



VILLAGE OF PALATINE

VILLAGE HALL - COUNCIL CHAMBERS 200 E. WOOD STREET
PALATINE, IL 60067-5339 – (847) 359-9050
<http://www.palatine.il.us>

ZONING BOARD OF APPEALS

AGENDA • APRIL 25, 2023

Village Hall - Council Chambers

Regular Meeting

7:00 PM

I. CALL TO ORDER

II. MINUTES APPROVAL

1. Zoning Board of Appeals - Regular Meeting - Apr 11, 2023 7:00 PM

III. PUBLIC HEARING

1. 101 E. Michigan Avenue

Special Use to permit an addition to be set back 25 feet from the front lot line, instead of the minimum required 30 feet.

IV. COMMUNICATIONS

V. ADJOURNMENT



VILLAGE OF PALATINE

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ZONING BOARD OF APPEALS

MINUTES • APRIL 11, 2023

Village Hall - Council Chambers

Regular Meeting

7:00 PM

I. CALL TO ORDER

Attendee Name	Title	Status	Arrived
Cindy Roth-Wurster	Commissioner	Present	
Jan Wood	Commissioner	Present	
Jerry Luszczyk	Commissioner	Absent	
Theodore McGinn	Commissioner	Present	
Kevin Cavanaugh	Commissioner	Present	
John Pirog	Commissioner	Present	

Staff present: Mr. Alex Bradshaw

II. MINUTES APPROVAL

1. Zoning Board of Appeals - Regular Meeting - Mar 28, 2023 7:00 PM - **Accepted**

Mr. McGinn made a motion to approve the minutes of March 28, 2023; seconded by Mr. Cavanaugh

RESULT:	ACCEPTED [UNANIMOUS]
MOVER:	Theodore McGinn, Commissioner
SECONDER:	Kevin Cavanaugh, Commissioner
AYES:	Roth-Wurster, Wood, McGinn, Cavanaugh, Pirog
ABSENT:	Luszczyk

Minutes Acceptance: Minutes of Apr 11, 2023 7:00 PM (Minutes Approval)

III. PUBLIC HEARING

1. 24 E. Country Club Ct - **Recommended to Approve**

Notice was published in the Daily Herald on March 27, 2023 and mailed to the owners of the surrounding properties.

Petitioner's Exhibits:

1. Application for Special Use
2. Proof of Ownership
3. Plat of Survey
4. Site Plan
5. Fence Elevation
6. Landscape Plan
7. Public Notice

Sworn in Staff: Mr. Alex Bradshaw

Sworn in petitioner: Ms. Linda Klein 24 E. Country Club Ct

Ms. Klein stated they are situated on a corner lot so there is not a lot of backyard room so they needed to go out to the side. She explained they are looking to expand to Pepper Tree Lane and go north. She stated they have grandchildren that visit often and a possible dog in future so looking for the fence to provide safety.

Mr. McGinn asked if they spoke to the neighbor at 1465 N. Pepper Tree Drive. Ms. Klein answered yes. She stated they signed off to allow the fence to go on their property to connect.

Mr. McGinn asked if there is a lot of traffic.

Ms. Klein stated it is a main street into the subdivision. She stated they do cross country across the street at Deer Grove which brings a lot of cars so this will help with safety.

Mr. McGinn asked about visibility of neighbor backing up in driveway.

Ms. Klein stated it will be metal fencing with landscaping and will improve the look of the yard.

Mr. Bradshaw gave a brief overview stating the petitioner is looking to install a 5ft open style aluminum fence in the side yard abutting a street. He stated the proposed fence will be setback 5ft from the side property line abutting Pepper Tree drive and will include landscaping. Mr. Bradshaw stated there is another property to the north that received a special use for a 6ft board on board fence setback 5ft similarly to the petitioner's request. He stated Community Services and Engineering have reviewed and no issues were identified.

STAFF RECOMMENDATION:

The Petitioner is proposing to install a 5-foot tall open-style fence in their side yard abutting N. Pepper Tree Drive. Comparable relief for a taller board-on-board fence in a side yard abutting a street was granted to another property in the immediate surrounding area (23 E. Country Club Ct). Ultimately, as the proposed fence plan includes a substantial landscaping plan, and the Engineering department did not identify any line-of-sight concerns, the proposed fence should not cause substantial injury to the value of other properties in the surrounding neighborhood. Therefore, Staff recommends approval of the Special Use, subject to the following condition:

1. The Special Use shall substantially conform to the Site Plan and Structure Elevation submitted by the Petitioner, Larry Klein, except as such plans may be changes to conform to the Village Codes and Ordinances.

There were no further questions. The public hearing was closed.

Mr. McGinn made a motion to approve subject staff’s conditions; seconded by Mr. Cavanaugh

DELIBERATIONS:

Mr. McGinn stated it is straight forwarded. He stated the only issue was line of site but it’s an open fence and neighbors have no objection.

Mr. Pirog agreed with Mr. McGinn. He stated the open fence makes the difference.

Ms. Roth-Wurster stated the standards have been met.

Ms. Wood summarized that this request has met the standards and was unanimously approved by a vote of 5-0. This item will tentatively go to Village Council on May 1, 2023.

RESULT:	RECOMMENDED TO APPROVE [UNANIMOUS]
MOVER:	Theodore McGinn, Commissioner
SECONDER:	Kevin Cavanaugh, Commissioner
AYES:	Roth-Wurster, Wood, McGinn, Cavanaugh, Pirog
ABSENT:	Luszczak

Minutes Acceptance: Minutes of Apr 11, 2023 7:00 PM (Minutes Approval)

2. 707 S. White Willow Bay - **Recommended to Approve**

Notice was published in the Daily Herald on March 27, 2023 and mailed to the owners of the surrounding properties.

Petitioner's Exhibits:

1. Application for Special Use
2. Proof of Ownership
3. Plat of Survey
4. Site Plan
5. Elevation
6. Public Notice

Sworn in petitioner: Mr. Jacob Defassio 525 N. Geri Ct, proxy for the owner Mary Henrickson

Mr. Defassio stated Steve and Mary Henrickson are his in-laws. He stated they moved to Palatine 2.5 years ago. He explained they purchased this home as their retirement home. He stated it had a failing deck so last summer they received permits to remove deck and redo the concrete around the house and added a trench foundation with the hopes of building a screened porch this summer. Mr. Defassio stated many of the family has allergies and don't want chemical bug deterrent so this will provide bug free nights to enjoy retirement. He stated they received HOA approval from Willow Walk and have contacted neighbors who have signed off approval.

Ms. Wood clarified the addition will be on the existing patio keeping the same footprint.

Mr. Defassio answered, yes, the concrete was built for it.

Ms. Roth-Wurster asked about the size.

Mr. Defassio stated the concrete is approx. 13 by 21. He stated the property is odd shaped being part of cul-de-sac.

Ms. Roth-Wurster asked if it is one story with same roof line as house.

Mr. Defassio answered, yes, stating it will be a continuation of the house.

Ms. Wood asked if there are windows.

Mr. Defassio answered yes stating it will have windows and screens.

Ms. Roth-Wurster asked if there will be a door.

Mr. Defassio answered yes.

Mr. Bradshaw gave a brief overview stating the current residence is set back 23ft from rear property line and is legal nonconforming. He stated they are seeking Special Use for the 3-season room addition to be set back 20ft. He stated the

proposed addition will not encroach in any side yard setbacks. Mr. Bradshaw stated per staff analysis other homes in area comply with the setback requirements but the subject property's configuration the required rear yard setback is restricting to the point any addition would require relief. He stated the site has significant grade differential from neighboring properties.

Mr. Pirog asked what the relevance of the grade differential is.

Mr. Bradshaw explained it won't take away from the current look of the house rather maintaining status quo of current vista.

Mr. Bradshaw stated both building and lot coverage are under maximum allowed. He stated Community Services and Engineering have reviewed and no issues were identified.

Ms. Wood asked if they received a special use for the patio.

Mr. Bradshaw explained a patio is a permitted obstruction and can be 2ft from the property line.

STAFF RECOMMENDATION:

The Petitioner is proposing to construct an addition to the rear of the existing legal non-conforming residence. The single-story addition will be contained to the existing patio off the northwest corner of the home. Although there has not been comparable relief granted in the surrounding area, the addition will not be visible from the street and the significant grade differential with the adjacent property to the rear will not change the existing vista. Ultimately, the proposal should not cause substantial injury to the property values in the neighborhood. Nevertheless, Staff recommends Action at the Discretion of the ZBA. If the ZBA recommends approval, Staff recommends the following condition:

1. The Special Use shall substantially conform to the Site Plan and Elevation Plan submitted by the Petitioner, Mary Henrickson, except as such plans may be changed to conform to the Village Codes and Ordinances.

Mr. Pirog not recommending approval because no other homes are similar.

Mr. Bradshaw answered, yes, but also because of the substantial reduction from the required 45ft setback.

There were no further questions. The public hearing was closed.

Mr. Pirog made a motion to approve subject staff's conditions; seconded by Mr. Cavanaugh

DELIBERATIONS:

Mr. Pirog spoke to the standards. He stated there is no injury and the safety and welfare will increase enclosing the space. He stated he has a similar room and knows how great it is. He stated it meets the standards.

Minutes Acceptance: Minutes of Apr 11, 2023 7:00 PM (Minutes Approval)

Ms. Wood stated when looking at setbacks you want to ensure it won't impede anyone view but this will be an open 3 season room with glass so won't affect anyone's view. She stated there will be no injury to the property so is in favor.

Ms. Roth-Wurster spoke to the unique pie shaped lot not having a lot of backyard. She stated it is replacing a deck with a single-story addition with the same elevation as the house so is a little more favorable.

Ms. Wood summarized that this request has met the standards and was unanimously approved by a vote of 5-0. This item will tentatively go to Village Council on May 1, 2023.

RESULT:	RECOMMENDED TO APPROVE [UNANIMOUS]
MOVER:	John Pirog, Commissioner
SECONDER:	Kevin Cavanaugh, Commissioner
AYES:	Roth-Wurster, Wood, McGinn, Cavanaugh, Pirog
ABSENT:	Luszczak

Minutes Acceptance: Minutes of Apr 11, 2023 7:00 PM (Minutes Approval)

3. 1326 W. North Street - **Recommended to Approve**

Notice was published in the Daily Herald on March 27, 2023 and mailed to the owners of the surrounding properties.

Petitioner's Exhibits:

1. Application for Special Use
2. Proof of Ownership
3. Plat of Survey
4. Site Plan
5. Floor Plan
6. Elevations
7. HOA Approval Letter
8. Signed Neighborhood Petition
9. Ordinance O-31-11 Rezone R1 to R1A
10. Ordinance O-63-11 Special Use & Variation
11. Resolution R-033-111 Balogh Subdivision Approval
12. Public Notice

Sworn in petitioner: Mr. Jason Derbick, 1326 W. North Street

Mr. Derbick stated during the pandemic they decided they needed more space to spend with family and neighbors. He stated he had an architect draw up plans and applied for a permit but was told that he would need relief because the zoning did not match his plat of survey setbacks. Mr. Derbick spoke to the 4 vacant lots to the north and the possibility of them being developed pointing out it will have no impact on his project. He stated there has been a lot of zoning and amendments to the property and is looking for the same consideration. He stated there will be no negative impact on easement, drainage or neighboring views just looking for variance to go a little further back off house.

Ms. Wood asked if they spoke to the neighbors.

Mr. Derbick answered yes pointing out the stars on the slide are neighbors who signed petition in favor. He stated Mr. Balogh who owns the 2 lots to the northwest does not live there but has his verbal approval. Mr. Derbick stated the HOA also approves.

Mr. McGinn asked about the possible future development without a road.

Mr. Derbick stated he is unsure exact orientation and if it will be a road or driveway continuation. He pointed out the neighbor to the east is setback 18ft from his rear yard so will be 4ft less than their current house so will not impede any views. Mr. Derbick stated the neighbor to west has large patio and canopy. He referred to slide to show existing conditions. He stated as individual lots the vacant lots do not meet zoning standards and are unbuildable.

Mr. McGinn asked what the addition looks like.

Mr. Derbick stated it will roughly be 16ft wide by 22ft deep with all screening and

doors on both sides with a clear view all the way through. He stated there are several homes in the community with similar structures so will blend with area and increase property value.

Mr. Bradshaw gave a brief overview explaining when the area was most recently subdivided the 4 vacant lots by themselves don't meet the R-1 standards so as a condition there would only be 2 buildable lots if ever expanded. He explained the proposed 3 season room would be setback 22ft instead of the required 45ft. Mr. Bradshaw stated the existing residence is setback 46.5ft so any addition would require zoning relief. He stated the property to the east is existing nonconforming setback 18ft. He stated the area was annexed from Cook County in 2005 which speaks to any other existing nonconforming additions. Mr. Bradshaw stated both building and lot coverage meet code. He stated Community Services have reviewed with no issues identified and Engineering noted in their review that no fill or leveling of rear yard should be allowed other than for addition and any excavating material shall be hauled offsite.

Ms. Roth-Wurster clarified that if developed a home would never be built directly behind him.

Mr. Bradshaw stated there will not be a home in the unimproved right of way. He explained if homes are built on the other lots they would be setback a minimum of 32ft.

Sworn in Mr. Tony Calabrese 1317 N. Deer Ave, adjacent HOA

Tony stated he is supporting on the behalf of the HOA. He stated there are a lot of younger kids and families and the home is popular. He thinks this will enhance the neighborhood and are supportive.

STAFF RECOMMENDATION:

The Petitioner is proposing to construct a 3-seasons room addition to the rear of their existing single-family residence. There is potential for further residential development to the north, but the present configuration consists of unimproved right-of-way and 4 vacant lots. Staff notes the any redevelopment in this area would follow the Northwest Sub Area plan, which would consolidate these lots into 2 buildable R-1A lots and would require the extension of Hill Street. If the 2 buildable lots are ever developed, there would be a minimum 32-foot setback to the proposed addition. Although the current home complies with the underlying R-1A setback requirements, the proposed addition and resulting setback would be greater than the existing home directly to the east (that home and setback existed at annexation). The Petitioner included sign-off approvals from the surrounding property owners and the Subdivision HOA to the west. Nevertheless, the contemplated encroachment is approximately 23 feet into the required 45-foot setback.

Therefore, Staff recommends action at the discretion of the Zoning Board of Appeals. If the Zoning Board of Appeals recommends approval, Staff recommends the following condition:

- 1. The Special Use shall substantially conform to the Site Plan and Elevation Plan submitted by the Petitioner, Jason Derbick, except as such plans may be changed to conform to the Village Codes and Ordinances.

There were no further questions. The public hearing was closed.

Mr. Cavanaugh made a motion to approve subject staff's conditions; seconded by Mr. McGinn.

DELIBERATIONS:

Mr. Cavanaugh stated the addition fits well with the area and home. He stated he understands concern with unimproved home in surrounding properties but they are building first.

Mr. McGinn pointed out the property won't be directly adjacent to potential property development so won't have adverse impact.

Ms. Roth-Wurster stated with the unimproved right of way being directly behind she thinks this is a nice done plan and HOA is approving. She pointed out the home next to them is at 18ft so also encroaching so this won't look out of character.

Ms. Wood stated it is not an addition that takes up entire setback and has an open feeling. She stated the standards have been met.

Ms. Wood summarized that this request has met the standards and was unanimously approved by a vote of 5-0. This item will tentatively go to Village Council on May 1, 2023.

RESULT:	RECOMMENDED TO APPROVE [UNANIMOUS]
MOVER:	Kevin Cavanaugh, Commissioner
SECONDER:	Theodore McGinn, Commissioner
AYES:	Roth-Wurster, Wood, McGinn, Cavanaugh, Pirog
ABSENT:	Luszczak

Minutes Acceptance: Minutes of Apr 11, 2023 7:00 PM (Minutes Approval)

4. 1242 E. Dundee Road - **Recommended to Approve**

Notice was published in the Daily Herald on March 27, 2023 and mailed to the owners of the surrounding properties.

Petitioner's Exhibits:

1. Application for Special Use
2. Proof of Ownership
3. Plat of Survey
4. Floor Plan
5. Business Plan
6. Public Notice

Sworn in petitioner: Mr. Allan Fridman, 555 Skokie Blvd Northbrook, IL 60062, Attorney

Mr. Henry Hernandez 9405 Margail Des Plaines, IL, owner

Mr. Fridman stated Mr. Hernandez is looking to open Paper Route at 1242 E. Dundee. He stated the area is commercial with neighboring businesses including a liquor store, furniture store and cell phone. He stated the space has been vacant for 8months. He stated it is located in the commercial district and there is no surrounding vape/tobacco stores in the area so believes the use is deemed necessary for public convenience. Mr. Fridman stated it will comply with the Palatine Clean Air Act and will limit patrons to 21 years and older. He stated it will not cause injury to nearby property values as it is all commercial.

Ms. Wood referred to the business plan and asked what are lawful cannabis accessories.

Mr. Fridman referred to the Palatine ordinance chapter 12 to explain what is allowed.

Discussion on what is allowed by code.

Mr. Bradshaw stated per their business plan there are no glass products listed as their products for sale. He further explained that the code and how it is enforced by the police department.

Ms. Wood asked about hours.

Mr. Fridman stated they will be open 9am-10pm.

Mr. Hernandez stated they will be open to 10pm on weekends and 9pm on weekdays.

Mr. McGinn asked about the procedures to enforce the age requirement.

Mr. Fridman explained customer will be required to provide a valid id to be permitted in the business.

Ms. Wood asked about signage in the windows.

Mr. Fridman stated there will not be much signage to not block view.

Mr. Bradshaw gave a brief overview pointing out the parking requirement will remain the same with the proposed use. He stated the site was previously occupied by a furniture store that has been closed for a number of months. He referred to the existing conditions slide to show neighboring tenants including a cleaners, a liquor store and a T-Mobile. He stated Community Services, Fire Prevention, and Police have all reviewed and no issues were identified.

STAFF RECOMMENDATION:

The Petitioner is proposing to open a tobacco shop in a multi-tenant shopping center. The Petitioner is aware that the sale of drug paraphernalia with the intent to use it for a controlled substance is prohibited. Furthermore, the Petitioner is proposing to have "21+" signage posted in prominent locations within the tenant space, and will have all customers present a valid form of identification for all purchases. Ultimately, the proposal would be another commercial use within the center and should not cause any substantial injury to the value of the surrounding properties. The parking requirements would also not change with this use. Therefore, Staff recommends approval of the requested Special Use with the following condition:

1. The Special Use shall substantially conform to the Business Plan and Floor Plan submitted by the Petitioner, Henry Hernandez, except as such plans may be changed to conform to the Village Codes and Ordinances.

There were no further questions. The public hearing was closed.

Ms. Roth-Wurster made a motion to approve subject staff's conditions; seconded by Mr. Cavanaugh.

DELIBERATIONS:

Ms. Roth-Wurster stated it is a well thought out business plan and a good location based on market analysis. She stated it meets the standards.

Ms. Wood stated there is no information to indicate it will negatively affect safety health and welfare or cause damage to area.

Ms. Roth-Wurster stated there is no parking issues.

Ms. Wood summarized that this request has met the standards and was unanimously approved by a vote of 5-0. This item will tentatively go to Village Council on May 1, 2023.

RESULT: RECOMMENDED TO APPROVE [UNANIMOUS]
MOVER: Cindy Roth-Wurster, Commissioner
SECONDER: Kevin Cavanaugh, Commissioner
AYES: Roth-Wurster, Wood, McGinn, Cavanaugh, Pirog
ABSENT: Luszczyk

Minutes Acceptance: Minutes of Apr 11, 2023 7:00 PM (Minutes Approval)

IV. COMMUNICATIONS

V. ADJOURNMENT

1. Motion To Adjourn - **Motion Carried by Voice Vote**

Ms. Roth-Wurster made a motion to adjourn; seconded by Mr. McGinn

RESULT:	MOTION CARRIED BY VOICE VOTE [UNANIMOUS]
MOVER:	Cindy Roth-Wurster, Commissioner
SECONDER:	Theodore McGinn, Commissioner
AYES:	Roth-Wurster, Wood, McGinn, Cavanaugh, Pirog
ABSENT:	Luszczak

Minutes Acceptance: Minutes of Apr 11, 2023 7:00 PM (Minutes Approval)

VILLAGE OF PALATINE
Zoning Board of Appeals

SCHEDULED 04/25/23 07:00 PM

CASE STAFF STATEMENT (ID # 8308)

101 E. Michigan Avenue

TO: Palatine Zoning Board of Appeals
Jan Wood, Chair

FROM: Alex Bradshaw

PETITIONER: Very Rev. Yaroslav Mendyuk, Immaculate Conception
Catholic Church

CASE NUMBER: SU-000030-2023

ADDRESS: 101 E. Michigan Avenue

PROPOSAL:

Special Use to permit an addition to be set back 25 feet from the front lot line, instead of the minimum required 30 feet.

<u>LOCATION:</u> 101 E. Michigan Avenue District 2 (Lamerand)	<u>CURRENT ZONING:</u> R-1A Single-Family Residential
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SURROUNDING CONDITIONS:

<u>North:</u>	P - Planned Development (Single Family Residential)
<u>South:</u>	R-1 Single-Family Residential
<u>East:</u>	R-2 Single-Family Residential
<u>West:</u>	R-1A Single-Family Residential

BACKGROUND:

The Petitioner is proposing to construct a 2-story addition off the front of the existing single-family residence, which would encroach into the required front yard from Benton Street. Therefore, the Petitioner is requesting:

Special Use to permit an addition to be set back 25 feet from the front lot line, instead of the minimum required 30 feet.

SITE ANALYSIS:

- The Subject Property is zoned R-1A Single Family and is part of the Arthur T. McIntosh & Co.'s Palatine Estates Unit No. 1 Subdivision. The church owns the property and is proposing building additions and improvements for use as a single-family residence for the church.

- The Subject Property is approximately 40,505 sf. The lot consists of a two-story home, with a 2-car garage detached garage. The primary structure is currently set back only 29.2 feet from the side lot line abutting Michigan Avenue; therefore, the residence is existing non-conforming with the required 35-foot rear yard setback for an R-1A zoned property.
- The proposed project consists of two additions both of which are two-story structures. The addition off the rear of the home consists of a 2-car garage on the first floor and bedroom on the second floor which will meet all setback requirements therefore does not require relief. The addition off the front of the house consists of a dining room on the first floor and bedroom on the second floor which does encroach in the required front yard setback.
- The Petitioner is seeking a Special Use to permit an addition to the front of their house. The proposed addition will further encroach into the required front yard setback at approximately 25 feet from the front lot line (30 feet is required). The setback increases as the addition moves to the south, due to the angular placement of the existing home on the lot. There is also a 20-foot parkway along the Benton Street frontage adjacent to the proposed addition.
- The adjacent property to the east is zoned R-2 and meets the required 20-foot setback for a side yard abutting a street. The adjacent property to the south is zoned R-1 and meets the required 40-foot setback. The unique condition is the distance between the homes on the subject property and property to the south is over 100 feet.
- Per Staff's review of the surrounding neighborhood, it appears that there are multiple properties that have comparable front yard setbacks at approximately 25 feet. This includes the more recent newer homes and subdivision in the New Haven Grove, Student's Pride, and Lot 4 of Ryal Subdivision directly across Michigan Avenue from the Subject Property.
- Both building and lot coverage are well under the maximum percentage allowed by the Zoning Ordinance.

DEPARTMENTAL REVIEWS:

Community Services	No Issues Identified.
Engineering	All new utility connections will be reviewed through the building permit review.
Environmental Health	N/A
Fire Prevention	Automatic residential fire sprinkler system is required. This will be addressed through the building permit review.
Public Works	N/A
Police	N/A

STANDARDS FOR SPECIAL USE: Since this Petition is not for a use publicly operated or traditionally affected with the public interest, those standards under Section 14.05 D (2) and (3) are applicable. Specifically, the Petitioners must show that the Special Use, if granted, is so designed, located, and proposed to be operated that the public health, safety, and welfare will be protected and will not cause substantial injury to the value of other property in the neighborhood in which it is located. The Petitioners have attempted to address the required standards.

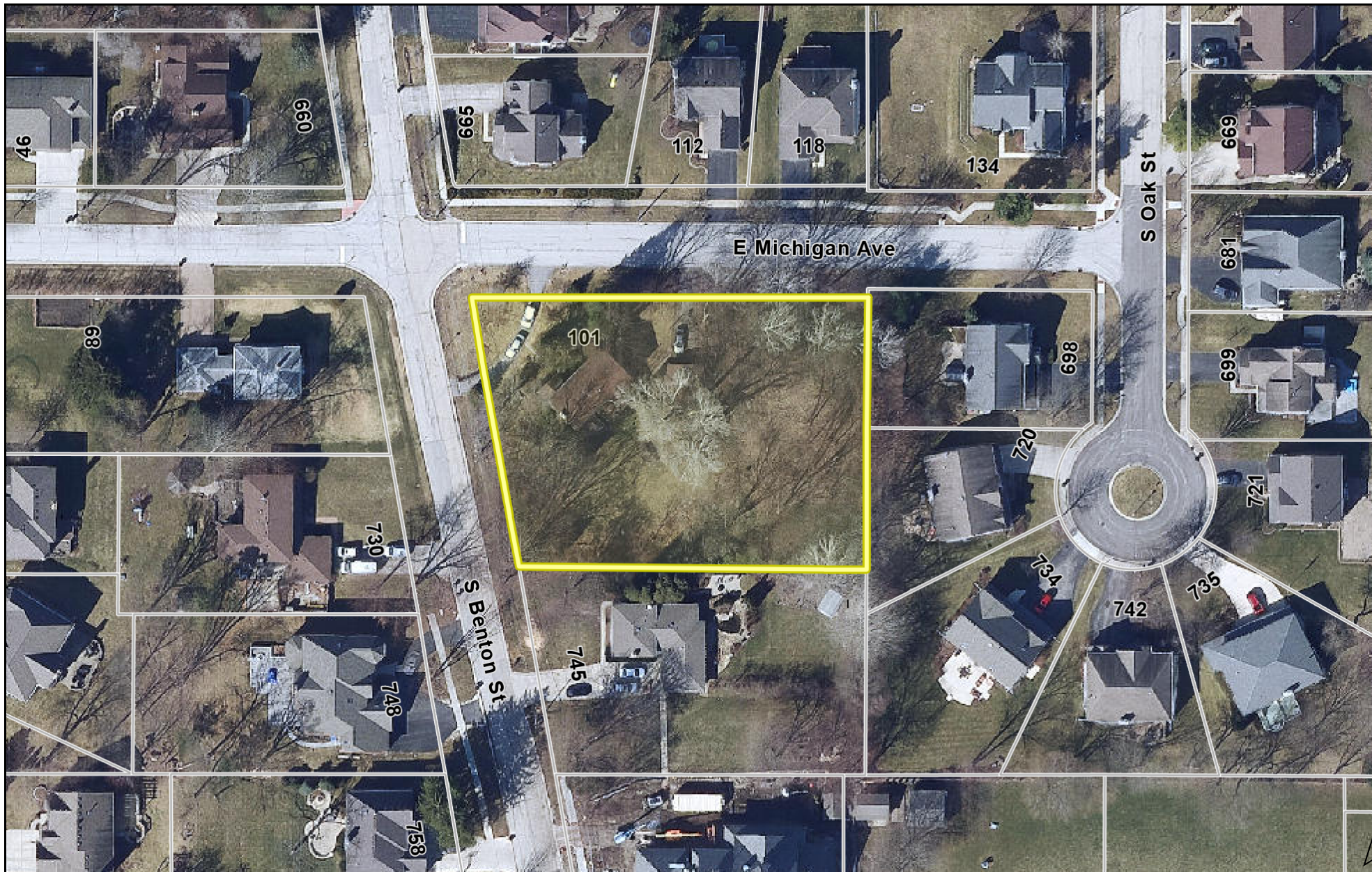
STAFF RECOMMENDATION:

The Petitioner is proposing to construct an addition to the existing legal non-conforming single-family residence that will encroach 5 feet into the required 30-foot front yard setback from S. Benton Street. However, the addition will encroachment into the required front yard an additional 4 feet as the existing legal non-conforming residence is currently setback 29 feet. Ultimately, as there are comparable front yard setbacks in the immediate area, the proposed addition should not cause substantial injury to the value of the other properties in the surrounding neighborhood. Therefore, Staff recommends approval of the Special Use, subject to the following condition:

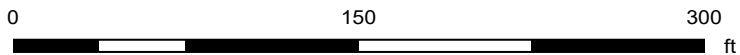
1. The Special Use shall substantially conform to the Site Plan, Floor Plan, and Elevations submitted by the Petitioner, Very Rev. Yaroslav Mendyuk, except as such plans may be changed to conform to Village Codes and Ordinances.

ATTACHMENTS:

- Aerial Map
- Special Use Application
- Plat of Survey
- Site Plan
- Floor Plan
- Elevations
- Public Notice



Attachment: Aerial Map (101 E. Michigan Ave - SU Setback (Addition))



Print Date: 4/18/2023

Notes
Cook County Aerial 2020

Disclaimer: The GIS Consortium and MGP Inc. are not liable for any use, misuse, modification or disclosure of any map provided under applicable law. This map is for general information purposes only. Although the information is believed to be generally accurate, errors may exist and the user should independently confirm for accuracy. The map does not constitute a regulatory determination and is not a base for engineering design. A Registered Land Surveyor should be consulted to determine precise location boundaries on the ground.

VILLAGE OF PALATINE

SPECIAL USE & VARIATION APPLICATION

Department of Planning & Zoning
 200 E. Wood Street · Palatine, IL · 60067-5339
 Telephone: (847) 359-9047 · Fax (847) 963-6247

Office Use Only	Project Planner	Zoning Case #
	Filing Fee	Notification Deadline
	ZBA Public Hearing Date	Village Council Date

date received

Background Information	PETITIONER(S) Immaculate Conception Ukrainian Catholic Parish		Business Name (if applicable)	
	Subject Property Address 101 E. Michigan Ave.			
	AUTHORIZED AGENT (if applicable) Nestor Popowych, A.I.A., Architect		Business Name (if applicable)	
	Address 1110 N. Lake Shore Drive		City/State/Zip Code Chicago, IL. 60611	
	Telephone 312-953-6777	Fax	Email nestor.popowych@gmail.com	
	Relationship to Petitioner (contractor, architect, etc.) Architect			
	TYPE OF APPLICATION (check one) <input checked="" type="checkbox"/> Special Use <input type="checkbox"/> Special Use Amendment <input type="checkbox"/> Variation			
	Existing Zoning District	Existing Land Use Residential	Proposed Land Use	
	Generally describe your request: Current setback requirement is 30'-0" and existing building including proposed addition has a setback of 25'-2" <hr/> <hr/> <hr/> <hr/> <hr/> <hr/> <hr/> <hr/> <hr/> <hr/>			

Attachment: Special Use Application (101 E. Michigan Ave - SU Setback (Addition))

Required Materials

- Filing Fee of \$ _____
- Application Form
- Plat of Survey (must show all current improvements and be sealed by an Illinois certified surveyor)
- Site Plan & Floor plan (dimension, location, and setbacks of all existing and proposed buildings) – one 11x17 copy each, electronic version preferred
- Real Estate Interest Disclosure Form (see attached)
- Proof of Ownership or Lease (e.g. Title Insurance Policy, Deed, or Purchase Contract)
- Business Plan (if applicable; including, but not limited to nature of business, hours of operation, number of employees, and menu)

Additional Materials (as required by the Village)

- Elevation Plan (front, side, and rear elevations of a proposed building), and/or Floor Plan (proposed interior layout) – one 11x17 copy of each plan, electronic versions preferred
- Engineering Plans (must indicate existing conditions, topography, storm water management, tree preservation, utility connections, detention calculations, and a cost estimate)
- Photographs (e.g. ground-level or aerials)
- Other materials as deemed necessary by the Village

Petitioner Justification

The Petitioner is required to present specific evidence related to each of the following standards to justify the request (paraphrased from Section 14.05 of the Palatine Zoning Ordinance). Answer the items below and attach a separate sheet if necessary. **If you are applying for a Variation only, you do not need to answer these items.**

1. The use is deemed necessary for the public convenience at that location

This section, with our petition being a Variation from 30'-0" to 25'-2" , need not be filled out as per above.

2. The use is designed, located, and proposed to be operated that the public health, safety and welfare will be protected

*WE ARE GOING TO FOLLOW ALL REQUIRED codes and regulations
except the setback reduction*

3. The use will not cause substantial injury to nearby property values

*The PROPERTY IMPROVEMENT IS COMPARABLE WITH OTHER
PROPERTIES IN THE NEIGHBORHOOD AND SHOULD NOT
IMPACT THEIR VALUES*

4. With respect to live entertainment uses, the use shall not:
 - a. Produce noise levels so great as to constitute an unreasonable interference for persons outside the confines of the establishment
 - b. Impose undue health, sanitation or safety burdens on the village
 - c. Create excessive demands on the Village of Palatine Police Department
 - d. Be of a nature otherwise prohibited by law or village ordinance

5. For fence standards, see Section 14.05 of the Palatine Zoning Ordinance

CERTIFIED SURVEY

1440 Renaissance Drive, Suite 140, Park Ridge, IL 60068 Phone 847-296-6900 Fax 847-296-6906

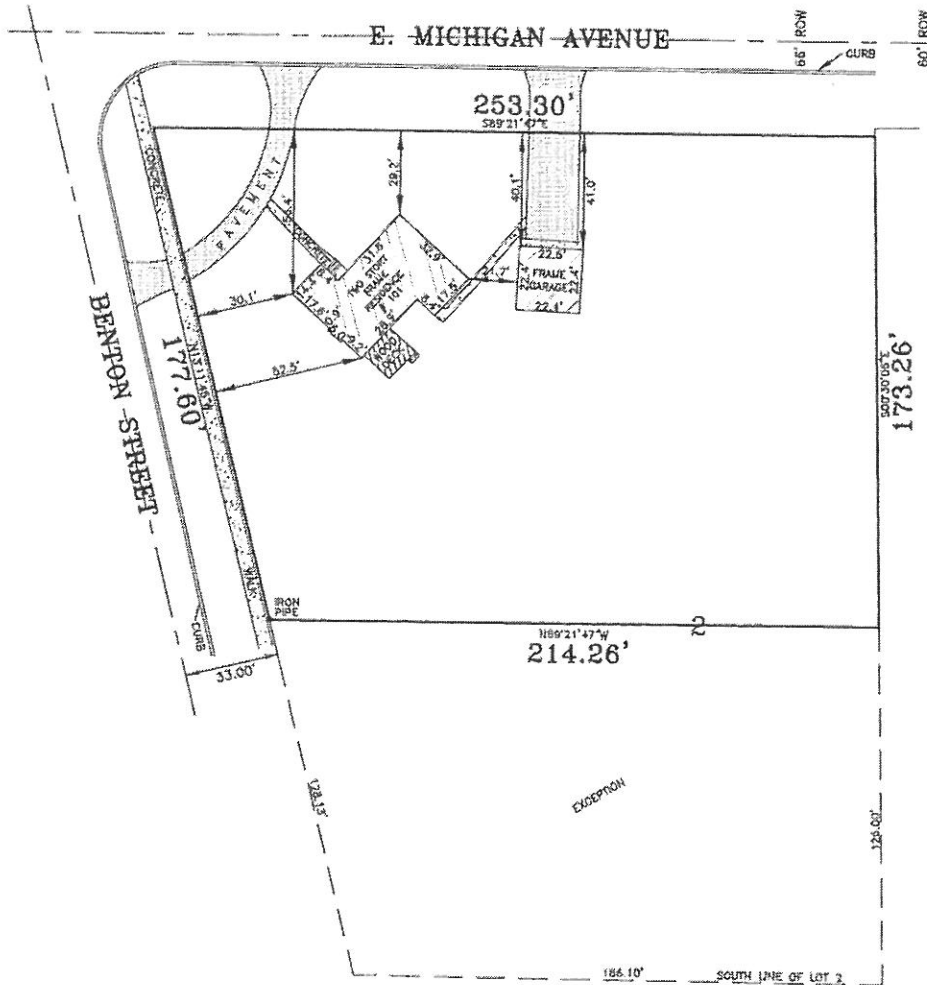
Email: surveys@certifiedsurvey.com

PLAT OF SURVEY

OF
LOT 2 (EXCEPT THE SOUTH 125.00 FEET) IN BLOCK 8 IN ARTHUR T. MACINTOSH AND COMPANY'S PALATINE ESTATES UNIT NO. 1 OF THE SOUTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 22, AND THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 23, TOWNSHIP 42 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

COMMON ADDRESS: 101 E. MICHIGAN AVENUE
PALATINE, IL

FIN: 02-23-312-012
LOT AREA=40,316 S.F.



COMPARE LEGAL DESCRIPTION WITH DEED AND REPORT ANY DISCREPANCY IMMEDIATELY. A TRUE DOCUMENT MAY NOT HAVE BEEN FURNISHED FOR USE IN PREPARATION OF THIS SURVEY. IF A TITLE COMMITMENT HAS NOT BEEN FURNISHED, THERE MAY BE ENCUMBRANCES, EASEMENTS, RIGHTS OR OTHER RESTRICTIONS NOT SHOWN ON THIS PLAT. THIS PLAT DOES NOT SHOW EASEMENTS OR RESTRICTIONS ESTABLISHED BY LOCAL ORDINANCES. LOCAL AUTHORITIES MUST BE CONSULTED REGARDING ANY RESTRICTIONS SUBJECT TO EASEMENTS OF RECORD.

DO NOT SCALE DIMENSIONS FROM THIS PLAT. NO EXTRAPOLATIONS SHOULD BE MADE FROM THE INFORMATION SHOWN WITHOUT THE PERMISSION OF CERTIFIED SURVEY. THIS PLAT IS NOT TRANSFERABLE. ONLY PRINTS WITH AN UNALTERED SEAL ARE OFFICIAL COPIES. © COPYRIGHT, ALL RIGHTS RESERVED.

ORDER No. 22-07-091
ORDERED BY: NEIL J. ANDERSEN

1 PAGE 1

STATE OF ILLINOIS
COUNTY OF COOK

WE, CERTIFIED SURVEY, AN ILLINOIS LICENSED PROFESSIONAL LAND SURVEYOR, HEREBY CERTIFY THAT WE HAVE SURVEYED THE PROPERTY DESCRIBED IN THE CAPTION TO THE PLAT HEREON DRAWN AND THAT THIS PROFESSIONAL STAMPE CONFORMS TO THE CURRENT ILLINOIS LEGISLATIVE STANDARDS FOR A BOUNDARY SURVEY.

ALL DIMENSIONS ARE IN FEET AND DECIMAL PARTS OF A FOOT AND ARE CORRECT AT A TEMPERATURE OF 68 DEGREES FAHRENHEIT. DIMENSIONS SHOWN ON BUILDINGS ARE TO THE OUTSIDE OF BUILDINGS.

SURVEYED 20TH DAY OF JULY 2022.
DRAWN THIS 4TH DAY OF AUGUST 2022.

BY: *Kevin Chaffin*
PROFESSIONAL ILLINOIS LAND SURVEYOR No. 3184



Attachment: Plat of Survey (101 E. Michigan Ave - SU Setback (Addition))

GENERAL CONDITIONS

1. All work that is to be done shall be in compliance with all Municipal and Building Codes and Ordinances as listed below with Amendments.

- INTERNATIONAL RESIDENTIAL CODE, 2015 EDITION (WITH AMENDMENTS)
INTERNATIONAL MECHANICAL CODE, 2015 EDITION
INTERNATIONAL ENERGY CONSERVATION CODE, 2018 EDITION (WITH ILLINOIS AMENDMENTS)
NATIONAL ELECTRICAL CODE, 2017 EDITION (WITH AMENDMENTS)
ILLINOIS PLUMBING CODE, 2014 EDITION
VILLAGE OF PALATINE CODE OF ORDINANCES

GENERAL CONDITIONS

1. Other provisions of the Contract applicable of this work are included in the General Conditions.

2. All Sub-contractors shall guarantee all labor and materials for a period of one (1) year from date of completion.

3. No information is to be scaled from drawings. Verify all dimensions in the field, in the event of any discrepancy contact the Architect before proceeding with work.

4. Any changes or substitutions to be submitted in writing and approved by the owner.

5. The Architect shall not have any control over or charge of and shall not be responsible for the construction means, methods, techniques, sequence and/or procedures of, or for the safety precautions and all programs in connection with the work.

6. General Contractor and all Subcontractors shall protect all parts of their work from weather due to frost, rain, heat, wind, etc. and will repair any portion of the work or any damage to the satisfaction of the owner with no cost to the owner.

7. All bidding sub-contractors shall visit the site and make themselves thoroughly familiar with existing conditions and the scope of work as defined in the drawings. He shall have full knowledge to transportation, disposal, handling and storage of materials as it relates to the project and site.

8. The sub-contractors shall familiarize themselves with the availability of existing sewer and water lines, electricpower, gas lines and other facilities in the area which will have bearing on the performance of his work.

9. All work, materials, job conditions and safety measures shall conform with requirements of the Occupational Safety and Health Administration (OSHA) and local authorities.

EARTHWORK

SCOPE

1. Perform all earthwork as shown on Drawings and as specified herein. The work includes, but is not necessarily limited to the following:

2. Grading, excavation, backfill and compaction.

3. Protection and Inspection

4. Rough grading required in order to provide gentle transition in contour of new grading work and existing contours.

EXCAVATION

1. If suitable, bearing soil for footings and foundations is not found at the levels shown on the Drawings, the Contractor shall inform the Architect who will decide what corrective measures shall be taken.

BACKFILLING AND UNDER FLOOR FILL

1. Excavated material approved suitable for compaction shall be used for fills and backfills and it shall be free of refuse, trash, wood scraps, frozen materials or other debris.

COMPACTION

1. All fill and backfill shall be of approved materials placed in successive 8" horizontal layers of lifts and compacted to 95% density obtained at optimum moisture content in strict accordance with ASTM D-1557-58T.

FOUNDATION NOTES

1. All footings shall be placed on soil having a minimum bearing capacity of 3,000 p.s.f.

2. All footing subgrades shall be inspected by an approved Soils Testing Laboratory immediately prior to placing the footing concrete.

3. All footing Subgrades, slab-on-ground subgrades and general fill material shall be compacted to a minimum of 95% modified protor density.

4. No concrete shall be placed into a footing excavation containing free water.

5. No concrete shall be placed into or against a frozen subgrade of a subgrade containing frost.

6. The Contractor shall shore and brace adjacent construction by approved method and submit procedures for approval.

7. See mechanical and Plumbing Drawings for location and construction of required penetrations and sleeves. Provide watertight construction.

CONCRETE

1. Perform all cast in place concrete work as shown on the Drawings and as specified herein.

2. Conc. topping shall be light weight w/comp. strength of 3500 p.s.i. 1st floor concrete shall be light weight & have a comp. strength of 3,500 p.s.i. at 28 day testing.

3. All reinforcing steel shall be new billet steel intermediate grade ASTM-A-615-60.

4. Welded wire fabric for concrete reinforcing steel shall conform to ASTM-A185.

5. General Contractor shall check with the Architectural, Mechanical & Electrical Drawings for openings, sleeves, anchors, hangers, slab depressions and other items related to concrete work and shall assume full responsibility from the proper locations before pouring concrete.

6. All concrete details shall conform to the latest ACI Standard 315 Manual for "Standard Practice for Detailing Reinforcing Concrete Structures".

7. Concrete protection from reinforcing bars shall be as follows:

Footings-3" clear bottom and sides
Walls-2" clear 1 1/2" or 3/4" clear, see typical wall detail

8. All concrete shall be vibrated. Concrete cast against soil or exposed to weather shall have 6% air entrainment.

9. Provide for slabs-on-grade one (1) layer of vapor barrier placed on approved subgrade "Moist Stop" or equal, place in accordance with manufacturer's instructions.
10. Insulation to be installed with top edge 2" above finished floor, ejector pit to be flush or below finish fir.

STRUCTURAL STEEL

1. All structural steel shall conform to ASTM A-36.

2. All detailing fabrication and erection of steel shall conform to A.I.S.C. Specifications.

3. All bolts shall be high strength A-325 size 3/4" diam., unless otherwise indicated.

4. The Contractor is responsible for correct fittings, setting and leveling of all members.

5. Structural Steel members shall receive one (1) shop coat of zinc chromate primer. All members shall be touched up after erection. All steel shall receive two (2) coats of finish paint.

CARPENTRY

1. Fire stop all openings through floors and soffits.

2. All Micro-Lams: Fb=2800 psi, E=2x10/6 psi, to be glued bolted together as per manufacturers requirements.

3. Joists shall be Hemlock/Fir No. 2 KD. or equal. Headers shall be Douglas Fir/Larch No. 2 KD or equal (HF #2 Fb=850, E=1,300, DF #2 Fb=875, E=1,500). Headers over windows/openings in bearing partitions to 2-2"x12"s, unless otherwise noted. Joists to be doubled under parallel partitions and tubs.

4. All framing corners to be triple studs. Provide horizontal blocking in wall lengths over 10'-0".

5. Perform all Finish Carpentry as shown on the Drawings and as specified herein. The work includes but is not necessarily limited to the following:

6. Hanging doors, and window installation

7. Install builders hardware on all wood doors

8. All blocking and furring required for all trades and rough frames for recessed accessories.

9. Installation of wood joists & partitions

10. Any carpentry required as incidental part of the construction of this project shall be the responsibility of the General Contractor.

11. Plastic laminate counter tops shall be as manufactured by Formica, Parkwood; color by Owner.

12. Rough framing.

13. Finish framing and trim. Oak flooring.

14. Provide \$10,000 material allowance for kitchen and bathroom cabinets and countertops.

15. Floor joists to be doubled under all parallel partitions and whirlpool tubs.

16. Provide water resistant drywall and ceramic tile around shower and tub area.

17. Stair threads shall have a min. clear depth of 10" and a max. rise of 7 3/4". Stair balusters to be spaced at 4" apart max., stair rail height 2'- 10" at edge of nosing, guard rail 3'-0" A.F.F., graspable portion of handrail not to exceed 2-5/8" cross sectional dimension.

WOOD DOORS AND WINDOWS

1. All tub or shower enclosures and windows adjacent to whirlpools, decks and windows less than 18" A.F.F. are to be tempered glass.

2. Furnish all windows and doors as show on the Drawings and as specified herein. The work includes but is not necessarily limited to the following:

- a) All wood doors.
b) Windows and glass to be as indicated on drawings

GYPSUM BOARD

1. Drywall construction shall be as detailed on the drawings, and in accordance with manufacturer's recommendations. Partition construction shall be sheet rock Firecode gypsum board 5/8" thick on 2 x 4 wood (or as indicated) spaced 16" on center. All exposed edges and outside corners shall be taped, filled and sanded smooth.

PAINTING

1. The painting contractor shall be responsible for inspecting the work of others prior to the application of any paint. If any surface cannot be put in proper condition for finishing by customary cleaning, sanding, and puttying operations, the Painting Contractor shall immediately notify the General Contractor.

2. Herein specified are selected from Pratt and Lambert's catalog to establish type, compositions, quality and color. Materials by Glidden, PPG, Martin-Senour, Benjamin Moore, Sherwin-Williams or other manufacturer approved Architect will be acceptable.

3. Drywall Partitions: One (1) coat primer, two (2) coats P & L Vapex Flat wall finish.

4. Wood doors and Frames.

PLUMBING

1. The Contractor will be required to furnish all labor, materials, equipment, etc., necessary to make a complete plumbing system including hot and cold water piping, soil waste and vent piping drains, and sanitary system, plumbing fixtures, all as shown on the accompanying drawings.

2. All plumbing fixtures - Kohler w/Moen faucets or approved equal.

3. All work must conform to the rules, regulations, codes and ordinances of local codes.

HEATING, VENTILATING & AIR CONDITIONING

1. The Contractor will be required to furnish all labor, materials, equipment, etc., necessary to make a complete heating and cooling system for the addition.

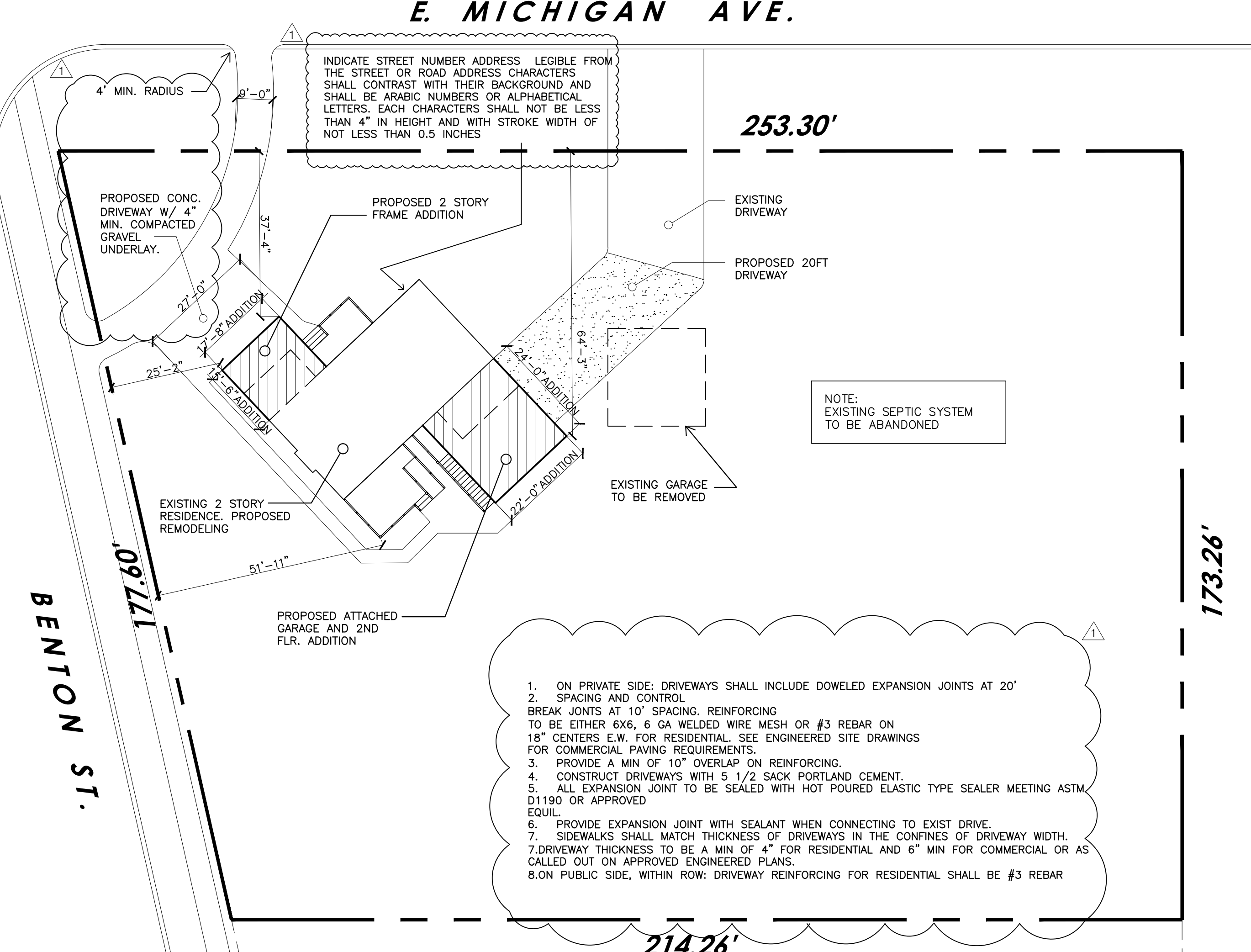
2. All work must conform to the rules, regulations, codes, and ordinances of local codes.

3. Contractor will guarantee 72 degrees indoor temperature at 95 degrees outdoor temperature and 72 degrees indoor at 0 degrees outdoor.

4. All bathroom exhaust fans (to be U.L. Approved) and dryer vents to be vented to the outside and connected to an appliance on roof or wall (min. one foot away from plumbing vents). Bathrooms to be 40 c.f.m. (min.), laundry rooms to be 75 c.f.m. (min.).

ZONING DATA:
LOT AREA: 40,505 SQFT.
1ST FLOOR-EXIST: 1342 SQFT.
2ND FLOOR-EXIST: 1104 SQFT.
TOTAL EXISTING: 2446 SQFT.
1ST FLOOR-PROPOSED: 1375 SQFT.
2ND FLOOR-PROPOSED: 1906 SQFT.
TOTAL PROPOSED: 3284 SQFT.

RENOVATION AND BUILDING ADDITION
EXISTING SINGLE FAMILY RESIDENCE
Immaculate Conception Parish
101 E Michigan Ave
PALATINE ILLINOIS



INDICATE STREET NUMBER ADDRESS LEGIBLE FROM THE STREET OR ROAD ADDRESS CHARACTERS SHALL CONTRAST WITH THEIR BACKGROUND AND SHALL BE ARABIC NUMBERS OR ALPHABETICAL LETTERS. EACH CHARACTERS SHALL NOT BE LESS THAN 4" IN HEIGHT AND WITH STROKE WIDTH OF NOT LESS THAN 0.5 INCHES

NOTE: EXISTING SEPTIC SYSTEM TO BE ABANDONED

- 1. ON PRIVATE SIDE, DRIVEWAYS SHALL INCLUDE DOWELED EXPANSION JOINTS AT 20' SPACING AND CONTROL BREAK JOINTS AT 10' SPACING. REINFORCING TO BE EITHER 6X6, 6 GA WELDED WIRE MESH OR #3 REBAR ON 18" CENTERS E.W. FOR RESIDENTIAL. SEE ENGINEERED SITE DRAWINGS FOR COMMERCIAL PAVING REQUIREMENTS.
2. PROVIDE A MIN OF 10" OVERLAP ON REINFORCING.
3. CONSTRUCT DRIVEWAYS WITH 5 1/2 SACK PORTLAND CEMENT.
4. ALL EXPANSION JOINT TO BE SEALED WITH HOT POURED ELASTIC TYPE SEALER MEETING ASTM D1190 OR APPROVED EQUIV.
5. PROVIDE EXPANSION JOINT WITH SEALANT WHEN CONNECTING TO EXIST DRIVE.
6. SIDEWALKS SHALL MATCH THICKNESS OF DRIVEWAYS IN THE CONFINES OF DRIVEWAY WIDTH.
7. DRIVEWAY THICKNESS TO BE A MIN OF 4" FOR RESIDENTIAL AND 6" MIN FOR COMMERCIAL OR AS CALLED OUT ON APPROVED ENGINEERED PLANS.
8.ON PUBLIC SIDE, WITHIN ROW: DRIVEWAY REINFORCING FOR RESIDENTIAL SHALL BE #3 REBAR

NOTE: All wood trusses indicated on these plans shall be designed by the Owner's wood supplying manufacturer-vendor, the contract which will be awarded after a building permit is approved.
Said Owner's manufacturer-vendor will provide manufacturer's specifications, truss drawings, and all associated details, all in accordance with R 106.1 of the 2015 IRC, and shall be signed and sealed by a State of Illinois Licensed Structural Engineer

Signature and date of NESTOR POPOWYCH, LICENSED ARCHITECT

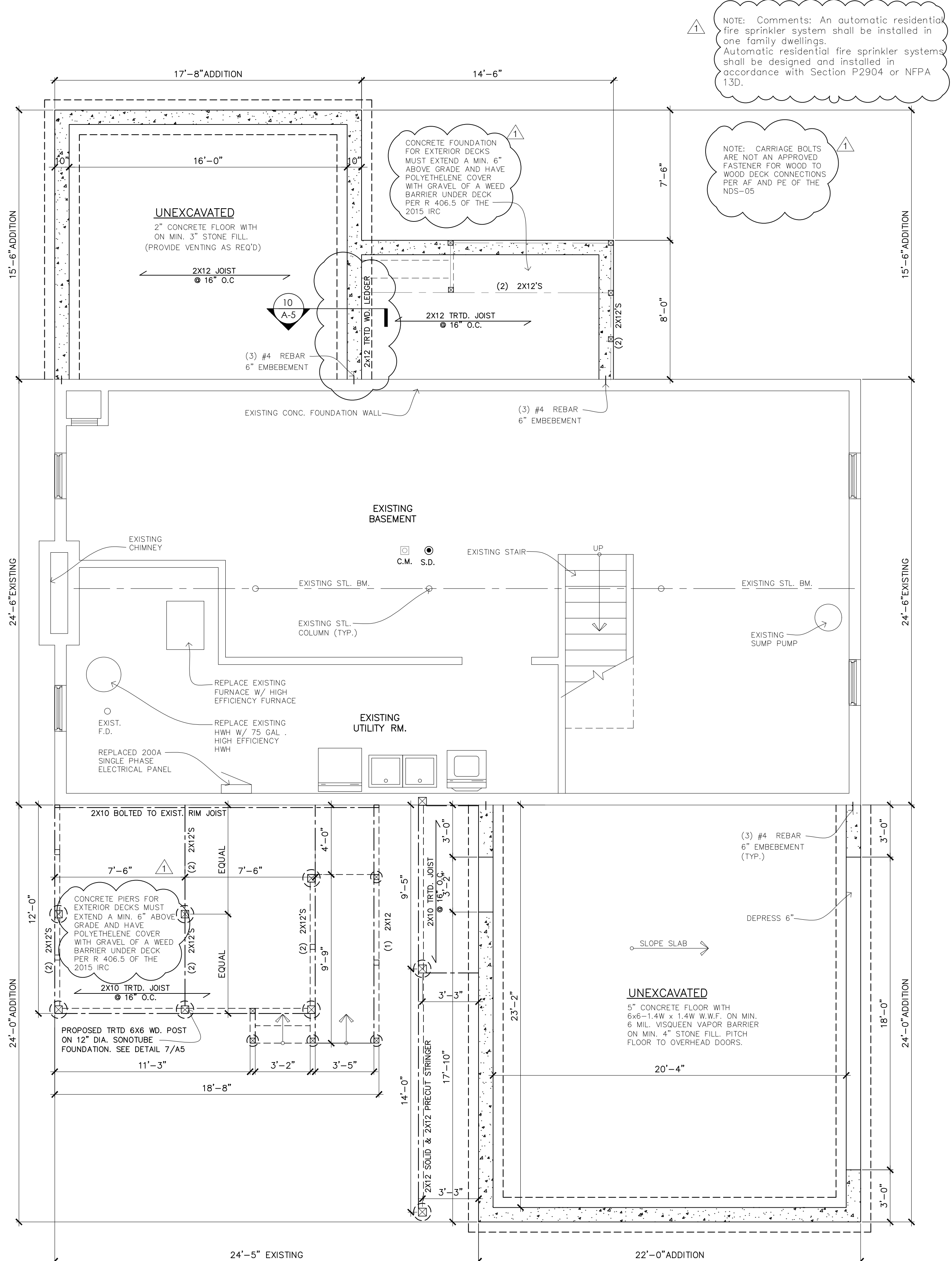


DATE: 12/23/22
PROJECT: 064-22
SHEET NO.

A-1

NESTOR POPOWYCH, A.I.A.
ARCHITECT
TEL: 312 953 6777
E: nestor.popowych@gmail.com

RENOVATION AND BUILDING ADDITION
EXISTING SINGLE FAMILY RESIDENCE
Immaculate Conception Parish
101 E Michigan Ave
PALATINE ILLINOIS



EXISTING BASEMENT / NEW FOUNDATION PLAN

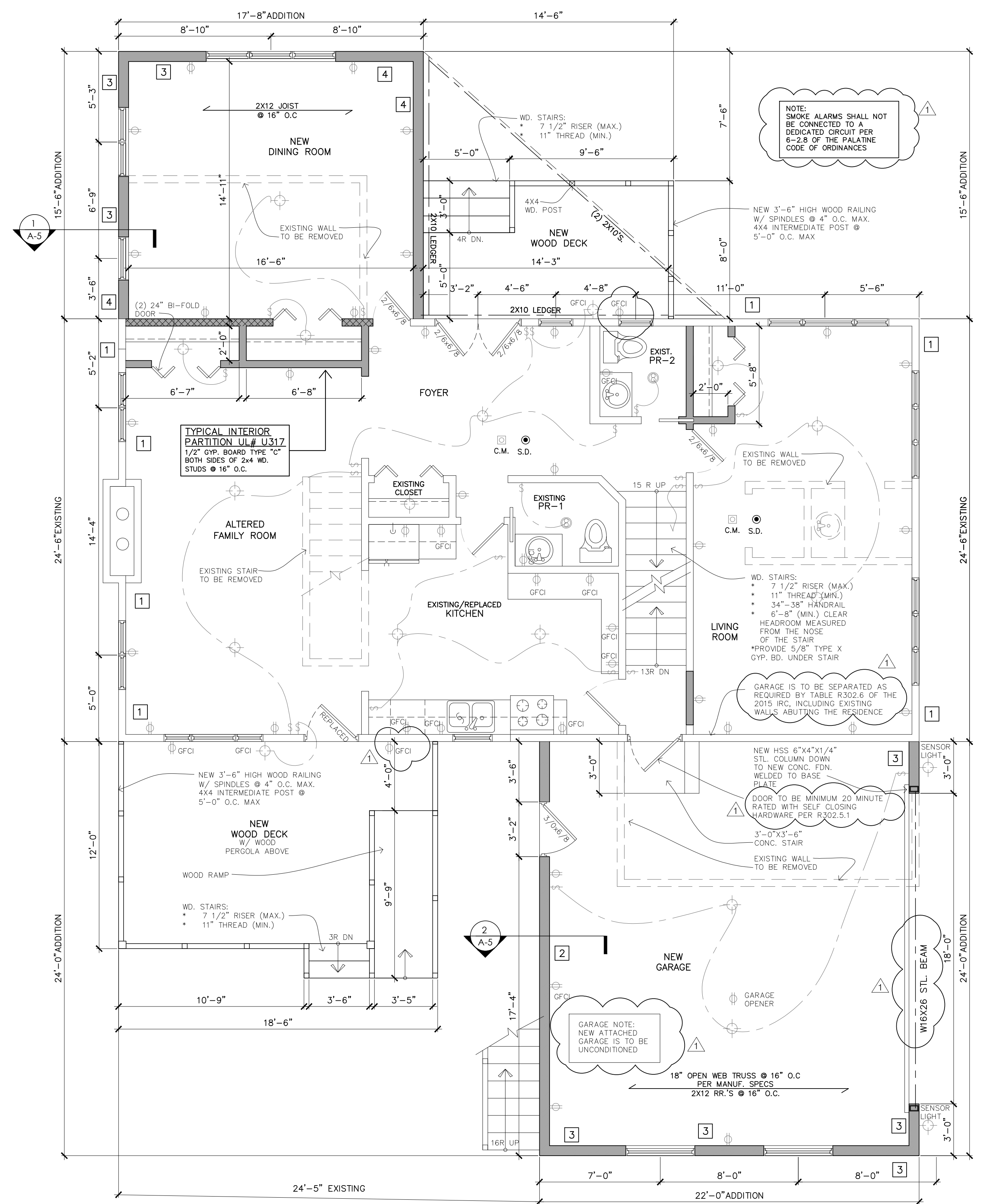
SCALE: 1/4" = 1'-0"

SHEARWALL SCHEDULE:

MARK	WALL THICK.	LENGTH	NAILING
1	(2) 15/32" ST 1	SEE PLAN	10d @ 2" O.C. W/ (2) SIMPSON HD12 W/ 1 1/8" DIA ANCHOR AND (4) 1" DIA THRU W/ 6X6 STUD, USE (2) HTTS-3/4 AT TOP OF WALL AND BOTTOM OF UPPER WALL E.E.
2	(2) 15/32" ST 1	SEE PLAN	10d @ 3" O.C. W/ (2) SIMPSON HD12 W/ 1 1/8" DIA ANCHOR AND (4) 1" DIA THRU W/ 6X6 STUD, USE (2) HTTS-3/4 AT TOP OF WALL AND BOTTOM OF UPPER WALL E.E.
3	(2) 15/32" ST 1	SEE PLAN	10d @ 4" O.C. W/ (1) SIMPSON HD 12 W/ 1 1/8" DIA ANCHOR AND (4) 1" DIA THRU W/ 6X6 STUD, USE (2) HTTS-3/4 AT TOP OF WALL AND BOTTOM OF UPPER WALL E.E.
4	(1) 15/32" ST 1	SEE PLAN	10d @ 6" O.C. W/ (1) SIMPSON HD 12 W/ 1 1/8" DIA ANCHOR AND (4) 1" DIA THRU W/ 4X4 STUD, USE (2) HTTS-3/4 AT TOP OF WALL AND BOTTOM OF UPPER WALL E.E.

NOTE: Comments: An automatic residential fire sprinkler system shall be installed in one family dwellings. Automatic residential fire sprinkler systems shall be designed and installed in accordance with Section P2904 or NFPA 13D.

NOTE: CARRIAGE BOLTS ARE NOT AN APPROVED FASTENER FOR WOOD TO WOOD DECK CONNECTIONS PER AF AND PE OF THE NDS-05



PROPOSED FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

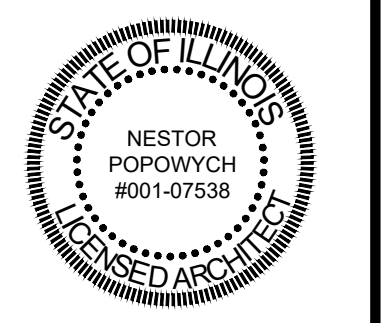
NOTE: SMOKE ALARMS SHALL NOT BE CONNECTED TO A DEDICATED CIRCUIT PER 6-2.8 OF THE PALATINE CODE OF ORDINANCES

GARAGE IS TO BE SEPARATED AS REQUIRED BY TABLE R302.6 OF THE 2015 IRC, INCLUDING EXISTING WALLS ABUTTING THE RESIDENCE

GARAGE NOTE: NEW ATTACHED GARAGE IS TO BE UNCONDITIONED

NESTOR POPOWYCH, A.I.A.
ARCHITECT
TEL: 312 953 6777
E: nestor.popowych@gmail.com

RENOVATION AND BUILDING ADDITION
EXISTING SINGLE FAMILY RESIDENCE
Immaculate Conception Parish
101 E Michigan Ave
PALATINE
ILLINOIS



DATE: 12/23/22

PROJECT: 064-22

SHEET NO.

A-2

ELECTRICAL

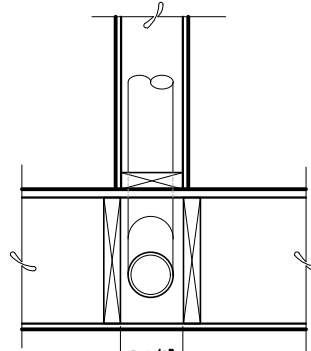
- N/A
- ALL EQUIPMENT SHALL BE U.L. APPROVED OR ANY OTHER NATIONALLY RECOGNIZED TESTING COMPANY
- ALL RECEPTACLES SHALL BE GROUNDED AS REQUIRED BY ARTICLE 250-74
- ALL OUTSIDE LIGHTS SHALL BE U.L. APPROVED FOR WET OR DAMP LOCATIONS AS REQUIRED BY SECTION 410-4
- ALL WIRING TO AND THROUGH FLUORESCENT FIXTURES SHALL BY TYPE THHN OR EQUAL.
- SMOKE DETECTORS SHALL BE INSTALLED IN EACH SLEEPING ROOM, OUTSIDE OF EACH SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS, AND ON ALL EACH ADDITIONAL STORY OF THE BUILDING.
ALL SMOKE DETECTORS TO BE LINE VOLTAGE AND TOGETHER.
- ALL BRANCH CIRCUITS THAT SUPPLY 125 VOLT SINGLE PHASE, 15 AND 20 AMPERE OUTLETS INSTALLED IN DWELLING UNIT BEDROOMS SHALL BE PROTECTED BY AN ARC-FAULT CIRCUIT INTERRUPTER LISTED TO PROVIDE PROTECTION OF THE ENTIRE BRANCH CIRCUIT.
- ALL LOW VOLTAGE TO BE IN CONDUIT IN WALLS TO ACCESSIBLE LOCATIONS.
- ALL LOW VOLTAGE INSTALLED IN WALLS TO BE IN CONDUIT TO ABOVE SUSPENDED CEILING. ABOVE CEILING PLENUM RATED WIRE TO BE USED.
- LIGHTS OVER TUBS AND SHOWERS TO BE GFI PROTECTED.
- ALL CEILING BOXES TO FAN RATED.
- PRIOR TO ANY CONSTRUCTION WORK BEGINNING AN ON-SITE MEETING WITH GENERAL CONTRACTOR IS REQUIRED.
- SURFACE MOUNTED CLOSET LIGHTS SHALL BE LOCATED WITHIN 30" FROM ANY WALL. SURFACE MOUNTED FLORESCENT IS PERMITTED ON THE INSIDE WALL ABOVE CLOSET OPENING.
- ALL WIRING FOR THERMOSTAT AND DOOR BELLS TO BE IN CONDUIT.
- EVERY DWELLING UNIT SHALL BE EQUIPPED WITH AT LEAST ONE APPROVED 110V WITH BATTERY BACKUP CARBON MONOXIDE ALARM IN AN OPERATING CONDITION WITHIN 15' OF EVERY FEET ROOM USED FOR SLEEPING PURPOSES.
- IF METER IS MORE THAN 5' FROM THE PANEL A DISCONNECT WILL BE REQUIRED IN METER.
- DISCONNECTS FOR AC UNITS MUST MEET ELECTRICAL CLEARANCE CODES.
- CONDUIT BETWEEN HOUSE AND GARAGE TO BE RIDGID GALVANIZED STEEL A MINIMUM OF 18" BELOW GROUND. CALL FOR INSPECTION PRIOR TO COVERING.
- ALL SWITCHES IN BATHROOMS MUST BE A MINIMUM OF 4'-0" TO TUB AND SHOWERS.

SYMBOL LEGEND

- | | |
|--|-------------------------------|
| ⊥ SINGLE POLE SWITCH | ⊕ SURFACE MTD. LIGHT FIXTURE |
| ⊥ THREE-WAY SWITCH | ⊕ RECESSED CAN |
| ⊥ DIMMER SWITCH | ⊕ FLUORESCENT-SIZE VARIES |
| ⊕ DUPLEX RECEPTACLE | ⊕ FLUORESCENT LIGHT |
| ⊕ DUPLEX RECEPTACLE SHADING DENOTES | ⊕ EYEBALL FIXTURE |
| ⊕ GROUND FAULT CIRCUIT INTERRUPTER (GFI) | ⊕ WP RECESSED CAN |
| ⊕ SMOKE DETECTION 110V BATT. BACK-UP | ⊕ WALL MTD EXT. FIXTURE |
| ⊕ CARBON MONOXIDE DETECTOR | ⊕ WALL MTD SCONCE (6'-0" AFF) |
| ⊕ CENTRAL VEC | ⊕ SECURITY LIGHT |
| ⊕ THERMOSTAT | ⊕ FAN/LIGHT 60W/100CFM |
| ⊕ MOTOR | ⊕ EXHAUST FAN 230 CFM |
| ⊕ PHONE | ⊕ CEILING FAN |
| ⊕ TV/CABLE | ⊕ BATTERY PACK EM. LIGHT |
| ⊕ TIMER | ⊕ EXIT SIGN |
| ⊕ FLOOR OUTLET (FINAL POSITION BY OWNER) | |

NOTE: ALL CLOSET LIGHTS TO BE RECESSED FLOOR PER CODE.

NOTE: ALL SMOKE DETECTORS TO BE INTERCONNECTED 110 v. #7 BATTERY BACK-UP

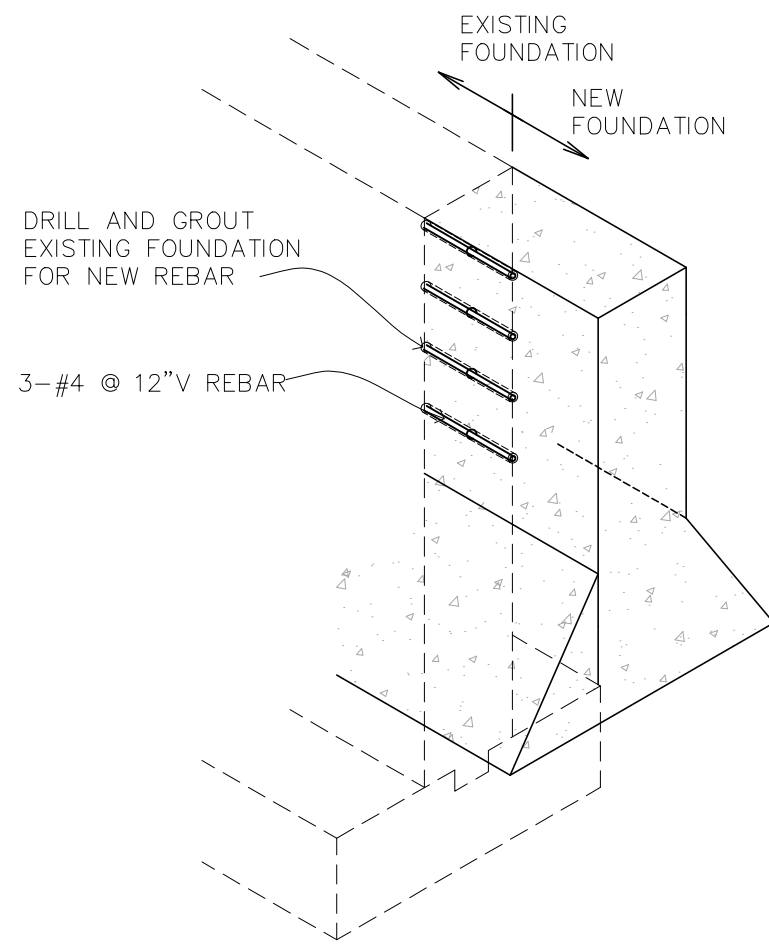


PARTITION DETAIL
SCALE: 1" = 1'-0"

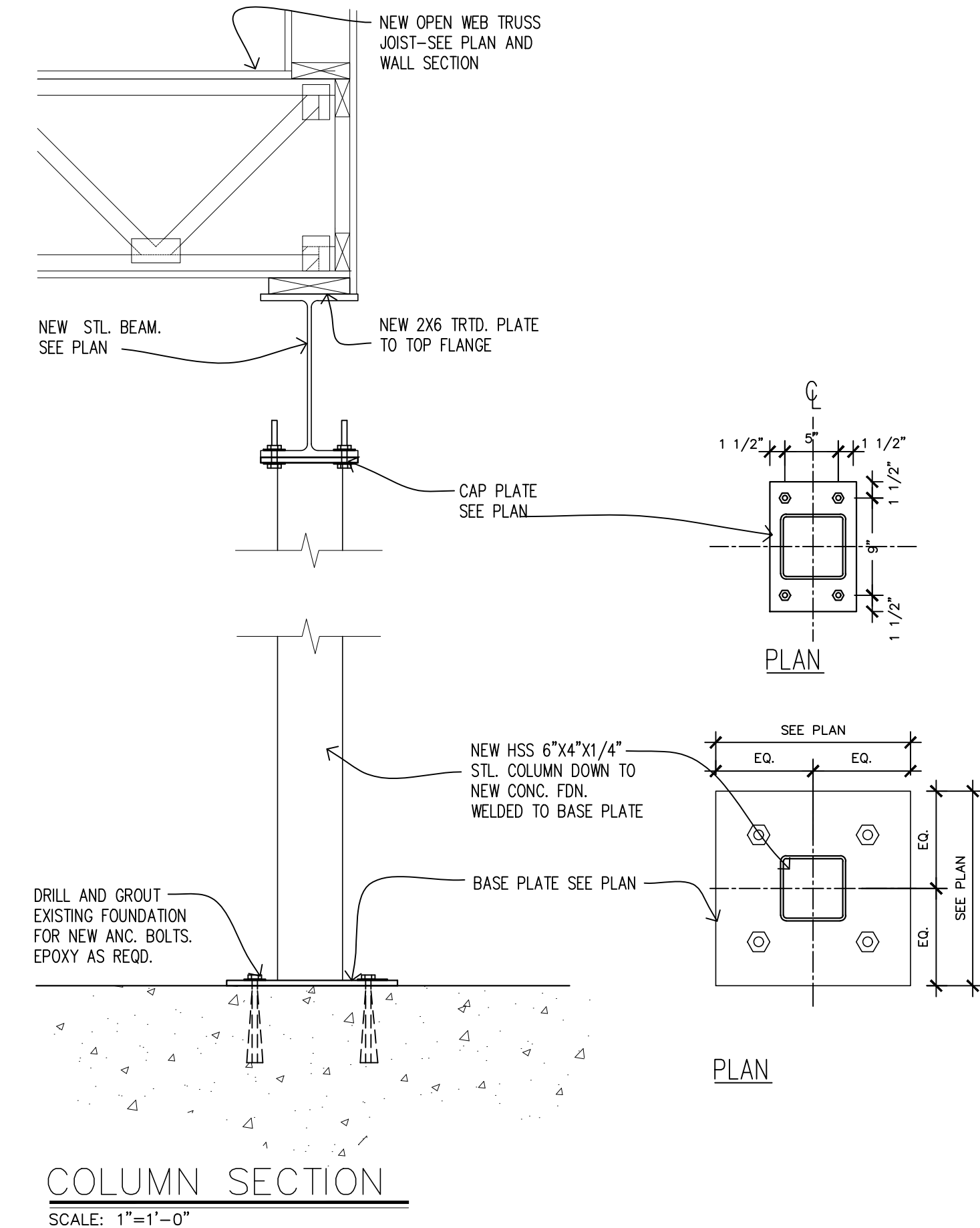
POSTS SUPPORTING VALLEY MEMBERS

POST	DESCRIPTION	HEIGHT
4x4 POST		0'-0" - 7'-0"
2X4 POST & 2X6 POST GLUEDW/16D NAILS @ 6" O.C.		7'-0" - 11'-0"
6X6 POST		11'-0" - 14'-0"
2X6 POST & 2X8 POST GLUEDW/16D NAILS @ 6" O.C.		14'-0" - 17'-0"

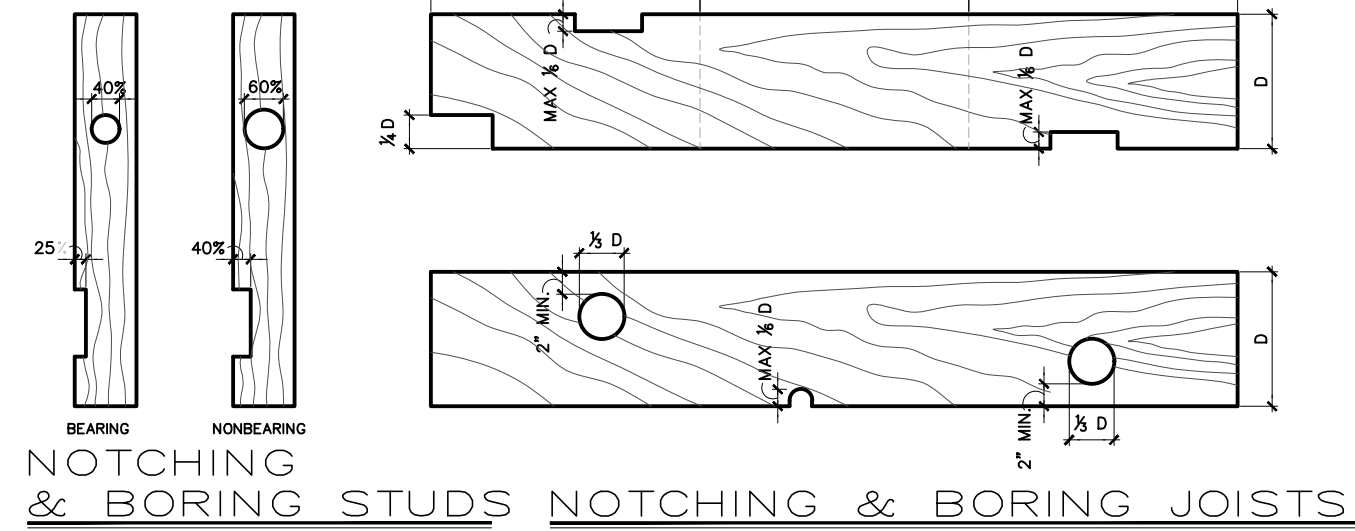
NOTE: RIDGE / HIP TO BE MIN. ONE SIZE LARGER THAN RAFTERS FOR RAFTER OVER 20'-0" APPLY BRACING TO BOTTOM OF JOISTS. RAFTERS AND CEILING JOIST SHALL BE SUPPORTED LATERALLY BY SOLID BLOCKING, DIAGONAL BRIDGING (WOOD OR METAL) AT INTERVALS NOT EXCEEDING 10 FT. WHERE FINISHED CEILING APPLIED.



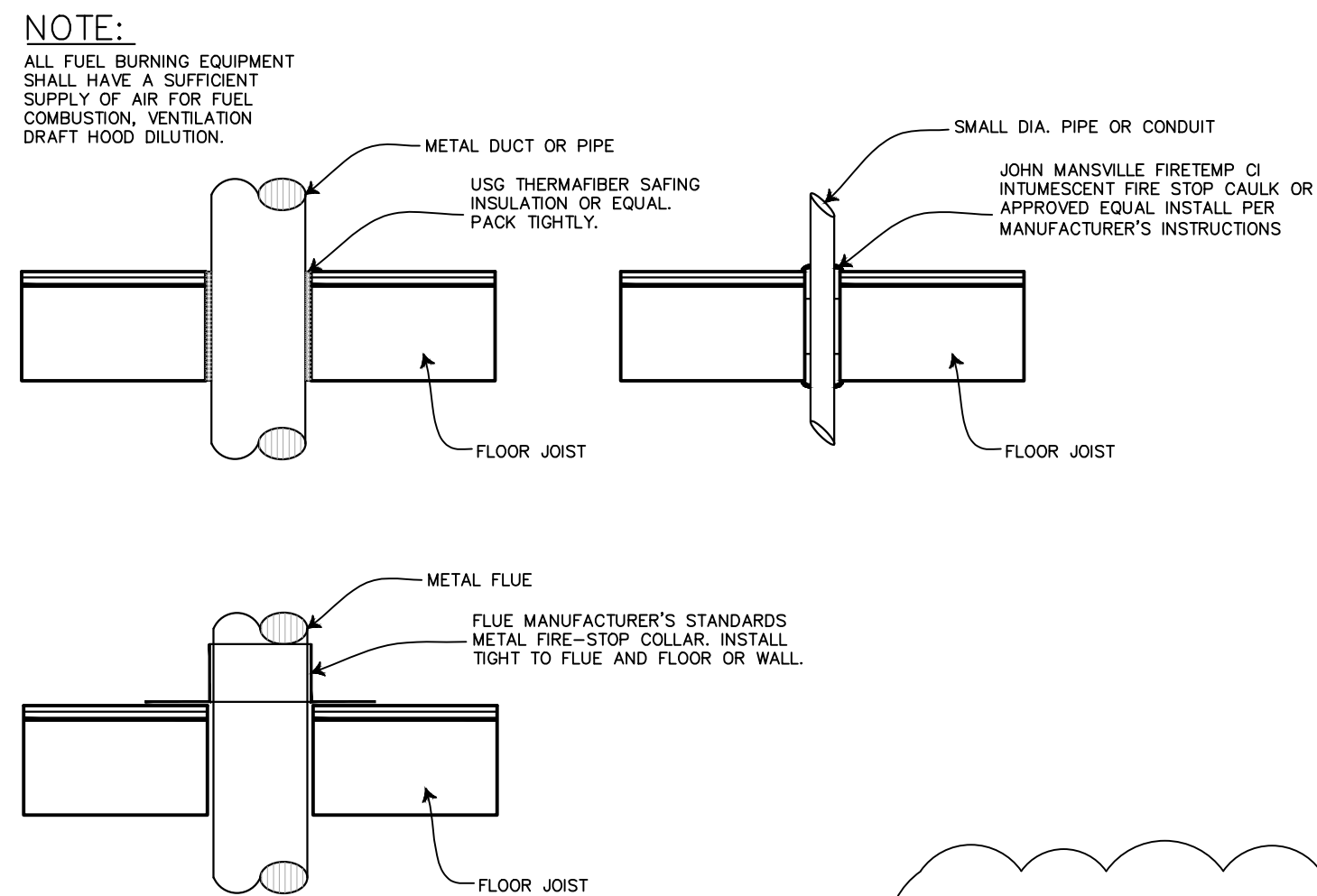
FOUNDATION CONNECTION DETAIL
N.T.S.



COLUMN SECTION
SCALE: 1" = 1'-0"



NOTCHING & BORING STUDS NOTCHING & BORING JOISTS



FIRESTOPPING DETAILS (TYP.)
N.T.S.

SHEARWALL SCHEDULE:

MARK	WALL THICK.	LENGTH	NAILING
1	(2) 15/32" ST 1	SEE PLAN	10d @ 2" O.C. W/ 6X6 STUD AND (2) HTT5-3/4 AT BOTTOM E.E.
2	(2) 15/32" ST 1	SEE PLAN	10d @ 3" O.C. W/ 6X6 STUD AND (2) HTT5-3/4 AT BOTTOM E.E.
3	(2) 15/32" ST 1	SEE PLAN	10d @ 4" O.C. W/ 6X6 STUD AND USE (2) HTT5-3/4 AT BOTTOM WALL E.E.
4	(1) 15/32" ST 1	SEE PLAN	10d @ 6" O.C. W/ 4X4 STUD AND (2) HTT5-3/4 AT BOTTOM OF WALL E.E.

FRAMING NOTES: DEAD LOAD 10#/S.F.

CEILING JOISTS, FLOOR JOISTS AND HEADERS SHALL BE CANADIAN LUMBER BASED UPON U.S. SPAN BOOKS. FOR CANADIAN LUMBER USE SPRUCE-PINE-FIR #2 FOR MEMBERS UP TO 12". FOR MEMBERS 12" AND ABOVE USE HEM-FR.

ALLOWABLE SPANS ARE AS FOLLOWS:

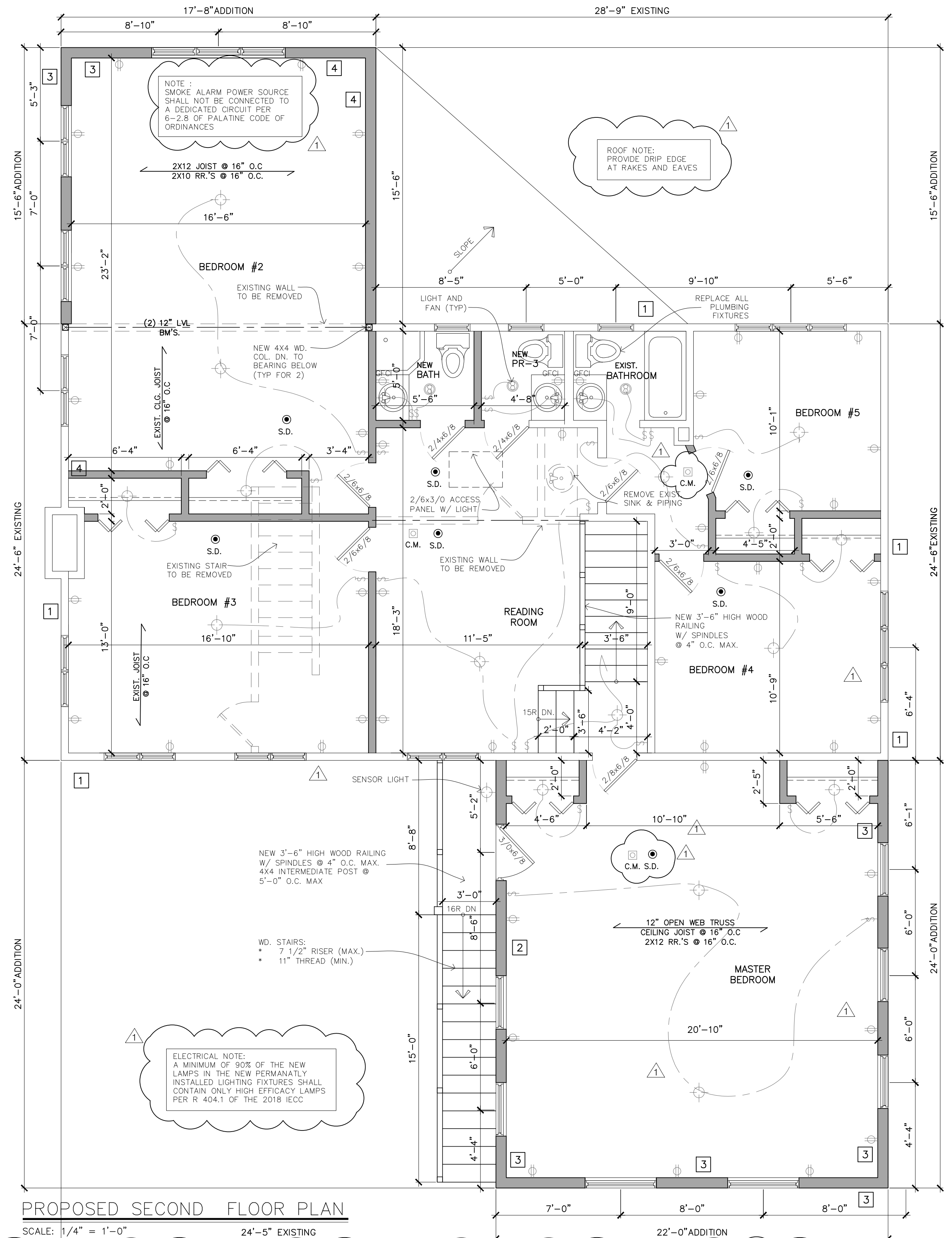
	SPRUCE-PINE-FIR #2	HEM-FR #2
CEILING JOISTS - 20lbs LIVE LOAD	2"x6" 14'-9"	2"x6" 18'-9"
12" O.C.	2"x8" 18'-9"	2"x8" 22'-11"
16" O.C.	2"x10" 12'-10"	2"x10" 19'-10"
	2"x12" 16'-3"	2"x12" 21'-0"

2nd FLOOR, FLOOR JOISTS - 30lbs LIVE LOAD

	SPRUCE-PINE-FIR #2	HEM-FR #2
12" O.C.	2"x10" 19'-0"	2"x10" 22'-6"
16" O.C.	2"x12" 17'-2"	2"x12" 19'-8"

1st FLOOR, FLOOR JOISTS - 40lbs LIVE LOAD

	SPRUCE-PINE-FIR #2	HEM-FR #2
12" O.C.	2"x12" 17'-3"	2"x12" 20'-4"
16" O.C.	2"x14" 15'-5"	2"x14" 17'-7"



PROPOSED SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

FOR THE TYPICAL FLOOR DIAPHRAGM USE 8d NAILS @ 6" MAX SPACING AT SUPPORTED EDGES, UNBLOCKED, NDS CASE 1, 3/4" PLYWOOD TONGUE AND GROOVE 1 3/8" MIN. NAIL PENETRATION.

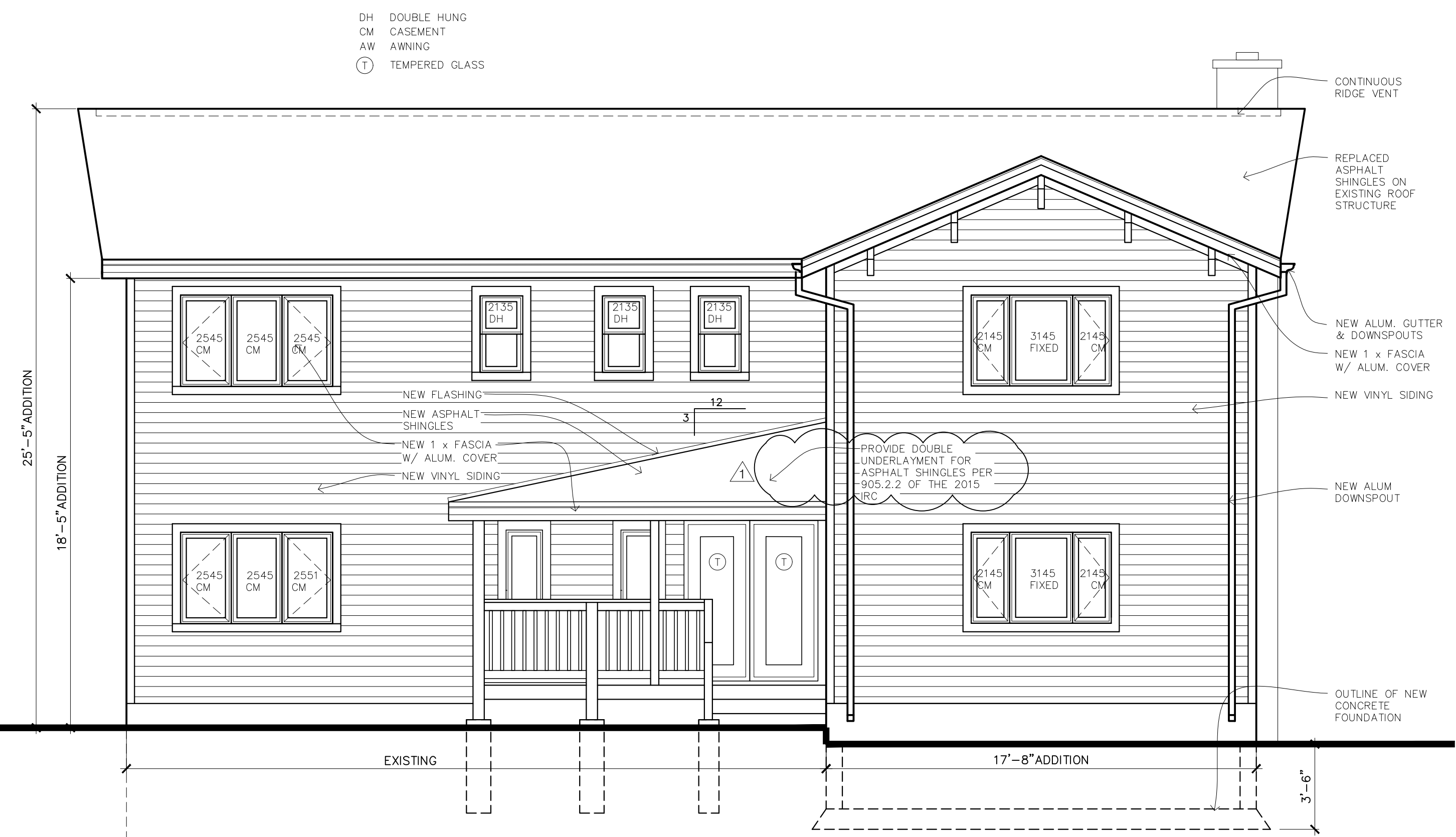
NESTOR POPOWYCH, A.I.A.
ARCHITECT
TEL: 312 953 6777
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RENOVATION AND BUILDING ADDITION
EXISTING SINGLE FAMILY RESIDENCE
Immaculate Conception Parish
101 E Michigan Ave
PALATINE
ILLINOIS



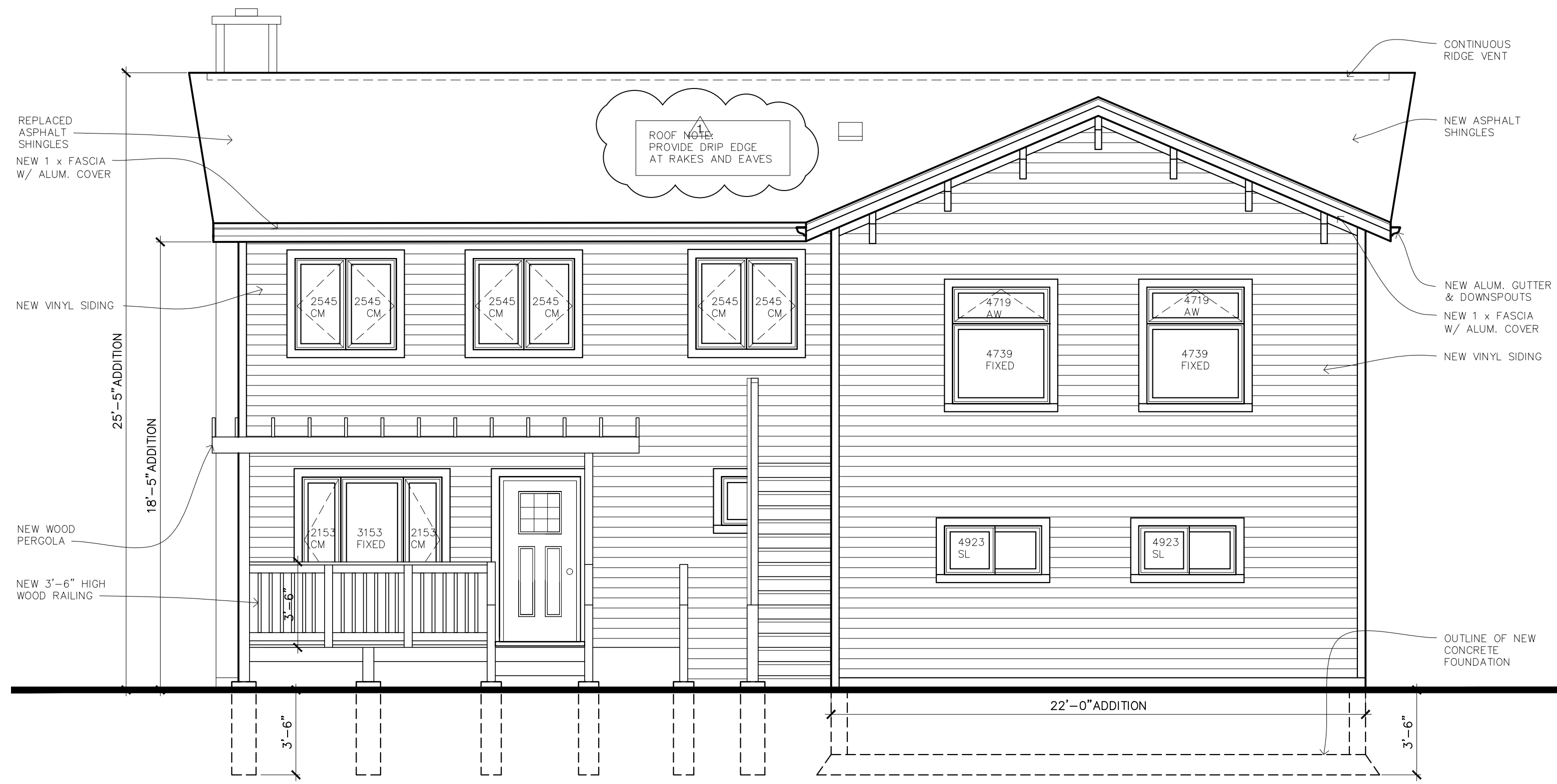
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12/23/22
PROJECT:
064-22
SHEET NO.

A-3



PROPOSED NORTH WEST ELEVATION

SCALE: 1/4" = 1'-0"



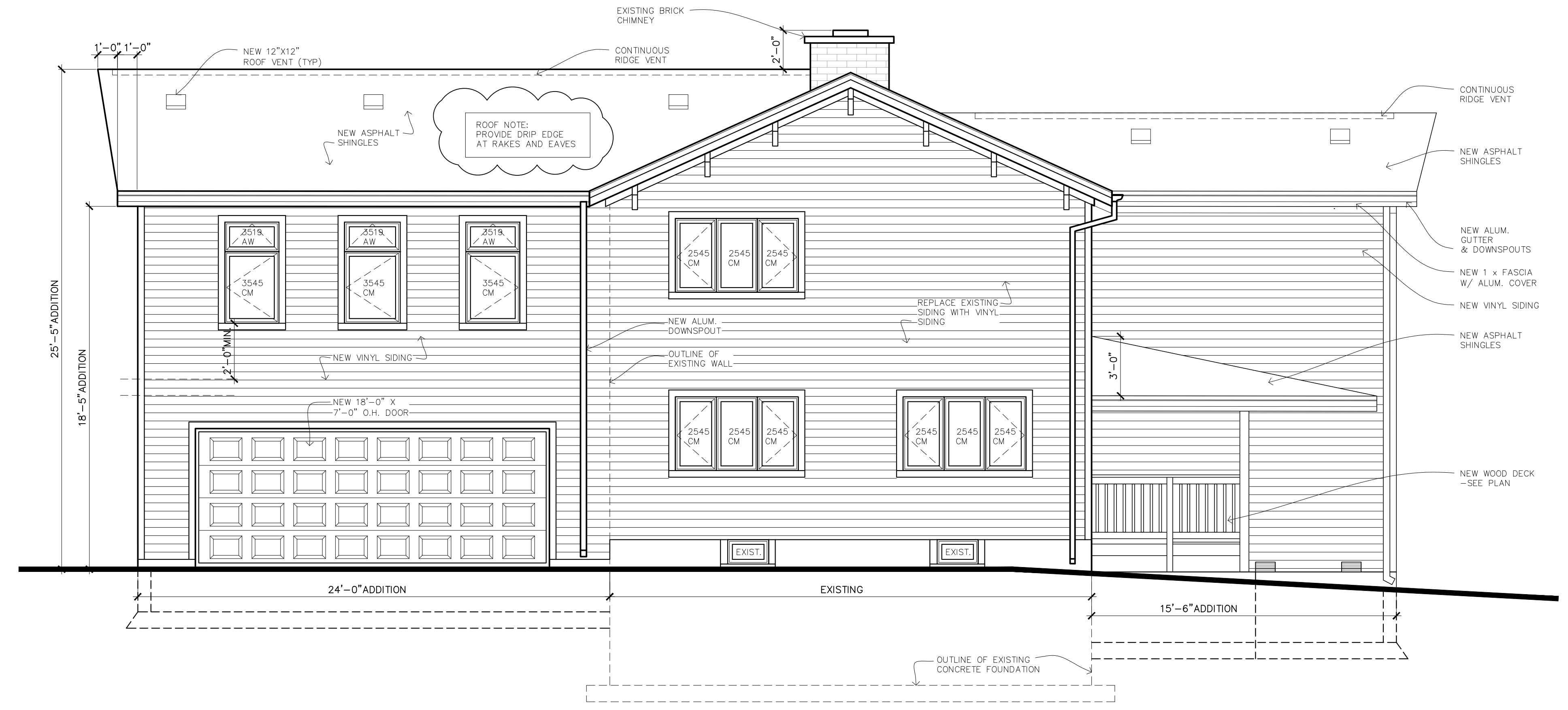
PROPOSED SOUTH EAST ELEVATION

SCALE: 1/4" = 1'-0"

NOTE:
 EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE WINDOW OR EXTERIOR DOOR APPROVED FOR EMERGENCY EGRESS OR RESCUE. THE UNITS MUST BE OPERABLE FROM THE INSIDE TO A FULL CLEAR OPENING WITHOUT THE USE OF SEPARATE TOOLS. WHERE WINDOWS ARE PROVIDED AS A MEANS OF EGRESS OR RESCUE THEY SHALL HAVE A SILL HEIGHT OF NOT MORE THAN 44 INCHES ABOVE THE FLOOR.
 ALL EGRESS OR RESCUE WINDOWS FROM SLEEPING ROOMS MUST HAVE MINIMUM NET CLEAR OPENING OF 5.7 SQ. FT. THE MINIMUM NET CLEAR OPENING HEIGHT DIMENSION SHALL BE 24". THE MINIMUM NET CLEAR OPENING WIDTH DIMENSION SHALL BE 20".

TEMPERED SAFETY GLASS NOTE:
 THE FOLLOWING WILL HAVE TEMPERED SAFETY GLASS INSTALLED:
 1. ALL GLAZING IN DOORS, SIDELIGHTS & SHOWER DOORS
 2. WINDOWS ADJACENT TO BATHTUBS & SHOWERS WHERE THE BOTTOM EDGE OF THE GLASS IS LESS THAN 60" A.F.F.
 3. LARGE PANELS OF GLASS (FIXED OR OPERABLE) GREATER THAN 9 SQ.FT. IN AREA, WITH BOTTOM EDGE LESS THAN 18" A.F.F.
 4. ALL SKYLIGHTS.

NOTE:
 WINDOWS ARE 'ADVANCED'-VERIFY W/ OWNER (OR EQUAL) (UNIT # SHOWN ON EXTERIOR ELEVATIONS)
 ALUM CLAD COLOR: BY OWNER. 5/8" CLEAR INS. GLASS

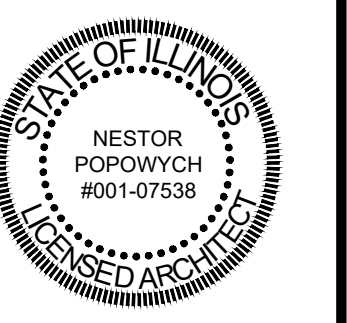


PROPOSED NORTH EAST ELEVATION

SCALE: 1/4" = 1'-0"

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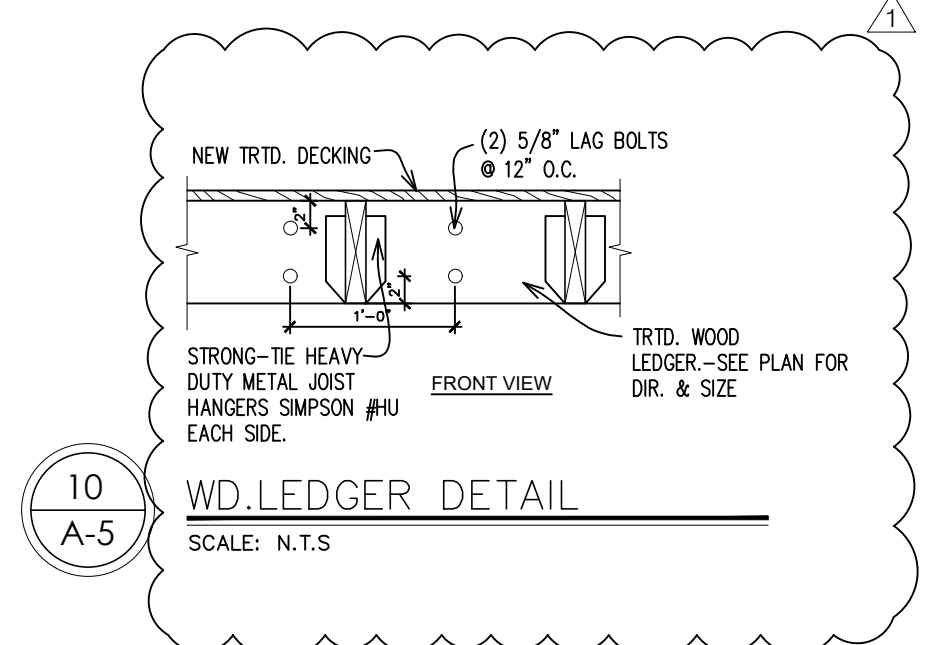
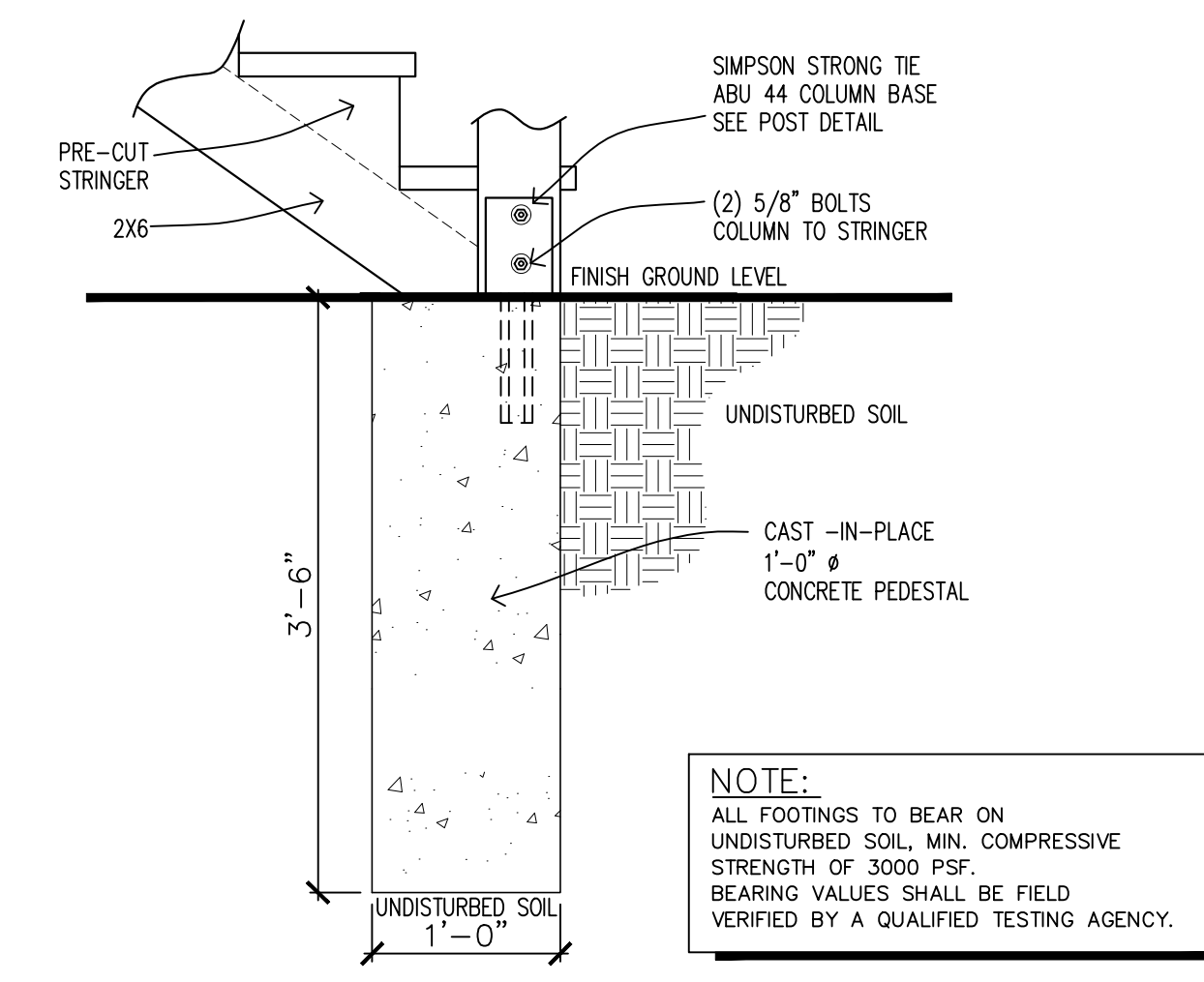


DATE:
 12/23/22

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 064-22

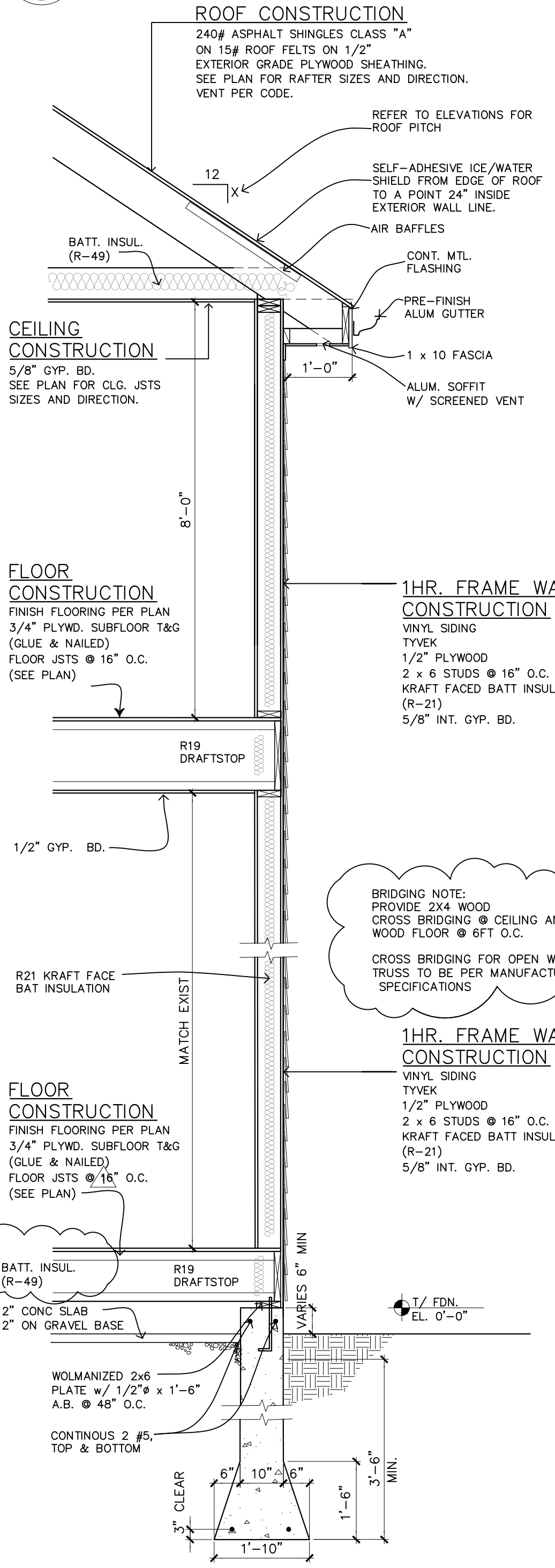
SHEET NO.

A-4

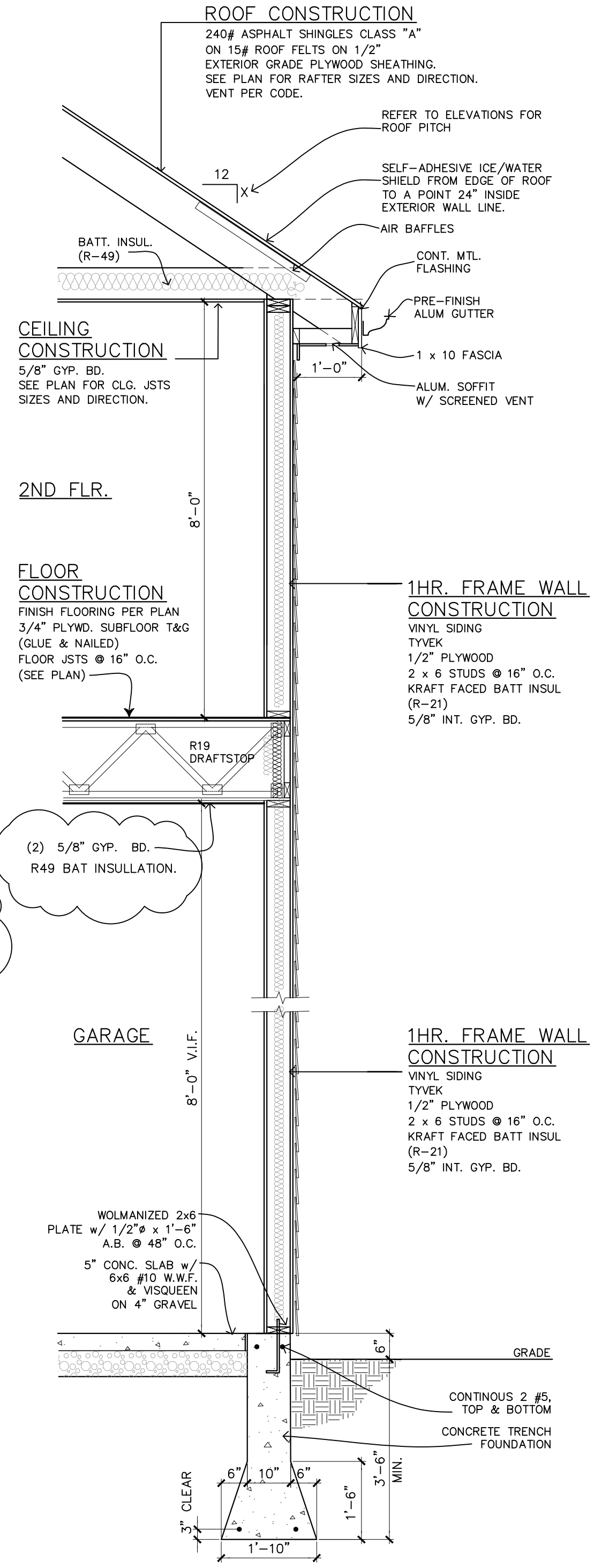


9
A-5
STAIR SONOTUBE DETAIL
SCALE: 1/2"=1'-0"

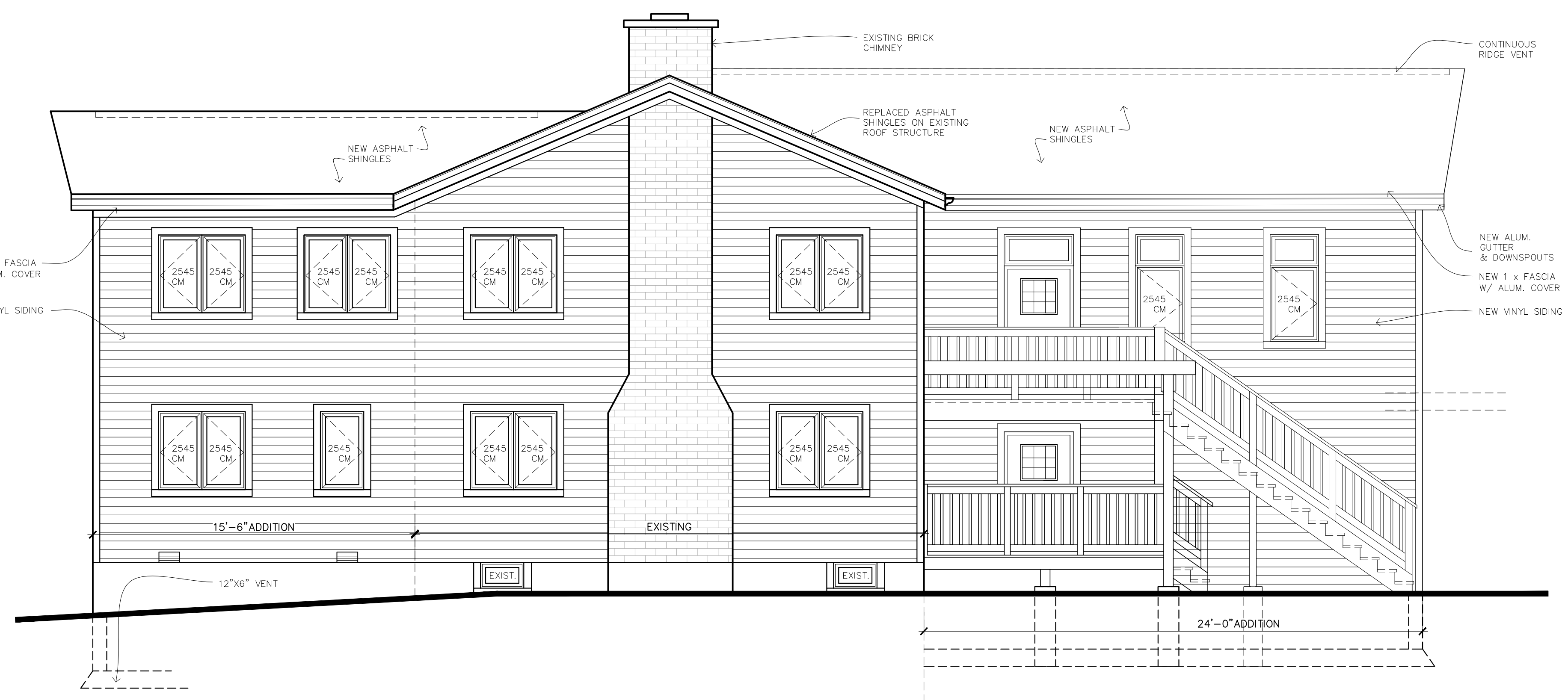
10
A-5
WD. LEDGER DETAIL
SCALE: N.T.S.



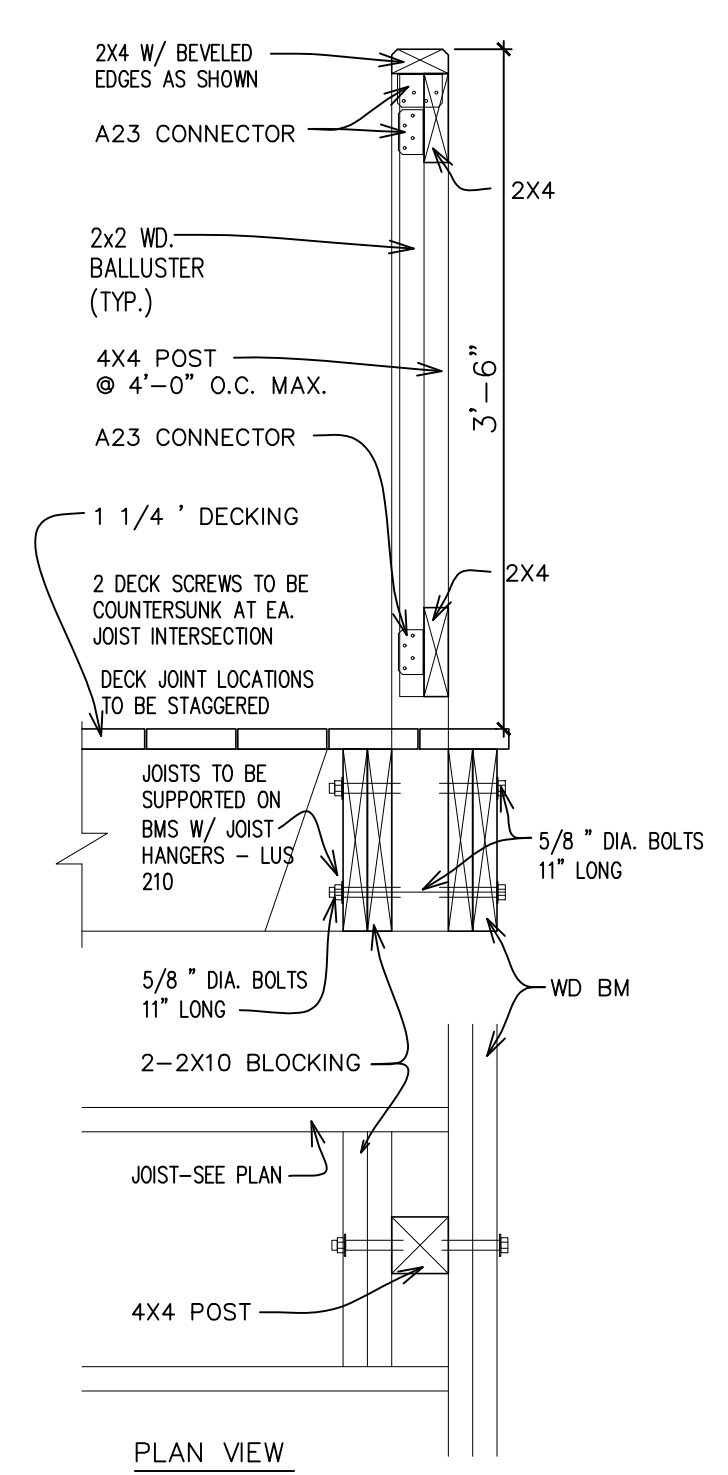
1
A-5
WALL SECTION
SCALE: 1/2"=1'-0"



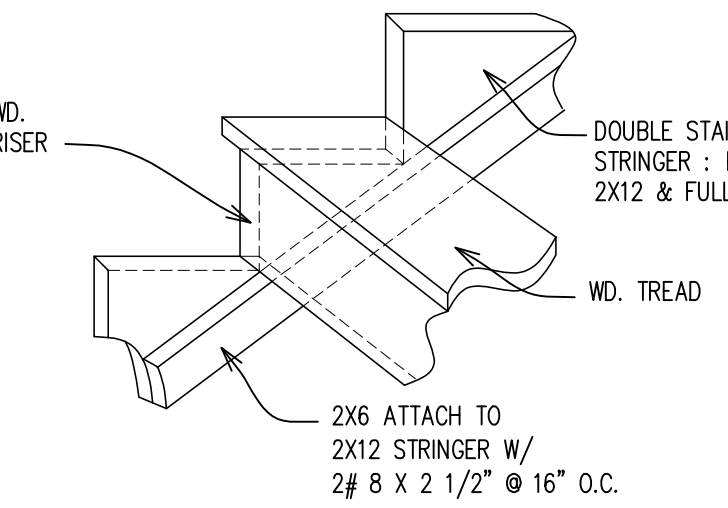
2
A-5
WALL SECTION
SCALE: 1/2"=1'-0"



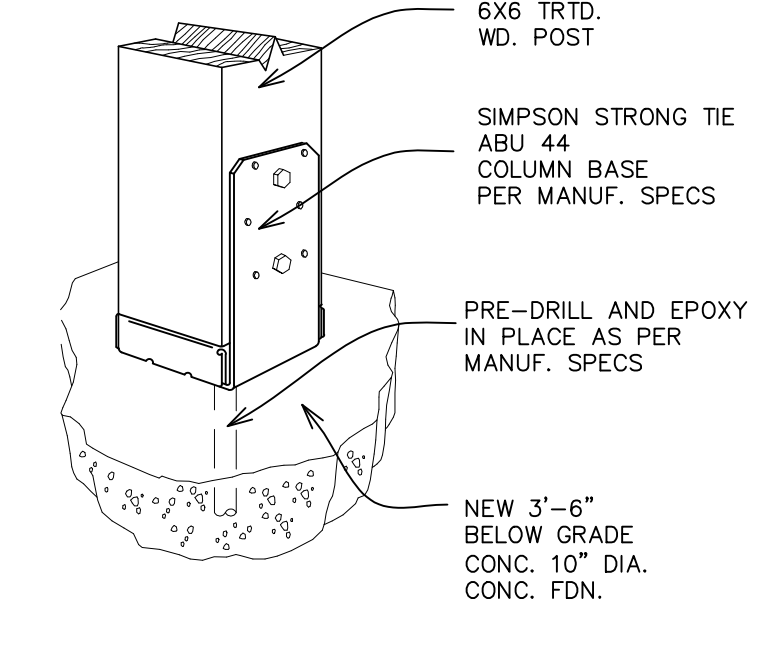
PROPOSED SOUTH WEST ELEVATION
SCALE: 1/4" = 1'-0"



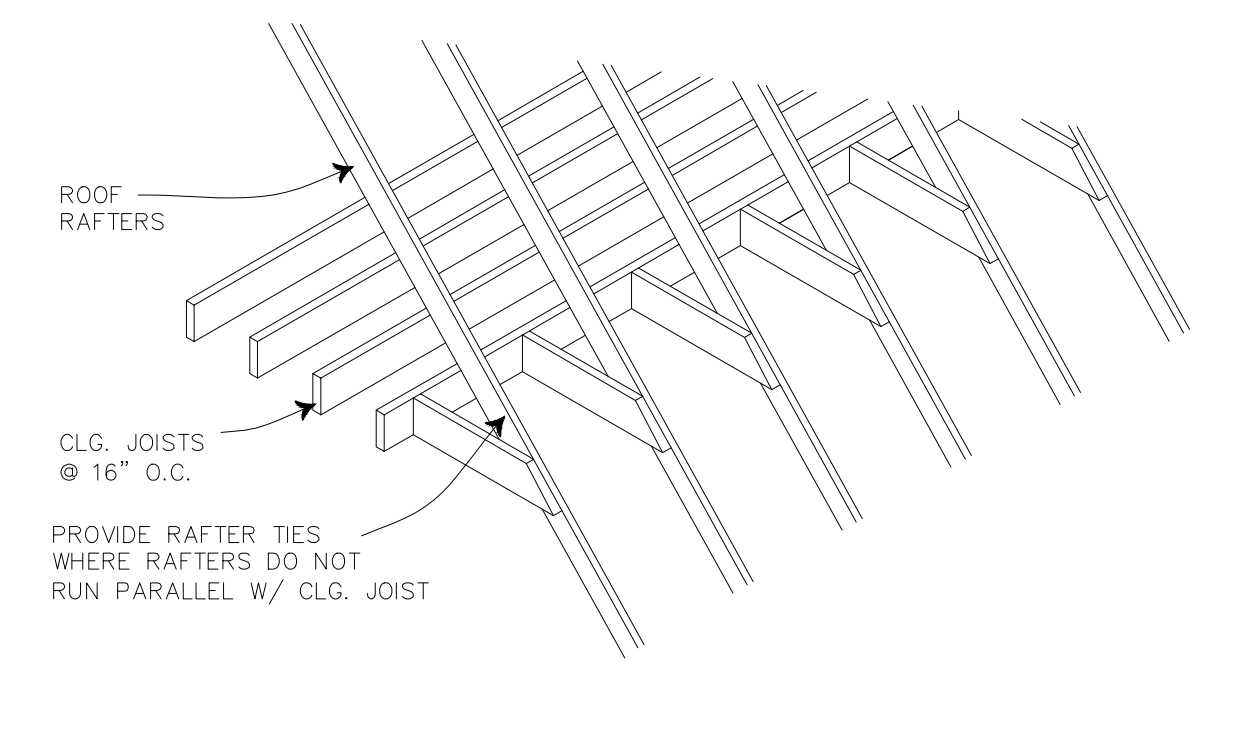
6
A-5
RAILING DETAIL
SCALE: 1"=1'-0"



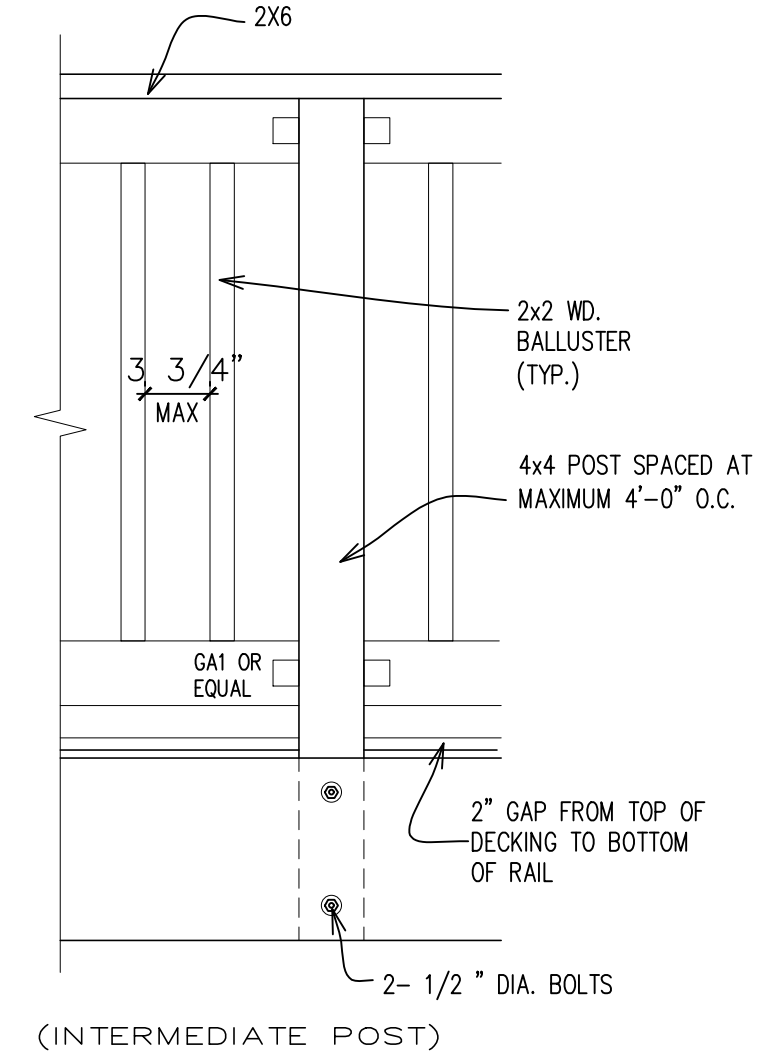
3
A-5
STRINGER DETAIL
SCALE: N.T.S.



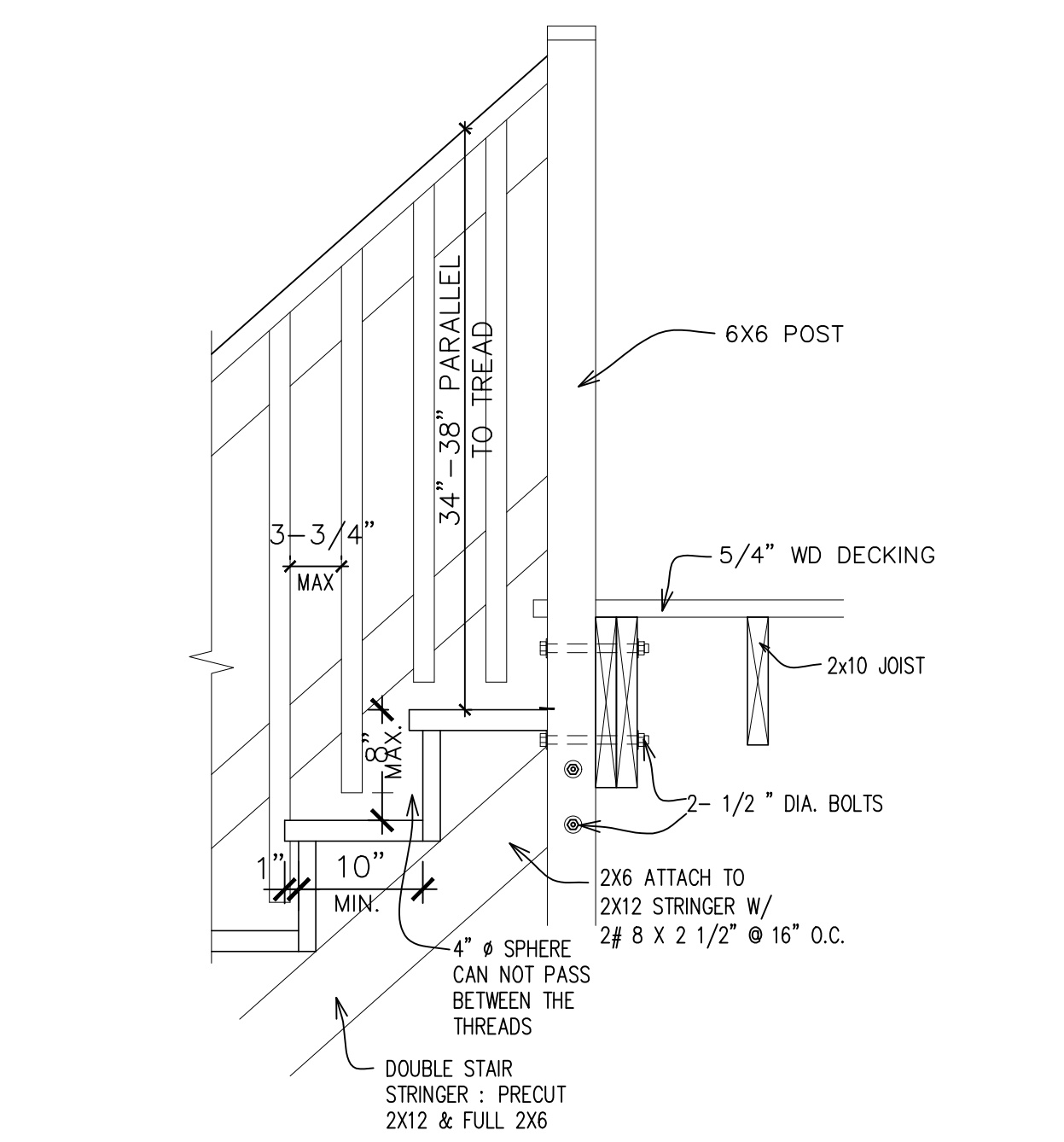
7
A-5
POST DETAIL
SCALE: N.T.S.



8
A-5
CLG. JOISTS DETAIL
SCALE: N.T.S.



4
A-5
RAILING ELEVATION
SCALE: 1"=1'-0"



5
A-5
EXTERIOR WD. STAIR DETAIL
SCALE: 1"=1'-0"

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A-5

PUBLIC NOTICE
 A Public Hearing will be held before the Palatine Zoning Board of Appeals on Tuesday, April 25, 2023 at 7 PM, in the Village Council Chambers at Palatine Village Hall, 200 E. Wood Street, relative to a request for the following:
Special Use to permit an addition to be set back 25 feet from the front lot line, instead of the minimum required 30 feet.
 The property is commonly known as 101 E. Michigan Avenue.
 The Petitioner is proposing to construct a 2-story addition off the front of the existing single-family residence, which would encroach into the required front yard off of Benton Street.
 The above petition has been filed by Very Rev. Yaroslav Mendyuk, Immaculate Conception Ukrainian Catholic Parish, and is available for examination in the office of the Village Clerk, 200 E. Wood Street.
 FILE #: SU-000030-2023
 VILLAGE OF PALATINE
 Jan Wood, Chair
 Palatine Zoning Board of Appeals
 DATED: This 10th day of April, 2023
 Published in Daily Herald April 10, 2023 (4598160)

CERTIFICATE OF PUBLICATION
Paddock Publications, Inc.

Northwest Suburbs
Daily Herald

Corporation organized and existing under and by virtue of the laws of the State of Illinois, DOES HEREBY CERTIFY that it is the publisher of the Northwest Suburbs **DAILY HERALD**. That said Northwest Suburbs **DAILY HERALD** is a secular newspaper, published in Arlington Heights, Cook County, State of Illinois, and has been in general circulation daily throughout Cook County, continuously for more than 50 weeks prior to the first Publication of the attached notice, and a newspaper as defined by 715 ILCS 5/

I further certify that the Northwest Suburbs **DAILY HERALD** is a newspaper as defined in "an Act to revise the law in relation to notices" as amended in 1992 Illinois Compiled Statutes, Chapter 715, Act 5, Section 1 and 5. That notice of which the annexed printed slip is a true copy, was published 04/10/2023 in said Northwest Suburbs **DAILY HERALD**. This notice was also placed on a statewide public notice website as required by 5 ILCS 5/2.1.

BY *Daule Baltz*
 Designee of the Publisher of the Daily Herald

Control # 4598160



Attachment: Public Notice (101 E. Michigan Ave - SU Setback (Addition))