026
TIME:	11:00 AM
PLACE:	Village Hall Meeting Room A

VILLAGE OF PALATINE - DEPARTMENT OF PUBLIC WORKS

TABULATION OF BIDS

FOR

2026 PAVEMENT STRIPING PROGRAM

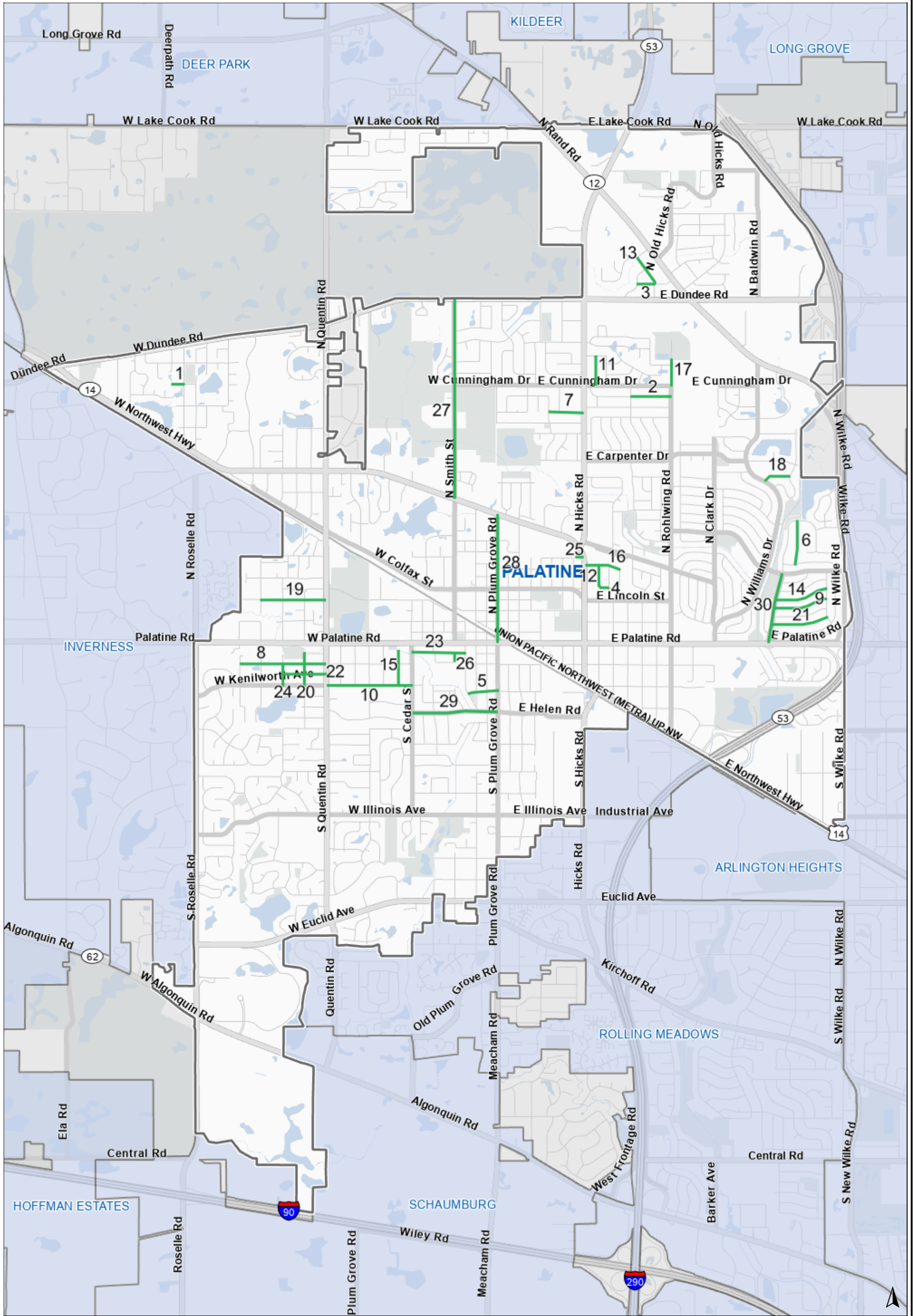
DPW - 2631

SHEET 1 OF 1

COMPUTED BY KML

				Engineer's Estimate		Maintenance Coatings Co. 705 Bowes Road South Elgin, IL 60177 (847) 622-0020 Fax (847) 622-1087		Marking Specialists Corp. P.O. Box 745 Arlington Heights, IL 60006 (847) 462-0799 Fax (847) 462-0929		Precision Pavement Markings, Inc. 1220 Bell Court Pingree Grove, IL 60140 (847) 931-9092 Fax (847) 637-0867			
ITEM NO.	DESCRIPTION	UNIT	QUANTITY	UNIT PRICE	TOTAL	UNIT PRICE	TOTAL	UNIT PRICE	TOTAL	UNIT PRICE	TOTAL	UNIT PRICE	TOTAL
A	Thermoplastic Pavement Marking - Line 4"	FOOT	18,167	0.75	13,625.25	\$0.85	\$15,441.95	\$1.35	\$24,525.45	\$1.25	\$22,708.75		
B	Thermoplastic Pavement Marking - Line 6"	FOOT	5,887	0.97	5,710.39	1.04	\$6,122.48	2.10	12,362.70	2.50	14,717.50		
C	Thermoplastic Pavement Marking - Line 12"	FOOT	3,118	2.15	6,703.70	2.49	\$7,763.82	4.20	13,095.60	3.80	11,848.40		
D	Thermoplastic Pavement Marking - Line 24"	FOOT	1,384	5.11	7,072.24	5.00	\$6,920.00	8.40	11,625.60	6.90	9,549.60		
E	Thermoplastic Pavement Marking - Letters and Symbols	SQ FT	1,726	5.11	8,818.33	5.00	\$8,628.50	5.00	8,628.50	6.90	11,907.33		
F	Grooving - 5"	FOOT	17,915	0.75	13,436.25	0.40	\$7,166.00	0.37	6,628.55	0.90	16,123.50		
G	Grooving - 7"	FOOT	4,942	0.85	4,200.70	0.75	\$3,706.50	0.55	2,718.10	2.20	10,872.40		
TOTALS				AS READ	59,566.86		\$55,761.25		\$79,584.50		\$97,727.48		
				AS CORRECTED			\$55,749.25						
PROPOSAL GUARANTEE						5% BID BOND		5% BID BOND		5% BID BOND		5% BID BOND	
COMMENTS						ERROR IN EXTENDED PRICE FOR ITEM F.							

GIS Consortium | 2026 PAVEMENT STRIPING PROGRAM



Print Date: 4/27/2026

Notes

Disclaimer: The GIS Consortium and MGP Inc. are not liable for any use, misuse, modification or disclosure of any map provided under applicable law. This map is for general information purposes only. Although the information is believed to be generally accurate, errors may exist and the user should independently confirm for accuracy. The map does not constitute a regulatory determination and is not a base for engineering design. A Registered Land Surveyor should be consulted to determine precise location boundaries on the ground.

Consider a Resolution Approving Construction on State Highways

BACKGROUND:

Illinois Compiled Statutes Chapter 605 ILCS 5/4-208 and 5/9-113 require that any person, firm, or corporation desiring to do work in State maintained right-of-way must first obtain a written permit from the Illinois Department of Transportation (IDOT). IDOT requires a surety bond with each permit application to ensure that all work is completed in accordance with State specifications and that the right-of-way is properly restored. This includes emergency work on water mains and sewers.

KEY ISSUES:

- For municipalities, a resolution is acceptable in lieu of securing a surety bond for each permit. IDOT allows resolutions to be enacted for periods of two years.
- Enacting a two-year resolution will save time and effort, as well as reduce the paperwork associated with an annual resolution.

BUDGET IMPACT:

N/A

RECOMMENDATION:

Staff recommends adoption of the Resolution for Construction on State Highways with IDOT from May 18, 2026 through May 17, 2028.

ACTION REQUIRED:

Motion to adopt the Resolution for Approving Construction on State Highways with IDOT from May 18, 2026 through May 17, 2028.

ATTACHMENTS:

1. A RESOLUTION APPROVING CONSTRUCTION ON STATE HIGHWAYS

RESOLUTION NO. _____

A RESOLUTION APPROVING CONSTRUCTION ON STATE HIGHWAYS

WHEREAS, the Village of Palatine, located in the County of Cook, State of Illinois, desires to undertake, in the years of 2026 and 2027, the location, construction, operation and maintenance of driveways and street returns, water mains, sanitary and storm sewers, street lights, traffic signals, sidewalks, landscaping, etc., on State highways, within the Village of Palatine, which by law and/or agreement come under the jurisdiction and control of the Department of Transportation of the State of Illinois, hereinafter referred to as “the Department”;
and

WHEREAS, an individual working permit must be obtained from the Department prior to any of the aforesaid installations being constructed either by the Village of Palatine or by a private person or firm under contract and supervision of the Village of Palatine.

NOW, THEREFORE BE IT RESOLVED by the Mayor and Village Council of the Village of Palatine:

SECTION 1: The Village of Palatine hereby pledges its good faith and guarantees that all work shall be performed in accordance with conditions of the permit to be granted by the Department, and to hold the State of Illinois harmless during the prosecution of such work, and assume all liability for damages to person or property due to accidents or otherwise by reason of the work which is to be performed under the provision of said permit.

SECTION 2: That all authorized officials of the Village of Palatine are hereby instructed and authorized to sign said working permit on behalf of the Village of Palatine.

PASSED: This _____ day of _____, 2026

AYES:____ **NAYS:**____ **ABSENT:**____ **PASS:**____

APPROVED by me this _____ day of _____, 2026

Mayor of the Village of Palatine

ATTESTED and FILED in the office of the Village Clerk

this _____ day of _____, 2026

Village Clerk

Village of Palatine

Village Clerk

Mayor

Warrant # 10 having been approved by the Village Council on 05-18-26 hereby authorizes the Treasurer to deposit funds from the accounts indicated below

		Check/ACH Disbursements	Electronic (EFT/W-T) Disbursements	Manual/Reissue Checks	UB Refunds Processed	Fund Expense
General Fund	100	255,333.74	17,832.30	-	-	273,166.04
Motor Fuel Tax Fund	205	601,610.73	-	-	-	601,610.73
Federal Equitable Sharing Fund	221	3,752.16	205.76	-	-	3,957.92
State Equitable Sharing Fund	222	4,629.00	-	-	-	4,629.00
Downtown TIF Fund	233	28,359.10	6,090.45	-	-	34,449.55
Rand Corridor TIF Fund	234	1,000,875.00	11,175.00	-	-	1,012,050.00
Rand/Lake Cook TIF Fund	235	875.00	-	-	-	875.00
53/Dundee TIF Fund	236	875.00	-	-	-	875.00
Opioid Settlement Fund	257	733.90	-	-	-	733.90
Debt Service Fund	300	-	279,603.13	-	-	279,603.13
Capital Equipment Fund	401	62,965.86	5,777.97	-	-	68,743.83
Capital Improvements Fund	402	222,031.67	549.00	-	-	222,580.67
Water Fund	605	929,532.45	4,052.69	-	-	933,585.14
Sewer Fund	610	7,615.34	70.68	-	-	7,686.02
Refuse Fund	615	119,990.00	280,857.50	-	264.36	401,111.86
Parking Fund	620	19,559.91	106.03	-	-	19,665.94
Liability Insurance Fund	702	1,450.00	2,370.50	-	-	3,820.50
Fleet Services Fund	710	74,422.10	10,310.71	358.82	-	85,091.63
Total Report		3,334,610.96	619,001.72	358.82	264.36	3,954,235.86



Warrant #10

Invoice Due Date Range 04/01/26 - 06/02/26
 Report By Vendor - Invoice
 Summary Listing

Invoice Number	Invoice Description	Status	Held Reason	Invoice Date	Due Date	G/L Date	Received Date	Payment Date	Invoice Net Amount	
Vendor 1553 - Acme Truck & Brake Supply										
01_528975	Parts - T-492	Open		04/21/2026	05/21/2026	04/27/2026			159.95	
							Vendor 1553 - Acme Truck & Brake Supply Totals	Invoices	1	<u>159.95</u>
Vendor 5416 - Advance Auto Parts										
6432610666329	Parts - PT-200	Open		04/16/2026	05/16/2026	05/06/2026			129.99	
6432611166603	Parts - T-517/Stock	Open		04/21/2026	05/21/2026	04/21/2026			65.00	
6432611437985	Parts - T-391	Open		04/24/2026	05/24/2026	04/27/2026			91.88	
6432611466775	Parts - STOCK	Open		04/24/2026	05/24/2026	04/27/2026			338.42	
6432611466776	Parts - STOCK	Open		04/24/2026	05/24/2026	04/27/2026			694.12	
6432611466777	Parts - STOCK	Open		04/24/2026	05/24/2026	04/27/2026			337.76	
6432611866918	Parts - T-524/Stock	Open		04/28/2026	05/28/2026	05/06/2026			49.04	
6432611866947	Credit Memo	Open		04/28/2026	05/24/2026	05/13/2026			(523.46)	
6432611866957	Credit Memo	Open		04/28/2026	05/24/2026	05/13/2026			(189.96)	
6432611966990	Parts -Stock	Open		04/29/2026	05/29/2026	05/06/2026			722.05	
							Vendor 5416 - Advance Auto Parts Totals	Invoices	10	<u>\$1,714.84</u>
Vendor 3030 - Advanced Automation & Control										
26-5322	SCADA Troubleshooting- Several Locations & Power Supply	Open		04/30/2026	05/30/2026	05/06/2026			3,906.20	
26-5299	North Supply Pump Station MCC Upgrade	Open		04/29/2026	05/29/2026	05/07/2026			13,835.00	
26-5323	North Supply Pump Station Pump 4 VFD Replacement	Open		04/30/2026	05/30/2026	05/07/2026			14,500.00	
							Vendor 3030 - Advanced Automation & Control Totals	Invoices	3	<u>\$32,241.20</u>
Vendor 5350 - Airespring Inc										
208101107	Phone and Internet Bill	Open		05/01/2026	05/05/2026	05/06/2026			2,009.15	
							Vendor 5350 - Airespring Inc Totals	Invoices	1	<u>\$2,009.15</u>
Vendor 2611 - Al Warren Oil Co										
W1837949	Motor Fuel	Open		04/21/2026	05/21/2026	05/05/2026			19,660.64	
W1837950	Motor Fuel	Open		04/21/2026	05/21/2026	05/05/2026			3,616.08	
							Vendor 2611 - Al Warren Oil Co Totals	Invoices	2	<u>\$23,276.72</u>
Vendor 2718 - Alexander Chemical Corporation										
107346	Water Treatment Chemical Rental Fee	Open		04/28/2026	05/28/2026	04/21/2026			144.00	
							Vendor 2718 - Alexander Chemical Corporation Totals	Invoices	1	<u>\$144.00</u>
Vendor 3060 - Allegra Print & Imaging										
107751	office supplies-door hanger, printed forms	Open		04/24/2026	05/24/2026	04/17/2026			532.78	



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107846	Envelopes-Regular Qty. 1000, Windows Qty. 1000	Open		04/30/2026	05/30/2026	05/06/2026			242.10
Vendor 3060 - Allegra Print & Imaging Totals							Invoices	2	<u>\$774.88</u>
Vendor 2496 - Altorfer Industries, Inc									
P56C0082078	Parts - E-225	Open		04/29/2026	05/29/2026	05/06/2026			233.07
Vendor 2496 - Altorfer Industries, Inc Totals							Invoices	1	<u>\$233.07</u>
Vendor 5021 - Arlington Heights Ford LLC									
217578	Repairs - C-370	Open		03/18/2026	04/17/2026	05/06/2026			200.00
176802H	Parts - T-520	Open		04/20/2026	05/20/2026	04/21/2026			166.90
176821H	Parts - T-517	Open		04/20/2026	05/20/2026	04/21/2026			97.45
219995	Repairs - T-565	Open		04/20/2026	05/20/2026	04/21/2026			102.44
176847H	Parts - T-391	Open		04/22/2026	05/22/2026	04/27/2026			51.00
177126H	Parts - Stock	Open		04/29/2026	05/29/2026	05/06/2026			10.16
220551	Repairs - T-554	Open		04/29/2026	05/29/2026	05/06/2026			39.95
177203H	Parts - Stock	Open		05/01/2026	05/31/2026	05/12/2026			9.84
Vendor 5021 - Arlington Heights Ford LLC Totals							Invoices	8	<u>\$677.74</u>
Vendor 1443 - Arlington Power Equipment									
274424	Concrete Saw	Open		04/21/2026	05/21/2026	04/21/2026			1,044.32
Vendor 1443 - Arlington Power Equipment Totals							Invoices	1	<u>\$1,044.32</u>
Vendor 5360 - AT&T									
619392	Cellular Phone Tracking/Tower Dump (26- 000995)	Open		04/20/2026	05/18/2026	05/10/2026			95.00
Vendor 5360 - AT&T Totals							Invoices	1	<u>\$95.00</u>
Vendor 4802 - Atlas Bobcat, LLC									
BR5065	Parts - E-212	Open		04/30/2026	05/30/2026	05/06/2026			2,897.32
BR5102	Parts - E-212	Open		04/30/2026	05/30/2026	05/06/2026			473.20
BR5114	Parts - Stock	Open		04/30/2026	05/30/2026	05/06/2026			1,077.18
Vendor 4802 - Atlas Bobcat, LLC Totals							Invoices	3	<u>\$4,447.70</u>
Vendor 5749 - Leo A Barry									
2026-00000394	Lead Water Service Line Replacement Program Reimbursement	Open		05/11/2026	05/19/2026	05/07/2026			13,022.00
Vendor 5749 - Leo A Barry Totals							Invoices	1	<u>\$13,022.00</u>
Vendor 2282 - Baxter And Woodman									
0285069	2026 NPDES MS4 Compliance Assistance	Open		04/30/2026	05/30/2026	05/05/2026			750.00
Vendor 2282 - Baxter And Woodman Totals							Invoices	1	<u>\$750.00</u>



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Invoice Number	Invoice Description	Status	Held Reason	Invoice Date	Due Date	G/L Date	Received Date	Payment Date	Invoice Net Amount
Vendor 3124 - Adam J Begale									
PWCDLAB05072026	CDL Renewal Reimbursement	Open		05/07/2026	05/14/2026	05/06/2026			60.00
Vendor 3124 - Adam J Begale Totals						Invoices	1		\$60.00
Vendor 1101 - Beverly Materials LLC									
333813	Wash Stone-WMB Restoration Repair	Open		04/25/2026	05/25/2026	05/06/2026			209.93
334201	Wash Stone-WMB Restoration Repair	Open		04/30/2026	05/30/2026	05/06/2026			2,061.09
Vendor 1101 - Beverly Materials LLC Totals						Invoices	2		\$2,271.02
Vendor 1722 - BLA, Inc									
24559-28	Palatine Road Reconstruction Phase II Engineering Services	Open		02/28/2026	05/15/2026	05/07/2026			170,604.33
24668-30	Palatine Road Reconstruction Phase II Engineering Services	Open		04/01/2026	05/15/2026	05/07/2026			5,501.59
24653 Supplement	Slade Street Design Engineering Services	Open		04/15/2026	05/15/2026	05/13/2026			24,284.60
24690-5	Slade Street Design Engineering Services	Open		04/30/2026	05/30/2026	05/13/2026			1,512.00
Vendor 1722 - BLA, Inc Totals						Invoices	4		\$201,902.52
Vendor 2747 - Blue Cross Blue Shield Of Illinois									
PAF24-07543	Ambulance Fee Refund	Open		05/12/2026	05/12/2026	05/12/2026			215.00
Vendor 2747 - Blue Cross Blue Shield Of Illinois Totals						Invoices	1		\$215.00
Vendor 5746 - Daniel Bon Durant									
BDB042526-1	CompTIA A+ Core 2 Exam	Open		01/25/2026	04/25/2026	05/05/2026			185.50
DBD042526-2	CompTIA A+ Core 2 Exam Study Content	Open		04/25/2026	04/25/2026	05/05/2026			30.00
Vendor 5746 - Daniel Bon Durant Totals						Invoices	2		\$215.50
Vendor 1235 - Bonnell Industries Inc									
0226867-IN	Parts - Stock	Open		03/09/2026	05/08/2026	05/06/2026			7,558.25
Vendor 1235 - Bonnell Industries Inc Totals						Invoices	1		\$7,558.25
Vendor 1857 - Brian Edward Landscaping Inc									
25478	May 2026 Landscape Maintenance	Open		05/01/2026	05/31/2026	05/07/2026			14,543.64
Vendor 1857 - Brian Edward Landscaping Inc Totals						Invoices	1		\$14,543.64
Vendor 2243 - Bristol Hose & Fitting									
3606461	Parts - Stock	Open		04/24/2026	05/24/2026	05/12/2026			890.61



Warrant #10

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3606819	Parts - T-389	Open		04/29/2026	05/29/2026	05/06/2026			198.10
3607140	Parts - Stock	Open		05/01/2026	05/31/2026	05/12/2026			735.73
Vendor 2243 - Bristol Hose & Fitting Totals							Invoices	3	<u>\$1,824.44</u>
Vendor 4850 - Builders Asphalt, Llc									
185721	Binder and Surface for Hot Paving	Open		04/23/2026	05/23/2026	05/06/2026			936.86
185845	Binder and Surface for Hot Paving	Open		04/24/2026	05/24/2026	05/06/2026			1,861.11
185957	Binder and Surface for Hot Paving	Open		04/27/2026	05/27/2026	05/06/2026			770.35
186186	Binder and Surface for Hot Paving	Open		04/29/2026	05/29/2026	05/06/2026			281.87
Vendor 4850 - Builders Asphalt, Llc Totals							Invoices	4	<u>\$3,850.19</u>
Vendor 5135 - Builders Paving, LLC									
2601602	2026 Street Resurfacing Program MFT Section #26-00000 - 00 -GM	Open		04/24/2026	05/24/2026	05/07/2026			601,610.73
Vendor 5135 - Builders Paving, LLC Totals							Invoices	1	<u>\$601,610.73</u>
Vendor 5218 - Casey Automotive									
432355	Repairs - T-435	Open		04/21/2026	05/21/2026	04/27/2026			998.07
432520	Repairs - T-475	Open		04/27/2026	05/27/2026	05/06/2026			1,458.00
432593	Repairs - T-491	Open		04/30/2026	05/30/2026	05/12/2026			1,345.78
432636	Repairs - T-507	Open		04/30/2026	05/30/2026	05/12/2026			39.14
Vendor 5218 - Casey Automotive Totals							Invoices	4	<u>\$3,840.99</u>
Vendor 2732 - CDW Government Inc									
AJ1AG7V	UPS Battery Replacement	Open		04/23/2026	05/23/2026	05/06/2026			2,480.86
Vendor 2732 - CDW Government Inc Totals							Invoices	1	<u>\$2,480.86</u>
Vendor 5594 - CGMT, Inc									
13632	Material Testing for 2026 Street Resurfacing & Kerry Ct Rehab	Open		04/15/2026	05/15/2026	05/11/2026			658.00
13633	Material Testing for 2026 Street Resurfacing & Kerry Ct Rehab	Open		04/15/2026	05/15/2026	05/11/2026			2,387.00
Vendor 5594 - CGMT, Inc Totals							Invoices	2	<u>\$3,045.00</u>
Vendor 2555 - Chicago Parts & Sound									
40V0125908	Parts - Stock	Open		04/21/2026	05/21/2026	04/28/2026			329.28
40V0125919	Parts - Stock	Open		04/21/2026	05/21/2026	04/28/2026			245.16
40V0128327	Parts -T-555	Open		04/28/2026	05/28/2026	05/06/2026			72.77



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Invoice Number	Invoice Description	Status	Held Reason	Invoice Date	Due Date	G/L Date	Received Date	Payment Date	Invoice Net Amount
			Vendor 2555 - Chicago Parts & Sound Totals				Invoices	3	\$647.21
Vendor 3050 - Cintas #22									
4266495752	Village Hall Carpets	Open		04/20/2026	05/20/2026	04/16/2026			155.79
4267112432	Shop Rags	Open		04/24/2026	05/24/2026	04/16/2026			18.07
4267112486	Uniform Cleaning	Open		04/24/2026	05/24/2026	04/16/2026			170.43
4267915480	CSF Carpets	Open		05/01/2026	05/31/2026	05/05/2026			160.00
4267915525	Shop Rags	Open		05/01/2026	05/31/2026	05/05/2026			18.07
4267915631	Uniform Cleaning	Open		05/01/2026	05/31/2026	05/05/2026			140.72
			Vendor 3050 - Cintas #22 Totals				Invoices	6	\$663.08
Vendor 4199 - Clark Baird Smith LLP									
3850	2026 CBS April 2026 PD/PW Matters (Legal Exps-services rendered)	Open		04/30/2026	05/13/2026	05/13/2026			7,587.50
			Vendor 4199 - Clark Baird Smith LLP Totals				Invoices	1	\$7,587.50
Vendor 1488 - CNS Tire Supply									
28140	Parts - STOCK	Open		04/23/2026	05/23/2026	04/27/2026			1,490.28
28146	Parts - T-475	Open		04/27/2026	05/27/2026	05/06/2026			768.44
28150	Repairs - T-561	Open		04/29/2026	05/29/2026	05/06/2026			70.00
28152	Repairs - T-560	Open		04/30/2026	05/30/2026	05/06/2026			70.00
			Vendor 1488 - CNS Tire Supply Totals				Invoices	4	\$2,398.72
Vendor 3033 - Comcast Cable									
FD83 05-26	Backup Internet Connections	Open		04/24/2026	05/22/2026	05/01/2026			86.39
PW 05-26 B	Backup Internet Connections	Open		04/24/2026	05/22/2026	05/06/2026			6.93
CC 05-26 B	Backup Internet Connections	Open		04/25/2026	05/23/2026	05/01/2026			59.70
PD 05-26	Backup Internet Connections	Open		04/25/2026	05/23/2026	05/01/2026			326.43
			Vendor 3033 - Comcast Cable Totals				Invoices	4	\$479.45
Vendor 2980 - Commonwealth Edison									
4271086000 4/26	Electricity-0 N Rand Rd N Winslowe Dr/Camera	Open		04/17/2026	05/17/2026	05/06/2026			22.00
6000574000 4/26	Electricity-0 N Rand Rd E Lilly Ln/Camera	Open		04/17/2026	05/17/2026	05/06/2026			21.79
8997338111 4/26	Electricity-0 N Rand Rd N Williams Dr/Camera	Open		04/17/2026	05/17/2026	05/06/2026			23.93
3311352000 4/26	Electricity-21 W. Railroad Av.	Open		04/20/2026	05/20/2026	05/06/2026			94.60
5874509000 4/26	Electricity-135 W. Michigan Ave Heat Meter	Open		04/22/2026	05/22/2026	05/06/2026			445.17
5892617000 4/26	Electricity-Middleton Pond Aerator	Open		04/22/2026	05/22/2026	05/06/2026			44.46
5298556000 4/26	Electricity-0 N Rand Rd N Capri Dr/Camera	Open		04/24/2026	05/24/2026	05/06/2026			23.93



Warrant #10

Invoice Due Date Range 04/01/26 - 06/02/26
 Report By Vendor - Invoice
 Summary Listing

Invoice Number	Invoice Description	Status	Held Reason	Invoice Date	Due Date	G/L Date	Received Date	Payment Date	Invoice Net Amount
Vendor 2980 - Commonwealth Edison Totals						Invoices	7		\$675.88
Vendor 5604 - Compassion Funeral Service, Inc									
2602284	Body Transport to Cook County Medical Examiners Ofc (26-002840)	Open		04/21/2026	05/06/2026	05/10/2026			370.50
Vendor 5604 - Compassion Funeral Service, Inc Totals						Invoices	1		\$370.50
Vendor 3810 - Conrad Polygraph Inc									
7059	2026 Conrad Polygraph Inc - PD 1 new candidate(GM) Polygraph Exam	Open		04/30/2026	05/01/2026	05/01/2026			225.00
7060	2026 Conrad Polygraph Inc - FD 1 new candidate(KJ) Polygraph Exam	Open		04/30/2026	05/01/2026	05/01/2026			225.00
Vendor 3810 - Conrad Polygraph Inc Totals						Invoices	2		\$450.00
Vendor 2741 - Conserv FS									
65214235	Peat Moss & Garden Mix	Open		04/27/2026	05/27/2026	04/28/2026			601.27
65214451	Peat Moss & Pre-Emergent	Open		04/30/2026	05/30/2026	05/06/2026			1,269.50
Vendor 2741 - Conserv FS Totals						Invoices	2		\$1,870.77
Vendor 3706 - Constellation NewEnergy Inc									
72579627101	Electricity-Palatine and Oak Street Lighting	Open		03/23/2026	05/01/2026	05/07/2026			74.42
72579647701	Electricity-Palatine and Bothwell Street Lighting	Open		03/23/2026	05/01/2026	05/07/2026			153.34
Vendor 3706 - Constellation NewEnergy Inc Totals						Invoices	2		\$227.76
Vendor 2981 - Continental Weather Service									
197074	Monthly Weather Forecasting-May 2026	Open		05/01/2026	05/31/2026	05/06/2026			150.00
Vendor 2981 - Continental Weather Service Totals						Invoices	1		\$150.00
Vendor 2773 - Core & Main LP									
Y900863	Water Meter Internal Battery Replacements	Open		04/23/2026	05/23/2026	04/24/2026			9,800.00
Y942953	Water Meter Internal Battery Replacements	Open		04/29/2026	05/29/2026	05/07/2026			8,575.00
Vendor 2773 - Core & Main LP Totals						Invoices	2		\$18,375.00
Vendor 4918 - DACRA Tech LLC									
2026-04-086	Municipal Enforcement Software Monthly Service & Citation Fee's	Open		04/30/2026	04/30/2026	05/10/2026			4,386.72
Vendor 4918 - DACRA Tech LLC Totals						Invoices	1		\$4,386.72



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Invoice Number	Invoice Description	Status	Held Reason	Invoice Date	Due Date	G/L Date	Received Date	Payment Date	Invoice Net Amount	
Vendor 5793 - Kathleen M Dahlquist										
2026-00000396	50/50 Curb and Apron Replacement Program Reimbursement	Open		05/04/2026	05/13/2026	05/07/2026			1,400.00	
							Vendor 5793 - Kathleen M Dahlquist Totals	Invoices	1	<u>1,400.00</u>
Vendor 5406 - DeKind Computer Consultants										
45162	May Invoice	Open		05/04/2026	05/04/2026	05/04/2026			23,068.48	
							Vendor 5406 - DeKind Computer Consultants Totals	Invoices	1	<u>\$23,068.48</u>
Vendor 1929 - Delta Sonic Car Wash Systems										
INV-0036744	Car Wash	Open		05/01/2026	05/31/2026	05/06/2026			116.89	
INV-0035699	Car Wash	Open		05/03/2026	06/02/2026	04/06/2026			164.34	
							Vendor 1929 - Delta Sonic Car Wash Systems Totals	Invoices	2	<u>\$281.23</u>
Vendor 5389 - Deux Frenchies LLC										
15286	Food for K-9 "Jax" (Wagner)	Open		04/27/2026	05/25/2026	05/10/2026			76.97	
							Vendor 5389 - Deux Frenchies LLC Totals	Invoices	1	<u>\$76.97</u>
Vendor 2828 - Director Of Illinois State Police										
34798	Declaration of Forfeiture (SAO #26-01-0157/RPT #: 24-009839)	Open		04/28/2026	05/18/2026	05/12/2026			4,629.00	
							Vendor 2828 - Director Of Illinois State Police Totals	Invoices	1	<u>\$4,629.00</u>
Vendor 4781 - Document Imaging Services, LLC										
3822	Toner	Open		04/23/2026	05/23/2026	04/23/2026			456.00	
3830	Toner	Open		04/28/2026	05/28/2026	05/01/2026			178.00	
							Vendor 4781 - Document Imaging Services, LLC Totals	Invoices	2	<u>\$634.00</u>
Vendor 1728 - Doland Engineering, LLC										
26-11292	April 2026 Engineering Plan Review Services	Open		04/30/2026	05/30/2026	05/07/2026			3,200.00	
26-11304	April 2026 Site Development Permit Inspection Fees	Open		04/30/2026	05/30/2026	05/07/2026			10,784.00	
							Vendor 1728 - Doland Engineering, LLC Totals	Invoices	2	<u>\$13,984.00</u>
Vendor 5731 - Dorner Company										
520041	Valve Repair-Hicks and Dundee Pump Station	Open		04/20/2026	05/20/2026	04/24/2026			4,266.00	
							Vendor 5731 - Dorner Company Totals	Invoices	1	<u>\$4,266.00</u>
Vendor 2174 - Duo-Safety Ladder Corporation										
500338-000	Ladder Parts	Open		04/29/2026	05/28/2026	04/27/2026			105.22	
							Vendor 2174 - Duo-Safety Ladder Corporation Totals	Invoices	1	<u>\$105.22</u>



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Invoice Number	Invoice Description	Status	Held Reason	Invoice Date	Due Date	G/L Date	Received Date	Payment Date	Invoice Net Amount	
Vendor 2786 - EJ Equipment Inc										
P20354	Catch Basin Tube	Open		04/24/2026	05/24/2026	04/21/2026			215.79	
							Vendor 2786 - EJ Equipment Inc Totals	Invoices	1	<u>\$215.79</u>
Vendor 5398 - EMS Management & Consultants, Inc.										
LQ-011940	Collection Services	Open		04/30/2026	05/30/2026	05/08/2026			689.38	
							Vendor 5398 - EMS Management & Consultants, Inc. Totals	Invoices	1	<u>\$689.38</u>
Vendor 5794 - Fire & Safety 101										
26-307	Honor Guard Basics Training	Open		04/26/2026	05/26/2026	05/10/2026			350.00	
							Vendor 5794 - Fire & Safety 101 Totals	Invoices	1	<u>\$350.00</u>
Vendor 2195 - FMP										
162-231348	Parts - T-517/Stock	Open		04/20/2026	05/20/2026	04/28/2026			62.60	
50-6707322	Parts - Stock	Open		04/20/2026	05/20/2026	04/28/2026			76.80	
50-6709450	Parts - C-368	Open		04/21/2026	05/21/2026	04/27/2026			879.45	
162-231581	Parts - STOCK	Open		04/22/2026	05/22/2026	04/27/2026			82.80	
50-6712868	Parts - STOCK	Open		04/22/2026	05/22/2026	04/27/2026			219.56	
162-231922	Lubricants & Additives - Stock	Open		04/27/2026	05/27/2026	05/06/2026			62.04	
162-232047	Parts - Stock	Open		04/28/2026	05/28/2026	05/06/2026			228.60	
225-092809	Parts - T-555	Open		04/28/2026	05/28/2026	05/06/2026			38.90	
162-232126	Lubricants & Additives - Stock	Open		04/29/2026	05/29/2026	05/06/2026			629.52	
50-6726864	Lubricants & Additives - Stock	Open		04/29/2026	05/29/2026	05/06/2026			325.92	
60-505014	Parts - T-555	Open		04/29/2026	05/29/2026	05/06/2026			179.00	
162-232342	Parts - T-489	Open		05/01/2026	05/31/2026	05/06/2026			63.91	
							Vendor 2195 - FMP Totals	Invoices	12	<u>\$2,849.10</u>
Vendor 1621 - Fox Valley Fire & Safety										
IN00849913	Annual Dry Sprinkler Inspection-Fire Station 84	Open		04/02/2026	05/15/2026	05/07/2026			497.00	
IN00854739	Police HQ Fire Panel Repair	Open		04/28/2026	05/28/2026	04/23/2026			1,712.00	
							Vendor 1621 - Fox Valley Fire & Safety Totals	Invoices	2	<u>\$2,209.00</u>
Vendor 5779 - Rachel Anthony George										
2026-00000385	Tuition Reimbursement - Rachel George	Open		05/01/2026	05/01/2026	05/01/2026			2,227.50	
							Vendor 5779 - Rachel Anthony George Totals	Invoices	1	<u>\$2,227.50</u>
Vendor 1667 - Gilio Landscape Contractors										
10165	grass-749-753 W Palatine	Open		05/11/2026	05/31/2026	05/04/2026			85.00	
10166	grass-749-753 W Palatine	Open		05/11/2026	05/31/2026	05/04/2026			85.00	
10167	grass-749-753 W Palatine	Open		05/11/2026	05/31/2026	05/04/2026			85.00	



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Invoice Number	Invoice Description	Status	Held Reason	Invoice Date	Due Date	G/L Date	Received Date	Payment Date	Invoice Net Amount
Vendor 1667 - Gilio Landscape Contractors Totals						Invoices	3		\$255.00
Vendor 1638 - H & H Electric Co. 48647	Pole Replacement-150 S. Northwest Highway	Open		04/13/2026	05/13/2026	05/11/2026			6,185.44
Vendor 1638 - H & H Electric Co. Totals						Invoices	1		\$6,185.44
Vendor 5726 - Keith Halevy 2026-00000389	Lead Water Service Line Replacement Program Reimbursement	Open		05/01/2026	05/13/2026	05/07/2026			9,430.15
Vendor 5726 - Keith Halevy Totals						Invoices	1		\$9,430.15
Vendor 1916 - Harvard Maintenance Inc 1854101	Village Hall Janitorial Service-May 2026	Open		05/01/2026	05/31/2026	05/11/2026			3,893.42
1854168	Train Station Janitorial Service-May 2026	Open		05/01/2026	05/31/2026	05/11/2026			8,950.15
Vendor 1916 - Harvard Maintenance Inc Totals						Invoices	2		\$12,843.57
Vendor 5734 - Heartland Business Systems LLC 866525-H	FD/IT SharePoint, Teams, Storage Training	Open		02/26/2026	05/27/2026	02/27/2026			187.50
Vendor 5734 - Heartland Business Systems LLC Totals						Invoices	1		\$187.50
Vendor 5338 - Carl Phil Hemmeler 2026-00000393	Reimbursement for Fuel - USPIS Cases (4157940-PMN)	Open		04/28/2026	05/18/2026	05/10/2026			426.38
Vendor 5338 - Carl Phil Hemmeler Totals						Invoices	1		\$426.38
Vendor 5759 - Marc C Hess 2026-00000395	Lead Water Service Line Replacement Program Reimbursement	Open		05/08/2026	05/13/2026	05/07/2026			13,222.00
Vendor 5759 - Marc C Hess Totals						Invoices	1		\$13,222.00
Vendor 3150 - Joshua P Hester 2026-00000410	Tuition Reimbursement - Joshua Hester	Open		05/12/2026	05/12/2026	05/12/2026			1,782.00
Vendor 3150 - Joshua P Hester Totals						Invoices	1		\$1,782.00
Vendor 5252 - Holiday Outdoor Decor INV24173	Holiday Decorations-LED Snowflakes	Open		04/29/2026	05/29/2026	05/07/2026			18,524.63
Vendor 5252 - Holiday Outdoor Decor Totals						Invoices	1		\$18,524.63
Vendor 5046 - Hoosier Fire Equipment Inc									



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Invoice Number	Invoice Description	Status	Held Reason	Invoice Date	Due Date	G/L Date	Received Date	Payment Date	Invoice Net Amount
125925	Parts - T-413	Open		04/30/2026	05/30/2026	05/05/2026			666.25
	Vendor 5046 - Hoosier Fire Equipment Inc Totals						Invoices	1	\$666.25
Vendor 2976 - Huffman Landscape									
HUFF5-1-26	Tree Equity Grant Replacement Parkway Tree Installations	Open		05/01/2026	05/31/2026	05/13/2026			595.00
	Vendor 2976 - Huffman Landscape Totals						Invoices	1	\$595.00
Vendor 5061 - Illinois LEAP									
2026-23	2026 Conference Registration Fee	Open		04/27/2026	05/27/2026	05/10/2026			375.00
	Vendor 5061 - Illinois LEAP Totals						Invoices	1	\$375.00
Vendor 1604 - Illinois State Police									
20260304348	Background Check- March	Open		04/17/2026	05/16/2026	04/27/2026			27.00
	Vendor 1604 - Illinois State Police Totals						Invoices	1	\$27.00
Vendor 5474 - Imagetec LP									
5038342725	Copier Usage	Open		04/07/2026	05/23/2026	04/02/2026			862.64
	Vendor 5474 - Imagetec LP Totals						Invoices	1	\$862.64
Vendor 4951 - Interstate Batteries of North Chicago									
23057564	Parts - Stock	Open		04/28/2026	05/28/2026	05/05/2026			90.34
	Vendor 4951 - Interstate Batteries of North Chicago Totals						Invoices	1	\$90.34
Vendor 4366 - Interstate Power Systems Inc									
C042083630:01	Parts - Stock	Open		04/28/2026	05/28/2026	05/05/2026			665.56
	Vendor 4366 - Interstate Power Systems Inc Totals						Invoices	1	\$665.56
Vendor 2518 - IRMA									
301939	March 2026 Deductible	Open		03/31/2026	05/04/2026	05/04/2026			1,450.00
	Vendor 2518 - IRMA Totals						Invoices	1	\$1,450.00
Vendor 4165 - J.M.L. Overhead Door Inc									
4245	Station 82 Overhead Door Repairs	Open		05/04/2026	05/31/2026	05/06/2026			1,502.90
	Vendor 4165 - J.M.L. Overhead Door Inc Totals						Invoices	1	\$1,502.90
Vendor 5788 - Frank Jerz									
2026-00000391	WIU Spring Career Fair	Open		04/23/2026	05/18/2026	05/10/2026			145.00
	Vendor 5788 - Frank Jerz Totals						Invoices	1	\$145.00
Vendor 2695 - JG Uniforms Inc									
160833	Misc Uniform/Equipment Items/Vest Carriers (Griffin)	Open		04/20/2026	05/20/2026	05/10/2026			354.11

Invoice Number	Invoice Description	Status	Held Reason	Invoice Date	Due Date	G/L Date	Received Date	Payment Date	Invoice Net Amount
160836	Misc Uniform/Equipment Items/Vest Carriers (Ayala)	Open		04/20/2026	05/20/2026	05/10/2026			348.61
160840	Misc Uniform/Equipment Items/Vest Carriers (Cocom)	Open		04/20/2026	05/20/2026	05/10/2026			252.16
161194	Misc Uniform/Equipment Items/Vest Carriers	Open		04/29/2026	05/29/2026	05/10/2026			149.85
Vendor 2695 - JG Uniforms Inc Totals							Invoices	4	<u>\$1,104.73</u>
Vendor 5680 - Joel Kennedy Constructing Corp									
2026123801	Lead Water Service Line Replacements Year 1 DPW- 2527	Open		04/13/2026	05/13/2026	05/07/2026			362,272.50
Vendor 5680 - Joel Kennedy Constructing Corp Totals							Invoices	1	<u>\$362,272.50</u>
Vendor 3631 - Johnson Controls Security Solutions LLC									
42428113	Alarm Monitoring	Open		05/01/2026	05/12/2026	05/13/2026			78.00
42428133	Alarm Monitoring	Open		05/01/2026	05/12/2026	05/13/2026			78.00
Vendor 3631 - Johnson Controls Security Solutions LLC Totals							Invoices	2	<u>\$156.00</u>
Vendor 2268 - Journal & Topics Newspapers									
196332	legal notice 315 W Johnson	Open		04/22/2026	05/22/2026	05/04/2026			50.63
196333	legal notice 4-20 E Slade	Open		04/22/2026	05/22/2026	05/04/2026			92.81
Vendor 2268 - Journal & Topics Newspapers Totals							Invoices	2	<u>\$143.44</u>
Vendor 4354 - James E Kernan									
PWBRJK05032026	Boot Reimbursement	Open		05/05/2026	05/19/2026	05/06/2026			175.00
Vendor 4354 - James E Kernan Totals							Invoices	1	<u>\$175.00</u>
Vendor 2075 - Kimball Midwest									
104357398	Parts - Stock	Open		04/09/2026	05/09/2026	05/05/2026			237.05
Vendor 2075 - Kimball Midwest Totals							Invoices	1	<u>\$237.05</u>
Vendor 4611 - KnowBe4, Inc									
INV426316	Phishing and Training System	Open		03/12/2026	04/11/2026	05/06/2026			20,216.00
Vendor 4611 - KnowBe4, Inc Totals							Invoices	1	<u>\$20,216.00</u>
Vendor 3357 - KONE Inc									
871926153	Service Contract for Elevator Maintenance-2/1/26-4/30/26	Open		02/01/2026	05/13/2026	05/07/2026			5,770.44
872011571	Service Contract for Elevator Maintenance-5/1/26-7/31/26	Open		05/01/2026	05/31/2026	05/07/2026			5,885.91
Vendor 3357 - KONE Inc Totals							Invoices	2	<u>\$11,656.35</u>
Vendor 4999 - Kristin La Russo									
100.00	MCI Spring Seminar	Open		04/23/2026	05/23/2026	04/24/2026			100.00



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			Vendor	4999 - Kristin La Russo Totals			Invoices	1	\$100.00
Vendor	5137 - Lakeshore Recycling Systems, LLC								
V938074	Waste Disposal	Open		04/30/2026	05/30/2026	05/06/2026			555.37
			Vendor	5137 - Lakeshore Recycling Systems, LLC Totals			Invoices	1	\$555.37
Vendor	1176 - Liberty Tire Recycling Llc								
3216465	Tire Disposal M-999 & PT-999	Open		04/18/2026	05/18/2026	05/06/2026			323.61
			Vendor	1176 - Liberty Tire Recycling Llc Totals			Invoices	1	\$323.61
Vendor	2641 - Lyons Electric Company, Inc								
20314	Monthly Traffic Signal Maintenance-March 2026	Open		03/31/2026	04/30/2026	05/06/2026			940.00
33989	Additional Repairs-Winston Dr. & Palatine Rd.	Open		03/31/2026	04/30/2026	05/06/2026			370.00
20284	Monthly Traffic Signal Maintenance-January 2026	Open		04/01/2026	05/01/2026	05/06/2026			940.00
20300	Monthly Traffic Signal Maintenance-February 2026	Open		04/01/2026	05/01/2026	05/06/2026			940.00
33323	Additional Repairs-Winston Dr. & Palatine Rd.	Open		04/01/2026	05/01/2026	05/06/2026			555.00
33574	Additional Repairs-Smith St. & Colfax St.	Open		04/01/2026	05/01/2026	05/06/2026			370.00
34106	Additional Repairs-Smith St. & Colfax St.	Open		04/27/2026	05/27/2026	05/06/2026			370.00
34235	Additional Repairs-Winston Dr. & Palatine Rd.	Open		04/29/2026	05/29/2026	05/06/2026			1,115.00
20329	Monthly Traffic Signal Maintenance-April 2026	Open		04/30/2026	05/30/2026	05/06/2026			940.00
			Vendor	2641 - Lyons Electric Company, Inc Totals			Invoices	9	\$6,540.00
Vendor	4957 - MacQueen Equipment, LLC								
P37511	Parts - T-389	Open		02/02/2026	04/04/2026	05/06/2026			690.94
P38684	Parts - T-467	Open		04/22/2026	05/22/2026	04/27/2026			69.75
			Vendor	4957 - MacQueen Equipment, LLC Totals			Invoices	2	\$760.69
Vendor	2561 - Major Case Assistance Team								
202648	2026 MCAT Luncheons	Open		03/12/2026	05/20/2026	05/10/2026			539.00
			Vendor	2561 - Major Case Assistance Team Totals			Invoices	1	\$539.00
Vendor	4065 - Master Truck & Trailer Llc								
S133879	Parts - T-499	Open		04/29/2026	04/29/2026	05/06/2026			989.95
			Vendor	4065 - Master Truck & Trailer Llc Totals			Invoices	1	\$989.95
Vendor	2756 - Mc Master Carr Supply Co.								
63556479	Parts - E-203	Open		04/20/2026	05/20/2026	04/27/2026			35.45



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63645759	Parts - Stock	Open		04/21/2026	05/21/2026	05/06/2026			128.35
63827153	Parts - T-389	Open		04/23/2026	05/23/2026	05/06/2026			57.95
63899294	Parts - T-389	Open		04/24/2026	05/24/2026	05/06/2026			52.65
63901489	Tools - T- 389	Open		04/24/2026	05/24/2026	05/06/2026			30.14
64145169	Parts - Stock	Open		04/29/2026	05/29/2026	05/06/2026			9.94
64257590	Tools - M-999	Open		04/30/2026	05/30/2026	05/06/2026			143.70
Vendor 2756 - Mc Master Carr Supply Co. Totals							Invoices	7	<u>\$458.18</u>
Vendor 1118 - Mid American Water Of Wauconda Inc									
291720W	Sockets	Open		04/13/2026	05/13/2026	05/06/2026			549.84
289998W	Sleeve	Open		04/20/2026	05/20/2026	05/06/2026			743.57
292182W	Couplings & Repair Clamps	Open		04/28/2026	05/28/2026	05/06/2026			2,984.86
292295W	Repair Sleeve	Open		04/30/2026	05/30/2026	05/06/2026			3,355.00
Vendor 1118 - Mid American Water Of Wauconda Inc Totals							Invoices	4	<u>\$7,633.27</u>
Vendor 2998 - Midwest Groundcovers									
PSI-019705	BC Daylily Project	Open		04/30/2026	05/30/2026	05/12/2026			1,597.50
Vendor 2998 - Midwest Groundcovers Totals							Invoices	1	<u>\$1,597.50</u>
Vendor 2421 - Mikes Towing/Auto & Truck Repair									
1075969	Safety Lane - T-461, T-405, T-490, T-521	Open		04/30/2026	05/30/2026	05/06/2026			200.00
Vendor 2421 - Mikes Towing/Auto & Truck Repair Totals							Invoices	1	<u>\$200.00</u>
Vendor 1856 - Monroe Truck Equipment									
63944	Parts - STOCK	Open		04/14/2026	05/14/2026	05/13/2026			1,259.88
Vendor 1856 - Monroe Truck Equipment Totals							Invoices	1	<u>\$1,259.88</u>
Vendor 5754 - Mosca Design, Inc									
46381	Holiday Decorations-LED Snowflakes	Open		05/01/2026	05/31/2026	05/07/2026			18,394.12
Vendor 5754 - Mosca Design, Inc Totals							Invoices	1	<u>\$18,394.12</u>
Vendor 1204 - Motorola Solutions, Inc									
8282315682	Portable Radio Batteries	Open		04/16/2026	05/16/2026	05/06/2026			7,559.00
Vendor 1204 - Motorola Solutions, Inc Totals							Invoices	1	<u>\$7,559.00</u>
Vendor 1405 - MPC Communications & Lighting Inc									
26-1069	Parts - T-493 & T-495	Open		04/23/2026	05/23/2026	04/27/2026			195.00
Vendor 1405 - MPC Communications & Lighting Inc Totals							Invoices	1	<u>\$195.00</u>
Vendor 1446 - Multiple Concrete Access. Corp.									
INV038246	Curb Patch	Open		04/24/2026	05/24/2026	05/06/2026			112.80
SCM000611	Credit Memo	Open		04/30/2026	05/24/2026	05/06/2026			(47.88)
Vendor 1446 - Multiple Concrete Access. Corp. Totals							Invoices	2	<u>\$64.92</u>



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Invoice Due Date Range 04/01/26 - 06/02/26
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Invoice Number	Invoice Description	Status	Held Reason	Invoice Date	Due Date	G/L Date	Received Date	Payment Date	Invoice Net Amount	
Vendor 5118 - Municipal GIS Partners, Inc										
8993	GIS	Open		04/30/2026	05/21/2026	05/01/2026			16,622.35	
							Vendor 5118 - Municipal GIS Partners, Inc Totals	Invoices	1	<u>\$16,622.35</u>
Vendor 5599 - Napa Auto Parts										
505451	Parts - T-517	Open		04/20/2026	05/20/2026	05/06/2026			111.93	
505611	Parts - STOCK	Open		04/21/2026	05/21/2026	04/27/2026			25.77	
505613	Parts - STOCK	Open		04/21/2026	05/21/2026	04/27/2026			14.21	
505745	Parts - E-646	Open		04/22/2026	05/22/2026	04/27/2026			10.45	
505752	Parts - PT-241	Open		04/22/2026	05/22/2026	04/27/2026			62.20	
505760	Parts - STOCK	Open		04/22/2026	05/22/2026	04/27/2026			198.24	
505844	Parts - PT-211	Open		04/23/2026	05/23/2026	04/27/2026			179.17	
505991	Parts - E-346	Open		04/24/2026	05/24/2026	04/27/2026			51.57	
506168	Parts - Stock	Open		04/27/2026	05/27/2026	05/06/2026			213.51	
506192	Parts - C-371	Open		04/27/2026	05/27/2026	05/06/2026			15.84	
506297	Parts - PT-999	Open		04/28/2026	05/28/2026	05/06/2026			255.02	
506339	Parts - C-389	Open		04/29/2026	05/29/2026	05/06/2026			36.97	
506361	Parts -PT-999	Open		04/29/2026	05/29/2026	05/06/2026			95.06	
506469	Parts - T-389	Open		04/30/2026	05/30/2026	05/06/2026			9.68	
506600	Parts - Stock	Open		05/01/2026	05/31/2026	05/06/2026			29.50	
506986	Credit Memo	Open		05/05/2026	05/28/2026	05/06/2026			(219.33)	
							Vendor 5599 - Napa Auto Parts Totals	Invoices	16	<u>\$1,089.79</u>
Vendor 5568 - Napleton's Arlington Hts Chrysler Dodge Jeep Ram										
334982	Repairs & Maintenance - T-541	Open		04/21/2026	05/21/2026	04/27/2026			142.89	
331001	Repairs - C-371	Open		04/27/2026	05/27/2026	05/06/2026			1,216.94	
							Vendor 5568 - Napleton's Arlington Hts Chrysler Dodge Jeep Ram Totals	Invoices	2	<u>\$1,359.83</u>
Vendor 2616 - Nicor Gas										
37917400006-4/26	Natural Gas-914 W. Lukas Avenue Square D Lift Station	Open		04/20/2026	05/20/2026	05/06/2026			66.35	
55424779829-4/26	Natural Gas-1545-47 Shires Court Lift Station	Open		04/21/2026	05/21/2026	05/06/2026			67.44	
19505219626-4/26	Natural Gas-251 W. Colfax Street Parking Deck	Open		04/24/2026	05/24/2026	05/06/2026			189.25	
46007255576-4/26	Natural Gas-804 W. Panorama Drive Deer Grove Lift Station	Open		04/24/2026	05/24/2026	05/06/2026			70.20	
83980510966-4/26	Natural Gas-550 N. Smith Street Well 7 Generator	Open		04/24/2026	05/24/2026	05/06/2026			64.71	
25623386239-4/26	Natural Gas-1484 N. Oak Street Pepper Tree Lift Station	Open		04/27/2026	05/27/2026	05/06/2026			66.60	



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Invoice Number	Invoice Description	Status	Held Reason	Invoice Date	Due Date	G/L Date	Received Date	Payment Date	Invoice Net Amount
66457600006-4/26	Natural Gas-555 E. Dundee Road Hicks and Dundee Pump Station	Open		04/27/2026	05/27/2026	05/06/2026			166.39
68017400000-4/26	Natural Gas-137 W. Wood Street Train Station	Open		04/27/2026	05/27/2026	05/06/2026			322.65
70018165616-4/26	Natural Gas-432 W. Haleys Hill Court Dunhaven Woods Lift Station	Open		04/27/2026	05/27/2026	05/06/2026			71.13
88271305703-4/26	Natural Gas-1465 E. Evergreen Drive Randville Lift Station	Open		04/28/2026	05/28/2026	05/06/2026			199.27
36756460568-4/26	Natural Gas-884 E. Lilly Lane Rose and Lilly Lift Station	Open		04/29/2026	05/29/2026	05/06/2026			185.72
88097600006-4/26	Natural Gas-2175 N. Coach Road Long Grove Pump Station	Open		04/29/2026	05/29/2026	05/06/2026			122.18
Vendor 2616 - Nicor Gas Totals							Invoices	12	\$1,591.89
Vendor 3002 - Northwest Community Hospital-OEHS									
39497	2026 NCH-O&EH - PD 1 new candidate (RS) Physical Exam	Open		05/01/2026	05/11/2026	05/11/2026			505.00
39423	Physicals/DOT Screening	Open		05/01/2026	05/31/2026	05/13/2026			455.00
Vendor 3002 - Northwest Community Hospital-OEHS Totals							Invoices	2	\$960.00
Vendor 1324 - Northwest Municipal Conference									
11351	2026-2027 NWMC Membership	Open		05/01/2026	05/31/2026	05/01/2026			25,528.00
Vendor 1324 - Northwest Municipal Conference Totals							Invoices	1	\$25,528.00
Vendor 1480 - Northwest Trucks, Inc.									
X101256167:01	Parts - T-389	Open		04/27/2026	05/27/2026	05/05/2026			190.98
X101256459:01	Parts - Stock	Open		04/28/2026	05/28/2026	05/05/2026			53.94
Vendor 1480 - Northwest Trucks, Inc. Totals							Invoices	2	\$244.92
Vendor 5203 - ODP Business Solutions, LLC									
42247563	Shared Office Supplies and Paper	Open		04/30/2026	05/30/2026	05/05/2026			92.49
42247585	Paper	Open		04/30/2026	05/30/2026	05/08/2026			134.69
42247616	Office Supplies	Open		04/30/2026	05/30/2026	05/06/2026			82.15
Vendor 5203 - ODP Business Solutions, LLC Totals							Invoices	3	\$309.33
Vendor 1214 - On Time Embroidery Inc.									
152766	Clothing	Open		04/07/2026	05/26/2026	04/08/2026			27.00
150868	Clothing	Open		04/28/2026	05/27/2026	04/27/2026			52.00
153389	Clothing	Open		04/28/2026	05/27/2026	04/27/2026			205.00



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Invoice Number	Invoice Description	Status	Held Reason	Invoice Date	Due Date	G/L Date	Received Date	Payment Date	Invoice Net Amount
Vendor 1214 - On Time Embroidery Inc. Totals						Invoices	3		\$284.00
Vendor 1223 - Overhead Material Handling Inc.									
INV2502414-1	Crane Inspection - E-174	Open		04/28/2026	05/28/2026	05/05/2026			1,285.39
Vendor 1223 - Overhead Material Handling Inc. Totals						Invoices	1		\$1,285.39
Vendor 5151 - Pace Analytical Services, LLC									
267212608	Water Sample Testing	Open		04/30/2026	05/30/2026	05/06/2026			2,250.00
Vendor 5151 - Pace Analytical Services, LLC Totals						Invoices	1		\$2,250.00
Vendor 2572 - Paddock Publications, Inc									
376259	Legal Notice - Ad# 2443390	Open		04/27/2026	05/12/2026	05/11/2026			56.70
376998	Legal Notice - Ad# 2444294	Open		05/04/2026	05/19/2026	05/11/2026			129.60
Vendor 2572 - Paddock Publications, Inc Totals						Invoices	2		\$186.30
Vendor 5792 - Joseph Palarz									
2026-00000397	50/50 Curb and Apron Replacement Program Reimbursement	Open		05/04/2026	05/13/2026	05/07/2026			675.00
Vendor 5792 - Joseph Palarz Totals						Invoices	1		\$675.00
Vendor 5601 - Pangea Printing LLC									
314087	CERT Supplies (Hats)	Open		04/24/2026	05/24/2026	05/10/2026			120.00
Vendor 5601 - Pangea Printing LLC Totals						Invoices	1		\$120.00
Vendor 1784 - Parent Petroleum									
1812078	Lubricants & Additives - Stock	Open		04/24/2026	05/24/2026	05/05/2026			3,093.60
1812079	Lubricants & Additives - Stock	Open		04/27/2026	05/27/2026	05/05/2026			862.00
Vendor 1784 - Parent Petroleum Totals						Invoices	2		\$3,955.60
Vendor 5762 - Park Place Development LLC									
2026-00000398	Park Place 1331 Rand Rd redevelopment-facade improvement	Open		05/12/2026	05/12/2026	05/12/2026			1,000,000.00
Vendor 5762 - Park Place Development LLC Totals						Invoices	1		\$1,000,000.00
Vendor 5412 - Park Place Technologies, LLC									
PUSA10090208424	Maint Contract Svc	Open		03/24/2026	04/24/2026	05/07/2026			4,611.73
PUSA100090214787	Maint Contract Svc/Parkview Managed Svc	Open		04/27/2026	05/27/2026	05/07/2026			1,172.42
PUSA10090214786	Maint Contract Svc/Parkview Managed Svc	Open		04/27/2026	05/27/2026	05/07/2026			344.68
Vendor 5412 - Park Place Technologies, LLC Totals						Invoices	3		\$6,128.83
Vendor 5581 - Parts Authority LLC									



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457-888569	Parts - T-498	Open		05/01/2026	05/31/2026	05/05/2026			67.11	
							Vendor 5581 - Parts Authority LLC Totals	Invoices	1	<u>\$67.11</u>
Vendor 5756 - Logan Payton										
2026-00000412	Lead Water Service Line Replacement Program Reimbursement	Open		05/11/2026	05/15/2026	05/07/2026			13,222.00	
							Vendor 5756 - Logan Payton Totals	Invoices	1	<u>\$13,222.00</u>
Vendor 4679 - Performance Construction & Engineering, LLC										
Pay # 1	2026 Water Main Improvements DPW-2621	Open		04/27/2026	05/27/2026	05/07/2026			430,570.50	
							Vendor 4679 - Performance Construction & Engineering, LLC Totals	Invoices	1	<u>\$430,570.50</u>
Vendor 5795 - James Pfigler										
2026-00000411	50/50 Curb and Apron Replacement Program Reimbursement	Open		05/07/2026	05/15/2026	05/07/2026			1,625.00	
							Vendor 5795 - James Pfigler Totals	Invoices	1	<u>\$1,625.00</u>
Vendor 5597 - ProPac, Inc										
390552	CERT Supplies (Water Bottles & ID Lanyards)	Open		04/29/2026	05/20/2026	05/10/2026			90.36	
							Vendor 5597 - ProPac, Inc Totals	Invoices	1	<u>\$90.36</u>
Vendor 2200 - Roland Machinery Exchange										
32256547	Milling Machine Rental	Open		04/20/2026	05/20/2026	04/22/2026			31,000.00	
							Vendor 2200 - Roland Machinery Exchange Totals	Invoices	1	<u>\$31,000.00</u>
Vendor 4019 - Rush Truck Centers										
3045768055	Parts - T-451	Open		04/13/2026	05/13/2026	05/05/2026			1,532.29	
							Vendor 4019 - Rush Truck Centers Totals	Invoices	1	<u>\$1,532.29</u>
Vendor 3255 - Russo's Power Equipment Inc										
SPI21552940	Parts - M-996	Open		04/23/2026	05/23/2026	04/27/2026			259.80	
							Vendor 3255 - Russo's Power Equipment Inc Totals	Invoices	1	<u>\$259.80</u>
Vendor 3260 - SB Friedman Development Advisors, LLC										
5.142.25	Palatine - TIF Designation 2025-6 (March 28-April 24, 2026)	Open		05/11/2026	05/31/2026	05/04/2026			3,285.50	
							Vendor 3260 - SB Friedman Development Advisors, LLC Totals	Invoices	1	<u>\$3,285.50</u>
Vendor 2673 - Schain Banks Kenny & Schwartz										
#00193	Schain Legal Services	Open		05/11/2026	05/19/2026	05/11/2026			19,547.85	
							Vendor 2673 - Schain Banks Kenny & Schwartz Totals	Invoices	1	<u>\$19,547.85</u>

Invoice Number	Invoice Description	Status	Held Reason	Invoice Date	Due Date	G/L Date	Received Date	Payment Date	Invoice Net Amount
Vendor 5537 - Sikich CPA LLC									
200294	Annual Financial Audit	Open		03/25/2026	05/24/2026	03/26/2026			34,000.00
			Vendor 5537 - Sikich CPA LLC Totals			Invoices	1		<u>\$34,000.00</u>
Vendor 5418 - SLE Technologies, Inc									
37299	Mobile Column Lifts-E-150, E-151, E-152 & E-153	Open		04/20/2026	05/20/2026	04/23/2026			59,285.00
			Vendor 5418 - SLE Technologies, Inc Totals			Invoices	1		<u>\$59,285.00</u>
Vendor 5384 - Nicholas Ryan Slomka									
2026-00000392	WIU Spring Career Fair	Open		04/26/2026	05/18/2026	05/10/2026			50.00
			Vendor 5384 - Nicholas Ryan Slomka Totals			Invoices	1		<u>\$50.00</u>
Vendor 4308 - Solid Waste Agency of Northern Cook County									
8108	Refuse Service - June	Open		05/01/2026	05/24/2026	05/08/2026			119,990.00
			Vendor 4308 - Solid Waste Agency of Northern Cook County Totals			Invoices	1		<u>\$119,990.00</u>
Vendor 1776 - Suburban Accents, Inc.									
37921	Upfitting-T-573	Open		04/20/2026	05/20/2026	04/23/2026			600.00
38007	Upfitting-T-571	Open		05/01/2026	05/31/2026	05/12/2026			600.00
			Vendor 1776 - Suburban Accents, Inc. Totals			Invoices	2		<u>\$1,200.00</u>
Vendor 5777 - Tanzillo Contractors Inc									
27528	Lowboy Move- Roland Machinery to Palatine Round Trip	Open		04/25/2026	05/25/2026	04/28/2026			2,226.00
			Vendor 5777 - Tanzillo Contractors Inc Totals			Invoices	1		<u>\$2,226.00</u>
Vendor 2111 - Terminal Supply Co									
91882-00	Parts - Stock	Open		02/23/2026	05/19/2026	05/06/2026			111.45
16727-00	Parts - Stock	Open		04/24/2026	05/24/2026	05/06/2026			439.34
9995662	Credit Memo	Open		05/07/2026	05/19/2026	05/06/2026			(93.54)
			Vendor 2111 - Terminal Supply Co Totals			Invoices	3		<u>\$457.25</u>
Vendor 2491 - Terminix-Anderson									
96506006	Pest Control Services May 2026-Fire Station 83	Open		05/03/2026	06/02/2026	05/11/2026			46.14
			Vendor 2491 - Terminix-Anderson Totals			Invoices	1		<u>\$46.14</u>
Vendor 2545 - Terrace Supply Co									
0071104120	Small Tools-M-999	Open		04/30/2026	05/30/2026	05/05/2026			153.01
			Vendor 2545 - Terrace Supply Co Totals			Invoices	1		<u>\$153.01</u>
Vendor 2593 - TKB Associates Inc									
15975	Police Forms Development - Safe Encounter	Open		03/17/2026	05/12/2026	05/06/2026			1,755.00



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			Vendor 2593 - TKB Associates Inc Totals				Invoices	1	<u>\$1,755.00</u>
Vendor 5783 - Tri-Arc Support Services, Inc #26.04.02	Station 85 Work-Out Room Remodeling Plans	Open		04/25/2026	05/24/2026	04/27/2026			3,000.00
			Vendor 5783 - Tri-Arc Support Services, Inc Totals				Invoices	1	<u>\$3,000.00</u>
Vendor 5682 - United Rentals Inc 260152619-001	Ground Cover Mats	Open		04/28/2026	05/28/2026	04/21/2026			700.00
			Vendor 5682 - United Rentals Inc Totals				Invoices	1	<u>\$700.00</u>
Vendor 5281 - USA Blue Book INV01029160	Spade, Wrench & Out-of-Service Tags	Open		04/24/2026	05/24/2026	04/21/2026			359.81
			Vendor 5281 - USA Blue Book Totals				Invoices	1	<u>\$359.81</u>
Vendor 5570 - Vega Building Maintenance and Supplies, Inc. 101772	Cleaning Services for CSF, Police HQ and FS 82-April 2026	Open		04/27/2026	05/27/2026	04/21/2026			4,841.30
			Vendor 5570 - Vega Building Maintenance and Supplies, Inc. Totals				Invoices	1	<u>\$4,841.30</u>
Vendor 5547 - Verizon 384000088585	PW Telematics Program Monthly Service Fee - April	Open		05/01/2026	05/31/2026	05/05/2026			319.00
			Vendor 5547 - Verizon Totals				Invoices	1	<u>\$319.00</u>
Vendor 3709 - Verizon Wireless 6140966359	Cellular Usage	Open		04/12/2026	05/04/2026	05/01/2026			8,046.10
			Vendor 3709 - Verizon Wireless Totals				Invoices	1	<u>\$8,046.10</u>
Vendor 4824 - Vestis First Aid ORD4-016532	First Aid Cabinet Supplies	Open		04/20/2026	05/20/2026	04/26/2026			99.41
			Vendor 4824 - Vestis First Aid Totals				Invoices	1	<u>\$99.41</u>
Vendor 3020 - Village of Palatine Petty Cash 2026-00000401	D. Brandwein - GCCPCA Meeting/Luncheon x2	Open		04/08/2026	05/18/2026	05/12/2026			40.00
2026-00000402	W. Nord - GCCPCA Meeting x 2	Open		04/08/2026	05/18/2026	05/12/2026			40.00
2026-00000403	D. DiCristofano - Train Tickets to Chicago for Training	Open		04/28/2026	05/18/2026	05/12/2026			22.00
2026-00000406	R. Huber - May Peer Jury Hearing Expenses	Open		05/06/2026	05/18/2026	05/12/2026			31.71
2026-00000404	W. Nord - GCCPCA Meeting x 2	Open		05/12/2026	05/18/2026	05/12/2026			40.00



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Invoice Number	Invoice Description	Status	Held Reason	Invoice Date	Due Date	G/L Date	Received Date	Payment Date	Invoice Net Amount
2026-0000405	A. Calanca - GCCPCA Meeting/Luncheon x2	Open		05/12/2026	05/18/2026	05/12/2026			40.00
Vendor 3020 - Village of Palatine Petty Cash Totals							Invoices	6	<u>\$213.71</u>
Vendor 3300 - Zeigler Chrysler Dodge Jeep, LLC									
606766	Parts - C-371/Stock	Open		04/28/2026	05/28/2026	05/05/2026			346.50
Vendor 3300 - Zeigler Chrysler Dodge Jeep, LLC Totals							Invoices	1	<u>\$346.50</u>
Vendor 1919 - Zoll Medical Corporation									
4478848	Pediatric Electrode	Open		04/22/2026	05/21/2026	05/06/2026			733.90
Vendor 1919 - Zoll Medical Corporation Totals							Invoices	1	<u>\$733.90</u>
Vendor Margaret Stahl Espinosa									
PAF25-08922	Ambulance Fee Refund	Open		05/12/2026	05/12/2026	05/12/2026			117.74
Vendor Margaret Stahl Espinosa Totals							Invoices	1	<u>\$117.74</u>
Vendor Luke Kozlowski									
2026-00000384	Sign Refund - 574 W Colfax	Open		05/01/2026	05/01/2026	05/01/2026			125.00
Vendor Luke Kozlowski Totals							Invoices	1	<u>\$125.00</u>
Vendor Liston & Tsantilis									
2026-00000400	Sign Refund 560 S Hicks Rd	Open		05/12/2026	05/12/2026	05/12/2026			125.00
Vendor Liston & Tsantilis Totals							Invoices	1	<u>\$125.00</u>
Vendor Liston & Tsantilis									
2026-00000408	Sign Refund SU-000227	Open		05/12/2026	05/12/2026	05/12/2026			125.00
Vendor Liston & Tsantilis Totals							Invoices	1	<u>\$125.00</u>
Vendor Meridian Health Plan of Illinois, Inc									
PAF24-04811	Ambulance Fee Refund	Open		05/12/2026	05/12/2026	05/12/2026			333.60
Vendor Meridian Health Plan of Illinois, Inc Totals							Invoices	1	<u>\$333.60</u>
Vendor Meridian Health Plan of Illinois, Inc									
PAF23-06527	Ambulance Fee Refund	Open		05/12/2026	05/12/2026	05/12/2026			39.20
Vendor Meridian Health Plan of Illinois, Inc Totals							Invoices	1	<u>\$39.20</u>
Vendor Principle Construction Corp									
2026-00000409	Sign Refund - FPD-00247	Open		05/12/2026	05/12/2026	05/12/2026			250.00
Vendor Principle Construction Corp Totals							Invoices	1	<u>\$250.00</u>
Vendor Cherie A Uricek									
PAF25-07502	Ambulance Fee Refund	Open		05/12/2026	05/12/2026	05/12/2026			118.29
Vendor Cherie A Uricek Totals							Invoices	1	<u>\$118.29</u>
Vendor Alexis Zgoda									
PAF25-06800	Ambulance Fee Refund	Open		05/12/2026	05/12/2026	05/12/2026			118.47



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Invoice Number	Invoice Description	Status	Held Reason	Invoice Date	Due Date	G/L Date	Received Date	Payment Date	Invoice Net Amount
	Vendor Alexis Zgoda Totals					Invoices	1		\$118.47
	Grand Totals					Invoices	301		\$3,334,610.96



Warrant #10 EFT #1

Payment Date Range 05/11/26 - 05/11/26
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 Summary Listing

Invoice Number	Invoice Description	Status	Held Reason	Invoice Date	Due Date	G/L Date	Received Date	Payment Date	Invoice Net Amount
Vendor 4466 - JP Morgan Chase Bank Commercial Card									
HSV-042726-1	MARIANOS #505 PALATINE	Paid by EFT #17768		04/27/2026	05/11/2026	05/11/2026		05/11/2026	37.80
HSV-042726-2	AMAZON MKTPL*BY35G8422	Paid by EFT #17769		04/27/2026	05/11/2026	05/11/2026		05/11/2026	32.99
HSV-042726-3	TST*BRANDTS OF PALATIN	Paid by EFT #17770		04/27/2026	05/11/2026	05/11/2026		05/11/2026	184.13
ADB-042726-1	Emmett's	Paid by EFT #17753		04/27/2026	05/11/2026	05/11/2026		05/11/2026	77.25
FIN-042726-1	Amazon	Paid by EFT #17625		04/27/2026	05/11/2026	05/11/2026		05/11/2026	17.56
FIN-042726-2	Amazon	Paid by EFT #17626		04/27/2026	05/11/2026	05/11/2026		05/11/2026	8.97
FIN-042726-3	Amazon	Paid by EFT #17627		04/27/2026	05/11/2026	05/11/2026		05/11/2026	56.61
FIN-042726-4	Amazon	Paid by EFT #17628		04/27/2026	05/11/2026	05/11/2026		05/11/2026	39.42
FIN-042726-5	Amazon	Paid by EFT #17629		04/27/2026	05/11/2026	05/11/2026		05/11/2026	30.31
FIN-042726-6	Amazon	Paid by EFT #17630		04/27/2026	05/11/2026	05/11/2026		05/11/2026	13.98
FIN-042726-7	Groot Industries	Paid by EFT #17631		04/27/2026	05/11/2026	05/11/2026		05/11/2026	280,857.50
FIN-042726-8	Federal Express	Paid by EFT #17632		04/27/2026	05/11/2026	05/11/2026		05/11/2026	214.59
FIN-042726-9	Federal Express	Paid by EFT #17633		04/27/2026	05/11/2026	05/11/2026		05/11/2026	46.38
SMS-042726-1	IGFOA	Paid by EFT #17710		04/27/2026	05/11/2026	05/11/2026		05/11/2026	60.00
MPP-042726-1	JOBMATCH - APPLICANT PRO	Paid by EFT #17692		04/27/2026	05/11/2026	05/11/2026		05/11/2026	1,272.00
MPP-042726-2	AMAZON MKTPL	Paid by EFT #17693		04/27/2026	05/11/2026	05/11/2026		05/11/2026	58.41
JHH-042726-1	MARRIOT HOTEL & CONF NORMAL IL	Paid by EFT #17754		04/27/2026	05/11/2026	05/11/2026		05/11/2026	552.94
LAS-042726-1	MAGGIE MILEYS NORMAL IL	Paid by EFT #17762		04/27/2026	05/11/2026	05/11/2026		05/11/2026	98.11
LAS-042726-2	MARRIOT HOTEL & CONF NORMAL IL	Paid by EFT #17763		04/27/2026	05/11/2026	05/11/2026		05/11/2026	523.26
RLM-042726-1	AMAZON.COM*B58IM6LHO SEATTLE WA	Paid by EFT #17672		04/27/2026	05/11/2026	05/11/2026		05/11/2026	469.00
RLM-042726-10	AMAZON MKTPL*BC9D94VI1 SEATTLE WA	Paid by EFT #17679		04/27/2026	05/11/2026	05/11/2026		05/11/2026	429.85
RLM-042726-11	AMAZON MKTPL*B73UQ29B2 SEATTLE WA	Paid by EFT #17680		04/27/2026	05/11/2026	05/11/2026		05/11/2026	171.94
RLM-042726-12	AMAZON MKTPL*BC5A24NK0 SEATTLE WA	Paid by EFT #17681		04/27/2026	05/11/2026	05/11/2026		05/11/2026	429.85
RLM-042726-13	AMAZON MKTPL*BC87185E1 SEATTLE WA	Paid by EFT #17682		04/27/2026	05/11/2026	05/11/2026		05/11/2026	429.85
RLM-042726-14	AMAZON MKTPL*B720D0IR2 SEATTLE WA	Paid by EFT #17683		04/27/2026	05/11/2026	05/11/2026		05/11/2026	164.50
RLM-042726-15	AMAZON MKTPL*BC0BA5BW1 SEATTLE WA	Paid by EFT #17684		04/27/2026	05/11/2026	05/11/2026		05/11/2026	429.85
RLM-042726-16	AMAZON MKTPL*B790X7WI2 SEATTLE WA	Paid by EFT #17685		04/27/2026	05/11/2026	05/11/2026		05/11/2026	429.85



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RLM-042726-17	AMAZON MKTPL*B72P65Y62 SEATTLE WA	Paid by EFT #17686		04/27/2026	05/11/2026	05/11/2026		05/11/2026	39.98
RLM-042726-18	OPENAI *CHATGPT SUBSCR SAN FRANCISCO CA	Paid by EFT #17687		04/27/2026	05/11/2026	05/11/2026		05/11/2026	20.00
RLM-042726-19	AMAZON MKTPL*B721J5B70 SEATTLE WA	Paid by EFT #17688		04/27/2026	05/11/2026	05/11/2026		05/11/2026	83.99
RLM-042726-2	GOOGLE WORKSPACE_PALAT MOUNTAIN VIEW CA	Paid by EFT #17669		04/27/2026	05/11/2026	05/11/2026		05/11/2026	84.00
RLM-042726-20	AMAZON MKTPL*BY5PZ7ZP1 SEATTLE WA	Paid by EFT #17689		04/27/2026	05/11/2026	05/11/2026		05/11/2026	239.94
RLM-042726-21	AMAZON MKTPL*BS03G3X72 SEATTLE WA	Paid by EFT #17690		04/27/2026	05/11/2026	05/11/2026		05/11/2026	321.99
RLM-042726-22	WWW COSTCO COM ISSAQUAH WA	Paid by EFT #17671		04/27/2026	05/11/2026	05/11/2026		05/11/2026	903.09
RLM-042726-23	AMAZON MKTPL*BJ2FZ61B2 SEATTLE WA	Paid by EFT #17691		04/27/2026	05/11/2026	05/11/2026		05/11/2026	14.24
RLM-042726-3	MSFT * E0300ZC4JZ REDMOND WA	Paid by EFT #17670		04/27/2026	05/11/2026	05/11/2026		05/11/2026	677.02
RLM-042726-4	AMAZON MKPL*BG1AO6W40 SEATTLE WA	Paid by EFT #17673		04/27/2026	05/11/2026	05/11/2026		05/11/2026	429.85
RLM-042726-5	AMAZON MKTPL*BG1AO6W40 SEATTLE WA	Paid by EFT #17674		04/27/2026	05/11/2026	05/11/2026		05/11/2026	429.85
RLM-042726-6	AMAZON MKTPL*BG2CJ6WL0 SEATTLE WA	Paid by EFT #17675		04/27/2026	05/11/2026	05/11/2026		05/11/2026	429.85
RLM-042726-7	AMAZON MKTPL*B764A0QI2 SEATTLE WA	Paid by EFT #17676		04/27/2026	05/11/2026	05/11/2026		05/11/2026	429.85
RLM-042726-8	AMAZON MKTPL*B775Z46W2 SEATTLE WA	Paid by EFT #17677		04/27/2026	05/11/2026	05/11/2026		05/11/2026	24.16
RLM-042726-9	AMAZON MKTPL*BC5NB6GX1 SEATTLE WA	Paid by EFT #17678		04/27/2026	05/11/2026	05/11/2026		05/11/2026	429.85
ATR-042726-1	FSP IACE Skokie IL	Paid by EFT #17723		04/27/2026	05/11/2026	05/11/2026		05/11/2026	75.00
ATR-042726-2	IL PROF LICENSE FEE SPRINGFIELD IL	Paid by EFT #17724		04/27/2026	05/11/2026	05/11/2026		05/11/2026	153.38
DLA-042726	DSW QUENTIN COLLECTION KILDEER IL	Paid by EFT #17722		04/27/2026	05/11/2026	05/11/2026		05/11/2026	64.79
MWJ-042726-1	FSP*SUBURBAN BUILDING WOODRIDGE IL	Paid by EFT #17787		04/27/2026	05/11/2026	05/11/2026		05/11/2026	30.00
MWJ-042726-2	AMAZON MKTPL*BY3WZ2IE1 SEATTLE WA	Paid by EFT #17788		04/27/2026	05/11/2026	05/11/2026		05/11/2026	15.63



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MWJ-042726-3	AMAZON MKTPL*BJ20L2Z82 SEATTLE WA	Paid by EFT #17789		04/27/2026	05/11/2026	05/11/2026		05/11/2026	11.88
ARC-042726-1	Vistaprint	Paid by EFT #17755		04/27/2026	05/11/2026	05/11/2026		05/11/2026	32.97
BJG-042726-1	I Hotel & Illinois Conference Center	Paid by EFT #17764		04/27/2026	05/11/2026	05/11/2026		05/11/2026	599.00
DEB-042726-1	Mariano's	Paid by EFT #17734		04/27/2026	05/11/2026	05/11/2026		05/11/2026	65.39
GBG-042726-1	Crowne Plaza	Paid by EFT #17639		04/27/2026	05/11/2026	05/11/2026		05/11/2026	250.80
PAC-042726-1	Amazon.Com	Paid by EFT #17711		04/27/2026	05/11/2026	05/11/2026		05/11/2026	89.99
PAC-042726-2	Amazon Marketplace	Paid by EFT #17712		04/27/2026	05/11/2026	05/11/2026		05/11/2026	74.53
PAC-042726-3	Amazon Marketplace	Paid by EFT #17713		04/27/2026	05/11/2026	05/11/2026		05/11/2026	21.25
PAC-042726-4	Amazon.Com	Paid by EFT #17714		04/27/2026	05/11/2026	05/11/2026		05/11/2026	87.99
PAC-042726-5	Amazon Marketplace	Paid by EFT #17715		04/27/2026	05/11/2026	05/11/2026		05/11/2026	61.60
PAC-042726-6	Amazon Marketplace	Paid by EFT #17716		04/27/2026	05/11/2026	05/11/2026		05/11/2026	19.99
PAC-042726-7	Ray O'Herron Co	Paid by EFT #17717		04/27/2026	05/11/2026	05/11/2026		05/11/2026	1,478.01
PAC-042726-8	Ray O'Herron Co	Paid by EFT #17718		04/27/2026	05/11/2026	05/11/2026		05/11/2026	1,496.35
PAC-042726-9	Vistaprint	Paid by EFT #17719		04/27/2026	05/11/2026	05/11/2026		05/11/2026	30.98
ARL-042726-1	Illinois Dept of Public Health	Paid by EFT #17747		04/27/2026	05/11/2026	05/11/2026		05/11/2026	41.00
ARL-042726-2	Illinois Dept of Public Health	Paid by EFT #17748		04/27/2026	05/11/2026	05/11/2026		05/11/2026	41.00
ARL-042726-3	Hong Kong Lite	Paid by EFT #17749		04/27/2026	05/11/2026	05/11/2026		05/11/2026	92.91
CJZ-042726-1	Ace Hardware	Paid by EFT #17750		04/27/2026	05/11/2026	05/11/2026		05/11/2026	28.04
JJA-042726-1	McDonald's	Paid by EFT #17765		04/27/2026	05/11/2026	05/11/2026		05/11/2026	8.76
JJA-042726-2	PAR-A-Dice Hotel	Paid by EFT #17766		04/27/2026	05/11/2026	05/11/2026		05/11/2026	383.04
JJA-042726-3	Circle K	Paid by EFT #17767		04/27/2026	05/11/2026	05/11/2026		05/11/2026	40.28
KV-042726-1	Scouting Registration	Paid by EFT #17751		04/27/2026	05/11/2026	05/11/2026		05/11/2026	63.86
KV-042726-2	Home Depot	Paid by EFT #17752		04/27/2026	05/11/2026	05/11/2026		05/11/2026	10.97
RRK-042726-1	IL-IAAI	Paid by EFT #17667		04/27/2026	05/11/2026	05/11/2026		05/11/2026	110.00
RRK-042726-2	Fire Nuggets Inc	Paid by EFT #17668		04/27/2026	05/11/2026	05/11/2026		05/11/2026	350.00
SEM-042726-1	Amazon	Paid by EFT #17771		04/27/2026	05/11/2026	05/11/2026		05/11/2026	18.58
SEM-042726-10	EZCater	Paid by EFT #17780		04/27/2026	05/11/2026	05/11/2026		05/11/2026	280.58
SEM-042726-11	Amazon	Paid by EFT #17781		04/27/2026	05/11/2026	05/11/2026		05/11/2026	43.49
SEM-042726-12	Amazon	Paid by EFT #17782		04/27/2026	05/11/2026	05/11/2026		05/11/2026	45.26
SEM-042726-13	ZIP Specialties	Paid by EFT #17783		04/27/2026	05/11/2026	05/11/2026		05/11/2026	155.00
SEM-042726-14	Vistaprint	Paid by EFT #17784		04/27/2026	05/11/2026	05/11/2026		05/11/2026	71.97
SEM-042726-15	Murphy Bed Depot	Paid by EFT #17785		04/27/2026	05/11/2026	05/11/2026		05/11/2026	549.00
SEM-042726-16	Sarpinos	Paid by EFT #17786		04/27/2026	05/11/2026	05/11/2026		05/11/2026	109.57
SEM-042726-2	Amazon	Paid by EFT #17772		04/27/2026	05/11/2026	05/11/2026		05/11/2026	143.99
SEM-042726-3	Amazon	Paid by EFT #17773		04/27/2026	05/11/2026	05/11/2026		05/11/2026	65.49
SEM-042726-4	Amazon	Paid by EFT #17774		04/27/2026	05/11/2026	05/11/2026		05/11/2026	52.20
SEM-042726-5	Eurofresh	Paid by EFT #17775		04/27/2026	05/11/2026	05/11/2026		05/11/2026	70.52
SEM-042726-6	Jewel	Paid by EFT #17776		04/27/2026	05/11/2026	05/11/2026		05/11/2026	58.70
SEM-042726-7	Illinois Department of Public Health	Paid by EFT #17777		04/27/2026	05/11/2026	05/11/2026		05/11/2026	41.00
SEM-042726-8	Jewel	Paid by EFT #17778		04/27/2026	05/11/2026	05/11/2026		05/11/2026	20.93



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SEM-042726-9	Amazon	Paid by EFT #17779		04/27/2026	05/11/2026	05/11/2026		05/11/2026	132.27
AJB-042726-1	Zoro Tools Inc.	Paid by EFT #17728		04/27/2026	05/11/2026	05/11/2026		05/11/2026	152.55
AJB-042726-2	Zoro Tools Inc.	Paid by EFT #17729		04/27/2026	05/11/2026	05/11/2026		05/11/2026	232.59
AJB-042726-3	Grainger	Paid by EFT #17730		04/27/2026	05/11/2026	05/11/2026		05/11/2026	660.72
AJB-042726-4	Zoro Tools Inc.	Paid by EFT #17731		04/27/2026	05/11/2026	05/11/2026		05/11/2026	245.88
AJB-042726-5	Grainger	Paid by EFT #17732		04/27/2026	05/11/2026	05/11/2026		05/11/2026	20.22
AJB-042726-6	Grainger	Paid by EFT #17733		04/27/2026	05/11/2026	05/11/2026		05/11/2026	106.03
DVN-042726-1	Home Depot	Paid by EFT #17737		04/27/2026	05/11/2026	05/11/2026		05/11/2026	59.90
GSR-042726-1	Illinois AWWA	Paid by EFT #17725		04/27/2026	05/11/2026	05/11/2026		05/11/2026	1,800.00
GSR-042726-2	Stoney Creek Inn	Paid by EFT #17726		04/27/2026	05/11/2026	05/11/2026		05/11/2026	253.12
GSR-042726-3	Stoney Creek Inn	Paid by EFT #17727		04/27/2026	05/11/2026	05/11/2026		05/11/2026	253.12
JEK-042726-1	Home Depot	Paid by EFT #17738		04/27/2026	05/11/2026	05/11/2026		05/11/2026	155.28
JEK-042726-2	Wally's Pontiac	Paid by EFT #17739		04/27/2026	05/11/2026	05/11/2026		05/11/2026	58.03
JM-042726-1	Amazon Marketplace	Paid by EFT #17640		04/27/2026	05/11/2026	05/11/2026		05/11/2026	29.96
JM-042726-10	Amazon.com	Paid by EFT #17649		04/27/2026	05/11/2026	05/11/2026		05/11/2026	9.44
JM-042726-11	Amazon Marketplace	Paid by EFT #17650		04/27/2026	05/11/2026	05/11/2026		05/11/2026	626.17
JM-042726-12	Amazon Marketplace	Paid by EFT #17651		04/27/2026	05/11/2026	05/11/2026		05/11/2026	8.95
JM-042726-13	Amazon.com	Paid by EFT #17652		04/27/2026	05/11/2026	05/11/2026		05/11/2026	51.22
JM-042726-14	Home Depot	Paid by EFT #17653		04/27/2026	05/11/2026	05/11/2026		05/11/2026	598.00
JM-042726-15	Amazon Marketplace	Paid by EFT #17654		04/27/2026	05/11/2026	05/11/2026		05/11/2026	295.92
JM-042726-16	Amazon Marketplace	Paid by EFT #17655		04/27/2026	05/11/2026	05/11/2026		05/11/2026	74.00
JM-042726-17	Amazon.com	Paid by EFT #17656		04/27/2026	05/11/2026	05/11/2026		05/11/2026	24.02
JM-042726-18	Amazon Marketplace	Paid by EFT #17657		04/27/2026	05/11/2026	05/11/2026		05/11/2026	19.99
JM-042726-19	Amazon Marketplace	Paid by EFT #17658		04/27/2026	05/11/2026	05/11/2026		05/11/2026	143.90
JM-042726-2	Amazon Marketplace	Paid by EFT #17641		04/27/2026	05/11/2026	05/11/2026		05/11/2026	177.30
JM-042726-20	Amazon Marketplace	Paid by EFT #17659		04/27/2026	05/11/2026	05/11/2026		05/11/2026	19.94
JM-042726-21	Amazon Marketplace	Paid by EFT #17660		04/27/2026	05/11/2026	05/11/2026		05/11/2026	64.58
JM-042726-22	Amazon Marketplace	Paid by EFT #17661		04/27/2026	05/11/2026	05/11/2026		05/11/2026	44.10
JM-042726-23	Amazon Marketplace	Paid by EFT #17662		04/27/2026	05/11/2026	05/11/2026		05/11/2026	69.98
JM-042726-24	Einstein Bros Bagels	Paid by EFT #17663		04/27/2026	05/11/2026	05/11/2026		05/11/2026	79.57
JM-042726-25	UPS*Billing Center	Paid by EFT #17664		04/27/2026	05/11/2026	05/11/2026		05/11/2026	20.37
JM-042726-26	UPS*Billing Center	Paid by EFT #17665		04/27/2026	05/11/2026	05/11/2026		05/11/2026	26.29
JM-042726-27	UPS*Billing Center	Paid by EFT #17666		04/27/2026	05/11/2026	05/11/2026		05/11/2026	36.12
JM-042726-3	Amazon Marketplace	Paid by EFT #17642		04/27/2026	05/11/2026	05/11/2026		05/11/2026	213.30
JM-042726-4	Amazon Marketplace	Paid by EFT #17643		04/27/2026	05/11/2026	05/11/2026		05/11/2026	6.99
JM-042726-5	Amazon Marketplace	Paid by EFT #17644		04/27/2026	05/11/2026	05/11/2026		05/11/2026	19.72
JM-042726-6	Amazon Marketplace	Paid by EFT #17645		04/27/2026	05/11/2026	05/11/2026		05/11/2026	36.98
JM-042726-7	Amazon.com	Paid by EFT #17646		04/27/2026	05/11/2026	05/11/2026		05/11/2026	92.48
JM-042726-8	Amazon.com	Paid by EFT #17647		04/27/2026	05/11/2026	05/11/2026		05/11/2026	35.56
JM-042726-9	Amazon Marketplace	Paid by EFT #17648		04/27/2026	05/11/2026	05/11/2026		05/11/2026	379.18
JRK-042726-1	Grainger	Paid by EFT #17740		04/27/2026	05/11/2026	05/11/2026		05/11/2026	114.23
JRK-042726-2	Grainger	Paid by EFT #17741		04/27/2026	05/11/2026	05/11/2026		05/11/2026	88.40



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 Summary Listing

Invoice Number	Invoice Description	Status	Held Reason	Invoice Date	Due Date	G/L Date	Received Date	Payment Date	Invoice Net Amount
JRK-042726-3	Home Depot	Paid by EFT #17742		04/27/2026	05/11/2026	05/11/2026		05/11/2026	59.94
JRK-042726-4	Grainger	Paid by EFT #17743		04/27/2026	05/11/2026	05/11/2026		05/11/2026	56.96
JRK-042726-5	AllData	Paid by EFT #17744		04/27/2026	05/11/2026	05/11/2026		05/11/2026	1,500.00
JRK-042726-6	Rainstorm	Paid by EFT #17745		04/27/2026	05/11/2026	05/11/2026		05/11/2026	491.59
JRK-042726-7	Zeigler Chrysler Dodge	Paid by EFT #17746		04/27/2026	05/11/2026	05/11/2026		05/11/2026	818.39
KML-042726-1	Power Products	Paid by EFT #17757		04/27/2026	05/11/2026	05/11/2026		05/11/2026	1,812.05
KML-042726-2	Pelra	Paid by EFT #17758		04/27/2026	05/11/2026	05/11/2026		05/11/2026	325.00
KML-042726-3	Pure Air Natives Inc.	Paid by EFT #17759		04/27/2026	05/11/2026	05/11/2026		05/11/2026	450.00
KML-042726-4	Pelra	Paid by EFT #17760		04/27/2026	05/11/2026	05/11/2026		05/11/2026	325.00
KML-042726-5	Pelra	Paid by EFT #17761		04/27/2026	05/11/2026	05/11/2026		05/11/2026	325.00
MB-042726-1	Stoney Creek	Paid by EFT #17634		04/27/2026	05/11/2026	05/11/2026		05/11/2026	138.88
MB-042726-2	JXTC	Paid by EFT #17635		04/27/2026	05/11/2026	05/11/2026		05/11/2026	3,663.23
MB-042726-3	JXTC	Paid by EFT #17636		04/27/2026	05/11/2026	05/11/2026		05/11/2026	(411.60)
MB-042726-4	76 -Main East Peoria	Paid by EFT #17637		04/27/2026	05/11/2026	05/11/2026		05/11/2026	60.26
MIH-042726-1	Home Depot	Paid by EFT #17756		04/27/2026	05/11/2026	05/11/2026		05/11/2026	129.90
MJK-042726-1	Home Depot	Paid by EFT #17707		04/27/2026	05/11/2026	05/11/2026		05/11/2026	99.00
MJK-042726-2	Mutual Ace Palatine	Paid by EFT #17708		04/27/2026	05/11/2026	05/11/2026		05/11/2026	23.01
MJK-042726-3	Mutual Ace Palatine	Paid by EFT #17709		04/27/2026	05/11/2026	05/11/2026		05/11/2026	29.69
MWK-042726-1	Grainger	Paid by EFT #17694		04/27/2026	05/11/2026	05/11/2026		05/11/2026	30.28
MWK-042726-10	SOI NEXIQ	Paid by EFT #17703		04/27/2026	05/11/2026	05/11/2026		05/11/2026	192.00
MWK-042726-11	Stock Interiors	Paid by EFT #17704		04/27/2026	05/11/2026	05/11/2026		05/11/2026	245.35
MWK-042726-12	Don Brown	Paid by EFT #17705		04/27/2026	05/11/2026	05/11/2026		05/11/2026	129.07
MWK-042726-13	Zeigler Chrysler Dodge	Paid by EFT #17706		04/27/2026	05/11/2026	05/11/2026		05/11/2026	522.10
MWK-042726-2	Grainger	Paid by EFT #17695		04/27/2026	05/11/2026	05/11/2026		05/11/2026	384.72
MWK-042726-3	Grainger	Paid by EFT #17696		04/27/2026	05/11/2026	05/11/2026		05/11/2026	140.61
MWK-042726-4	Grainger	Paid by EFT #17697		04/27/2026	05/11/2026	05/11/2026		05/11/2026	48.44
MWK-042726-5	Mutual Ace Hardware	Paid by EFT #17698		04/27/2026	05/11/2026	05/11/2026		05/11/2026	11.86
MWK-042726-6	Home Depot	Paid by EFT #17699		04/27/2026	05/11/2026	05/11/2026		05/11/2026	10.98
MWK-042726-7	Grainger	Paid by EFT #17700		04/27/2026	05/11/2026	05/11/2026		05/11/2026	3.91
MWK-042726-8	Grainger	Paid by EFT #17701		04/27/2026	05/11/2026	05/11/2026		05/11/2026	52.47
MWK-042726-9	Grainger	Paid by EFT #17702		04/27/2026	05/11/2026	05/11/2026		05/11/2026	5.28
RLK-042726-1	Sherwin-Williams	Paid by EFT #17720		04/27/2026	05/11/2026	05/11/2026		05/11/2026	56.57
RLK-042726-2	Menards	Paid by EFT #17721		04/27/2026	05/11/2026	05/11/2026		05/11/2026	45.46
SAD-042726-1	Russo Power Equipment	Paid by EFT #17638		04/27/2026	05/11/2026	05/11/2026		05/11/2026	890.93
SC-042726-1	Menards	Paid by EFT #17735		04/27/2026	05/11/2026	05/11/2026		05/11/2026	268.99
SC-042726-2	Home Depot	Paid by EFT #17736		04/27/2026	05/11/2026	05/11/2026		05/11/2026	40.72
Vendor 4466 - JP Morgan Chase Bank Commercial Card Totals						Invoices	165		\$319,762.64
Grand Totals						Invoices	165		\$319,762.64



Warrant #10 EFT #2

Payment Date Range 05/29/26 - 05/29/26
 Report By Vendor - Invoice
 Summary Listing

Invoice Number	Invoice Description	Status	Held Reason	Invoice Date	Due Date	G/L Date	Received Date	Payment Date	Invoice Net Amount
Vendor 4650 - Amalgamated Bank of Chicago									
2017D - 06/2026	Debt Service	Paid by EFT #17604		04/23/2026	05/29/2026	05/29/2026		05/29/2026	11,175.00
2018 - 06/2026	Debt Service	Paid by EFT #17603		04/23/2026	05/29/2026	05/29/2026		05/29/2026	69,750.00
2020 - 06/2026	Debt Service	Paid by EFT #17602		04/23/2026	05/29/2026	05/29/2026		05/29/2026	209,853.13
Vendor 4650 - Amalgamated Bank of Chicago Totals						Invoices	3		<u>\$290,778.13</u>
Grand Totals						Invoices	3		<u><u>\$290,778.13</u></u>



Warrant #10 EFT #3

Payment Date Range 05/12/26 - 05/12/26
 Report By Vendor - Invoice
 Summary Listing

Invoice Number	Invoice Description	Status	Held Reason	Invoice Date	Due Date	G/L Date	Received Date	Payment Date	Invoice Net Amount
Vendor 2819 - IL Department Of Emplmnt Security 2026-00000407	2026 1st Quarter Unemployment Claims	Paid by EFT #17790		05/12/2026	05/12/2026	05/12/2026		05/12/2026	2,370.50
		Vendor 2819 - IL Department Of Emplmnt Security Totals				Invoices	1		<u>\$2,370.50</u>
		Grand Totals				Invoices	1		<u><u>\$2,370.50</u></u>



Warrant #10 EFT #4

Payment Date Range 05/07/26 - 05/07/26
 Report By Vendor - Invoice
 Summary Listing

Invoice Number	Invoice Description	Status	Held Reason	Invoice Date	Due Date	G/L Date	Received Date	Payment Date	Invoice Net Amount
Vendor 3713 - Cook County Treasurer									
CY2025 Prop Tax	CY2025 Property Tax Pmt - 21 W Railroad	Paid by EFT #17791		05/07/2026	05/07/2026	05/07/2026		05/07/2026	6,090.45
		Vendor 3713 - Cook County Treasurer Totals				Invoices	1		\$6,090.45
		Grand Totals				Invoices	1		\$6,090.45



Warrant #10 Reissue #1

Payment Date Range 05/11/26 - 05/11/26
 Report By Vendor - Invoice
 Summary Listing

Invoice Number	Invoice Description	Status	Held Reason	Invoice Date	Due Date	G/L Date	Received Date	Payment Date	Invoice Net Amount
Vendor 2555 - Chicago Parts & Sound 40V0092333	Parts - Stock	Paid by Check #270101		01/05/2026	02/04/2026	01/13/2026		05/11/2026	358.82
		Vendor 2555 - Chicago Parts & Sound Totals				Invoices	1		<u>\$358.82</u>
		Grand Totals				Invoices	1		<u><u>\$358.82</u></u>

Village of Palatine
Payment Batch Register

Bank Account: AP - Accounts Payable ZBA

Batch Date: 05/01/2026

Type	Date	Number	Source	Payee Name	EFT Bank/Account	Transaction Amount
Bank Account: AP - Accounts Payable ZBA						
Check	05/01/2026	270097	Utility Management Refund	AYYASH , NABIL		12.33
		Account Type		Account Number	Transaction Date	Transaction Type
		Residential - Single Family		103983202-004	05/01/2026	Refund
Check	05/01/2026	270098	Utility Management Refund	MARCONI , JERI		45.81
		Account Type		Account Number	Transaction Date	Transaction Type
		Residential - Single Family		100312806-002	05/01/2026	Refund
AP Accounts Payable ZBA Totals:				Transactions: 2		\$58.14
Checks:		2		\$58.14		

Village of Palatine
Payment Batch Register

Bank Account: AP - Accounts Payable ZBA

Batch Date: 05/08/2026

Type	Date	Number	Source	Payee Name	EFT Bank/Account	Transaction Amount
Bank Account: AP - Accounts Payable ZBA						
Check	05/08/2026	270099	Utility Management Refund	GILOWSKI , ARTHUR		11.02
		Account Type		Account Number	Transaction Date	Transaction Type
		Residential - Single Family		101010902-001	05/07/2026	Refund
Check	05/08/2026	270100	Utility Management Refund	KELLY , ALINA		195.20
		Account Type		Account Number	Transaction Date	Transaction Type
		Residential - Single Family		230002002-003	05/06/2026	Refund
AP Accounts Payable ZBA Totals:				Transactions: 2		\$206.22
	Checks:	2		\$206.22		

Consider an Ordinance Approving an Amendment to the Slade Street Crossing Planned Development and a Special Use for a Fence in the Side Yard Abutting a Street at 4 E. Slade Street

BACKGROUND:

The Subject Property is located within the Slade Street Crossing development (containing 5 single-family lots) at the northeast corner of Plum Grove Road and Slade Street. The four eastern lots (Lots 2 - 5) have all been developed and occupied. Lot 1 (4 E. Slade Street), adjacent to Plum Grove Road, remains undeveloped. The Developer is proposing to install a 4-foot tall picket fence along the Plum Grove Road frontage with a setback of 3 feet from the western property line. Although the height, setback, and openness would typically be permitted through a standard building permit, the Zoning Ordinance requires that any fencing in the side yard abutting a street yard, which also abuts the side lot line of a front yard (49 N. Plum Grove Road), requires a Special Use. Additionally, the architectural plans for Lot 1 are proposed for amendment, with an approximately 84 square foot patio, exit landing, and descending stairs proposed on the west side of the proposed home. Therefore, the Petitioner is requesting approval of the following:

- 1) Planned Development Amendment to permit a raised exit landing, with stairs providing access to the yard on the west side of the proposed home for Lot 1 (4 E. Slade Street), and a patio to be located within the side yard abutting a street yard; and**
- 2) Special Use to permit a 4-foot tall picket-style fence, with an approximately 3-foot setback, in the side yard abutting a street, where the side lot line of said side yard abutting a street abuts the side lot line of a front yard of an adjacent lot.**

KEY ISSUES:

- The fence would begin approximately 8 feet behind the front porch of the proposed home and run north for approximately 52 feet along the Plum Grove Road property line. The proposed fence stops in line with the northwest corner of the proposed home at the garage. Per Code, fences are permitted in the side yard abutting a street yard at the proposed height, level of openness, and setback, if the lot does not abut the side lot line of an adjacent lot's front yard.
- As Lot 1 abuts the side lot line of the front yard of the existing home at 49 N. Plum Grove Road, Special Use review is required. The proposed fence will be set back approximately 37 feet from the shared lot line with 49 N. Plum Grove Road. Due to the proposed height, open-style, and setback, Staff does not see any impact of the proposed fence upon the neighboring property.
- Additional architectural changes are also proposed for the western elevation of

Lot 1. The proposed garage for Lot 1 would be slightly wider than was initially anticipated, although the approved 15-foot setback from the Plum Grove Road property line would be maintained. The widened garage would be on the east side of the lot. The home's patio would relocate to the west side of the home, in addition to an exit landing, and descending stairs coming from the dining room.

As these items were not components of the Final Architectural Plans, a Planned Development Amendment is also required.

BUDGET IMPACT:

N/A

RECOMMENDATION:

Public Hearing: Planning & Zoning Commission (PZC) meeting on April 28, 2026.

Residents testifying: None.

Vote: The PZC voted unanimously to approve the Special Use and Staff concurs.

ACTION REQUIRED:

Motion to approve an ordinance granting an Amendment to the Slade Street Crossing Planned Development and a Special Use to allow a 4-foot-tall fence in the side yard abutting a street for 4 E. Slade Street.

ATTACHMENTS:

None

Consider an Ordinance Approving a Special Use to Permit a Use that Will Provide for the Transfer, Storage, and Treatment of General Construction Materials, Demolition Debris, and Wood Waste and Accessory Permitted Office Uses at 560 S. Hicks Road

BACKGROUND:

The Subject Property, approximately 2.4 acres, is zoned Manufacturing. The property contains an approximately 60,000 square foot building, associated parking lot, and exterior paved areas. Economy Disposal Service (EDS) is proposing to operate another material processing facility (EDS operates a similar facility directly south at 630 S. Hicks Road). The Village Code was amended in 2005 to include services for the "... Transfer, Storage, and Treatment of General Construction Materials, Demolition Debris, and Wood Waste..." as a Special Use in the Manufacturing District. Therefore, the Petitioners are requesting approval of the following:

Special Use to allow for a use that will provide for the transfer, storage, and treatment of general construction materials, demolition debris, and wood waste and accessory permitted office uses.

KEY ISSUES:

- The Petitioners have acquired the property and are proposing to expand their Economy Disposal Service into the Subject Property. The existing waste management uses and operations at 630 S. Hicks Road would continue to function at their current capacity and the Subject Property would function similarly.
- The proposed materials served by the 560 building would include brick, concrete, and masonry materials, rock, and wood (including non-hazardous painted, treated and coated wood, and wood products). Additionally, such construction materials and debris, including plaster, drywall, plumbing fixtures, non-asbestos insulation, roofing materials, asphalt, glass, plastics (not sealed to conceal waste/contaminates), and electric wiring or piping would also be processed.
- The Subject Building is approximately 60,000 square feet and the process management would include material sorting and bailing, followed by processing and refinement. The waste management process would be completed through packaging and distribution.
- The floor plan of the building would be separated into various stages and work areas to address the internal processing of each phase of the waste management process.
- The internal equipment necessary for the waste management services include balers, palletizing equipment, separators, conveyors, and quality testing units. The installation of these items would be subject to building permit review, which would also include an egress route to the exit doors on the west side of the

property. Although both waste management uses are proposed to operate on adjacent properties, the existing building and parking configurations are not conducive for any interconnections of the buildings and uses. Nevertheless, there is likely a shared benefit provided by the proximity of the buildings and uses.

- The submitted business plan and information indicate that the proposed business expansion would operate similarly to the existing Special Use at 630 S. Hicks Road. As the use is contemplated as a Special Use in the Manufacturing District, Staff does not believe that the use will impact the surrounding properties and is compatible with the surrounding manufacturing uses along Hicks Road.
- In addition to the proposed Special Use conditions, the waste management use would have to adhere to the Manufacturing District's performance standards.

BUDGET IMPACT:

N/A

RECOMMENDATION:

Public Hearing: Planning & Zoning Commission (PZC) meeting on April 28, 2026.

Residents testifying: None.

Vote: The PZC voted unanimously to approve the Special Use and Staff concurs.

ACTION REQUIRED:

A Motion to Approve a Special Use to Permit a Use that will Provide for the Transfer, Storage, and Treatment of General Construction Materials, Demolition Debris, and Wood Waste and Accessory Permitted Office Uses at 560 S. Hicks Road.

ATTACHMENTS:

None

Consider a Resolution of Support for the Filing of a 6B Cook County Tax Classification Application for the Property Located at 560 S. Hicks Road

BACKGROUND:

One of the economic development tools available to communities within Cook County is the 6B Tax Classification program. This program is designed to encourage industrial/manufacturing development through the reduction of a property's tax assessment over a twelve-year period. In conjunction with an application for the program, a resolution of support is required from the municipality in which the property is located. Therefore, the Petitioner is seeking approval of the following:

Resolution of support for the filing of a 6B Cook County Tax Classification application for the property located at 560 S. Hicks Road.

KEY ISSUES:

- The Petitioner, Taz Holdings, LLC, is seeking to complete a variety of improvements to the interior and exterior of the existing approximately 60,000 square foot building at 560 S. Hicks Road. The planned investment in the property will exceed \$1,000,000.
- Following completion of the proposed improvements, the Subject Property is projected to have a market value of approximately \$5,000,000, which would generate an estimated \$2,125,336 in total taxes over the life of the Class 6b Tax Incentive (an approximate average of \$157,000 per year).
- The Village Council previously approved similar 6B requests for other properties within the Village, including 315 and 514 S. Hicks Road.
- The Cook County 6B Tax Classification is used for property tax relief for industrial/manufacturing uses. Properties are assessed at 10% of market value for the first 10 years, 15% for the 11th year, and 20% in the 12th year. In the absence of this incentive, the property would normally be assessed at 25% of its market value.

BUDGET IMPACT:

N/A

RECOMMENDATION:

Staff recommends approval of the Resolution.

ACTION REQUIRED:

Motion to approve a resolution of support for the filing of a 6B Cook County Tax Classification for the property located at 560 S. Hicks Road.

ATTACHMENTS:
None

Consider an Ordinance Approving a Special Use Amendment to Allow for the Storage, Distribution, and General Cleaning of Portable Toilets for the Property Located at 630 S. Hicks Road

BACKGROUND:

The Subject Property, approximately 5.2 acres, is zoned Manufacturing. Economy Disposal Service has operated as a material processor and waste distributor at this location under an existing Special Use since 2005. The current owner acquired the business and completed a Special Use transfer in 2021. In 2025, the Village received an inquiry and concern regarding the storage of portable toilets on the Subject Property. As this was not part of the 2005 Special Use approval, Staff contacted the business owner and indicated that a Special Use Amendment would be required to allow the proposed operation. Therefore, the Petitioner is requesting approval of the following:

Special Use Amendment to Special Use # O-39-05 to allow for the storage, distribution, and general cleaning of portable toilets on the Subject Property.

KEY ISSUES:

- The Economy Disposal Service operates a material handling use, within numerous Special Use conditions. The Petitioners recently began servicing, renting, and supplying portable toilets and handwashing stations from this location. This service is regulated through licensure from the required Federal and State agencies, including the Illinois Department of Public Health, Cook County Public Health, and MWRD. The business plan further indicates compliance with the Clean Water Act and following OSHA standards. The Petitioner maintains active permits from the required regulatory agencies for this use. The business plan indicates that this operation includes 14 employees.
- All the toilet rental units are cleaned by a pumper truck at the customer location and then transferred to an external licensed treatment facility, prior to the clean pumper truck returning to S. Hicks Road. Therefore, no unclean/loaded toilets are ever returned to this location. Any general cleaning activities would not involve any sewage. Due to the rotation of toilets, when rented and in use, the Petitioners anticipate a maximum of 50 units being stored onsite, when otherwise not in use.
- As part of the business plan review, the Petitioners identified an approximately 4,500 square foot location in the south-west corner of the property for storing the units. Staff also notes that the property directly west of the site also maintains a manufacturing zoning. Per Code, this area is required to be solidly screened through the height of the item/materials being stored. The business plan identifies 2 fencing alternatives, which would be further determined as part of the building permit review.
- The units are approximately 7.5 to 7.75 feet tall. The zoning ordinance requires

that this 4,500 square foot area is screened accordingly above the height of the toilets. There is existing chain link fencing, with barbed wire, which is 8 feet in height.

- The portable toilet rental and storage will be an accessory use to the principal use of the property.
- The proposed Special Use Amendment aligns with the storage, transfer, and servicing uses contemplated in the manufacturing district. Additionally, there are numerous other regulatory agencies for the use and its operations and the Petitioner maintains those required permits. The storage and distribution components are compatible with the surrounding uses. Additionally, as each unit is maintained and cleaned externally and with the proposed business plan requirements, there should not be any issues associated with this amendment.

BUDGET IMPACT:

N/A

RECOMMENDATION:

Public Hearing: Planning & Zoning Commission (PZC) meeting on April 28, 2026.

Residents testifying: None.

Vote: The PZC voted unanimously to approve the Special Use and Staff concurs.

ACTION REQUIRED:

A motion to approve a Special Use Amendment to allow for the storage, distribution, and general cleaning of portable toilets for the property located at 630 S. Hicks Road.

ATTACHMENTS:

None

**Consider a Motion Approving the Halloween Hustle 5K & Kids Dash,
Including a Waiver of the Village's Sound Amplification Ordinance and
Temporary Closure of a Portion of Eric Drive, on Saturday, October
24, 2026**

BACKGROUND:

Adrenaline Sports Management is proposing a Halloween Hustle 5K in downtown Palatine on Saturday, October 24, 2026, from 8 AM to 11 AM. This event has been held the last several years. The Petitioner is requesting Village Council approval.

KEY ISSUES:

- There will be two courses (5K and Kids Dash), with an estimated 1,000 participants.
- Adrenaline will take full responsibility for the event that will benefit the Boys and Girls Club of Palatine.
- In conjunction with the event, the Petitioner is requesting a waiver of the Village's sound amplification ordinance to allow announcements and music played through a speaker system (amplified sound). In past years, sound amplification was not permitted until 8 AM and the Village received no complaints. Staff recommends the hours of 8 AM - 10:30 AM (consistent with past years).
- As in past years, the event will utilize an inflatable starting line erected over Eric Drive but will not place race-related materials on public sidewalks and parkways. Any use or obstruction of the Village right-of-way needs specific Village approval. The request does not provide any details in regard to equipment they wish to utilize in conjunction with the event and thus, unless their plans are amended, there will be no additional encroachment to the ROW.
- The Palatine Police Department will be working with event organizers to determine police staffing on the route and to conduct traffic control. The event sponsor will be responsible for 100% of all Village services provided as part of this event.
- In 2025, Adrenaline paid a Usage Fee for the use of public streets (ROW) in the amount of \$1,640.
- Approval is contingent upon receiving the required Hold Harmless and Certificate of Insurance.

BUDGET IMPACT:

N/A

RECOMMENDATION:

Staff recommends action at the discretion of the Village Council.

ACTION REQUIRED:

A motion to approve the Halloween Hustle 5K on October 24, 2026.

ATTACHMENTS:

None

Consider a Motion Granting a Waiver of the Sound Amplification Ordinance, Closure of Village Parking Lot and a Portion of Wilson Street and Bothwell Street, for Palatine Street Feast (A Sunday Food Truck Series) at 36. W. Wilson Street (Lot E or 9) on August 16, 2026, from 11 a.m. - 7 p.m.

BACKGROUND:

The Village of Palatine plans to host their 2nd Food Truck series, "Palatine Street Feast - A Sunday Food Truck Series", on the north side of the railroad tracks, Sunday, August 16, 2026, from 11 a.m. - 7 p.m. The Village will utilize the Village's commuter parking lot located at 36 W. Wilson Street, Lot E (or Lot 9), north of Wilson Street. Staff will temporarily close Wilson Street, between the Tap House Grill parking lot entrance and Bothwell Street and also close Bothwell Street between Wood and Wilson streets.

KEY ISSUES:

The Village of Palatine is requesting approval of the following:

1. Temporary waiver of sound amplification ordinance for live music and performances during the following hours: Sunday, August 16: 11 a.m. to 7 p.m.;
2. Temporary closure of parking lot E on Sunday, August 16 starting at 7 a.m. through Monday, June 8, 7 a.m.; and
3. Temporary closure of Wilson Street between Tap House Grill parking lot entrance and Bothwell on Sunday, August 16, starting at 7 a.m. until 8 p.m.
4. Temporary closure of Bothwell Street between Wilson Street and Wood Street on Sunday, August 16, starting at 7 a.m. until 8 p.m.

All food trucks in Lot E will be gone Sunday evening after the event concludes. While Port-A-Potties and furniture will be dropped off on Friday August 14, it will be stored in the corner of Lot E (Lot 9) until Monday morning for pick-up, eliminating the need for full parking lot closure.

BUDGET IMPACT:

Funds are budgeted in the Village's CY26 Operating Budget.

RECOMMENDATION:

Staff recommends approval of the waiver of the Sound Amplification Ordinance, closure of the Village parking lot and a portion of Wilson and Bothwell Streets, for the event.

ACTION REQUIRED:

A motion to grant a Waiver of the Sound Amplification Ordinance, Closure of the Village Parking Lot and a Portion of Wilson and Bothwell Streets, for "Palatine Street Feast - A

Sunday Food Truck Series".

ATTACHMENTS:

None

Consider a Motion to Award a Contract for the 2026 Pavement Striping Program

BACKGROUND:

Over the years, the Village has been systematically upgrading all pavement markings from paint to thermoplastic. Much of this upgrading was performed on streets that were being resurfaced or reconstructed. This upgrade has improved durability and visibility of all pavement markings throughout the Village. Due to the specialized equipment needed to perform this work, all work has been contracted.

Thermoplastic pavement markings are provided on all arterial and collector streets which warrant pavement markings. This material lasts roughly three times longer than paint, with the only exception being on major intersections constructed of concrete. At these locations, pavement marking tape has been utilized. Items to be marked include crosswalks, stop bars, lane lines, center lines, arrows, and "ONLY" markings.

KEY ISSUES:

- On Tuesday, May 12, 2026, three bids were received ranging from a high of \$97,727.48 to a low of \$55,749.25.
- The low responsive and responsible bidder was Maintenance Coatings Company of South Elgin, Illinois in the amount of \$55,749.25.
- The Engineer's estimate was \$59,566.86.

BUDGET IMPACT:

Funds in the amount of \$45,500 have been appropriated in the Public Works Operating Budget to accommodate this work. \$10,249.25 is proposed to be redirected from savings on reduced contractual snow and ice control costs from last winter to accommodate this pavement maintenance.

RECOMMENDATION:

Staff recommends that the contract for the 2026 Pavement Striping Program be awarded to Maintenance Coatings.

ACTION REQUIRED:

Motion to award the contract for the 2026 Pavement Striping Program to Maintenance Coatings Company of South Elgin, Illinois in the amount of \$55,749.25.

ATTACHMENTS:

None

Consider a Resolution Approving Construction on State Highways

BACKGROUND:

Illinois Compiled Statutes Chapter 605 ILCS 5/4-208 and 5/9-113 require that any person, firm, or corporation desiring to do work in State maintained right-of-way must first obtain a written permit from the Illinois Department of Transportation (IDOT). IDOT requires a surety bond with each permit application to ensure that all work is completed in accordance with State specifications and that the right-of-way is properly restored. This includes emergency work on water mains and sewers.

KEY ISSUES:

- For municipalities, a resolution is acceptable in lieu of securing a surety bond for each permit. IDOT allows resolutions to be enacted for periods of two years.
- Enacting a two-year resolution will save time and effort, as well as reduce the paperwork associated with an annual resolution.

BUDGET IMPACT:

N/A

RECOMMENDATION:

Staff recommends adoption of the Resolution for Construction on State Highways with IDOT from May 18, 2026 through May 17, 2028.

ACTION REQUIRED:

Motion to adopt the Resolution for Approving Construction on State Highways with IDOT from May 18, 2026 through May 17, 2028.

ATTACHMENTS:

None