



## VILLAGE OF PALATINE

VILLAGE HALL - COUNCIL CHAMBERS 200 E. WOOD STREET  
PALATINE, IL 60067-5339 – (847) 359-9050  
<http://www.palatine.il.us>

### ZONING BOARD OF APPEALS

#### AGENDA • APRIL 12, 2022

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Village Hall - Council Chambers

Regular Meeting

7:00 PM

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#### I. CALL TO ORDER

#### II. APPROVAL OF MINUTES

1. Zoning Board of Appeals - Regular Meeting - Mar 8, 2022 7:00 PM

#### III. PUBLIC HEARING

1. 851 N. Williams Drive - SU Deck in Floodplain  
Special Use to permit a deck to be located in the floodplain.
2. 1045 E. Lilac Drive - VAR Garage to Living Space  
Variation to permit an existing single-family detached dwelling to eliminate the minimum required one garage parking space, as part of the required parking for single-family dwellings.
3. 26 N. Rohlwing Road - Special Use for an Accessory Unique Use - Short-term rental  
Special Use for an accessory unique use to allow one unit of a two unit home to be used as a short-term rental property.
4. 44 W. Illinois Avenue - SU Packaged Liquor Store  
Special Use to permit a packaged liquor store.

#### IV. COMMUNICATIONS

#### V. ADJOURNMENT



## VILLAGE OF PALATINE

VILLAGE HALL - COUNCIL CHAMBERS 200 E. WOOD STREET  
 PALATINE, IL 60067-5339 – (847) 359-9050  
<http://www.palatine.il.us>

### ZONING BOARD OF APPEALS

MINUTES • MARCH 8, 2022

Village Hall - Council Chambers

Regular Meeting

7:00 PM

#### I. CALL TO ORDER

Attendee Name	Title	Status	Arrived
Brent Larson	Commissioner	Absent	
Cindy Roth-Wurster	Commissioner	Present	
Jan Wood	Commissioner	Present	
Jerry Luszczak	Commissioner	Present	
Theodore McGinn	Commissioner	Present	
Kevin Cavanaugh	Commissioner	Present	
John Pirog	Commissioner	Present	

#### II. APPROVAL OF MINUTES

- Zoning Board of Appeals - Regular Meeting - Feb 8, 2022 7:00 PM - **Accepted**

<b>RESULT:</b>	<b>ACCEPTED [UNANIMOUS]</b>
<b>AYES:</b>	Roth-Wurster, Wood, Luszczak, McGinn, Cavanaugh, Pirog
<b>ABSENT:</b>	Larson

Minutes Acceptance: Minutes of Mar 8, 2022 7:00 PM (Approval of Minutes)

### III. PUBLIC HEARING

#### 1. 1028 W. Austin Lane - **Recommended to Approve**

##### 1. 1028 W Austin Lane

Notice was published in the Daily Herald on February 21, 2022 and mailed to the owners of the surrounding properties.

#### **Petitioner's Exhibits:**

1. Variation Application
2. Site Plan
3. Plat of Survey
4. Public Notice

#### **Sworn in staff: Alex Bradshaw and Ben Vyverberg**

#### **Sworn in Petitioner: Mr. John Ciesla, 1028 W Austin Lane**

Mr. Ciesla explained his request to expand his driveway as a circular driveway to allow for easy access in and out and additional surface area for parking of cars for his family and guests. It would also provide a safer play area for his children. He states that other properties have this type of driveway.

Mr. Pirog asked if the work has already been started.

Mr. Ciesla replies that it has and explains that the contractor applied and received a permit that was to replace existing driveway only.

Ms. Wood shows pictures of other circle drives in the neighborhood that were submitted by Mr. Ciesla.

Ms. Wood asks if he has discussed the project with neighbors.

Mr. Ciesla responds that he has talked with neighbors and hasn't had any negative feed back.

Ms. Wood asks staff if they are aware of any issues with surrounding neighbors.

Mr. Bradshaw states that they have not received any concerns in regards to this project. He states no concrete has been poured.

Mr. Pirog asks if there has been any problems with rain water.

Mr. Ciesla states that the water flows downward from his property.

Ms. Wood asks if they have any flooding issues.

Mr. Ciesla states they do not.

Ms. Roth-Wurster clarifies that the issue is the width of the driveway and that the wider width is where the circular form of the driveway is formed.

Mr. Ciesla confirms that this is correct.

Ms. Wood discusses the available parking on his property.

Mr. Pirog asks if the Commercial vehicles that are mentioned in the petition are being removed from the property.

Mr. Ciesla states the company van is now being stored off-site and the car with the commercial lettering has had the lettering removed.

Ms. Wood asks for clarifications on the driveway dimensions.

Mr. Vyverberg clarifies the code and the dimensions as it relates to the Village Code.

Ms. Wood asks Staff if any of the circular driveways that were submitted had permits.

Mr. Bradshaw states that, to their knowledge, none of the locations had permits and the first aerial on record was from 2005 and they were existing previous to that year.

Ms. Wood asks if they were confirming.

Mr. Bradshaw states they are existing and non-conforming.

Ms. Wood asks if codes have changed since they were built.

Mr. Vyverberg states they were built to the current regulations and are legal non-conforming.

Mr. Bradshaw explains the width of the driveway at its widest point would be 48' wide and the combined width of the existing and proposed driveways, measured at the lot lines, would be 35 feet. The Zoning ordinance allows a maximum of 25 feet within 5 feet of the lot line. He also provides pictures of circular driveways in the area were that were constructed prior to 2005 and without any special approvals. He states that the commercial vehicles would be stored off site. He explains that both the building coverage and lot coverage are within the allowable percentage per code. Community services had no issues, engineering has no issues and states that the tree trimming within the public right of way will be done by a licensed arborist.

Mr. Pirog recalls a residence on Oak St that requested a similar project and was ultimately denied.

Mr. Vyverberg explains that there were differences in the width of the property line and the lot size. He indicated that the Subject Property has approximately 280 feet of frontage and the other property referenced had a much narrower frontage, at approximately 60 feet. These circumstances of the variations were vastly different.

**STAFF RECOMMENDATION:**

The Petitioner indicates the need for a circular driveway on the Subject Property will improve access and flow, when entering and leaving the residence. While Staff understands that there are other properties in the area with circular driveways, none went through a Variation process, as they were constructed

prior to the adoption of the relevant Zoning Ordinance.

The Petitioner is aware of the commercial vehicle ordinance requirements and has secured off-site parking accommodations for the commercial vehicle. Per the application materials, the driveway extension would not be associated with home occupation staging or commercial parking.

Therefore, Staff recommends approval of the requested Variations, subject to the following conditions:

1. The Variation shall substantially conform to the site plan submitted by the Petitioner, John Ciesla, except as such plans may be changed to conform to the Village’s Codes and Ordinances.
2. Removal of parkway trees is not allowed, without written approval from the Director of Public Works. Any trimming of the trees in the public right-of-way shall be done by a licensed arborist and shall be subject to inspection by the Village Arborist.

**Mr. Pirog made a motion to approve subject staff’s conditions; Seconded by Mr. McGinn.**

**DISCUSSION:**

Mr. Pirog understands the need for a bigger driveway, the property is large and meets the standards. Has no issues with the request.

Mr. McGinn believes it would not alter the character of the locality.

Ms. Wood confirms that the location is a corner lot and it may give the flair to the site. It is a unique circumstance and would not alter the character of the locality.

Ms. Roth states that it would fit the character of the neighborhood.

Ms. Wood summarized that this request has met the standards and was unanimously approved by a vote of 6-0. This item will tentatively go to Village Council on March 14, 2022

<b>RESULT:</b>	<b>RECOMMENDED TO APPROVE [UNANIMOUS]</b>
<b>MOVER:</b>	John Pirog, Commissioner
<b>SECONDER:</b>	Theodore McGinn, Commissioner
<b>AYES:</b>	Roth-Wurster, Wood, Luszczak, McGinn, Cavanaugh, Pirog
<b>ABSENT:</b>	Larson

Minutes Acceptance: Minutes of Mar 8, 2022 7:00 PM (Approval of Minutes)

2. 154 W. Northwest Highway - **Recommended to Approve**
  2. 154 W. Northwest Highway

Notice was published in the Daily Herald on February 21, 2022 and mailed to the owners of the surrounding properties.

**Petitioner's Exhibits:**

1. Special Use Application
2. Business Plan
3. Floor Plan
4. Plat of Survey
5. Public Notice

**Sworn in Petitioner: Annie Basa 154 W Northwest Highway**

Ms. Basa explains she is requesting special use to operate an existing restaurant, with a liquor license. She states that since the pandemic and restrictions placed on businesses, she is struggling to survive. She states a liquor license would help to increase her business, as her customers frequently request wine or beer.

Mr. Pirog asks if she has ever owned or managed a business with a liquor license.

Ms. Basa states she has not.

Mr. Pirog asks if she has a plan to train her staff on the rules and regulations for serving alcohol.

Ms. Basa states she would comply with all requirements needed to train the staff.

Ms. Wood asks if the previous restaurant had a liquor license.

Mr. Bradshaw states that the previous restaurant did have a liquor license.

Mr. Bradshaw states that the property is zoned B-2. He explains that, prior to the current restaurant's occupancy, the previous liquor license is non-transferable. He provides information about location and hours of business. He states the parking requirement would not change with the addition of a liquor license as the number of seats is not increasing.

**STAFF RECOMMENDATION:**

The Petitioner is proposing to introduce a local liquor license at the existing Annie's Restaurant & Pancake House in Eurofresh Plaza. As the floorplan and seating count are not increasing, the parking requirement remains the same. Ultimately, Staff did not identify any concerns with the proposal. Therefore, Staff recommends approval of the Special Use to permit the restaurant to operate with a local liquor license, subject to the following condition:

- 1. The Special Use shall substantially conform to the Business Plan and Floor Plan submitted by the Petitioner, except as such plans may be changed to conform to the Village of Palatine Codes and Ordinances.

**Mr. Cavanaugh made a motion to approve subject staff’s conditions; Seconded by Ms. Roth-Wurster**

**DISCUSSION:**

Mr. Cavanaugh states that the petitioner is prepared and ready to offer the additional product. He has no concerns with issuing a liquor license for this location.

Ms. Wood states the previous restaurant operated with a liquor license without any problems and based on the petitioners request it would be a benefit for the restaurant

Ms. Roth-Wurster states this business would benefit with a liquor license and has a bar already in place at the restaurant.

**Ms. Wood summarized that this request has met the standards and was unanimously approved by a vote of 6-0. This item will tentatively go to Village Council on March 14, 2022**

<b>RESULT:</b>	<b>RECOMMENDED TO APPROVE [UNANIMOUS]</b>
<b>MOVER:</b>	Kevin Cavanaugh, Commissioner
<b>SECONDER:</b>	Cindy Roth-Wurster, Commissioner
<b>AYES:</b>	Roth-Wurster, Wood, Luszczak, McGinn, Cavanaugh, Pirog
<b>ABSENT:</b>	Larson

Minutes Acceptance: Minutes of Mar 8, 2022 7:00 PM (Approval of Minutes)

3. 44 W. Palatine Road - **Recommended to Approve**

3. 44 W. Palatine Road

Notice was published in the Daily Herald on February 21, 2022 and mailed to the owners of the surrounding properties.

**Petitioner's Exhibits:**

1. Special Use Application
2. Business Plan
3. Floor Plan
4. Plat of Survey
5. Public Notice

**Sworn in Petitioner: Mr. Giovanni Labbate**

Mr. Labbate explains he is requesting to open a new restaurant with a liquor license serving beer and wine only. He owns two other restaurants in the Mount Prospect area and has not had any issues. He talks about the parking availability in the strip mall and states the business would seat approximately 40 patrons. He points out that parking will not only be available at the strip mall but the surrounding area also has available parking.

Ms. Wood states her concerns about the parking availability. Normally the strip center wouldn't be available to support this business but with surrounding parking availability in the downtown area it may be accommodated. She asks if he has given thought about how this would affect the other businesses.

Mr. Labbate states he doesn't foresee this will be an issue for surrounding businesses.

Mr. Bradshaw states the property is zoned B-3 Central Business District and provides information on surrounding businesses. The restaurant is a sit down and takeout pizza restaurant that has proposed liquor service with 24 seats. He provides the proposed hours of business and information on their business plan. He explains the Zoning Ordinance in regards to parking spaces and states 20 parking spaces are required for this use and since the property is located in the Central business District the ordinance allows for the required parking to be waived by the Administrator. Additional parking spaces on Bothwell St. can be utilized by customers along with other public parking areas in the Downtown area.

Mr. Pirog asks if it's possible to allocate a couple of reserved spots for easy carry out.

Mr. Vyverberg states that the business can work with the property owner to request allocated spots.

**STAFF RECOMMENDATION:**

The Petitioner is proposing to open a new restaurant and operate with a local liquor license. The Subject Property shares 30 onsite parking spaces with other tenants in the Village Square Shopping Plaza, but falls short of the required parking. With employees utilizing the downtown employee parking areas, the shared parking lot and the public parking lot directly across Palatine Road can be utilized for customer parking.

Ultimately, the proposed use is compatible with the surrounding downtown area, and Staff did not identify any additional concerns. Therefore, Staff recommends approval of the Special Use to permit a restaurant to operate with a local liquor license, subject to the following conditions:

1. The Special Use shall substantially conform to the Business Plan and Floor Plan submitted by the Petitioner, except as such plan may be changed to conform to the Village of Palatine's Codes and Ordinances.
2. All employees of Tievoli shall enroll in and utilize the designated downtown employee parking areas.
3. As necessary, customers should be directed to utilize the public parking lot across Palatine Road (Lot H) or the surrounding on-street parking along Bothwell Street and Railroad Avenue for additional parking needs.

**Mr. Luszczak made a motion to approve subject staff's conditions;  
Seconded by Mr. Cavanaugh**

**DISCUSSION:**

Mr. Luszczak states he hasn't seen that parking lot full on the occasions that he drives by and believes parking will not be a problem.

Ms. Wood states her concern about parking but acknowledges that the surrounding downtown area could accommodate overflow if needed.

Ms. Roth-Wurster states she doesn't have concerns and also acknowledges that the surrounding area can accommodate additional parking.

Mr. McGinn states it would be a good business for the downtown area.

**Ms. Wood summarized that this request has met the standards and was unanimously approved by a vote of 6-0. This item will tentatively go to Village Council on March 14, 2022**

**Communications:**

Mr. Vyverberg states the Village Council approved the Popeye’s request. 1<sup>st</sup> meeting in April 12<sup>th</sup> will have 3 items on the agenda and the meeting for March 22, 2022 has been cancelled.

<b>RESULT:</b>	<b>RECOMMENDED TO APPROVE [UNANIMOUS]</b>
<b>MOVER:</b>	Jerry Luszczak, Commissioner
<b>SECONDER:</b>	Kevin Cavanaugh, Commissioner
<b>AYES:</b>	Roth-Wurster, Wood, Luszczak, McGinn, Cavanaugh, Pirog
<b>ABSENT:</b>	Larson

Minutes Acceptance: Minutes of Mar 8, 2022 7:00 PM (Approval of Minutes)

IV. COMMUNICATIONS

V. ADJOURNMENT

Minutes Acceptance: Minutes of Mar 8, 2022 7:00 PM (Approval of Minutes)

VILLAGE OF PALATINE  
Zoning Board of Appeals

SCHEDULED 04/12/22 07:00 PM

**CASE STAFF STATEMENT (ID # 7462)**

**851 N. Williams Drive - SU Deck in Floodplain**

**TO:** Palatine Zoning Board of Appeals  
Jan Wood, Chair

**FROM:** Alex Bradshaw

**PETITIONER:** Natalie & Nolan Steenberg

**CASE NUMBER:** 22-06

**ADDRESS:** 851 N. Williams Drive

**PROPOSAL:** Special Use to permit a deck to be located in the floodplain.

<b><u>LOCATION:</u></b> 851 N. Williams Drive District 5 (Kozlowski)	<b><u>CURRENT ZONING:</u></b> R-2 Single Family Residential
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**SURROUNDING CONDITIONS:**

<b><u>North:</u></b>	R-2 Single Family Residential
<b><u>South:</u></b>	R-2 Single Family Residential
<b><u>East:</u></b>	R-2 Single Family Residential
<b><u>West:</u></b>	R-2 Single Family Residential

**BACKGROUND:**

The Petitioners are proposing to construct a deck in the rear yard of the Subject Property, which is partially located in the floodplain. Therefore, the Petitioners are requesting:

**Special Use to permit a deck to be located in the floodplain.**

**SITE ANALYSIS:**

- The Subject Property is zoned R-2 Single Family and is approximately 9,185 square feet. The property contains a single-family residence and a rear yard, which directly abuts Virginia Lake.
- The Petitioners are seeking a Special Use to construct a new deck which would be located in the floodplain. The floodplain only encumbers the northwest corner of the property.
- The proposed deck is approximately 24' x 10' with steps leading up to the platform,

putting the total square footage at approximately 250 square feet.

- The proposed deck encroaches approximately 2.5 feet into a utility easement along the rear lot line of the property. The Petitioners are aware of this and have submitted sign-offs from the relevant utility companies. This will allow the ability to concurrently pursue a Minor Variation to permit the deck to encroach into a utility easement.
- Of the properties surrounding Virginia Lake, the majority have a deck / dock in the rear yard abutting the lake. For example, 870 N. Virginia Ct and 867 N. Virginia Ct each received similar relief in this area for decks within the floodplain abutting Virginia Lake.
- Both building and lot coverage meet Code. With the proposed deck the lot coverage for the Subject Property will be approximately 39% (45% maximum).

#### **DEPARTMENTAL REVIEWS:**

<b>Community Services</b>	No Issues Identified
<b>Engineering</b>	No Issues Identified
<b>Environmental Health</b>	N/A
<b>Fire Prevention</b>	N/A
<b>Public Works</b>	N/A
<b>Police</b>	N/A

**STANDARDS FOR SPECIAL USE:** Since this Petition is not for a use publicly operated or traditionally affected with the public interest, those standards under Section 14.05 D (2) and (3) are applicable. Specifically, the Petitioners must show that the Special Use, if granted, is so designed, located, and proposed to be operated that the public health, safety, and welfare will be protected and will not cause substantial injury to the value of other property in the neighborhood in which it is located. The Petitioners have attempted to address the required standards.

#### **STAFF RECOMMENDATION:**

While the floodplain partially encumbers the rear yard of the Subject Property, the Village Engineer has reviewed this proposal and does not have any specific concerns. Additionally, the square footage of the deck's encroachment into the floodplain is minimal and should not have a negative impact to the surrounding area. Therefore, Staff recommends approval of the proposed Special Use, subject to the following conditions:

1. The Special Use shall substantially conform to the site plan submitted by the Petitioners, Natalie and Nolan Steenberg, except as such plans may be changed to conform to Village Codes and Ordinances.

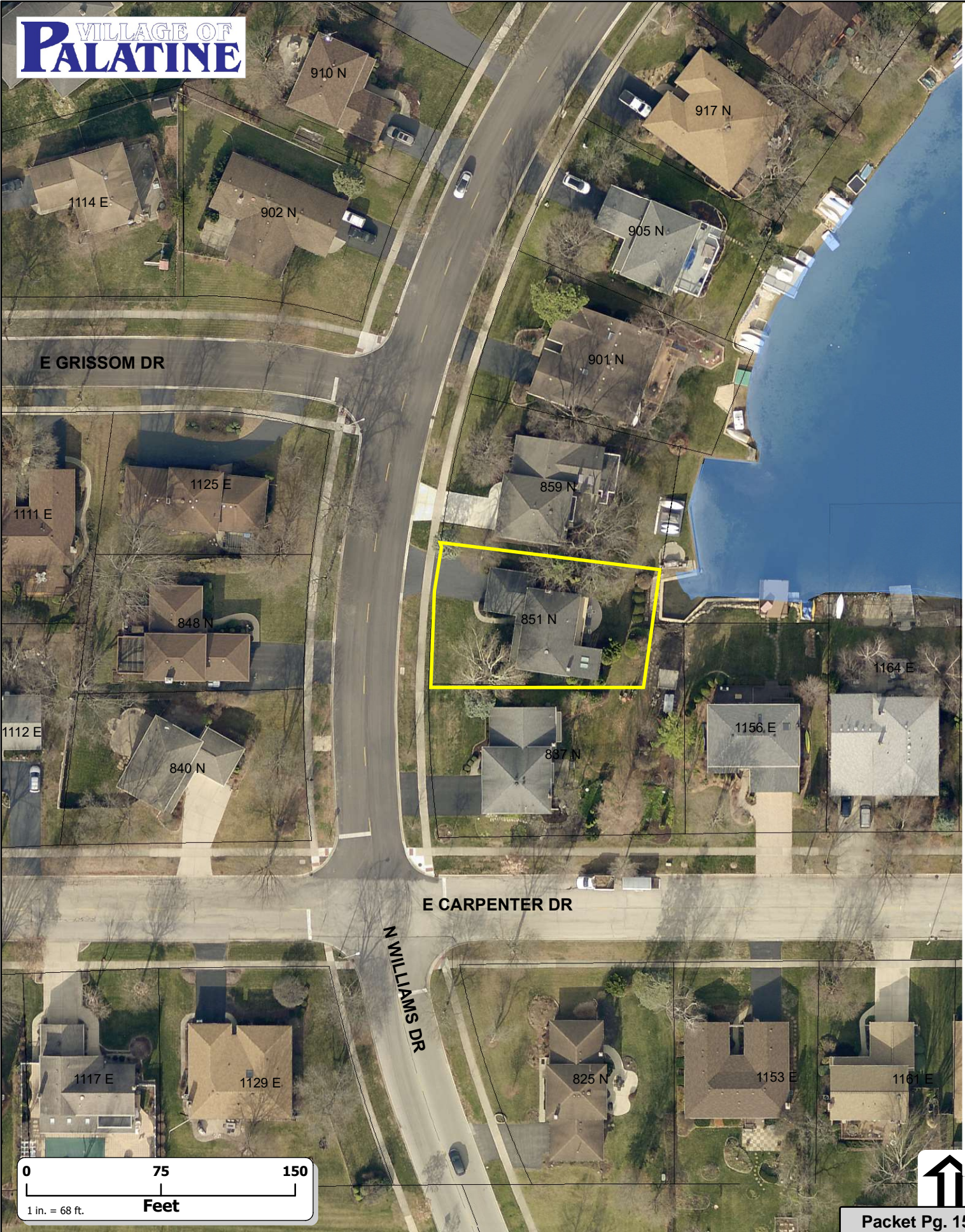
**ATTACHMENTS:**

- Aerial Map
- Application
- Site Plan
- Elevations
- Plat of Survey
- HOA Approval
- Public Notice

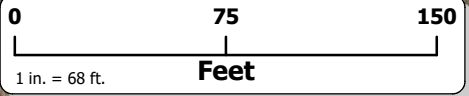
# 851 N. Williams Drive

3.1.a

VILLAGE OF  
**PALATINE**



Attachment: Aerial Map (851 N. Williams Drive - SU Deck in Floodplain)



# VILLAGE OF PALATINE

## SPECIAL USE & VARIATION APPLICATION

Department of Planning & Zoning  
 200 E. Wood Street • Palatine, IL • 60067-5339  
 Telephone: (847) 359-9047 • Fax (847) 963-6247

<b>Office Use Only</b>	Project Planner	Zoning Case #
	Filing Fee	Notification Deadline
	ZBA Public Hearing Date	Village Council Date

*date received*

<b>Background Information</b>	<b>PETITIONER(S)</b>		<b>Business Name (if applicable)</b>	
	Natalie & Nolan Steenberg			
	Subject Property Address			
	851 N Williams Dr Palatine, IL 60074			
	<b>AUTHORIZED AGENT (if applicable)</b>		<b>Business Name (if applicable)</b>	
	Danielle Scaccia - Archadeck of Chicagoland			
	Address		City/State/Zip Code	
	395 W Northwest Highway Ste A Palatine, IL 60067			
	Telephone	Fax	Email	
	8474964333		dscaccia@archadeck.net	
Relationship to Petitioner (contractor, architect, etc.)				
Contractor				
<b>TYPE OF APPLICATION (check one)</b>				
<input checked="" type="checkbox"/> Special Use <input type="checkbox"/> Special Use Amendment <input type="checkbox"/> Variation				
Existing Zoning District		Existing Land Use	Proposed Land Use	
Generally describe your request:				
Homeowner request to build a deck that encroaches the rear setback and is in a flood plane				

Attachment: Application (851 N. Williams Drive - SU Deck in Floodplain)



**SPECIAL USE**

**Required Materials**

- Filing Fee of \$ \_\_\_\_\_
- Application Form
- Plat of Survey (must show all current improvements and be sealed by an Illinois certified surveyor)
- Site Plan & Floor plan (dimension, location, and setbacks of all existing and proposed buildings) – **one 11x17 copy each, electronic version preferred**
- Real Estate Interest Disclosure Form (see attached)
- Proof of Ownership or Lease (e.g. Title Insurance Policy, Deed, or Purchase Contract)
- Business Plan (if applicable; including, but not limited to nature of business, hours of operation, number of employees, and menu)

**Additional Materials (as required by the Village)**

- Elevation Plan (front, side, and rear elevations of a proposed building), and/or Floor Plan (proposed interior layout) – **one 11x17 copy of each plan, electronic versions preferred**
- Engineering Plans (must indicate existing conditions, topography, storm water management, tree preservation, utility connections, detention calculations, and a cost estimate)
- Photographs (e.g. ground-level or aerials)
- Other materials as deemed necessary by the Village

**Petitioner Justification**

The Petitioner is required to present specific evidence related to each of the following standards to justify the request (paraphrased from Section 14.05 of the Palatine Zoning Ordinance). Answer the items below and attach a separate sheet if necessary. ***If you are applying for a Variation only, you do not need to answer these items.***

1. The use is deemed necessary for the public convenience at that location

This is deemed necessary to allow safe and sturdy access to the waterfront of the property

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2. The use is designed, located, and proposed to be operated that the public health, safety and welfare will be protected

This is designed and located to allow for safe and sturdy access to the waterfront located at the property.

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3. The use will not cause substantial injury to nearby property values

No, this will not cause substantial injury to property values of the nearby properties. Neighboring properties have decks in the same area.

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4. With respect to live entertainment uses, the use shall not:
- a. Produce noise levels so great as to constitute an unreasonable interference for persons outside the confines of the establishment
  - b. Impose undue health, sanitation or safety burdens on the village
  - c. Create excessive demands on the Village of Palatine Police Department
  - d. Be of a nature otherwise prohibited by law or village ordinance

5. For fence standards, see Section 14.05 of the Palatine Zoning Ordinance

This will not be used for live entertainment it will be used for the convenience and safety of the property owner.

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Attachment: Application (851 N. Williams Drive - SU Deck in Floodplain)



# Affidavit of No New Improvements

## AFFIDAVIT OF NO NEW IMPROVEMENTS

I am the owner of record, of the property with the legal description as stated on the attached plat of survey. I hereby affirm that the survey attached hereto is the survey for said property, and that the attached survey accurately depicts the current conditions with all existing improvements to the property as of the date of this affidavit.

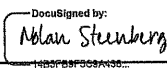
Affiant further states that survey is correct and complete representation of all improvements now located on the premises described in the above referenced title commitment, except for: \_\_\_\_\_

\_\_\_\_\_

I fully understand that in the event the attached survey does not accurately depict all existing improvements made to the property as of today's date, the Village of Palatine may elect to reject this plan and the permit for which I am applying shall not be approved (or work in progress pursuant to the permit will be stopped) until an accurate survey has been received and approved by the Village of Palatine.

### PROPERTY OWNERS SIGNATURE REQUIRED

CERTIFIED BY:

Property Owner Signature:  Date: 2/14/2022

Property Owner Print Name: Nolan Steenberg

Property Address: 851 N Williams Drive Palatine Illinois 60074

PIN #: 02-12-310-010

Name of Surveyor: Land surveying services, INC

Date of Survey: 10/16/2020

Survey Order No.: LS201571

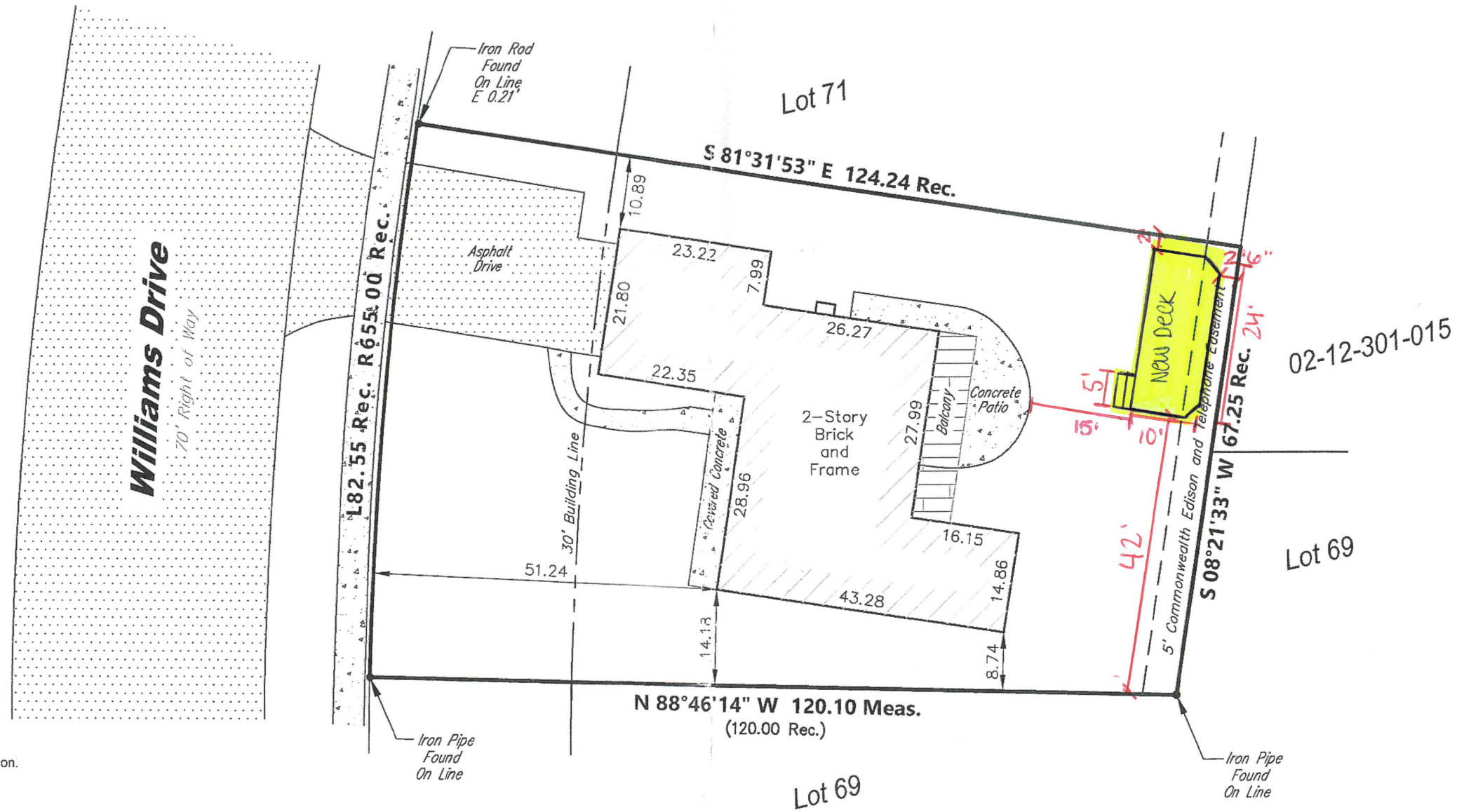
Attachment: Application (851 N. Williams Drive - SU Deck in Floodplain)

# PLAT OF SURVEY

LOT 70 IN VIRGINIA LAKE SUBDIVISION UNIT NO. 1, BEING A SUBDIVISION OF PART OF THE SOUTH WEST QUARTER AND PART OF THE SOUTH EAST QUARTER, SECTION 12, TOWNSHIP 42 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.



Scale: 1" = 20'



**Legend:**

- - Set 1/2" Iron Pipe
- - Found Iron Pipe
- X - Found Cross

**Surveyor Notes:**

1. Field Work Completed on 10-16-2020
2. Prepared for Survey Services, Inc., for real estate transaction.
3. Site Address: 851 N. Williams Drive, Palatine, IL 60074
4. Pin No.: 02-12-310-010
5. The easements shown hereon are provided from the current title and the use of the recorded subdivision plat. No search of the records for easements or encumbrances was made as part of this survey.
6. Compare deed description and site conditions with the data given on this plat and report any discrepancies to the surveyor at once.
7. Auto Cad Files will not be released under this contract.
8. The utilities as shown on this drawing were developed from the information available. This is not implied nor intended to be the complete inventory of utilities in this area. It is the clients responsibility to verify the location of all utilities (whether shown or not) and protect said utilities from any damage.
9. All building dimensions and ties are to the current siding material and not to the foundation.
10. This plat was prepared with the aid of Afinity Title number AFF-2015285 dated September 24, 2020.

State of Illinois )  
 ) SS)  
 County of Lake )

We, Land Surveying Services, Inc. do hereby state that we have surveyed the above described property and that this is the Plat that represents the conditions found at the time of said survey.

Given under my hand and seal, this 24th day of October, A.D. 2020 in Lake Zurich, Illinois  
 Gloria Jean Koter, an agent for Land Surveying Services, Inc.

Illinois Professional Land Surveyor Number 3323  
 License Expiration Date 11-30-20

This professional service conforms to the current Illinois minimum standards for a primary survey.



Drafted By : LR	Date
Drawing Revisions	
REVISION	

Field Work Completed:	10-16-2020
Scale: 1" = 20'	Date: 10-24-2020
Site Address:	
851 N. Williams Dr.	
Palatine, Illinois	

**Land Surveying Services, Inc.**  
 1182 Heather Drive  
 Lake Zurich, Illinois 60047  
 Ph. (847)847-1079 Fax. (847)847-1279  
 Professional Design Firm License No. 184-003632

Job Number	LS201571
Sheet Name	PLAT OF SURVEY
Sheet Number	SURVEY

Attachment: Site Plan (851 N. Williams Drive - SU Deck in Floodplain)



# INTEGRITY ENTERPRISES, INC.

## d.b.a. Archadeck of Chicagoland

ALL CONSTRUCTION PLANS ARE PROVIDED AS IS. ARCHADECK FRANCHISING CORPORATION DISCLAIMS ALL OTHER WARRANTIES, EXPRESS OR IMPLIED, INCLUDING MERCHANTABILITY OR FITNESS OF PURPOSE. ARCHADECK FRANCHISING CORPORATION IS NOT LIABLE FOR INCIDENTAL, SPECIAL, CONSEQUENTIAL, OR INDIRECT DAMAGES OF ANY KIND, INCLUDING, BUT NOT LIMITED TO, LOSS OF ANTICIPATED PROFITS, BUSINESS OPPORTUNITY OR OTHER ECONOMIC LOSS ARISING OUT OF THE USE OF SERVICES OR ANY CONSTRUCTION PLANS RECEIVED FROM ARCHADECK FRANCHISING CORPORATION, EVEN IF ARCHADECK FRANCHISING CORPORATION HAS BEEN ADVISED OF THE POSSIBILITY OF SUCH DAMAGE. IT IS THE BUILDER'S RESPONSIBILITY TO ENSURE THE ACCURACY, COMPLIANCE WITH APPLICABLE STATUTE(S) OR REGULATION(S), AND FITNESS OF PURPOSE OF ANY PLANS OR CONSTRUCTION INFORMATION RECEIVED FROM ARCHADECK FRANCHISING CORPORATION PRIOR TO THE USE THEREOF.

ARCHADECK FRANCHISING CORPORATION IS NOT ENGAGED IN RENDERING PROFESSIONAL SERVICES OR ADVICE. USE OF ANY CONSTRUCTION INFORMATION PROVIDED BY ARCHADECK FRANCHISING CORPORATION IS SUBJECT TO THE ADDITIONAL DISCLAIMERS AND CAVEATS THAT MAY APPEAR THROUGHOUT THE CONSTRUCTION PLANS, CONTRACTS AND OTHER DOCUMENTS PROVIDED TO THE BUILDER AND CUSTOMER.

### DESIGN LOAD CRITERIA

FOOTING/FOUNDATION LOADS	P.S.F.	CEILING	P.S.F.
LIVE LOAD	40	WITH STORAGE (L/240)	20
DEAD LOAD	10	WITHOUT STORAGE (L/240)	10
TOTAL DESIGN LOAD	50		
DECK LOADS (L/240)	P.S.F.	ROOF LOADS (L/240)	P.S.F.
(DECK FRAMING)		WITH STORAGE (L/360)	20
FRAMING DESIGN LIVE LOAD	60	WITHOUT STORAGE (L/360)	10
FRAMING DESIGN DEAD LOAD	10	DEAD LOAD	10
TOTAL FRAMING DESIGN LOAD	70	PERGOLA LOADS (L/240)	P.S.F.
FLOOR LOADS (L/360)	P.S.F.	SNOW LOAD	35
LIVE LOAD (LIVING)	40	DEAD LOAD	10
LIVE LOAD (SLEEPING)	30	TOTAL DESIGN LOAD	45
DEAD LOAD	10	SPA LOADS (L/240)	P.S.F.
SPA LOADS (L/240)	P.S.F.	LIVE LOAD	10
LIVE LOAD	100	DEAD LOAD	5
DEAD LOAD	10	TOTAL DESIGN LOAD	15
TOTAL DESIGN LOAD	110	**ASSUMED OPEN FRAMED PERGOLA, NOT DESIGNED FOR SNOW LOADS**	

**Steenberg Elevations**  
 -106-100429  
 851 North Williams Drive  
 Palatine, IL, 60074

**ABBREVIATIONS:**

#B	- BEAM	GLU.	- GLULAM
#BB	- BAND BOARD	HDR.	- HEADER
#C	- RAIL CAP LENGTH	INT.	- INTERIOR
#CB	- COLLAR BEAM	IN.	- INCH
#DB	- DOUBLE BAND	JST.	- JOIST
#DJ	- DOUBLE JOIST	LB.	- POUNDS
#DR	- DOUBLE RAFTER	L.L.	- LIVE LOAD
#F	- FENCE CAP LENGTH	L.V.L.	- LAMINATED VENEER LUMBER
#G	- GIRDER	LOWR.	- LOWER
#HB	- HOUSE BAND	MANUF.	- MANUFACTURER
#HBE	- HOUSE BAND EXTENSION	MAX.	- MAXIMUM
#KB	- KING BEAM	MIN.	- MINIMUM
#QJ	- QUAD JOIST	MOD.	- MODIFIED
#RB	- RIDGE BEAM	N.T.S.	- NOT TO SCALE
#RP	- ROOF PLATE	O.C.	- ON CENTER
#TB	- TRIPLE BAND	OPT.	- OPTIONAL
#TJ	- TRIPLE JOIST	O.S.B.	- ORIENTED STRAND BOARD
ALT.	- ALTERNATE	P.L.	- POINT LOAD
ALUM.	- ALUMINUM	P.L.F.	- POUNDS PER LINEAR FOOT
APX.	- APPROXIMATE	P.S.F.	- POUNDS PER SQUARE FOOT
BD.	- BOARD	P.S.I.	- POUNDS PER SQUARE INCH
C/L	- CENTER LINE	P.S.L.	- PARALLEL STRAND LUMBER
CJ	- CEILING JOIST	P.T.	- PRESSURE TREATED
CLG.	- CEILING	P.T.T.	- POUR TO TOP
C.M.U.	- CONCRETE MASONRY UNIT	P.V.C.	- POLY VINYL CHLORIDE
CONC.	- CONCRETE	RBD.	- RIDGE BOARD
CONT.	- CONTINUOUS	REQD.	- REQUIRED
DBL.	- DOUBLE	R.O.	- ROUGH OPENING
DIA.	- DIAMETER	RSW	- RIDGE SUPPORT WALL
DIM.	- DIMENSION	S.F.	- SQUARE FOOT/FEET
D.L.	- DEAD LOAD	SQ.	- SQUARE
DN.	- DOWN	T&G	- TONGUE & GROOVE
DTL.	- DETAIL	T.L.	- TOTAL LOAD
ELEC.	- ELECTRICAL	T.O.D.	- TOP OF DECK
ELEV.	- ELEVATION (SEE T.O.D.)	TYP.	- TYPICAL
EQ.	- EQUIVALENT	UNFIN.	- UNFINISHED
EXT.	- EXTERIOR	U.N.O.	- UNLESS NOTED OTHERWISE
FIN.	- FINISH	UPR.	- UPPER
FLR.	- FLOOR	W/	- WITH
FND.	- FOUNDATION	W/O	- WITHOUT
FT.	- FOOT/FEET		
F.V.	- FOUNDATION VENT		

### SYMBOL LEGEND

<p><b>T.O.D. TAG</b></p> <p><b>DETAIL TAG</b></p>	<p><b>STAIR TAG</b></p> <p><b>SECTION TAG</b></p>
<p>■ - 4 x 4 DECK COLUMN</p> <p>■ - 4 x 6 DECK COLUMN</p> <p>■ - 6 x 6 DECK COLUMN</p>	
<p>□ - RAIL POST</p> <p>⊠ - FENCE POST</p> <p>⊠ - ROOF POST/ PERGOLA POST</p> <p>⊠ - STUD LOCATION</p>	
<p>X - X BRACING</p> <p>⊙ - PARTING BOARD LOCATION AND CENTER LINE</p>	

**DESIGN CRITERIA:**

- THIS PROJECT HAS BEEN DESIGNED FOLLOWING THE REGULATIONS OF THE 2015 IRC (INTERNATIONAL RESIDENTIAL CODE).
- WORK TO MEET LOCAL, STATE AND APPLICABLE RULES AND REGULATIONS.
- IN-GRADE DESIGN VALUES BASED ON AF&PA.
- PROVIDE JOIST HANGERS @ ALL FLUSH FRAME CONDITIONS.
- PRESUMPTIVE SAFE SOIL BEARING CAPACITY IS 3000 PSF.
- FROST LINE 42".
- CONNECTIONS TO EXISTING STRUCTURE FLASHED PER LOCAL CODE

**NOTES:**

**LUMBER:**

- ALL FRAMING LUMBER TO BE #2 S.P. (SOUTHERN PINE) OR BETTER, TREATED FOR EXTERIOR USE, PER LOCAL CODE U.N.O.
- ALL PSL ENGINEERED TYPE LUMBER TO BE TREATED FOR EXTERIOR USE: P.S.L. STRESS CLASS (2.0E, 2900Fb) P.S.I.
- ALL GLULAM ENGINEERED TYPE LUMBER TO BE TREATED FOR EXTERIOR USE: GLULAM STRESS CLASS (1.9E, 2600Fb) P.S.I.
- ALL LVL/MICROLLAM ENGINEERED TYPE LUMBER TO BE INTERIOR USE ONLY: L.V.L. STRESS CLASS (1.8E, 2600Fb) P.S.I.

**CONCRETE:**

- MINIMUM 28 DAY COMPRESSIVE STRENGTH = 2500 PSI.

### SHEET INDEX

NOTE THAT NOT ALL JOBS REQUIRE ALL SHEETS

ST -SITE	FF-# -FLOOR FRAMING
PL-# -PLAN	FP-# -FLOOR PLAN
EV-# -ELEVATION	CF-# -CEILING FRAMING
FD-# -FOUNDATION/FOOTINGS	RF-# -ROOF FRAMING
	SD-# -SECTION/DETAIL

DRAWINGS PREPARED BY: ARCHADECK FRANCHISING CORPORATION  
 CONSTRUCTION & DRAFTING DEPARTMENT  
 2924 EMERYWOOD PARKWAY, SUITE 101  
 RICHMOND, VA 23294  
 © 2019 ARCHADECK FRANCHISING CORPORATION  
 UNAUTHORIZED DUPLICATION IS A VIOLATION OF ALL APPLICABLE LAWS

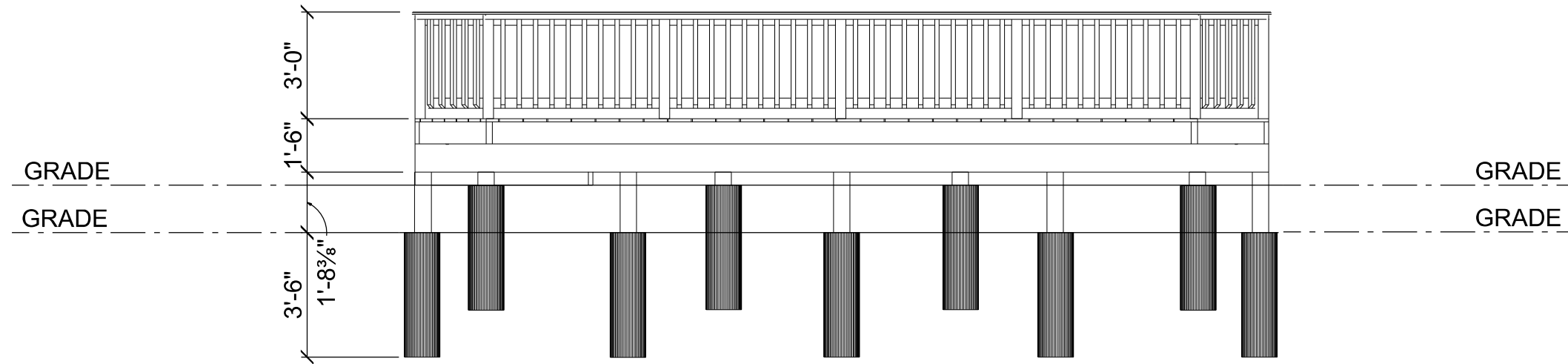
### CONTACT

FOR ANY QUESTIONS OR CONCERNS PLEASE CONTACT:  
 INTEGRITY ENTERPRISES, INC. d.b.a. Archadeck of Chicagoland  
 395 W Northwest Highway, Palatine, IL. 60067  
 PHONE: (847) 496-4333 / e-mail chicagoland@archadeck.net

### ARCHITECT OF RECORD (AS APPLICABLE)

Attachment: Elevations (851 N. Williams Drive - SU Deck in Floodplain)

All dimensions are approximate. In the event of a difference between the drawn and written dimensions, the written dimension shall prevail. Due to local differences in building codes and regulations, and specific site conditions, these drawings may need to be modified by the builder to comply with such local codes and regulations, or site conditions.



# FRONT ELEVATION

SCALE: 1/4" = 1'-0"

### SHEET DESCRIPTION

SHEET:

2/4

Front Elevation  
SCALE: 1/4" = 1'-0"

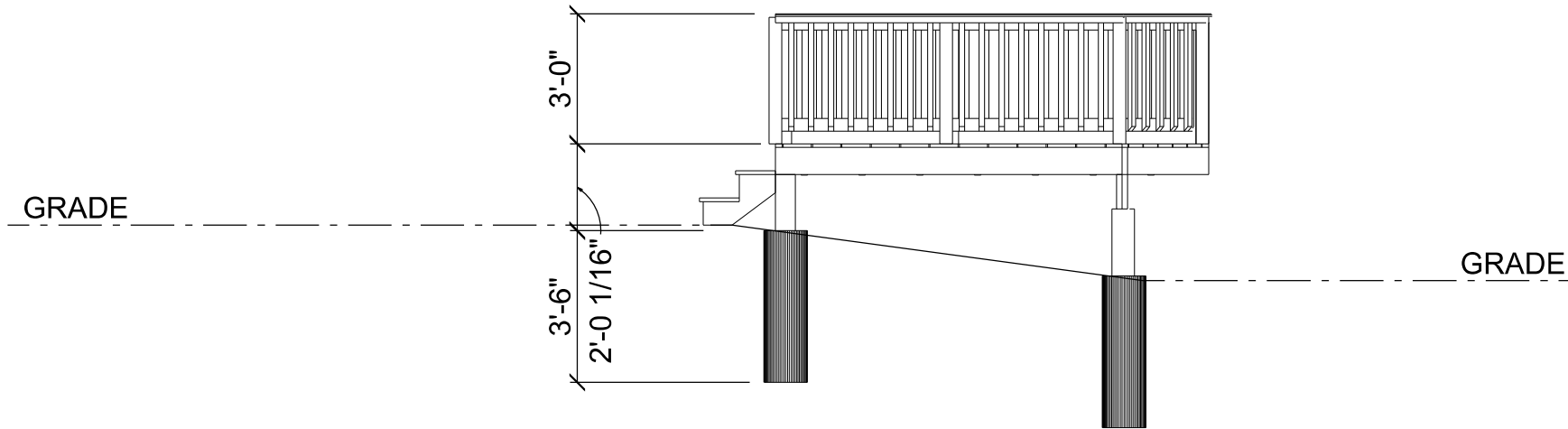
Prepared by:  
Integrity Enterprises, INC.  
DBA: Archadeck of Chicagoland  
395 W Northwest Highway  
Palatine, IL 60067

Construction & Drafting Department  
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duplication is a violation of  
all applicable laws.

-Steenberg Elevations-106-100429  
851 North Williams Drive  
Palatine, IL 60074  
DRAWN BY: Integrity Ent. (CRK)  
2/16/2022

Attachment: Elevations (851 N. Williams Drive - SU Deck in Floodplain)

All dimensions are approximate. In the event of a difference between the drawn and written dimensions, the written dimension shall prevail. Due to local differences in building codes and regulations, and specific site conditions, these drawings may need to be modified by the builder to comply with such local codes and regulations, or site conditions.



**LEFT ELEVATION**  
SCALE: 1/4" = 1'-0"

SHEET DESCRIPTION

SHEET:

3/4

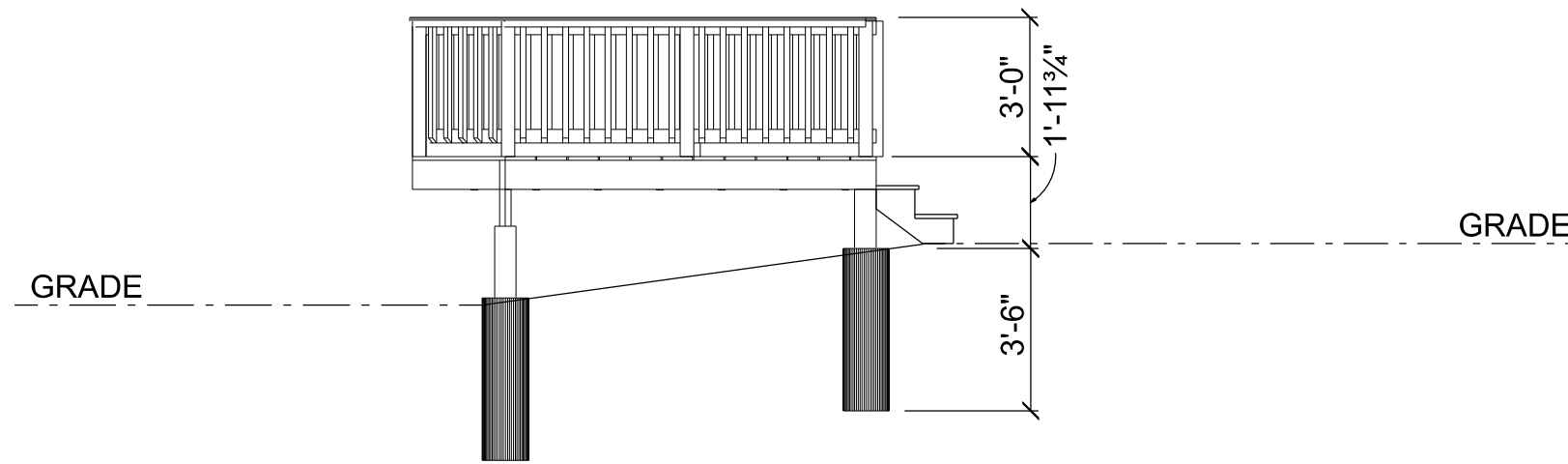
Left Elevation  
SCALE: 1/4" = 1'-0"

Prepared by:  
Integrity Enterprises, INC.  
DBA: Archadeck of Chicagoland  
395 W Northwest Highway  
Palatine, IL 60067  
  
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all applicable laws.

-Steenberg Elevations-106-100429  
851 North Williams Drive  
Palatine, IL 60074  
DRAWN BY: Integrity Ent. (CRK)  
2/16/2022

Attachment: Elevations (851 N. Williams Drive - SU Deck in Floodplain)

All dimensions are approximate. In the event of a difference between the drawn and written dimensions, the written dimension shall prevail. Due to local differences in building codes and regulations, and specific site conditions, these drawings may need to be modified by the builder to comply with such local codes and regulations, or site conditions.



**RIGHT ELEVATION**  
 SCALE: 1/4" = 1'-0"

SHEET DESCRIPTION

SHEET:

4 / 4

Right Elevation  
 SCALE: 1/4" = 1'-0"

Prepared by:  
 Integrity Enterprises, INC.  
 DBA: Archadeck of Chicagoland  
 395 W Northwest Highway  
 Palatine, IL 60067

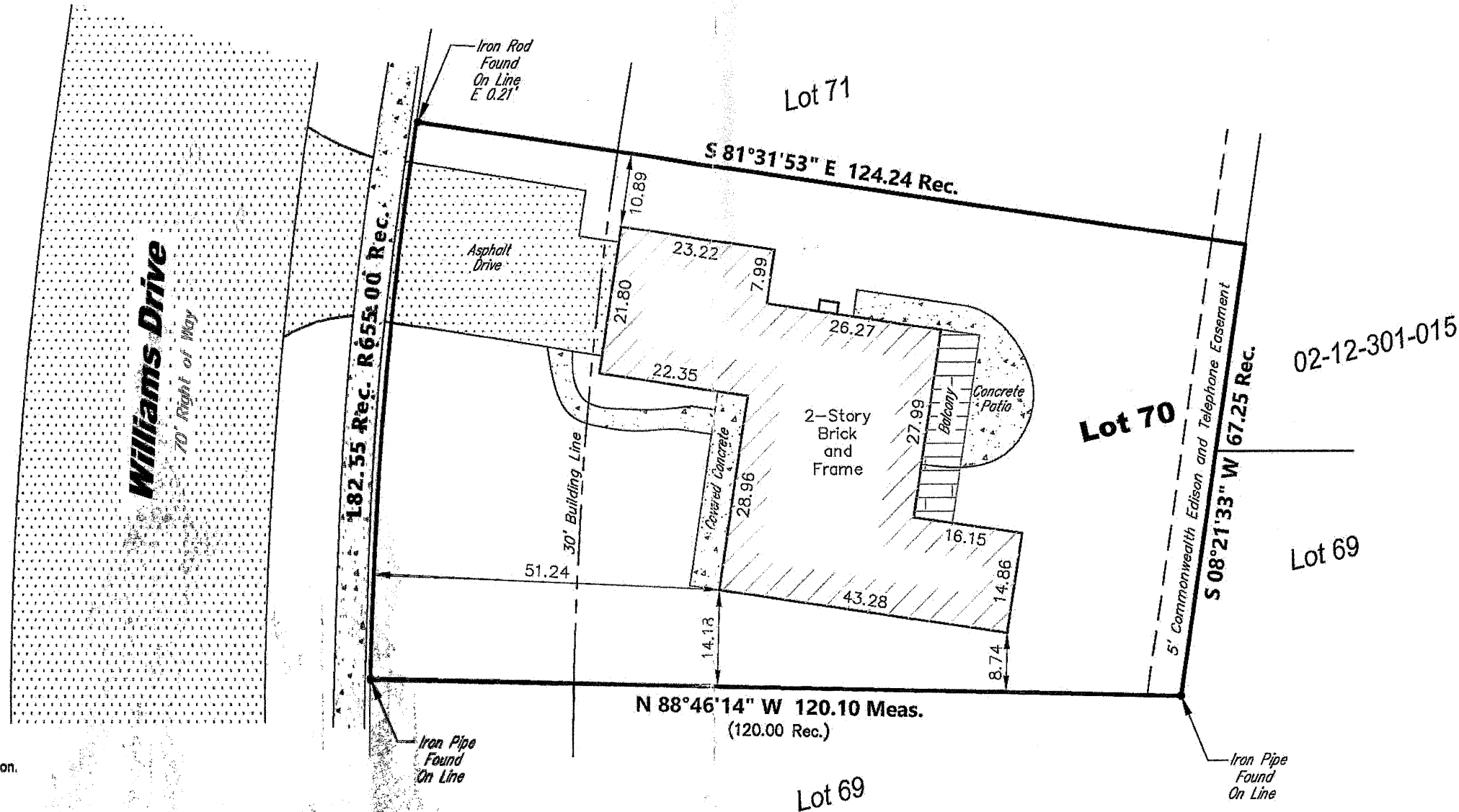
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 all applicable laws.

-Steenberg Elevations-106-100429  
 851 North Williams Drive  
 Palatine, IL 60074  
 DRAWN BY: Integrity Ent. (CRK)  
 2/16/2022

Attachment: Elevations (851 N. Williams Drive - SU Deck in Floodplain)

# PLAT OF SURVEY

LOT 70 IN VIRGINIA LAKE SUBDIVISION UNIT NO. 1, BEING A SUBDIVISION OF PART OF THE SOUTH WEST QUARTER AND PART OF THE SOUTH EAST QUARTER, SECTION 12, TOWNSHIP 42 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.



**Legend:**

- O-Set 1/2" Iron Pipe
- Found Iron Pipe
- X-Found Cross

**Surveyor Notes:**

1. Field Work Completed on 10-16-2020
2. Prepared for Survey Services, Inc., for real estate transaction.
3. Site Address: 851 N. Williams Drive, Palatine, IL 60074
4. Pin No.: 02-12-310-010
5. The easements shown hereon are provided from the current title and the use of the recorded subdivision plat. No search of the records for easements or encumbrances was made as part of this survey.
6. Compare deed description and site conditions with the data given on this plat and report any discrepancies to the surveyor at once.
7. Auto Cad Files will not be released under this contract.
8. The utilities as shown on this drawing were developed from the information available. This is not implied nor intended to be the complete inventory of utilities in this area. It is the clients responsibility to verify the location of all utilities (whether shown or not) and protect said utilities from any damage.
9. All building dimensions and ties are to the current siding material and not to the foundation.
10. This plat was prepared with the aid of Afinity Title number AFF-2015285 dated September 24, 2020.

State of Illinois )  
  ) SS)  
County of Lake )

We, Land Surveying Services, Inc. do hereby state that we have surveyed the above described property and that this is the Plat that represents the conditions found at the time of said survey.

Given under my hand and seal this 24th day of October, A.D. 2020, in Lake Zurich, Illinois  
Gloria Jean Koter, an agent for Land Surveying Services, Inc.

Illinois Professional Land Surveyor Number 3323  
License Expiration Date 11-30-20



This professional service conforms to the current Illinois minimum standards for a boundary survey.

Drafted By : LR
Drawing Revisions
REVISION
Date

Field Work Completed: 10-16-2020
Scale: 1" = 20'
Date: 10-24-2020
Site Address:
851 N. Williams Dr.
Palatine, Illinois

**Land Surveying Services, Inc.**  
 1182 Heather Drive Lake Zurich, Illinois 60047  
 Ph. (847)847-1079 Fax. (847)847-1279  
 Professional Design Firm License No. 184-003632

Job Number
LS201571
Sheet Name
PLAT OF SURVEY
Sheet Number
SURVEY

Attachment: Plat of Survey (851 N. Williams Drive - SU Deck in Floodplain)

# Subject: RE: Your new deck



**George Wienold** [REDACTED]

Wed, Dec 8, 2:26 PM (7 d)

to Thomas Sharkey, Nolan Steenberg, Natalie Steenberg, LeBeau, Beth, Paprocki, Dave, Parmar, Pinkey, Rasor, S

You are viewing an attached message. Archadeck Mail can't verify the authenticity of attached message

Thank you Nolan and Natalie for your improvement to the neighborhood.

Your VLHA Board,  
George Wienold  
Cell: [REDACTED]

---

**From:** Thomas Sharkey [REDACTED]  
**Sent:** Wednesday, December 8, 2021 1:57 PM  
**To:** Nolan Steenberg [REDACTED]; Natalie Steenberg [REDACTED]  
**Cc:** LeBeau, Beth <[REDACTED]>; Paprocki, Dave [REDACTED]; Parmar, Pinkey [REDACTED]; Rasor, Scott [REDACTED]; Tonne, Augie [REDACTED]; George [REDACTED]  
**Subject:** Your new deck

Nolan and Natalie,

Your deck has been approved by the Board. Another nice addition to our corner

Tom

Attachment: HOA Approval (851 N. Williams Drive - SU Deck in Floodplain)

**PUBLIC NOTICE**

A Public Hearing will be held before the Palatine Zoning Board of Appeals on Tuesday, April 12, 2022 at 7 PM, in the Village Council Chambers at Palatine Village Hall, 200 E. Wood Street, relative to a request for the following:  
**Special Use to permit a deck to be located in the floodplain.**

The property is commonly known as 851 N. Williams Drive (02-12-310-010-0000). The Petitioner is proposing to build a deck in the rear yard of the Subject Property, which is partially located in the floodplain. The Special Use would allow for approximately 50 square feet of the proposed 236 square foot deck to encroach into the floodplain. The above petition has been filed by Natalie and Nolan Steenberg and is available for examination in the office of the Village Clerk, 200 E. Wood Street.

FILE #: 22-06  
VILLAGE OF PALATINE  
Jan Wood, Chair  
Palatine Zoning Board of Appeals  
DATED: This 28th day of March, 2022  
Published in Daily Herald  
March 28, 2022 (4580090)

**CERTIFICATE OF PUBLICATION**  
**Paddock Publications, Inc.**

**Daily Herald**

Corporation organized and existing under and by virtue of the laws of the State of Illinois, DOES HEREBY CERTIFY that it is the publisher of the **DAILY HERALD**. That said **DAILY HERALD** is a secular newspaper and has been circulated daily in the Village(s) of Algonquin, Antioch, Arlington Heights, Aurora, North Aurora, Bannockburn, Barrington, Barrington Hills, Lake Barrington, North Barrington, South Barrington, Bartlett, Batavia, Buffalo Grove, Burlington, Campton Hills, Carpentersville, Cary, Crystal Lake, Deerfield, Deer Park, Des Plaines, Elburn, East Dundee, Elgin, South Elgin, Elk Grove Village, Fox Lake, Fox River Grove, Franklin Park, Geneva, Gilberts, Glenview, Grayslake, Green Oaks, Gurnee, Hainesville, Hampshire, Hanover Park, Hawthorn Woods, Highland Park, Highwood, Hoffman Estates, Huntley, Inverness, Island Lake, Kildeer, Lake Bluff, Lake Forest, Lake in the Hills, Lake Villa, Lake Zurich, Libertyville, Lincolnshire, Lindenhurst, Long Grove, Melrose Park, Montgomery Morton Grove, Mt. Prospect, Mundelein, Niles, Northbrook, Northfield, Northlake, Palatine, Park Ridge, Prospect Heights, River Grove, Riverwoods, Rolling Meadows, Rosemont, Round Lake, Round Lake Beach, Round Lake Heights, Round Lake Park, Schaumburg, Schiller Park, Sleepy Hol St. Charles, Streamwood, Sugar Grove, Third Lake, Tower Lakes, Vernon Hills, Volo, Wadsworth, Wauconda, Waukegan, West Dundee, Wheeling, Wildwood, Wilmette County(ies) of Cook, Kane, Lake, McHenry and State of Illinois, continuously for more than one year prior to the date of the first publication of the notice hereinafter referred to and is of general circulation throughout said Village(s), County(ies) and State.

I further certify that the DAILY HERALD is a newspaper as defined in "an Act to revise the law in relation to notices" as amended in 1992 Illinois Compiled Statutes, Chapter 715, Act 5, Section 1 and 5. That a notice of which the annexed printed slip is a true copy, was published 03/28/2022 in said DAILY HERALD.

IN WITNESS WHEREOF, the undersigned, the said PADDOCK PUBLICATIONS, Inc., has caused this certificate to be signed by, this authorized agent, at Arlington Heights, Illinois.

PADDOCK PUBLICATIONS, INC.  
DAILY HERALD NEWSPAPERS

BY *Danula Baltz*  
Authorized Agent

Control # 4580090

Attachment: Public Notice (851 N. Williams Drive - SU Deck in Floodplain)

VILLAGE OF PALATINE  
Zoning Board of Appeals

SCHEDULED 04/12/22 07:00 PM

**CASE STAFF STATEMENT (ID # 7476)**

**1045 E. Lilac Drive - VAR Garage to Living Space**

**TO:** Palatine Zoning Board of Appeals  
Jan Wood, Chair

**FROM:** Alex Bradshaw

**PETITIONERS:** Angel & Kristen Mendez

**CASE NUMBER:** 22-07

**ADDRESS:** 1045 E. Lilac Drive

**PROPOSAL:**

Variation to permit an existing single-family detached dwelling to eliminate the minimum required one garage parking space, as part of the required parking for single-family dwellings.

<b>LOCATION:</b> 1045 E. Lilac Drive District 4 (Solberg)	<b>CURRENT ZONING:</b> R-2 Single Family Residential
--	---

**SURROUNDING CONDITIONS:**

<b>North:</b>	R-2 Single Family Residential
<b>South:</b>	R-2 Single Family Residential
<b>East:</b>	P, Planned Unit Development (Windhaven Condominiums)
<b>West:</b>	R-2 Single Family Residential

**BACKGROUND:**

The Petitioners are proposing to convert their existing one-car garage into living space, thus eliminating the minimum one required garage parking space for a single-family residential property. Therefore, the Petitioners are requesting:

**Variation to permit an existing single-family detached dwelling to eliminate the minimum required one garage parking space, as part of the required parking for single-family dwellings.**

**SITE ANALYSIS:**

- The Subject Property is zoned R-2, Single-Family Residential. The property is approximately 12,000 square feet.

- The Subject Property has an existing attached one-car garage with an asphalt driveway that extends along the south side of the garage can accommodate the three (3) required parking spaces.
- The Petitioners are proposing to convert the one-car garage into a living space (family room). The Petitioners are requesting to entirely remove the garage parking space. This requires a Variation from the one (1) required garage parking space for single-family detached dwellings.
- Staff reviewed the surrounding area's residential off-street parking, and found that eliminating the only garage space would be outside the character of the neighborhood. As the vast majority have a garage space, or where constructed prior to the adoption of the current Zoning Code.
- If converted, the proposed family room will add approximately 300 square feet of living space to their home.
- The proposed conversion will not add any square footage to the existing footprint of the primary building.
- The Subject Property complies with both building and lot coverage per Code.

#### **DEPARTMENTAL REVIEWS:**

<b>Community Services</b>	No Issues Identified
<b>Engineering</b>	No Issues Identified
<b>Environmental Health</b>	N/A
<b>Fire Prevention</b>	N/A
<b>Public Works</b>	N/A
<b>Police</b>	N/A

**STANDARDS FOR A VARIATION:** Standards for a Variation are found in Section 14.03 D (1) and (2) of the Zoning Code. Specifically, the Petitioners must show that the property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations governing the district in which it is located; that the plight of the owner is due to unique circumstances; and that the variation, if granted, will not alter the essential character of the locality. The Petition for Variation is attached, and the Petitioners have attempted to address the required standards.

#### **STAFF RECOMMENDATION:**

The Petitioners have indicated the need for additional living space within the residence on the Subject Property. The garage to living space conversion would completely eliminate the minimum required one garage parking space, which part of the required

parking for single-family dwellings. While Staff understands that total number of parking may still be achieved due to the driveway that extends along the south side of the existing garage, eliminating the garage entirely would not be in character with the surrounding neighborhood. While Staff ultimately understands what the Petitioner wants to accomplish, Staff does not believe that adequate justification for the Variation has been established.

While there are other options to accomplish this request, it would involve constructing a detached garage, which is not in the proposed scope of work. Therefore, Staff recommends denial to the Zoning Board of Appeals. If the Zoning Board of Appeals recommends approval, Staff recommends the following conditions:

1. The Variation shall substantially conform to the site plan submitted by the Petitioners, Angel and Kristen Mendez, except as such plans may be changed to conform to Village Codes and Ordinances.

**ATTACHMENTS:**

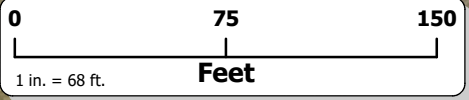
- Aerial Map
- Application
- Plans - Elevations
- Plat of Survey
- Public Notice

# 1045 E. Lilac Drive

3.2.a



Attachment: Aerial Map (1045 E. Lilac Drive - VAR Garage to Living Space)





**SPECIAL USE & VARIATION APPLICATION**

**Department of Planning & Zoning**  
 200 E. Wood Street · Palatine, IL · 60067-5339  
 Telephone: (847) 359-9047 · Fax (847) 963-6247

<b>Office Use Only</b>	Project Planner	Zoning Case #
	Filing Fee	Notification Deadline
	ZBA Public Hearing Date	Village Council Date

*date received*

<b>Background Information</b>	<b>PETITIONER(S)</b>		<b>Business Name (if applicable)</b>	
	Angel & Kristen Mendez			
	Subject Property Address 1045 E Lilac Drive Palatine, IL 60074			
	<b>AUTHORIZED AGENT (if applicable)</b>		<b>Business Name (if applicable)</b>	
	David Riano, Coordinator		Design First Builders LLC	
	Address		City/State/Zip Code	
	1201 Norwood Ave, Itasca IL 60143			
	Telephone	Fax	Email	
	630-250-7777 EXT 112		permits@d1builders.com	
	Relationship to Petitioner (contractor, architect, etc.) Contractor			
<b>TYPE OF APPLICATION (check one)</b>				
<input type="checkbox"/> Special Use <input type="checkbox"/> Special Use Amendment <input type="checkbox"/> Variation Standard				
Existing Zoning District	Existing Land Use	Proposed Land Use		
R-2	Residential	Residential		
Generally describe your request:				
Convert the one (1)-car garage into a living space (family room)				

Attachment: Application (1045 E. Lilac Drive - VAR Garage to Living Space)



# VARIATION

### Required Materials

- Filing Fee of \$ \_\_\_\_\_
- Application Form
- Plat of Survey (must show all current improvements and be sealed by an Illinois certified surveyor)
- Site Plan & Floor plan (dimension, location, and setbacks of all existing and proposed buildings) – **one 11x17 copy each, electronic version preferred**
- Real Estate Interest Disclosure Form (see attached)
- Proof of Ownership or Lease (e.g. Title Insurance Policy, Deed, or Purchase Contract)

### Additional Materials (as required by the Village)

- Elevation Plan (front, side, and rear elevations of a proposed building), and/or Floor Plan (proposed interior layout) – **one 11x17 copy of each plan, electronic versions preferred**
- Engineering Plans (must indicate existing conditions, topography, storm water management, tree preservation, utility connections, detention calculations, and a cost estimate)
- Photographs (e.g. ground-level or aerials)
- Other materials as deemed necessary by the Village

### Petitioner Justification

The Petitioner is required to present specific evidence related to each of the following standards to justify the request (paraphrased from Section 14.03 of the Palatine Zoning Ordinance). Answer the items below and attach a separate sheet if necessary. ***If you are applying for a Special Use only, you do not need to answer these items.***

1. That the property cannot yield a reasonable return if used only under the conditions allowed by the regulations governing the zoning district in which it is located

The property cannot yield a reasonable return without the re-use of existing foundations, walls, and roof structure. Required parking per the zoning ordinance can be achieved using existing surface parking.

---

2. That the plight of the owner is due to unique circumstances

The plight of the owner is not due to a unique circumstance.

---

3. That the variation, if granted, will not alter the essential character of the locality

Granting the variance will not alter the essential character of the locality.

---

4. In order to supplement the above standards, the Zoning Board of Appeals may also consider the following:

- a. The particular surroundings, shape, or topographical conditions of the property
- b. A unique hardship for the property not generally applicable to other properties in the same zoning district
- c. The request is not based on a desire to make more money out of the property
- d. The petitioner has not created the alleged hardship for the property
- e. The request will not be detrimental to the public welfare or other properties in the neighborhood
- f. The request will not impair the supply of light and air to adjacent properties, substantially increase the danger of fire, endanger the public safety, or substantially diminish or impair neighboring property values

-The proposed variance does not create a hardship for the property nor is it detrimental to the public's health safety and welfare.

- The proposed variance does not have a for-profit purpose. The proposed variance does not increase the danger of fire nor does it diminish the value of the neighboring property values.

---

Attachment: Application (1045 E. Lilac Drive - VAR Garage to Living Space)



# Affidavit of No New Improvements

## AFFIDAVIT OF NO NEW IMPROVEMENTS

I am the owner of record, of the property with the legal description as stated on the attached plat of survey. I hereby affirm that the survey attached hereto is the survey for said property, and that the attached survey accurately depicts the current conditions with all existing improvements to the property as of the date of this affidavit.

Affiant further states that survey is correct and complete representation of all improvements now located on the premises described in the above referenced title commitment, except for: \_\_\_\_\_

I fully understand that in the event the attached survey does not accurately depict all existing improvements made to the property as of today's date, the Village of Palatine may elect to reject this plan and the permit for which I am applying shall not be approved (or work in progress pursuant to the permit will be stopped) until an accurate survey has been received and approved by the Village of Palatine.

### PROPERTY OWNERS SIGNATURE REQUIRED

CERTIFIED BY:

Property Owner Signature: Kristen Mendez Date: 2/17/2022

Property Owner Print Name: Kristen Mendez

Property Address: 1045 E Lilac Drive Palatine, IL 60074

PIN #: 02013120020000

Name of Surveyor: Jeffrey A Spirek

Date of Survey: August 24, 2021

Survey Order No.: 21-64836

Attachment: Application (1045 E. Lilac Drive - VAR Garage to Living Space)



**DESIGN first**  
 REMODELING HOMES  
 BUILDING RELATIONSHIPS  
 1201 NORWOOD AVE. ITASCA IL. 60143  
 (630) 250-7777  
 PERMITS@d1builders.com

PROJECT DESCRIPTION  
 INTERIOR ALTERATIONS

PROJECT OWNER  
**ANGEL & KRISTEN MENDEZ**

PROJECT ADDRESS  
 1046 E LILAC DRIVE  
 PALATINE, IL 60074

SCALE

CERTIFICATION STATEMENT

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED UNDER MY DIRECT SUPERVISION, AND TO THE BEST OF MY PROFESSIONAL KNOWLEDGE THEY CONFORM TO THE CODES AND ORDINANCES OF THE LOCAL JURISDICTION.

I CERTIFY THAT I AM A REGISTERED ENGINEER PROFESSIONAL WITH THE STATE OF ILLINOIS AND I AM FULLY LICENSED TO PERFORM THE SERVICES DESCRIBED IN THESE PLANS AND I AM FULLY COMPLYING WITH THE REQUIREMENTS OF THE SUPERVISION CODE AS REQUIRED BY STATE LEGISLATION.

**FREDERICK P. CONFORTI**  
 001-01289  
 STATE OF ILLINOIS

PLAN APPROVAL

HOMEOWNER \_\_\_\_\_ DATE \_\_\_\_\_

HOMEOWNER \_\_\_\_\_ DATE \_\_\_\_\_

MATT BOLSON  
 DESIGNER (830) 880-3518 DATE \_\_\_\_\_

MEAGAN FERRIS  
 ARCHITECTURE (830) 450-1252 DATE \_\_\_\_\_

**PERMIT SET**

DESCRIPTION	DRAWING ISSUE DATES	DATE
DESIGN SET		
PERMIT SUBMITTAL		
PERMIT REVISIONS		
PERMIT APPROVED		
WALK-THRU SET		
PRODUCTION SET		
FIELD REVISIONS		

**NOTES**

SHEET LEGEND

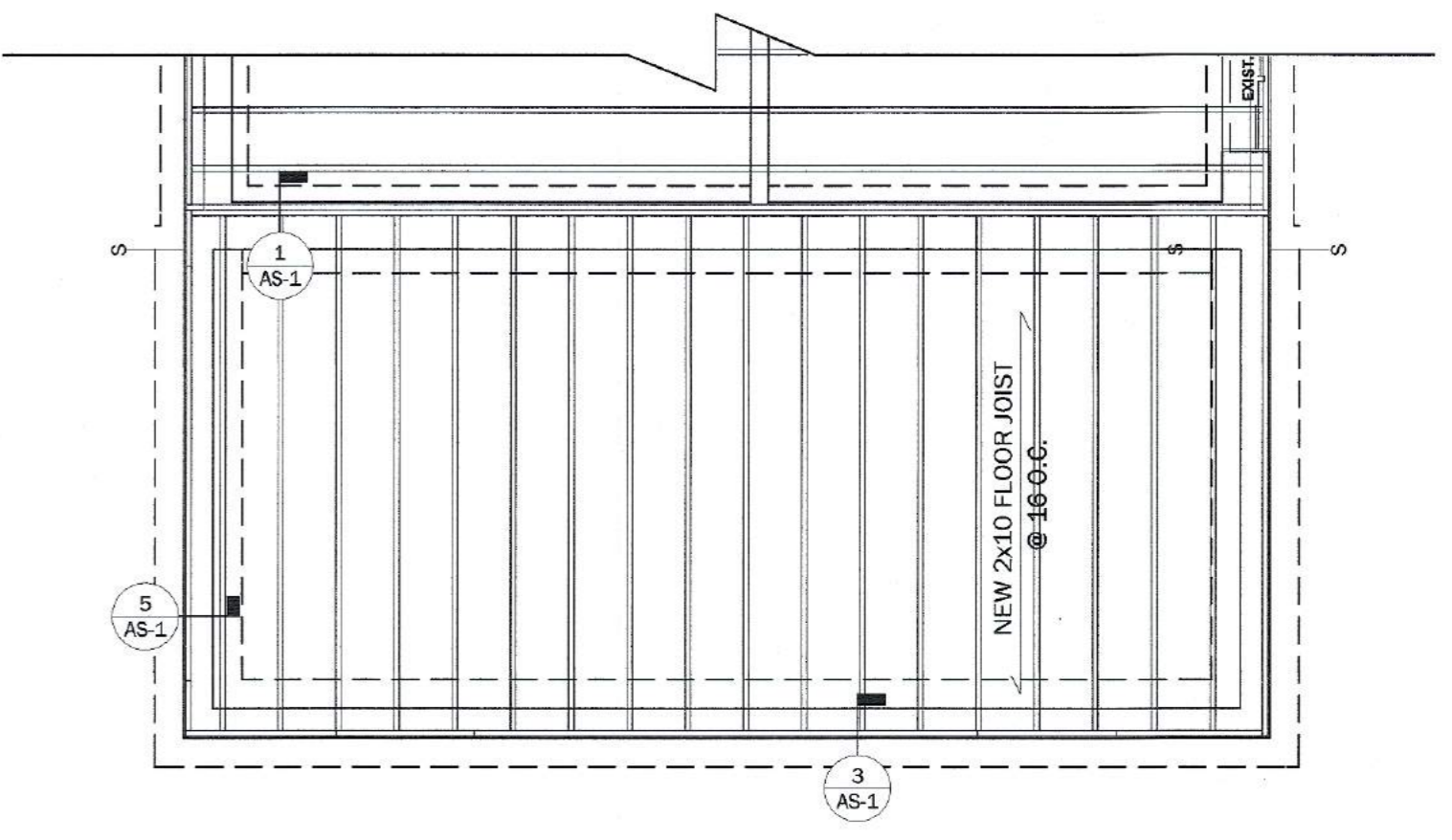
TAG #	TITLE
G-1	GENERAL NOTES & LEGENDS
AP-1	FIRST FLOOR ARCH. PLANS
AS-1	SECTIONS & DETAILS
AE-1	EXTERIOR ELEVATIONS
MP-1	FIRST FLOOR MEP PLANS

PRINT DATE: 2/7/2022 11:13:36

TAG # OF SHEET OF

**AP-1 2 2**

**FIRST FLOOR ARCH. PLANS**



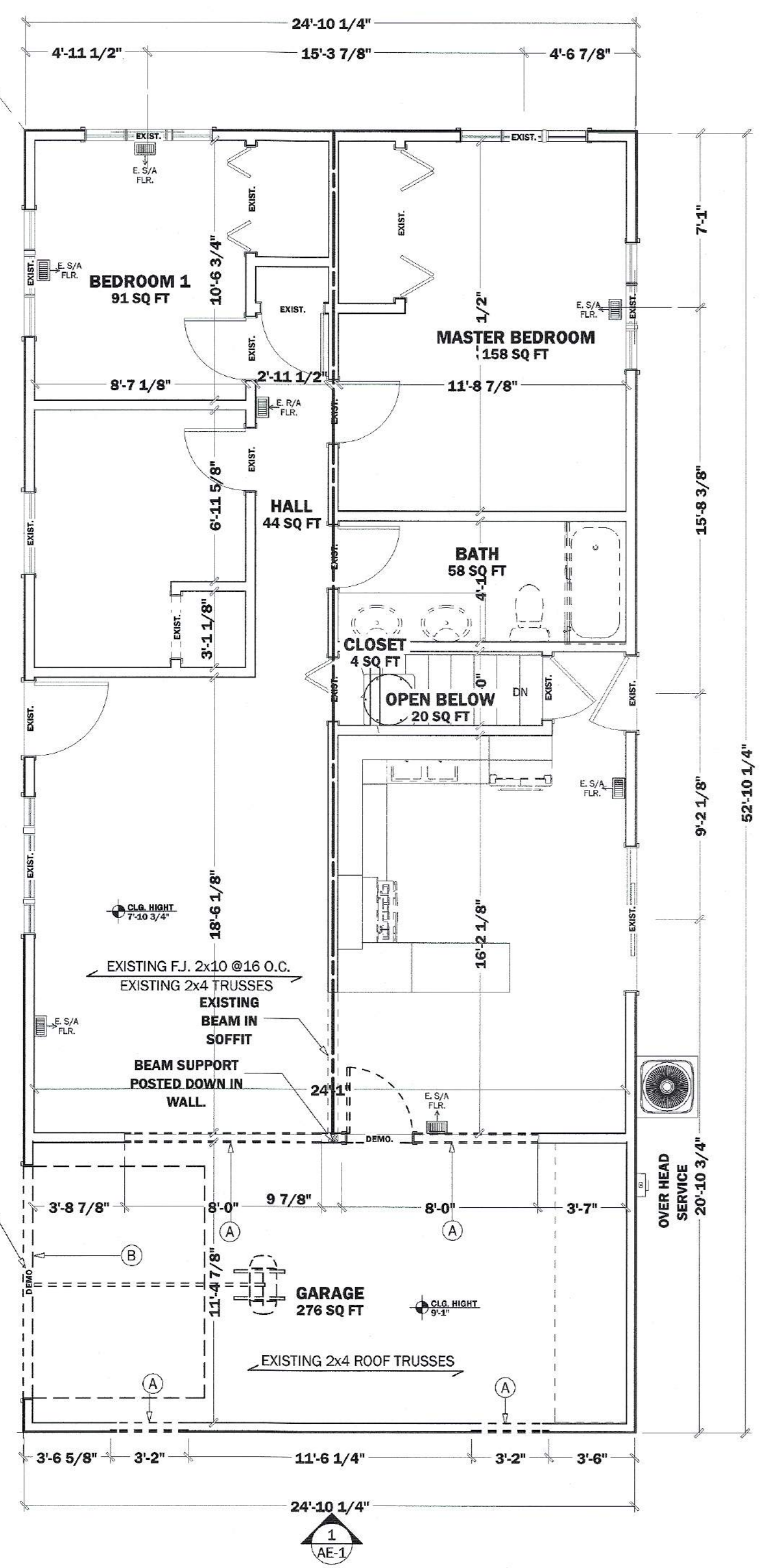
**3 PROPOSE FRAMING PLAN**  
 1/4" = 1-0"

- GENERAL DEMO NOTES:
- (A) - WRECK AND HAUL FRAMED WALL (INCLUDES FRAMING, INTERIOR DRYWALL, SHEATHING AND 1 LAYER OF EXTERIOR SIDING) (PROVIDE LABOR TO REMOVE EXISTING SHELVING STORAGE FRAMING, GARAGE DOOR RAIL, MOTOR AND TRACK HOME OWNER TO REMOVE PERSONAL ITEMS)
  - (B) - GARAGE DOOR HEADER TO REMAIN.

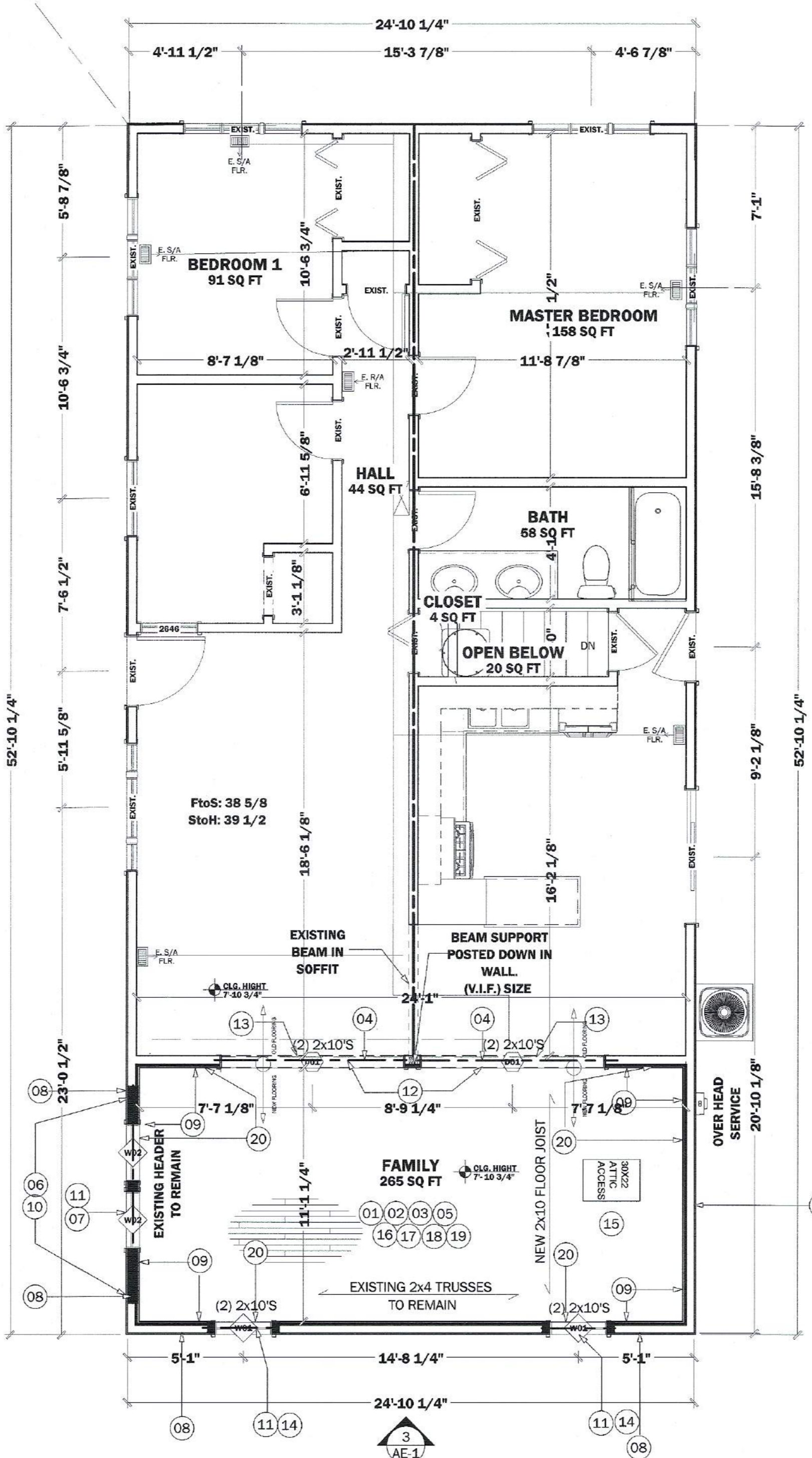
**WALL TYPE LEGEND**

	EXISTING WALL TO REMAIN
	DEMOLISH EXISTING WALL
	REMOVE EXIST. WALL FINISH ONLY
	NEW WALL
	NEW WALL FINISH ON EXIST. WALL

- PROPOSE NOTE:**
- 01 - FRAME NEW OVER LAY FLOOR SYSTEM WITH 2X FRAMING (AND 3/4 PLYWOOD SUB-FLOOR)
  - 02 - INSTALL NEW R-30 INSULATION TO NEW DECKING
  - 03 - INSTALL NEW PREFINISHED FLOORING (INCLUDES STANDARD ROLL UNDERLAYMENT)
  - 04 - INSTALL TRANSITION STRIP
  - 05 - INSTALL PROTECTIVE MATERIAL ON NEWLY INSTALLED FLOORING
  - 06 - FRAME NEW 2X6 EXTERIOR WALL (LOCATION: FORMER GARAGE DOOR)
  - 07 - FRAME NEW OPENING FOR EXTERIOR WINDOW
  - 08 - SUPPLY & INSTALL NEW FIBERGLASS BATT INSULATION
  - 09 - INSTALL NEW 5/8 DRYWALL TO WALL(S)
  - 10 - INSTALL NEW 4" VINYL SIDING (TIE IN 8 LF SIDING TO EXISTING STRUCTURE)
  - 11 - INSTALL NEW STANDARD VINYL WINDOW OR DOOR J CHANNEL TRIM
  - 12 - SUPPLY NEW HEADER FOR BREAK THROUGH
  - 13 - LABOR AND MATERIAL SUPPLY TO PATCH BACK FLOORING
  - 14 - FRAME AND INSTALL NEW WINDOW(S) (WINDOW CASING AND INTERIOR CASING)
  - 15 - INSTALL PICTURE FRAME ATTIC SCUTTLE PANEL (INCLUDES L&M TO INSTALL CASING WITH JAMB CASING)
  - 16 - INSTALL NEW BASE TRIM
  - 17 - INSTALL FLAT CEILING FRAMING
  - 18 - INSTALL NEW R-49 INSULATION
  - 19 - INSTALL NEW 5/8 DRY WALL TO CEILING
  - 20 - FUR OUT EXISTING WALL EXISTING GARAGE STRUCTURE



**1 1st FLOOR DEMO. PLAN**  
 1/4" = 1-0"



**2 NEW 1st FLOOR PLAN**  
 1/4" = 1-0"

SAW CUT OUT EXISTING SLAB ABOVE FOUNDATION WALL SEE DETAIL 6/ AS-1

LOWER LEVEL DOOR SCHEDULE

TAG	QTY.	EX/IN	MANUFACTURER	TYPE	DOOR STYLE	WIDTH	HEIGHT	R/O	DOOR THICKNESS	HANDLING	DOOR FINISH	JAMB SIZE	CASING SIZE	NOTES
D01	2	EX		DOORWAY	DOORWAY	96"	80"	98"x83"				3/4"x6 1/4"	3/4"x2 1/4"	

FIRST FLOOR WINDOW SCHEDULE

TAG	QTY	LOCATION	MANUFACTURER	SERIES	TYPE	WIDTH	HEIGHT	R/O	EGRESS	TEMPERED	U-FACTOR	JAMB SIZE	CASING SIZE	NOTES
W01	2	FAMILY		DOUBLE HUNG	DOUBLE HUNG	30"	48"	31"x49"			0.3	3/4"x6 3/4"	5/8"x2 1/4"	
W02	2	FAMILY		DOUBLE HUNG	DOUBLE HUNG	30"	38 5/8"	31"x39 5/8"			0.3	3/4"x6 3/4"	5/8"x2 1/4"	

Attachment: Plans - Elevations (1046 E. Lilac Drive - VAR Garage to Living Space)

**DESIGN first**  
 REMODELING HOMES<sup>®</sup>  
 BUILDING RELATIONSHIPS  
 1201 NORWOOD AVE. ITASCA IL. 60143  
 (630) 250-7777  
 PERMITS@d1builders.com

PROJECT DESCRIPTION  
 INTERIOR ALTERATIONS  
 PROJECT OWNER  
**ANGEL & KRISTEN MENDEZ**  
 PROJECT ADDRESS  
 1045 E LILAC DRIVE  
 PALATINE, IL 60074  
 SCALE

CERTIFICATION STATEMENT  
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED UNDER MY DIRECT SUPERVISION AND TO THE BEST OF MY PROFESSIONAL KNOWLEDGE THEY CONFORM TO THE CODES AND ORDINANCES OF THE LOCAL MUNICIPALITY.  
 I CERTIFY THAT I AM A REGISTERED ENERGY PROFESSIONAL AND I ALSO CERTIFY THAT TO THE BEST OF MY PROFESSIONAL KNOWLEDGE AND BELIEF, THE PROPOSED PLANS FULLY COMPLY WITH THE REQUIREMENTS OF THE STATE OF ILLINOIS CONSERVATION CODE AS REQUIRED BY STATE LEGISLATION.



PLAN APPROVAL  
 HOMEOWNER \_\_\_\_\_ DATE \_\_\_\_\_  
 HOMEOWNER \_\_\_\_\_ DATE \_\_\_\_\_  
 (We, the undersigned, Home Owners, have examined the DESIGNER'S documents and DESIGNER'S construction details. (We, the undersigned, Home Owners, understand and agree to the terms, conditions, and approvals contained within the DESIGNER'S documents and approve the construction as noted.)  
 MATT BOLSON \_\_\_\_\_ DATE \_\_\_\_\_  
 DESIGNER (630) 880-3618  
 MEAGAN FERRIS \_\_\_\_\_ DATE \_\_\_\_\_  
 ARCHITECTURE (630) 450-1282

PERMIT SET

DESCRIPTION	DRAWING ISSUE DATES	DATE
DESIGN SET		
PERMIT SUBMITTAL		
PERMIT REVISIONS		
PERMIT APPROVED		
WALK-THRU SET		
PRODUCTION SET		
FIELD REVISIONS		

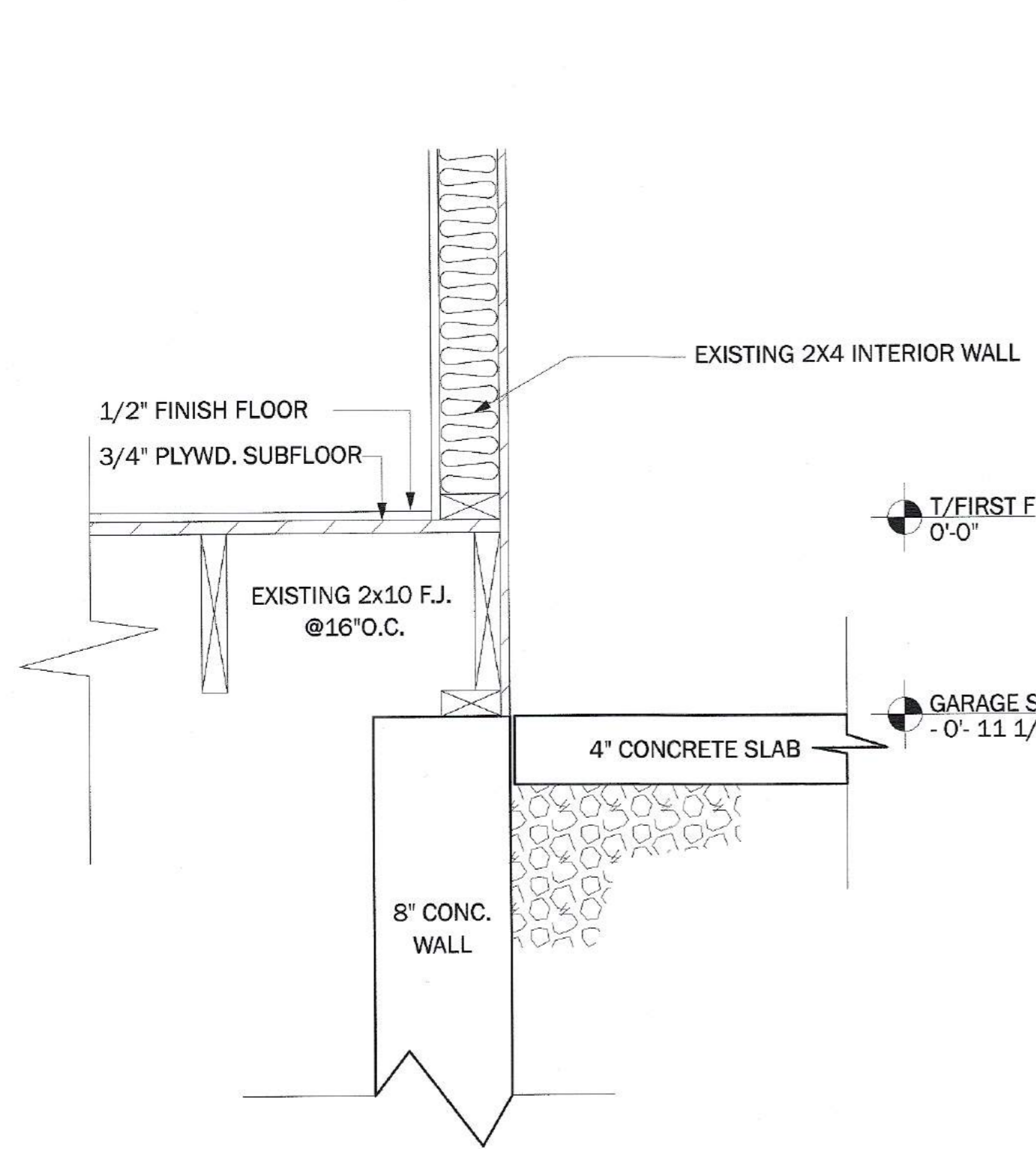
NOTES

SHEET LEGEND

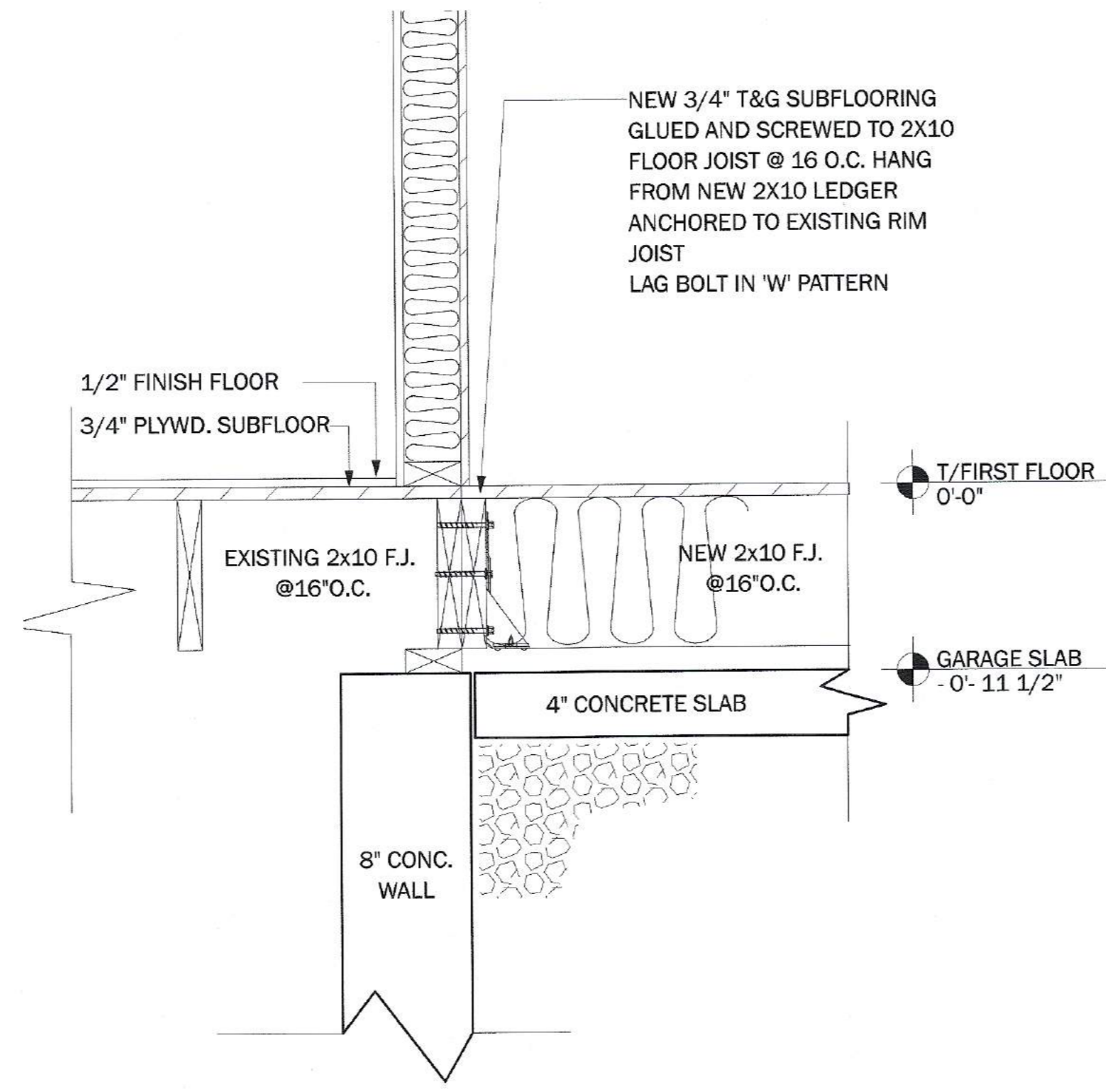
TAG #	TITLE
G-1 1	GENERAL NOTES & LEGENDS
AP-1 2	FIRST FLOOR ARCH. PLANS
AS-1 3	SECTIONS & DETAILS
AE-1 4	EXTERIOR ELEVATIONS
MP-1 5	FIRST FLOOR MEP PLANS

PRINT DATE: 2/7/2022 11:13:41  
 TAG AS-1 3 OF 3  
 SHEET TITLE

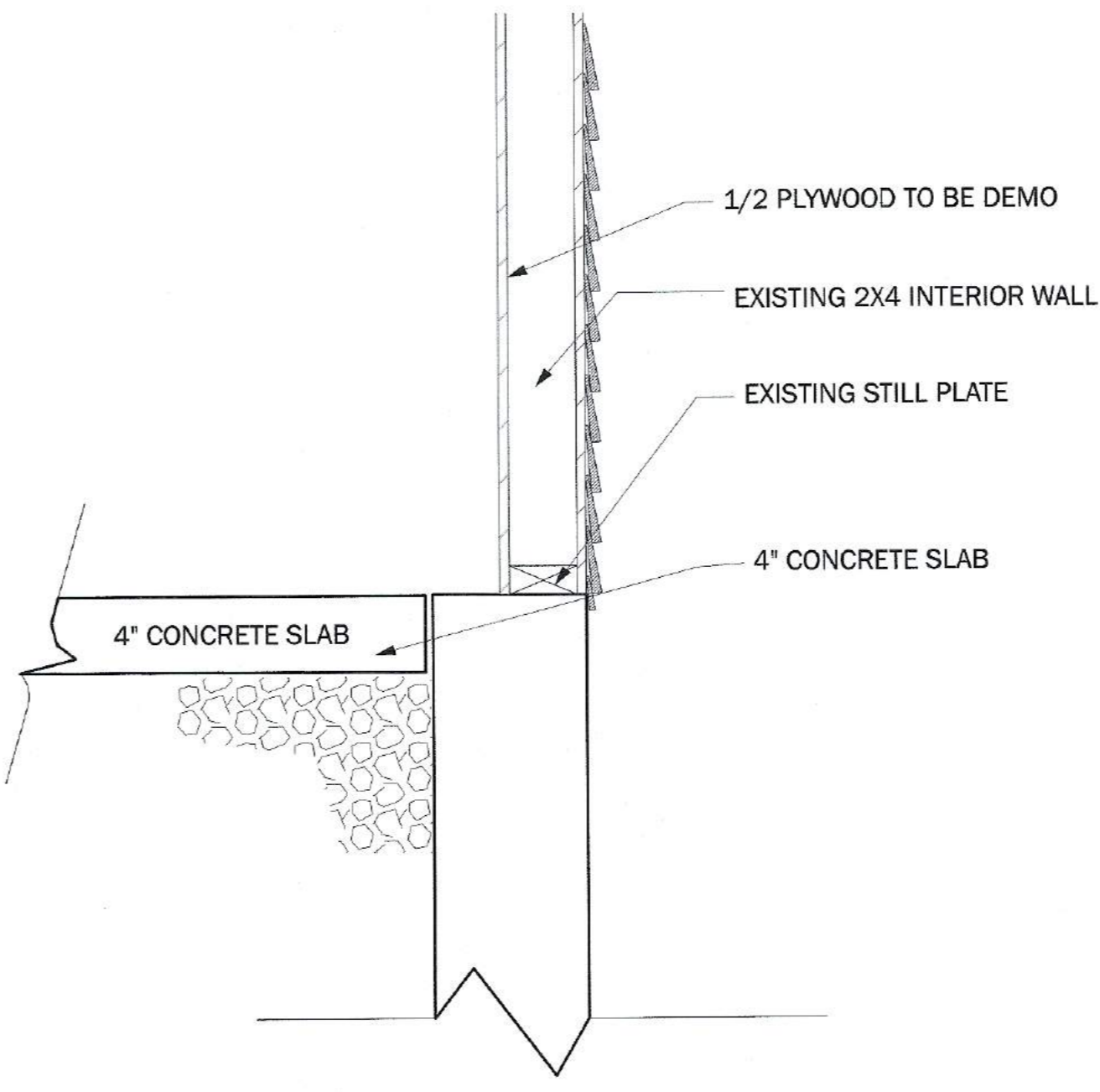
**SECTIONS & DETAILS**



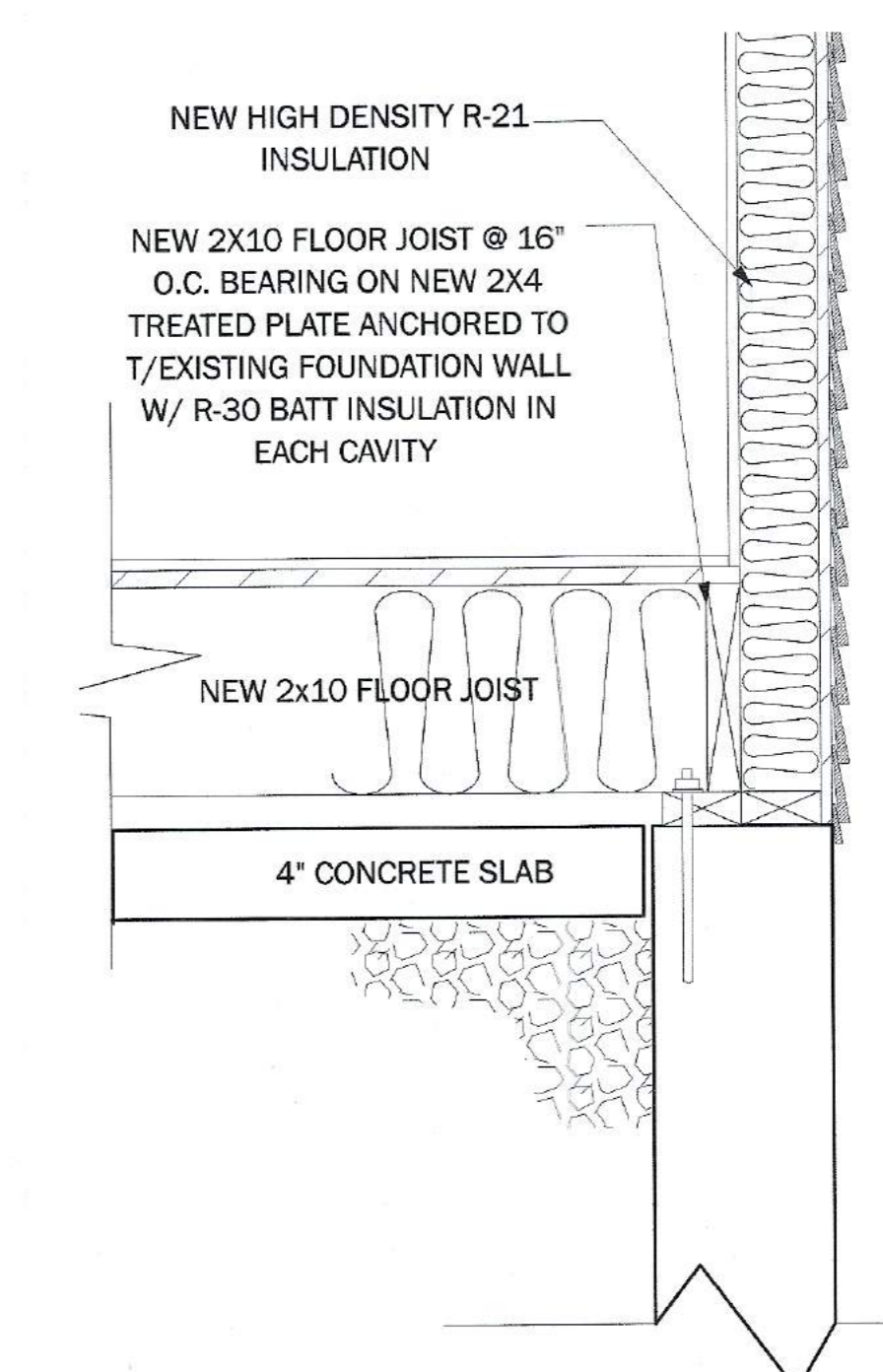
**1 EXISTING CONDITION**  
 1 - 1/2" = 1'-0"



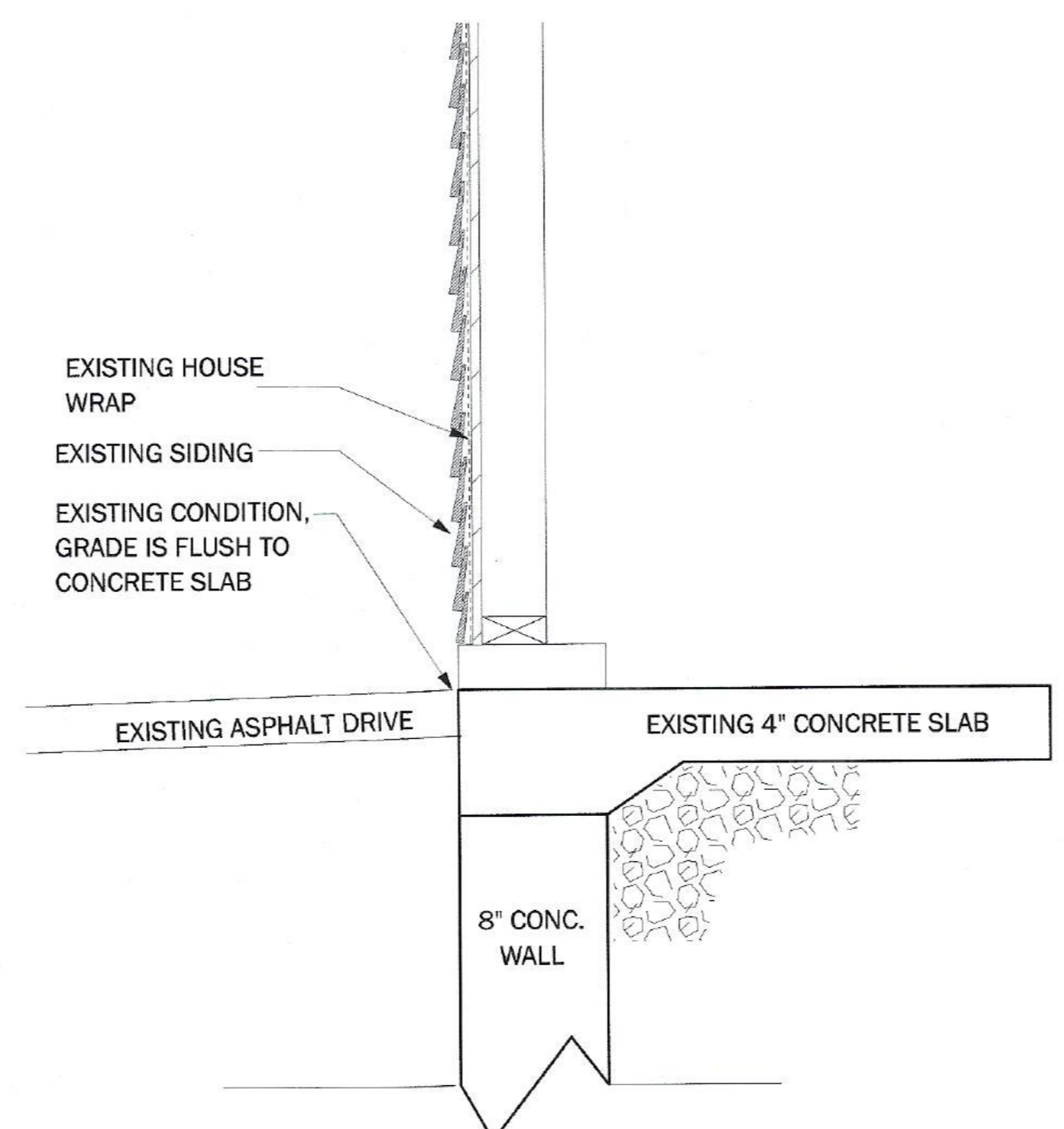
**2 PROPOSED CONDITION**  
 3/4" = 1'-0"



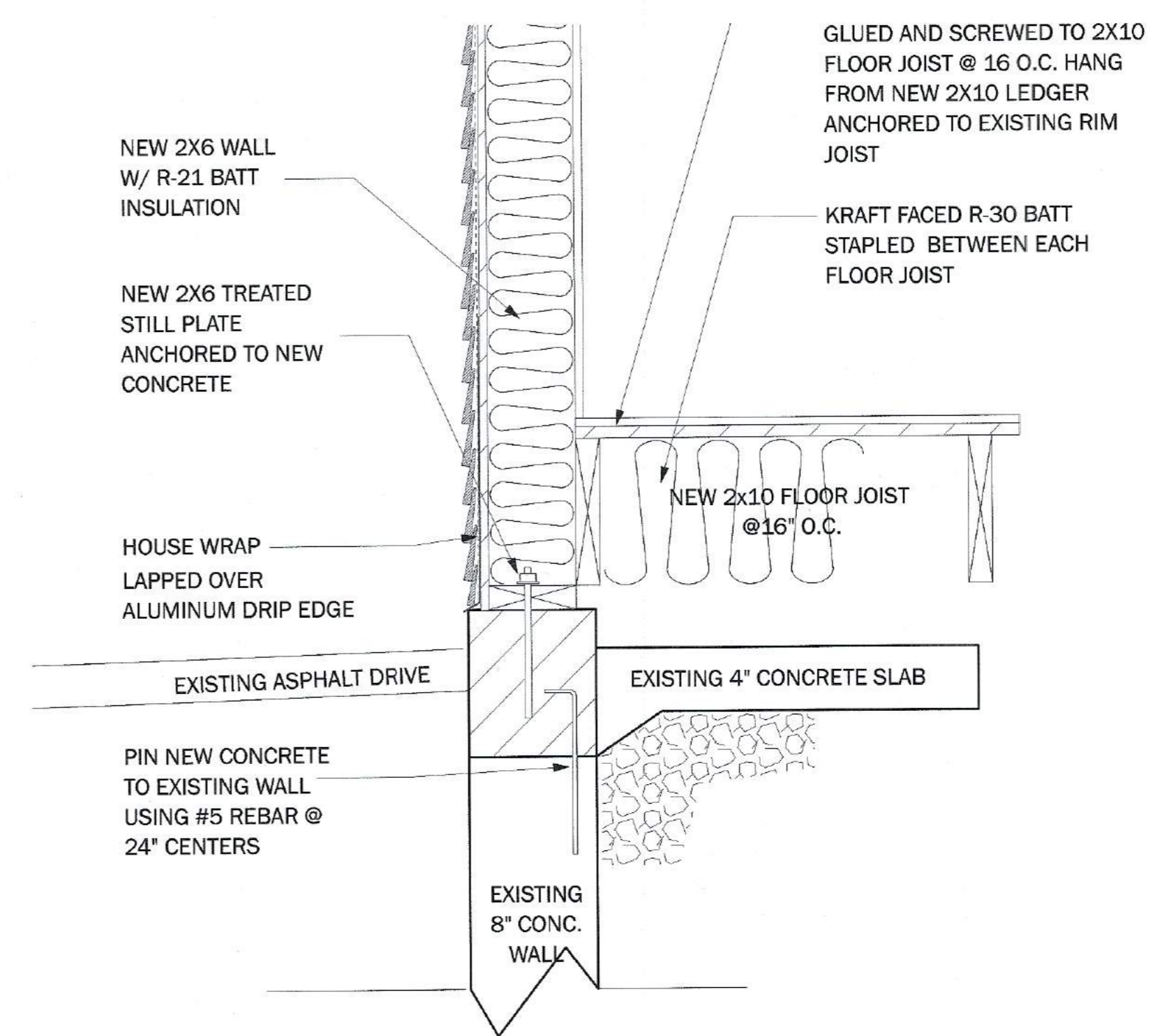
**3 EXISTING TYP. EXT. WALL**  
 1 - 1/2" = 1'-0"



**4 PROPOSED EXTERIOR WALL**  
 1 - 1/2" = 1'-0"



**5 EXT. CONDITION**  
 1 - 1/2" = 1'-0"



**6 PROPOSED CONDITION**  
 3/4" = 1'-0"

Attachment: Plans - Elevations (1045 E. Lilac Drive - VAR Garage to Living Space)

**DESIGN first**  
 REMODELING HOMES BUILDING RELATIONSHIPS  
 1201 NORWOOD AVE. ITASCA IL. 60143  
 (630) 250-7777  
 PERMITS@d1builders.com

PROJECT DESCRIPTION  
 INTERIOR ALTERATIONS

PROJECT OWNER  
**ANGEL & KRISTEN MENDEZ**

PROJECT ADDRESS  
 1045 E LILAC DRIVE  
 PALATINE, IL 60074

SCALE

CERTIFICATION STATEMENT  
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED UNDER MY DIRECT SUPERVISION AND TO THE BEST OF MY PROFESSIONAL KNOWLEDGE THEY CONFORM TO THE ORDOS AND ORDINANCES OF THE LOCAL MUNICIPALITY.  
 I CERTIFY THAT I AM A REGISTERED ENERGY PROFESSIONAL AS I ALSO CERTIFY THAT TO THE BEST OF MY PROFESSIONAL KNOWLEDGE AND BELIEF THAT THESE PLANS FULLY COMPLY WITH THE REQUIREMENTS OF THE 2021 IBC INTERNATIONAL RESIDENTIAL CODE AS REQUIRED BY STATE LEGISLATION.

LICENSE NUMBER: 001-017763  
 STATE OF ILLINOIS

PLAN APPROVAL

HOMEOWNER \_\_\_\_\_ DATE \_\_\_\_\_  
 HOMEOWNER \_\_\_\_\_ DATE \_\_\_\_\_  
 MATT BOLSON \_\_\_\_\_ DATE \_\_\_\_\_  
 MEAGAN FERRIS \_\_\_\_\_ DATE \_\_\_\_\_

PERMIT SET

DESCRIPTION	DRAWING ISSUE DATES	DATE
DESIGN SET		
PERMIT SUBMITTAL		
PERMIT REVISIONS		
PERMIT APPROVED		
WALK-THRU SET		
PRODUCTION SET		
FIELD REVISIONS		

NOTES

SHEET LEGEND

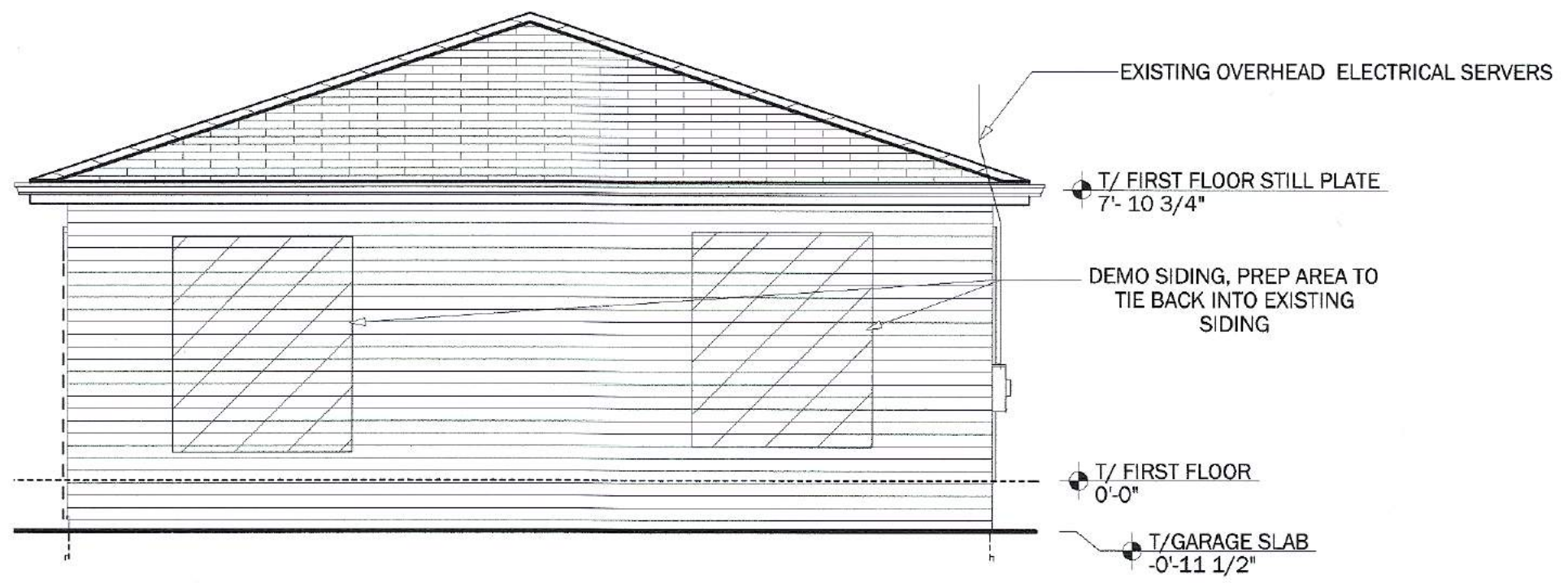
TAG #	TITLE
G-1 1	GENERAL NOTES & LEGENDS
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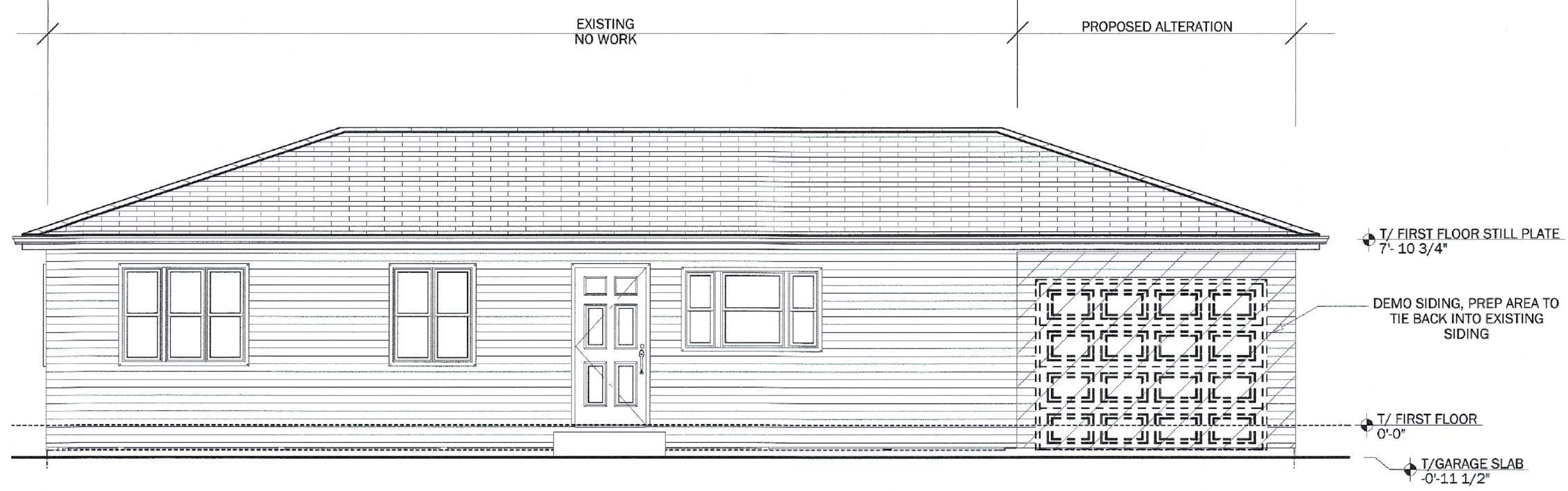
TAG: AE-1

SHEET: 4 OF 4

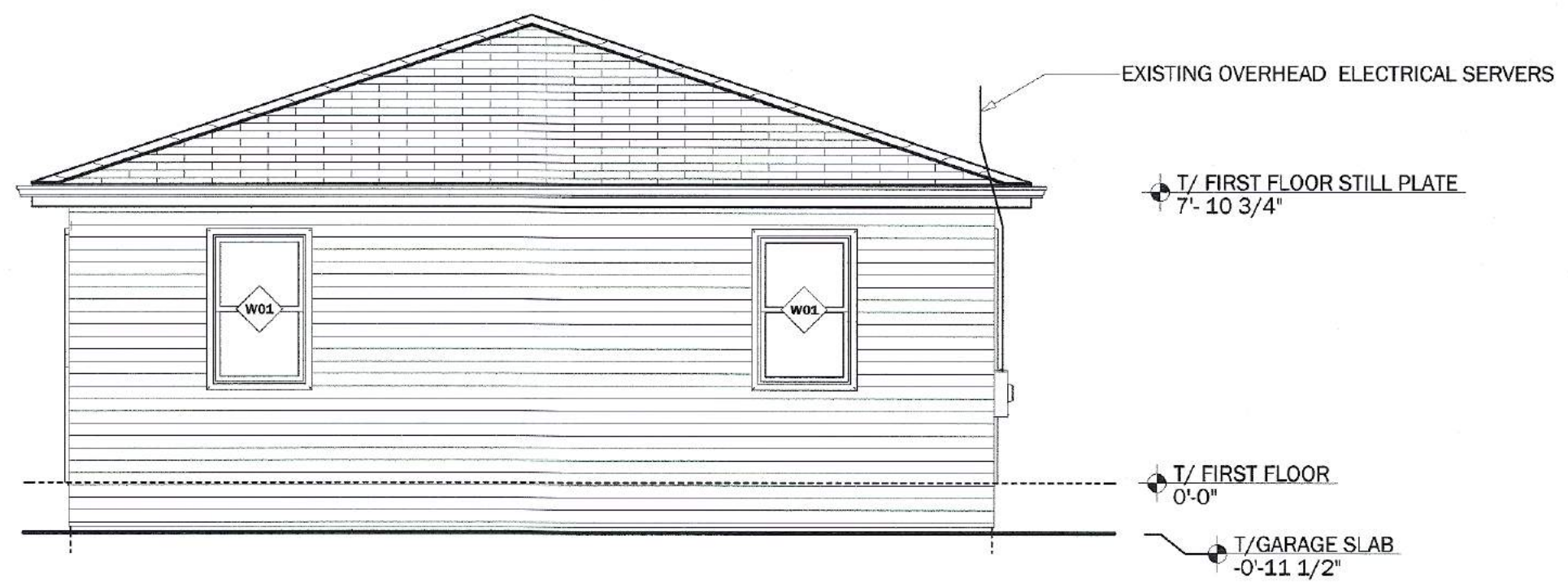
SHEET TITLE: EXTERIOR ELEVATIONS



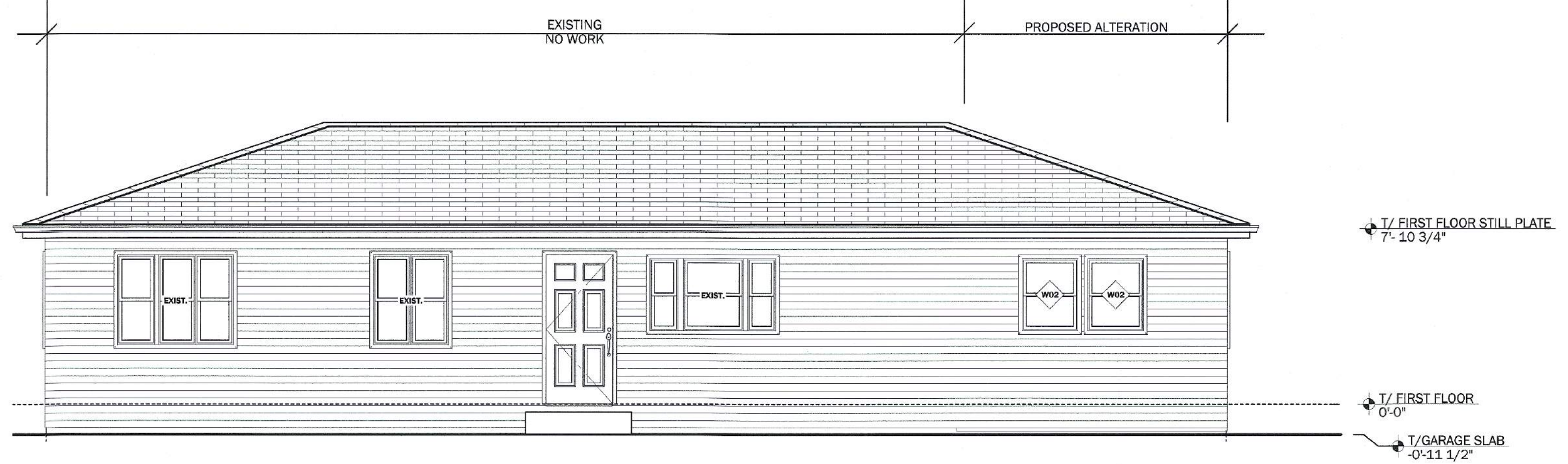
1 EXISTING NORTH ELEVATION  
 1/4" = 1-0"



2 EXISTING EAST ELEVATION  
 1/4" = 1-0"



3 NEW NORTH ELEVATION  
 1/4" = 1-0"



4 NEW EAST ELEVATION  
 1/4" = 1-0"

Attachment: Plans - Elevations (1045 E. Lilac Drive - VAR Garage to Living Space)

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 BUILDING RELATIONSHIPS  
 1201 NORWOOD AVE. ITASCA IL 60143  
 (630) 250-7777  
 PERMITS@d1builders.com

PROJECT DESCRIPTION  
 INTERIOR ALTERATIONS

PROJECT OWNER  
**ANGEL & KRISTEN MENDEZ**

PROJECT ADDRESS  
 1045 E LILAC DRIVE  
 PALATINE, IL 60074

SCALE

CERTIFICATION STATEMENT  
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED UNDER MY DIRECT SUPERVISION AND TO THE BEST OF MY PROFESSIONAL KNOWLEDGE THEY CONFORM TO THE CODES AND ORDINANCES OF THE LOCAL MUNICIPALITY.  
 I CERTIFY THAT I AM A REGISTERED ENERGY PROFESSIONAL (REPE) AND I ALSO CERTIFY THAT TO THE BEST OF MY PROFESSIONAL KNOWLEDGE AND BELIEF THESE PLANS FULLY COMPLY WITH THE REQUIREMENTS OF THE STATE OF ILLINOIS THROUGH CONSERVATION CODE AS PROVIDED BY STATE LEGISLATION.



PLAN APPROVAL

HOMEOWNER \_\_\_\_\_ DATE \_\_\_\_\_

HOMEOWNER (I/We, the undersigned, Home Owners, have examined the DESIGNER'S documents and DESIGNER'S construction details, I/We, the undersigned, Home Owners, understand and agree to the terms, conditions, and elections contained within the DESIGNER'S documents and approve the construction as noted.)  
 MATT BOLSON \_\_\_\_\_ DATE \_\_\_\_\_  
 DESIGNER (630) 880-3618

MEAGAN FERRIS \_\_\_\_\_ DATE \_\_\_\_\_  
 ARCHITECTURE (630) 450-1252

**PERMIT SET**

DESCRIPTION	DRAWING ISSUE DATES	DATE
DESIGN SET		
PERMIT SUBMITTAL		
PERMIT REVISIONS		
PERMIT APPROVED		
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PRODUCTION SET		
FIELD REVISIONS		

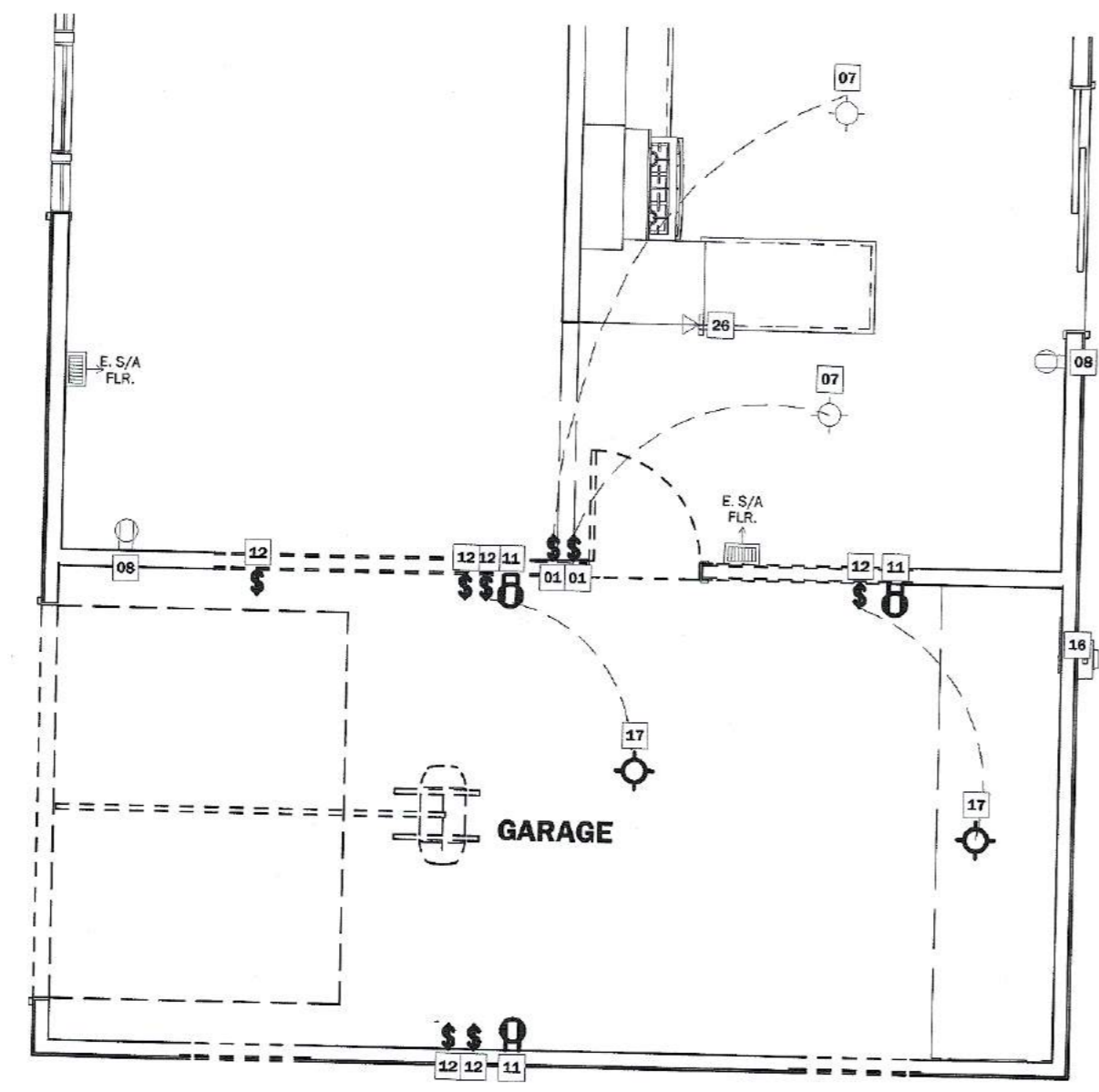
**NOTES**

NOTES

SHEET LEGEND

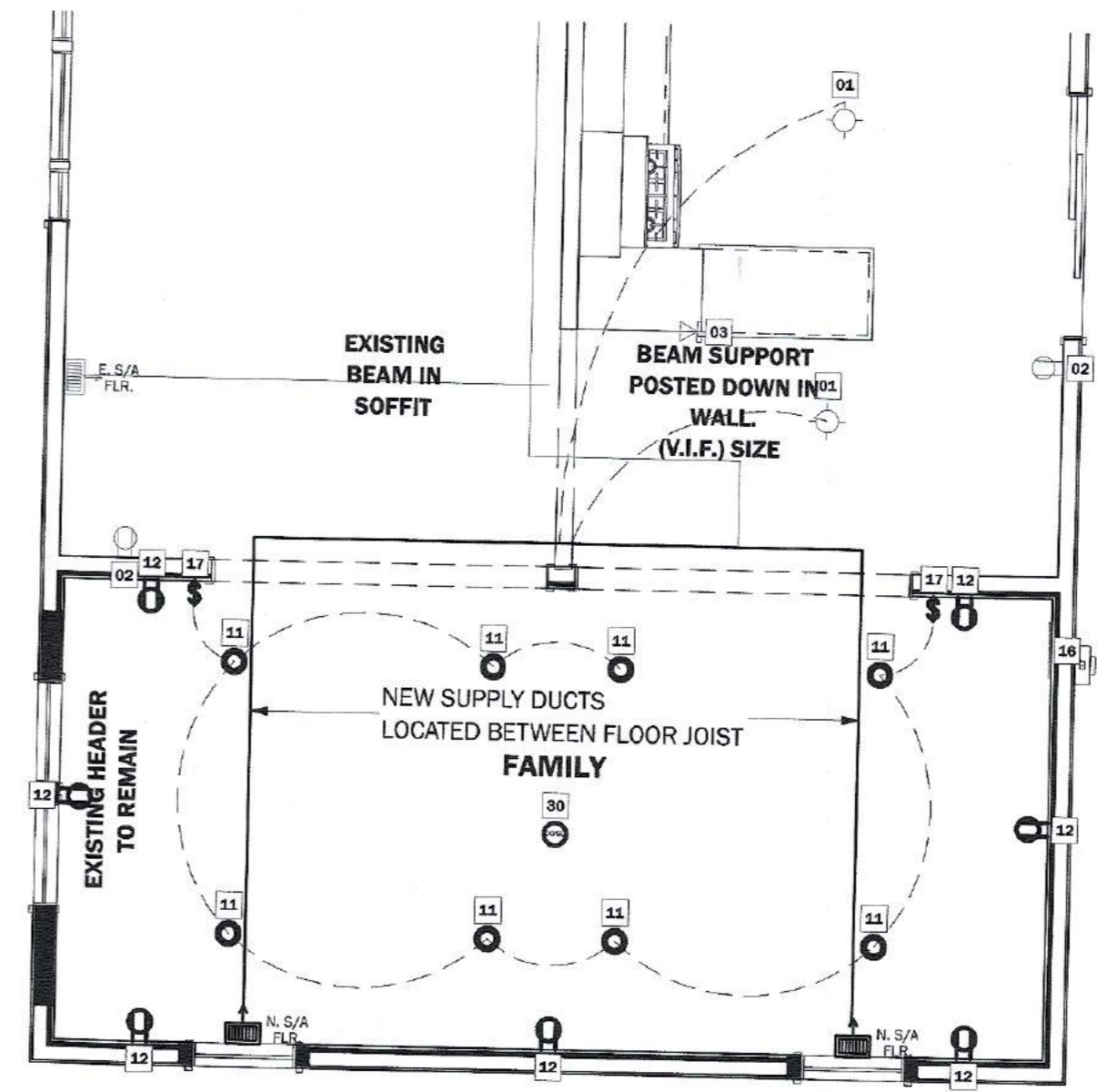
TAG #	TITLE
G-1 1	GENERAL NOTES & LEGENDS
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AE-1 4	EXTERIOR ELEVATIONS
MP-1 5	FIRST FLOOR MEP PLANS

PRINT DATE: 2/7/2022 11:13:44  
 TAG: MP-1 5 OF 5  
 SHEET TITLE: FIRST FLOOR MEP PLANS



**1 1ST FLOOR DEMO. MEP PLAN**  
 1/4" = 1-0"

TAG	QTY	DESCRIPTION	LOCATION	NOTES
01	2	KILL EXISTING SINGLE POLE SWITCH	UNSPECIFIED	
07	2	EXISTING CEILING OPENING TO REMAIN	UNSPECIFIED	
08	2	EXISTING DUPLEX OUTLET TO REMAIN	UNSPECIFIED	
11	3	KILL EXISTING DUPLEX OUTLET	GARAGE	
12	6	KILL EXISTING SINGLE POLE SWITCH	GARAGE	
16	1	EXISTING 100A ELECTRICAL PANEL TO REMAIN	GARAGE	
17	2	KILL EXISTING CEILING OPENING	GARAGE	
26	1	EXISTING TELEPHONE JACK TO REMAIN	UNSPECIFIED	



**2 NEW 1ST FLOOR MEP PLAN**  
 1/4" = 1-0"

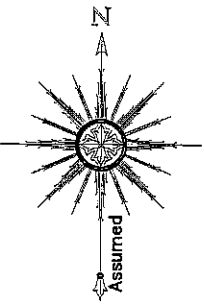
TAG	QTY	DESCRIPTION	LOCATION	NOTES
01	2	EXISTING CEILING OPENING TO REMAIN	UNSPECIFIED	
02	2	EXISTING DUPLEX OUTLET TO REMAIN	UNSPECIFIED	
03	1	EXISTING TELEPHONE JACK TO REMAIN	UNSPECIFIED	
11	8	NEW RECESSED CAN	FAMILY	
12	7	NEW DUPLEX OUTLET	FAMILY	
16	1	EXISTING 100A ELECTRICAL PANEL TO REMAIN	FAMILY	
17	2	NEW SINGLE POLE SWITCH	FAMILY	
30	1	NEW SMOKE/CO DETECTOR	FAMILY	HARDWIRED & INTERCONNECTED

**ADDITIONAL ELECTRICAL NOTES:**  
 AT LEAST 90% OF LAMPS IN PERMANENTLY INSTALLED LIGHT FIXTURES MUST BE HIGH EFFICIENCY BULBS. Sec.404.1  
 ALL NEW RECEPTACLES TO BE TAMPER RESISTANT  
 ALL 20 AMP RECEPTACLES IN KITCHEN & BATH SHALL BE GROUND FAULT PROTECTED  
 ALL NEW, MODIFIED OR EXTENDED CIRCUITS SHALL BE ARC-FAULT PROTECTED PER 2014 NEC (nec 210.12(B))  
 A CARBON MONOXIDE DETECTOR SHALL BE INSTALLED WITHIN 15 FEET OF ALL SLEEPING AREAS R314.3.1  
 A smoke detector/alarm must be installed in each sleeping room, in the immediate vicinity of sleeping rooms and on every floor including the basement (2015 I.R.C., R314.3).  
 Interconnection and hard-wiring of smoke alarms in existing areas shall not be required where the alterations or repairs do not result in the removal of interior finishes exposing the structure, unless there is an attic, crawl space or basement available which could provide access for hard wiring without removal of interior finishes.  
 EXISTING ELECTRICAL NOT SHOW IS ASSUMED TO BE EXISTING TO REMAIN

**PROJECT MANAGER TO REVIEW & VERIFY ALL ELECTRICAL OPENINGS WITH HOMEOWNER AT THE SITE**

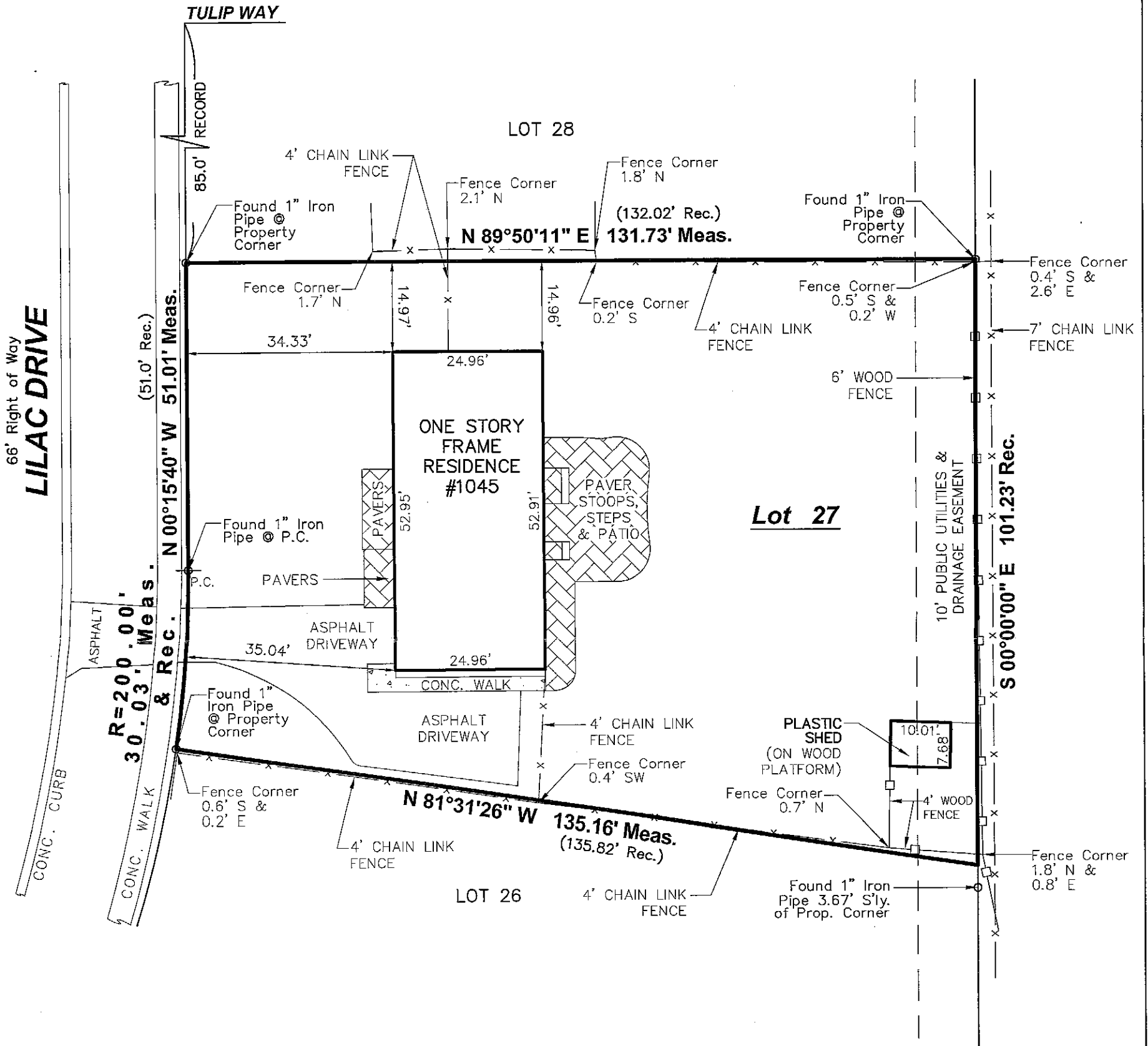
Attachment: Plans - Elevations (1045 E. Lilac Drive - VAR Garage to Living Space)

# Plat of Survey



LOT 27 IN CAPRI GARDENS, BEING A SUBDIVISION OF PART OF THE SOUTHWEST 1/4 OF SECTION 1 AND PART OF THE SOUTHEAST 1/4 OF SECTION 2, TOWNSHIP 42 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED SEPTEMBER 4, 1958 AS DOCUMENT NUMBER 17308059, IN COOK COUNTY, ILLINOIS.

PARCEL AREA: 12,026 SQ. FEET



THIS DOCUMENT IS NOT VALID WITHOUT THE SURVEYOR'S SEAL.

STATE OF ILLINOIS } s.s.  
COUNTY OF MCHENRY }

IN MY PROFESSIONAL OPINION, AND BASED ON MY OBSERVATIONS, I HEREBY CERTIFY THAT THE PLAT HEREON DRAWN IS A TRUE REPRESENTATION OF SAID SURVEY. THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.

DATED THIS 24th DAY OF August, A.D. 2021

*Jeffrey A. Spirek*  
JEFFREY A. SPIREK  
ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 3898  
REGISTERED AGENT FOR LUCO SURVEYING  
LICENSE TO BE RENEWED NOVEMBER 30, 2022

NOTES:  
\*COMPARE THE DESCRIPTION ON THIS PLAT WITH YOUR DEED AND REPORT ANY DIFFERENCE, IMMEDIATELY.  
\*ALL DIMENSIONS ARE GIVEN IN FEET AND DECIMAL PARTS THEREOF.  
\*BEARINGS AS SHOWN ARE ASSUMED AND ARE SO INDICATED FOR INTERIOR ANGLES ONLY.  
\*BUILDING LINES AND EASEMENTS AS SHOWN ARE BASED SOLELY ON PROVIDED DOCUMENTS.  
\*UTILITIES WITHIN EASEMENTS ARE NOT SHOWN HEREON. UNDERGROUND UTILITIES, INCLUDING, BUT NOT LIMITED TO CONDUITS AND CABLES (IF ANY) HAVE NOT BEEN SHOWN HEREON.

**LEGEND**

- Set IP
- Fnd IP
- × Fnd "X"
- ⊙ Fnd P.K.
- Wood Fence
- CL Fence
- ▒ Concrete
- ▒ Wood Deck
- ▒ Brick
- ☆ STREET LIGHT
- ⊕ B-BOX
- ⊕ WATER VALVE VAULT
- ⊕ FIRE HYDRANT
- ⊕ MANHOLE
- ⊕ STORM MANHOLE
- ⊕ JUNCTION BOX
- ⊕ POWER POLE
- ⊕ ELECTRIC TRANSFORMER



**Luco Surveying**  
Professional Design Firm No. 184.007972  
54 Lou Avenue, Crystal Lake, IL 60014  
Phone: 815.526.3974 Email: admin@lucosurveying.com  
Common Address: 1045 E. Lilac Drive, Palatine, IL  
PIN # 02-01-312-002

Job Number: 21 - 64836 Drawn By: LAH

Client: CLARK Reference: DEACON

Field Work Completion: 08-18-2021

Revisions:

Attachment: Plat of Survey (1045 E. Lilac Drive - VAR Garage to Living Space)

**PUBLIC NOTICE**  
 A Public Hearing will be held before the Palatine Zoning Board of Appeals on Tuesday, April 12, 2022 at 7 PM, in the Village Council Chambers at Palatine Village Hall, 200 E. Wood Street, relative to a request for the following:  
**Variation to permit an existing single-family detached dwelling to eliminate the minimum required one garage parking space, as part of the required parking for single-family dwellings.**  
 The property is commonly known as 1045 E. Lilac Drive (02-01-312-002-0000).  
 The Petitioners are proposing to convert their existing one-car garage into living space, thus eliminating the minimum one required garage parking space on a single-family residential property.  
 The above petition has been filed by Angel and Kristen Mendez and is available for examination in the office of the Village Clerk, 200 E. Wood Street.  
 FILE #: 22-07  
 VILLAGE OF PALATINE  
 Jan Wood, Chair  
 Palatine Zoning Board of Appeals  
 DATED: This 28th day of March, 2022  
 Published in Daily Herald  
 March 28, 2022 (4580091)

**CERTIFICATE OF PUBLICATION**  
**Paddock Publications, Inc.**

**Daily Herald**

Corporation organized and existing under and by virtue of the laws of the State of Illinois, DOES HEREBY CERTIFY that it is the publisher of the **DAILY HERALD**. That said **DAILY HERALD** is a secular newspaper and has been circulated daily in the Village(s) of Algonquin, Antioch, Arlington Heights, Aurora, North Aurora, Bannockburn, Barrington, Barrington Hills, Lake Barrington, North Barrington, South Barrington, Bartlett, Batavia, Buffalo Grove, Burlington, Campton Hills, Carpentersville, Cary, Crystal Lake, Deerfield, Deer Park, Des Plaines, Elburn, East Dundee, Elgin, South Elgin, Elk Grove Village, Fox Lake, Fox River Grove, Franklin Park, Geneva, Gilberts, Glenview, Grayslake, Green Oaks, Gurnee, Hainesville, Hampshire, Hanover Park, Hawthorn Woods, Highland Park, Highwood, Hoffman Estates, Huntley, Inverness, Island Lake, Kildeer, Lake Bluff, Lake Forest, Lake in the Hills, Lake Villa, Lake Zurich, Libertyville, Lincolnshire, Lindenhurst, Long Grove, Melrose Park, Montgomery Morton Grove, Mt. Prospect, Mundelein, Niles, Northbrook, Northfield, Northlake, Palatine, Park Ridge, Prospect Heights, River Grove, Riverwoods, Rolling Meadows, Rosemont, Round Lake, Round Lake Beach, Round Lake Heights, Round Lake Park, Schaumburg, Schiller Park, Sleepy Hollow, St. Charles, Streamwood, Sugar Grove, Third Lake, Tower Lakes, Vernon Hills, Volo, Wadsworth, Wauconda, Waukegan, West Dundee, Wheeling, Wildwood, Wilmette County(ies) of Cook, Kane, Lake, McHenry and State of Illinois, continuously for more than one year prior to the date of the first publication of the notice hereinafter referred to and is of general circulation throughout said Village(s), County(ies) and State.

I further certify that the DAILY HERALD is a newspaper as defined in "an Act to revise the law in relation to notices" as amended in 1992 Illinois Compiled Statutes, Chapter 715, Act 5, Section 1 and 5. That a notice of which the annexed printed slip is a true copy, was published 03/28/2022 in said DAILY HERALD.

IN WITNESS WHEREOF, the undersigned, the said PADDOCK PUBLICATIONS, Inc., has caused this certificate to be signed by, this authorized agent, at Arlington Heights, Illinois.

PADDOCK PUBLICATIONS, INC.  
 DAILY HERALD NEWSPAPERS

BY *Daula Baltz*  
 Authorized Agent

Control # 4580091

Attachment: Public Notice (1045 E. Lilac Drive - VAR Garage to Living Space)

VILLAGE OF PALATINE  
Zoning Board of Appeals

SCHEDULED 04/12/22 07:00 PM

**CASE STAFF STATEMENT (ID # 7410)**

**26 N. Rohlwing Road - Special Use for an Accessory Unique Use - Short-term rental**

**TO:** Palatine Zoning Board of Appeals  
Jan Wood, Chair

**FROM:** Alex Bradshaw

**PETITIONER:** Byran & Julie Blackham

**CASE NUMBER:** 21-93

**ADDRESS:** 26 N. Rohlwing Road

**PROPOSAL:**

Special Use for an accessory unique use to allow one unit of a two unit home to be used as a short-term rental property.

<b><u>LOCATION:</u></b> 26 N. Rohlwing Road (District 6 - Helms)	<b><u>CURRENT ZONING:</u></b> R-2 Single Family Residential
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**SURROUNDING CONDITIONS:**

<b><u>North:</u></b>	R-2 Single Family Residential
<b><u>South:</u></b>	R-2 Single Family Residential
<b><u>East:</u></b>	R-2 Church (Presbyterian Church of Palatine)
<b><u>West:</u></b>	R-2 Single Family Residential

**BACKGROUND:**

The Petitioners are proposing to offer one unit of the existing two unit (duplex) home to function as a short-term rental property. Per code, short-term rental properties are not permitted uses within the single-family districts in the Village of Palatine. Although the Zoning Ordinance does not permit the proposed use in the R-2 district, accessory unique uses are identified as Special Uses, within the residential districts and defined as follows:

*Accessory unique use.* A subordinate use which is clearly and customarily incidental to the principal use of a building or premises and which is located on the same lot as the principal building or use which is not otherwise listed as a permitted use or a special use within any zoning district, except for such accessory parking facilities as are specifically authorized to locate elsewhere.

(Ord. No. 0-115-12, §1, 8/6/12)

Therefore, the Petitioners are requesting the following:

**Special Use for an accessory unique use to allow one unit of a two unit home to be used as a short-term rental property.**

**SITE ANALYSIS:**

- The Subject Property is zoned R-2 Single-Family. The lot is 11,322 square feet and currently functions as 2-units multi-family dwelling. The property was constructed as a 2-unit in the 1950s, and appears to have been used as a 2-flat for a number of years prior to it being formally acknowledged as a 2-flat by the Village of Palatine in 1997 (Ordinance #O-35-97).
- Special Use Ordinance # O-35-97 granted a Special Use to permit the continued operation of a 2-unit multi-family use. The conditions stated that owners of the 2-unit shall: 1) obtain valid rental license and 2) receive Village Council approval for any alteration or expansion.
- The business plan indicates that the owners intend to use online rental platforms, such as VRBO and Airbnb, to assist in scheduling and screening of guests. The business plan further indicates that the unit's short-term rental would be completely dependent upon the owner "physically residing" in their unit and that if they are out of town, the other unit would not be rented. Also, the submitted materials indicate that "...pets, smoking, drugs, and loud music would not be allowed."
- Per the business plan, rentals are not anticipated to be less than one weekend and rentals for temporary work assignments would be considered, but do not anticipate multiple month rental situations.
- The specific parameters of the units are listed below:
  - Unit #1: Main floor - 2,400 square feet, including a basement. There are 2 bedrooms and 1 full bathroom and one  $\frac{3}{4}$  bathroom. This unit also includes a full kitchen (with range and refrigerator), family room, living room, and a home office, with laundry facilities. The business plan indicates that the occupancy for this unit would be limited to 5 individuals (4 adult maximum).
  - Unit #2: Second floor apartment - 1,000 square feet. This unit includes 2 bedrooms and 1 full bathroom, with eat -in kitchen (with range, refrigerator, and microwave). The business plan indicates that this is the unit to be focused upon for rental use.
- As a part of their application, the Petitioners submitted signed support for the\_short-

term rental use from many of the surrounding property owners. All neighbors signed off in support of the request with the exception of the property owners to the west / behind (27 N. Greenwood Ave.), and to the south / next door (20 N. Rohlwing Road). An objection email was also submitted.

- The Subject Property shares a driveway with 32 N. Rohlwing Rd, the adjacent lot north of subject property. There is an existing 2-car garage and an attached car-port (1 parking space), which provide parking for the property. The Petitioners indicate that the carport space and one driveway space will be available for the short-term rental. If the Petitioners maintain 2-cars, the additional parking needs, number of trips by the guests, and the existing shared driveway are additional Staff concerns for the proposed use. Public parking is also not allowed overnight on Rohlwing Road.
- The Village of Palatine Comprehensive Plan delineates the Subject Property as Single-Family Residential in the Future Land Use Plan.
- The Subject Property has an active rental license and has passed the most recent rental license inspection on 07/21/2021.
- In the Petitioner's justification, properties at 415 E. Wilson and 11 and 21 S. Leonard Street are noted. The Wilson Street property was first downzoned from B-2 commercial to R-2 residential, then to R-3 residential to memorialize the existing 2-unit structure, which appeared to be originally constructed as such and never modified. Staff is not aware of any short-term rental property at this location. While the properties on Leonard Road are zoned R-3, but were conditionally developed as single-family residential homes, which are permitted uses in the R-3 district.

#### **DEPARTMENTAL REVIEWS:**

<b>Community Services</b>	No Issues Identified
<b>Engineering</b>	No Issues Identified
<b>Environmental Health</b>	N/A
<b>Fire Prevention</b>	N/A
<b>Public Works</b>	N/A
<b>Police</b>	N/A

**STANDARDS FOR SPECIAL USE:** Since this Petition is not for a use publicly operated or traditionally affected with the public interest, those standards under Section 14.05 D (2) and (3) are applicable. Specifically, the Petitioners must show that the Special Use, if granted, is so designed, located, and proposed to be operated that the public health, safety, and welfare will be protected and will not cause substantial injury to the value of other property in the neighborhood in which it is located. The Petitioners have attempted to address the required standards.

**STAFF RECOMMENDATION:**

The existing property is zoned R-2 and has a Special Use to allow a duplex. The Zoning Ordinance does not allow short-term rental properties in the single-family districts. As there is a transitory element to the proposed use of the property, Staff believes that it will impact the surrounding properties. Also, parking and traffic associated with the short-term rental use are noted Staff concerns. This is further exacerbated with the Subject Property having a shared driveway, with the property to the north.

As a policy matter, Staff has not been directed to include short-term rentals in the allowable use lists within the Code. Logistically, a short-term rental has the potential to function more comparably to a hotel use, given the commercial components and the any associated turnover of use. This use would not seem to coordinate with the established character of the subdivision. Additionally, the Village's Future Land Use Plan denotes the Subject Property as Single-Family Residential.

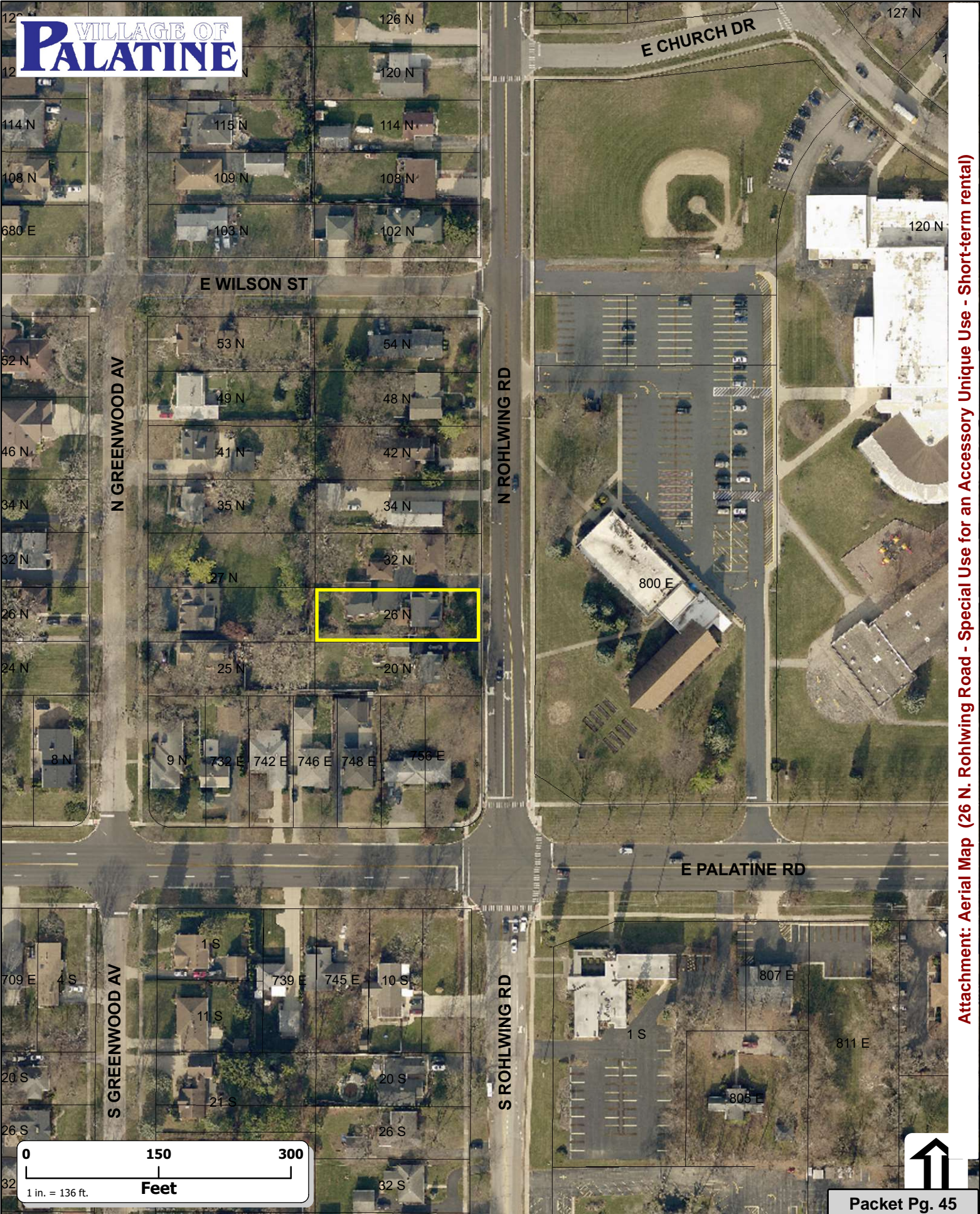
Therefore, Staff recommend denial of the Special Use request. If the Zoning Board recommends approval, Staff recommends the following conditions:

1. The Special Use shall substantially conform to the Business Plan submitted by the Petitioner, except as such plan may be changed to conform to the Village of Palatine Codes and Ordinances.
2. As required by Code, a business license shall be obtained for the proposed short-term rental use.

**ATTACHMENTS:**

- Aerial Map
- Application
- Plat of Survey
- Business Plan - STR
- Special Use ORD #O-35-97 - Continued operation of a 2-flat in the R-2 District
- Resident Objection Email - Gordon
- Public Notice

# 26 N. ROHLWING RD



Attachment: Aerial Map (26 N. Rohlwing Road - Special Use for an Accessory Unique Use - Short-term rental)

# VILLAGE OF PALATINE

## SPECIAL USE & VARIATION APPLICATION

Department of Planning & Zoning  
 200 E. Wood Street · Palatine, IL · 60067-5339  
 Telephone: (847) 359-9047 · Fax (847) 963-6247

Office Use Only	Project Planner	Zoning Case #
	Filing Fee	Notification Deadline
	ZBA Public Hearing Date	Village Council Date



Background Information	<b>PETITIONER(S)</b> Byran and Julie Blackham		<b>Business Name (if applicable)</b>	
	Subject Property Address 26 N. Rohlwing Rd. Palatine, IL 60074			
	<b>AUTHORIZED AGENT (if applicable)</b> Same as above		<b>Business Name (if applicable)</b>	
	Address		City/State/Zip Code	
	Telephone	Fax	Email	
	Relationship to Petitioner (contractor, architect, etc.)			
	<b>TYPE OF APPLICATION (check one)</b> <input checked="" type="checkbox"/> Special Use <input checked="" type="checkbox"/> Special Use Amendment <input type="checkbox"/> Variation			
	Existing Zoning District R-2	Existing Land Use Special Use Ordinance #0-35-97	Proposed Land Use Special Use w/ Unique Use	
	Generally describe your request:  We are requesting an amendment to our Special Use Ordinance to allow for short term rentals with an understanding that the homeowner occupies the property to assure protection and respect of home and neighborhood.			

Attachment: Application (26 N. Rohlwing Road - Special Use for an Accessory Unique Use - Short-term rental)



# SPECIAL USE

### Required Materials

- Filing Fee of \$ \_\_\_\_\_
- Application Form
- Plat of Survey (must show all current improvements and be sealed by an Illinois certified surveyor)
- Site Plan & Floor plan (dimension, location, and setbacks of all existing and proposed buildings) – **one 11x17 copy each, electronic version preferred**
- Real Estate Interest Disclosure Form (see attached)
- Proof of Ownership or Lease (e.g. Title Insurance Policy, Deed, or Purchase Contract)
- Business Plan (if applicable; including, but not limited to nature of business, hours of operation, number of employees, and menu)

### Additional Materials (as required by the Village)

- Elevation Plan (front, side, and rear elevations of a proposed building), and/or Floor Plan (proposed interior layout) – **one 11x17 copy of each plan, electronic versions preferred**
- Engineering Plans (must indicate existing conditions, topography, storm water management, tree preservation, utility connections, detention calculations, and a cost estimate)
- Photographs (e.g. ground-level or aerials)
- Other materials as deemed necessary by the Village

### Petitioner Justification

The Petitioner is required to present specific evidence related to each of the following standards to justify the request (paraphrased from Section 14.05 of the Palatine Zoning Ordinance). Answer the items below and attach a separate sheet if necessary. ***If you are applying for a Variation only, you do not need to answer these items.***

1. The use is deemed necessary for the public convenience at that location  
not applicable

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2. The use is designed, located, and proposed to be operated that the public health, safety and welfare will be protected  
Since our Special Use Ordinance in 1997 there have been no injurious effects on value, safety and/or use of surrounding properties; our neighbors signatures support our request for short term rental option. Our suggestion of an owner occupied short term rental should assure our continuing effort to show respect for the neighborhood with an increased ability to control use of property.

---

3. The use will not cause substantial injury to nearby property values  
Evidence of home at 415 E. Wilson, given R-3 status in 2011 that allows for short-term boarding. Neighborhood values have been maintained. R-3 status given to homes at 11 S. and 21 S. Leonard, 0.25 miles from our home, have not caused property values to decline. Several churches exist within 0.25 miles of our home that have provided PADS overnight shelter without detriment to neighborhood. Winston Campus Jr. High and Elementary school located directly across street. Churches and schools recognized un 10.07 R-3, High Density Multi-family district. Our home was built in 1956 as a 2-flat multi-family dwelling in an R-2 district.

---

4. With respect to live entertainment uses, the use shall not:

- a. Produce noise levels so great as to constitute an unreasonable interference for persons outside the confines of the establishment
- b. Impose undue health, sanitation or safety burdens on the village
- c. Create excessive demands on the Village of Palatine Police Department
- d. Be of a nature otherwise prohibited by law or village ordinance

5. For fence standards, see Section 14.05 of the Palatine Zoning Ordinance  
not applicable

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Attachment: Application (26 N. Rohlwing Road - Special Use for an Accessory Unique Use - Short-term rental)

PETITIONER JUSTIFICATION:

The Petitioner is required to present specific evidence, not opinions, to justify the proposed rezoning. Please respond to the following questions, attaching a separate sheet if necessary:

10. Describe why the subject property cannot be reasonably developed in accordance with the existing zoning classification.

Our home was built in 1956 and has been used as a 2-flat multi-family dwelling within a R-2 zone. We received a Special Use Ordinance on March 24, 1997 for "continued operation of a 2-flat as a multi-family use". The home has 2 kitchens, 2 electric meters, parking for 4+ cars, separate boilers, private entrances with separate unit addresses. The home meets all requirements for multi-family dwellings for a home built before 1958. We have a current rental license with the Village of Palatine. We are requesting the option for short term rentals. Our Special Use Ordinance recognizes our property as multi-family with no stated restrictions for rental time.

11. Is the proposed zoning classification similar to or harmonious with the existing zoning of surrounding properties? Explain.

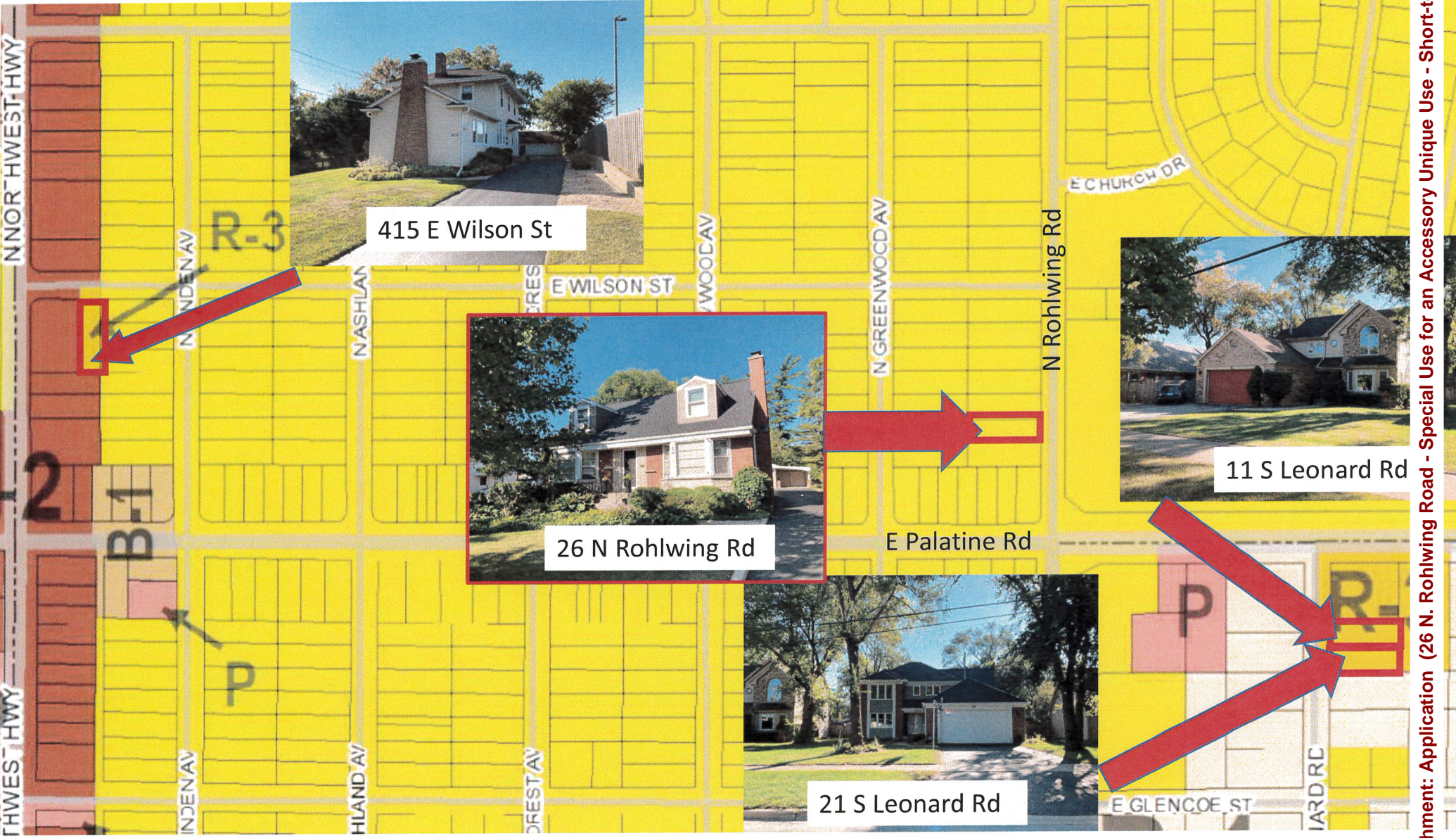
Village Council meeting on July 18, 2011 gave R-3 zoning to 415 E. Wilson. That home built in 1917 and sold January 2011 is a 2-unit 2-flat building, located in R-2 Palanois Park. Notes from 7/18/11 Village meeting identifies 415 E. Wilson as having been built and used as a multi-family dwelling, with Ordinance 0-80-11 giving recognition "to what was already there" and allowing R-3 status. R-3 status is currently in place for 11 S. Leonard and 21 S. Leonard homes (less than 0.25 mile from our home). Four churches exist within 0.25 mile of our home with one directly across the street from our house. Several of these churches provide PADS overnight shelter, once a week during fall/winter months. Winston Campus Jr. High and Elementary schools are located directly across the street from our home. Churches and schools are recognized in the Palatine Code of Ordinances under 10.07 R-3, High Density Multifamily District.

12. Does the proposed zoning classification conflict with the Village's Comprehensive Plan? Explain.

No. Our home complements the following goals of the Village Comprehensive Plan: The Comprehensive Plan includes characteristics of homes that tell the story of Palatine's history, while providing opportunities for them to renew themselves over time. Redevelopment of individual properties is part of 2011 Comprehensive Plan. Airbnb established in 2008, is now more widely used for short term housing needs where other resources don't exist or are in short supply. Extended families returning to Palatine to gather for anniversaries, birthdays and funerals need short term housing. "Palatine is viewed as an evolving place". A-5...Encourage the rehabilitation and renovation of existing structures. B-1 Ensure that the existing character of neighborhood is maintained and enhanced. B-3 Provide a variety of housing types. B-4: Carefully consider the scale and density of proposed multiple family developments in order to seamlessly incorporate into surrounding properties.

13. Will any of the uses permitted under the proposed zoning classification have an injurious effect on the value and/or the use and enjoyment of surrounding properties?

No. Since our Special Use Ordinance in 1997 there have been no injurious effects on the value and/or use of surrounding properties, demonstrated by our neighbors signatures supporting our request for a short term rental option of our Special Use Ordinance. Also, a change to R-3 zoning in 2011 for 415 E. Wilson has had no negative impact on the neighborhood as seen by Zillow's increased estimated value today compared to purchase price in 2011. We are requesting a recognition of "what was already there" and which has had no detriment to the neighborhood. Short term rental introduces guests to Palatine assets and patronize local businesses. The funds would allow for continued maintenance of home and beautification of our property. We would be able to better support the VOP Comprehensive goal for "improvements to visual image of private property".



Attachment: Application (26 N. Rohlwing Road - Special Use for an Accessory Unique Use - Short-term



# Affidavit of No New Improvements

## AFFIDAVIT OF NO NEW IMPROVEMENTS

I am the owner of record, of the property with the legal description as stated on the attached plat of survey. I hereby affirm that the survey attached hereto is the survey for said property, and that the attached survey accurately depicts the current conditions with all existing improvements to the property as of the date of this affidavit.

Affiant further states that survey is correct and complete representation of all improvements now located on the premises described in the above referenced title commitment, except for: NONE

I fully understand that in the event the attached survey does not accurately depict all existing improvements made to the property as of today's date, the Village of Palatine may elect to reject this plan and the permit for which I am applying shall not be approved (or work in progress pursuant to the permit will be stopped) until an accurate survey has been received and approved by the Village of Palatine.

### PROPERTY OWNERS SIGNATURE REQUIRED

CERTIFIED BY:

Property Owner Signature: *Byron + Julie Blackham* Date: 1/25/22

Property Owner Print Name: Byron + Julie Blackham

Property Address: 26 N. Rohlwing Rd. Palatine, IL 60074

PIN #: \_\_\_\_\_

Name of Surveyor: \_\_\_\_\_

Date of Survey: \_\_\_\_\_

Survey Order No.: \_\_\_\_\_

Attachment: Application (26 N. Rohlwing Road - Special Use for an Accessory Unique Use - Short-term rental)

VILLAGE OF PALATINE      COOK COUNTY, ILLINOIS

***Residential Rental Dwelling License***

License Number: RP21-00133

Property Owner Name: BYRAN BLACKHAM & JULIE BLACKHAM

Property Address: 26 - N ROHLWING RD , PALATINE, IL

Date License Issued: 08-18-2021

License Expiration Date: 07/14/2022

The above named is duly licensed in accordance with Village of Palatine Code of Ordinances to conduct a MD rental business at the above address.

The Fair Housing Act prohibits discrimination in the sale, rental, and financing of dwellings, and in other housing-related transactions, based on race, color, national origin, religion, sex, familial status (including children under the age of 18 living with parents of legal custodians, pregnant women, and people securing custody of children under the age of 18), and handicap (disability). If you have any questions regarding the Act please call 1-800-765-9372.

La Ley de Equidad de Vivienda, prohíbe la discriminación en la venta, alquiler y financiamiento de viviendas, y en otras transacciones relacionadas con la vivienda, basada en la raza, el color, la nacionalidad, la religión, el sexo, el tipo de familia (incluyendo niños menores de 18 años que viven con sus padres o con custodios legales, mujeres embarazadas y personas con custodia de niños menores de 18 años) y discapacidad. Si tiene preguntas sobre la ley favor de llamar al 1-800-765-9372.

**THIS LICENSE IS NON-TRANSFERABLE**

# BAUER SURVEYING

2045 S. ARLINGTON HEIGHTS RD.

SUITE 108-A

ARLINGTON HEIGHTS, IL 60005

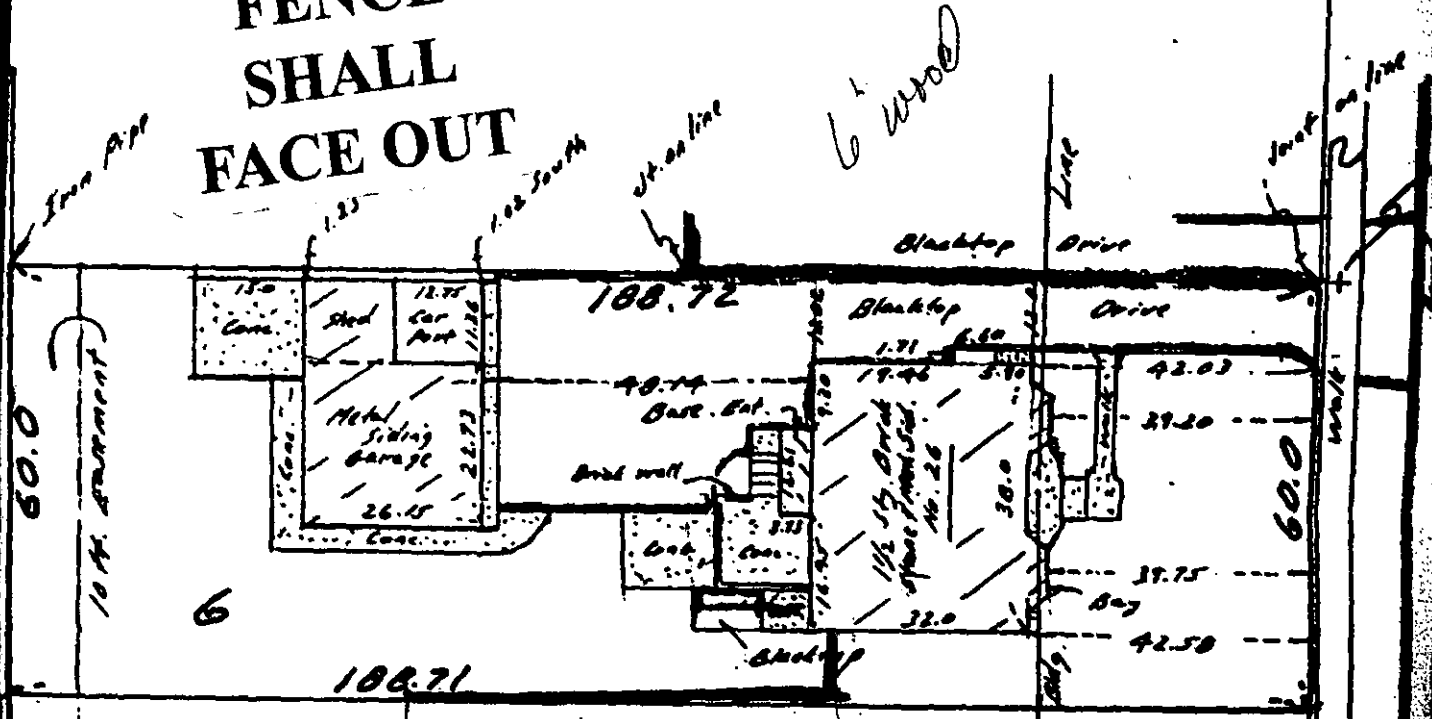
Lot 6, Block 6 in Arthur T. McIntosh & Company's Palatine Manor 11 of the Southeast quarter of Section 14, Township 42 North, Range 1

As a requirement of this permit, if not already in place, a carbon monoxide alarm shall be installed in accordance with section R315 of the 2009 International Residential Code. A copy of this code section can be found on the Village of Palatine website.

**APPROVED**

APPROVED 4/16/15 BY *AD*  
PLANNING & ZONING

**FINISHED  
SIDE OF  
FENCE  
SHALL  
FACE OUT**



Attachment: Plat of Survey (26 N. Rohliwing Road - Special Use for an Accessory Unique Use - Short-term rental)

**Business Plan for Special Use of 26 N. Rohlwing Road, Palatine, IL 60074**

Ordinance 0-35-97, created on March 24, 1997, granted an Administrative Special Use for the continued operation of our 2-flat multi-family home. This ordinance did not identify any time restrictions for which we may rent the property. Our request for an additional Special Use is to clarify the use of, and include a short-term owner-occupied rental option, of our property.

The property is identified as Unit #1 – Main floor and basement and Unit #2 – second floor apartment. (See below for description of each unit). Either unit could be utilized as a short term rental. The emphasis for renting will be on the smaller, second floor apartment, Unit #2. If there is interest in renting the larger main floor Unit #1, that option would be allowed, given the understanding the homeowners occupy Unit #2 for the duration that Unit #1 is rented. The Special Use would be limited to only one unit being rented during any rental period.

We intend to use online rental platforms such as VRBO and Airbnb to facilitate scheduling, screening and verification of potential guests, improving communication to understand purpose of trip, specific needs and interests of guests, in addition to sharing house rules and terms of stay. We anticipate rentals to be no less than one weekend. We would consider renting for temporary work assignments, but do not plan or anticipate multiple month rental situations. The rental will be completely dependent on our physically residing in the other unit whenever renters are scheduled. If or when we are out of town the unit would not be rented. Pets, smoking, drugs and loud music will not be allowed.

We anticipate this short-term rental to be an option for guests as they come to Palatine for family events, school reunions, and job interviews, etc.

As property owners we will be responsible for maintenance of property, obtaining rental permit/license, and attending Village of Palatine Crime Free course.

Unit #2 – Second floor apartment (focused unit to be rented) has the following parameters:

- Separate private secure smart-lock front entrance
- 1000 sq. ft.
- 2 bedrooms - queen beds in each room
- Full eat-in kitchen including full-size gas range, full-size refrigerator, microwave
- Full bathroom including tub/shower
- Living room
- Fully furnished
- Separate heat control, window unit ac units
- No laundry facilities
- Carpport parking for one car, driveway space for a second car
- Limited to no more than four individuals

Unit #1 – Main floor and basement has the following parameters:

- 2400 sq. ft. (includes basement)
- Separate private secure smart-lock front entrance, 2 back entrances.
- 2 bedrooms - queen beds in each room
- Full kitchen including full-size gas range, full-size refrigerator
- One full bathroom with tub/shower
- One ¾ bathroom with shower
- Living room
- Family room with fireplace
- Music room
- Large craft room/home office
- Deck
- Fully furnished
- Separate zoned heat controls, window unit ac units
- Laundry room with full-size washer/dryer
- Carpport parking for one car, driveway space for a second car
- Limited to no more than five individuals (max four adults)

Byran and Julie Blackham

**ORDINANCE NO. 0-35-97**

**AN ORDINANCE GRANTING AN ADMINISTRATIVE SPECIAL USE FOR THE  
CONTINUED OPERATION OF A 2-FLAT - 26 N. ROHLWING ROAD**

**Published in pamphlet form by authority of the  
President and Board of Trustees of the Village of Palatine  
on March 24, 1997**

**Attachment: Special Use ORD #0-35-97 - Continued operation of a 2-flat in the R-2 District (26 N. Rohlwing Road - Special Use for an Accessory**

**ORDINANCE NO. 0-35-97**

**AN ORDINANCE  
GRANTING AN ADMINISTRATIVE SPECIAL USE  
FOR THE CONTINUED OPERATION OF A 2-FLAT  
26 N. ROHLWING ROAD**

WHEREAS, pursuant to Sec. 14.03(B) of the Palatine Zoning Ordinance, a petition for Administrative Zoning Variations, was heard by the President and Board of Trustees of the Village of Palatine on March 24, 1997 regarding a request for an Administrative Special Use to permit the continued operation of a 2-flat multi-family use, pursuant to Secs. 10.06 (c)16 and 14.05 B (2) i of the Palatine Zoning Ordinance on the following legally described property:

Lot 6 in A. T. McIntosh and Co's Palatine Manor in the Southeast 1/4 of the Southeast 1/4 of Section 14, Township 42 North, Range 10, East of the Third Principal Meridian, recorded December 4, 1925.

commonly known as 26 N. Rohlwing Road.

NOW, THEREFORE, BE IT ORDAINED, by the President and Board of Trustees of the Village of Palatine, Cook County, Illinois, acting in the exercise of their home rule power:

**SECTION 1:** That an Administrative Special Use to permit the continued operation of a 2-flat multi-family use, pursuant to Secs. 10.06 (c)16 and 14.05 B (2)i of the Palatine Zoning Ordinance, be granted subject to the following conditions:

- 1) The owners of the 2-flat shall obtain a valid rental license pursuant to Article X of the Village Code of Ordinances.
- 2) Any alteration or expansion of the 2-flat shall receive Village Council approval.

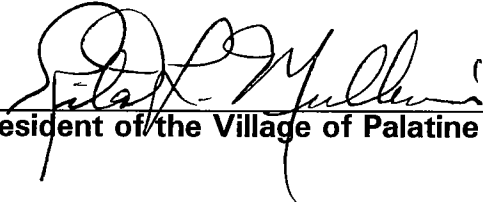
**SECTION 2:** That the petition for Administrative Special Use be attached hereto and form a part of this ordinance.

**SECTION 3:** That this ordinance shall be in full force and effect from and after its passage and approval as provided by law.

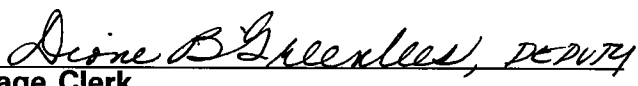
**PASSED:** This 24 day of March, 1997

**AYES:** 4 **NAYS:** 0 **ABSENT:** 2 **PASS:** 0

**APPROVED** by me this 24 day of March, 1997

  
\_\_\_\_\_  
President of the Village of Palatine

**ATTESTED and FILED** in the office of the Village Clerk this  
24 day of March, 1997

  
\_\_\_\_\_  
Village Clerk

Attachment: Special Use ORD #O-35-97 - Continued operation of a 2-flat in the R-2 District (26 N. Rohlwing Road - Special Use for an Accessory



# VILLAGE OF PALATINE

200 East Wood Street • Palatine, Illinois 60067-5332 • 847-358-7500  
FAX 359-9040

Member:  
Northwest Municipal Conference  
Illinois Municipal League  
National League of Cities

VILLAGE OF PALATINE  
DEPARTMENT OF COMMUNITY DEVELOPMENT

## ADMINISTRATIVE SPECIAL USE AND VARIATION REQUEST

Please complete this form in its entirety. If you need help, call the Department of Community Development at (847) 359-9047. Please print or type all information.

1. Name of Petitioner(s): JULIE + BYRAN BEACHAM

Address: 26 N ROHLWING RD

Home Telephone: 991-5762

Business Telephone: 576 4690

2. Describe the proposed Special Use or Variation: Continued operation

at a 2-flat.

3. The petitioner's signature below indicates that s/he owns the property and that the information contained in this application and on any accompanying documents is true to the best of her/his knowledge.

Signature(s) of Petitioner(s):

\_\_\_\_\_  
\_\_\_\_\_

Date: \_\_\_\_\_, 19\_\_\_\_



Incorporated in 1866  
Council - Manager Government Since 1956



Attachment: Special Use ORD #0-35-97 - Continued operation of a 2-flat in the R-2 District (26 N. Rohlwing Road - Special Use for an Accessory

TO: Administration FROM: Community Development *fbk* DATE: March 24, 1997

X ORDINANCE DESCRIPTION: Consider an Administrative Special Use to permit the  
RESOLUTION continued operation of a 2 flat at 26 N. Rohlwing Rd.  
MOTION \_\_\_\_\_  
PUBLIC HEARING \_\_\_\_\_  
DISCUSSION ONLY (Blackham) DISTRICT: 6

-----  
COMMITTEE ACTION: \_\_\_\_\_ DATE: \_\_\_\_\_  
-----

BACKGROUND: The subject property, 26 N. Rohlwing Rd, is currently improved with a 2-flat and is zoned R-2 Single Family Residential District. The administrator determined that the 2-flat is an illegal non-conforming use because the property has been zoned for single family uses since 1926 and the structure was built in 1956. The owners of the property appealed the decision of the administrator at the October 8, 1996 Zoning Board of Appeals meeting. The ZBA upheld the decision of the administrator. The owners sought relief from the required conversion at the October 21, 1996 Committee of the Whole Meeting. The Committee referred the issue to staff and directed staff to create a text amendment which would allow the 2 flat to continue to be operated. The text amendment to the Zoning Ordinance reviewed by the Committee of the Whole at the March 18, 1997 meeting would permit this multi-family residential use to continue to operate provided that an Administrative Special Use is granted. Therefore, the petitioners are requesting:

**An Administrative Special Use to permit the continued operation of a 2-flat multi-family use at 26 N. Rohlwing Rd.**

DISCUSSION: The petitioners had previously submitted a petition signed by the adjacent property owners in support of the continued use as a 2 flat. The use meets the three standards which must be met to obtain the required Special Use.

ALTERNATIVES:

- 1. Approve the Administrative Special Use.
- 2. Do not approve the Administrative Special Use.

RECOMMENDATION: Staff recommends that the Administrative Special Use be approved, subject to the conditions in the attached Ordinance.

ACTION REQUIRED: Motion to approve the Administrative Special Use to permit the continued operation of a 2 flat for the property at 26 N. Rohlwing Road.

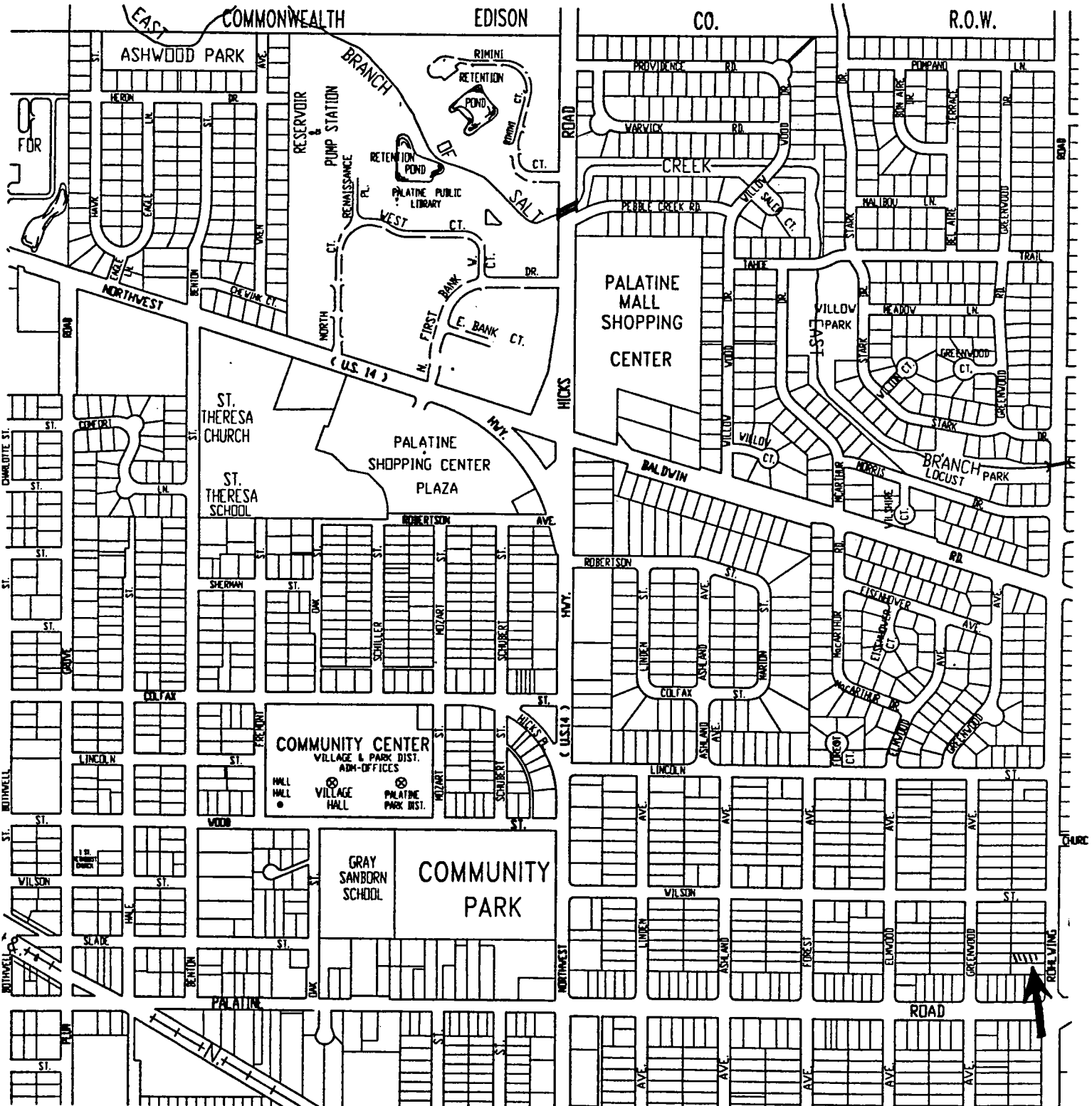
Attachment: Special Use ORD #O-35-97 - Continued operation of a 2-flat in the R-2 District (26 N. Rohlwing Road - Special Use for an Accessory

# VILLAGE OF PALATINE SECTION---14



AREA MAP  
26 N. ROHLWING ROAD

10	11	12
15	14	13
22	23	24



Attachment: Special Use ORD #0-35-97 - Continued operation of a 2-flat in the R-2 District (26 N. Rohlwing Road - Special Use for an Accessory

**Alex Bradshaw**

---

**From:** John Gordon [REDACTED]  
**Sent:** Friday, April 1, 2022 9:32 PM  
**To:** Alex Bradshaw  
**Subject:** Re: 26 N Rohlwing Rd

**Caution:** This is an external email, Please take care when clicking links or opening attachments. When in doubt, please talk with the sender or check with VOP IT

Hi Alex , I just wanted to go on the record to vote against the Blackham's request for special use for short term rental at their address.! I had let them know in the past that I was against this . Thank you, John Gordon

Attachment: Resident Objection Email - Gordon (26 N. Rohlwing Road - Special Use for an Accessory Unique Use - Short-term rental)

**PUBLIC NOTICE**  
 A Public Hearing will be held before the Palatine Zoning Board of Appeals on Tuesday, April 12, 2022 at 7 PM, in the Village Council Chambers at Palatine Village Hall, 200 E. Wood Street, relative to a request for the following:  
**Special Use for an accessory unique use to allow one unit of a two unit home to be used as a short-term rental property.**  
 The property is commonly known as 26 N. Rohlwing Road (02-14-413-013-0000).  
 The Petitioners are proposing to offer one unit of the existing two unit (duplex) home to function as a short-term rental property.  
 The above petition has been filed by Byron and Julie Blackham, and is available for examination in the office of the Village Clerk, 200 E. Wood Street.  
 FILE #: 21-93  
 VILLAGE OF PALATINE  
 Jan Wood, Chair  
 Palatine Zoning Board of Appeals  
 DATED: This 28th day of March, 2022  
 Published in Daily Herald  
 March 28, 2022 (4580087)

**CERTIFICATE OF PUBLICATION**  
**Paddock Publications, Inc.**

**Daily Herald**

Corporation organized and existing under and by virtue of the laws of the State of Illinois, DOES HEREBY CERTIFY that it is the publisher of the **DAILY HERALD**. That said **DAILY HERALD** is a secular newspaper and has been circulated daily in the Village(s) of Algonquin, Antioch, Arlington Heights, Aurora, North Aurora, Bannockburn, Barrington, Barrington Hills, Lake Barrington, North Barrington, South Barrington, Bartlett, Batavia, Buffalo Grove, Burlington, Campton Hills, Carpentersville, Cary, Crystal Lake, Deerfield, Deer Park, Des Plaines, Elburn, East Dundee, Elgin, South Elgin, Elk Grove Village, Fox Lake, Fox River Grove, Franklin Park, Geneva, Gilberts, Glenview, Grayslake, Green Oaks, Gurnee, Hainesville, Hampshire, Hanover Park, Hawthorn Woods, Highland Park, Highwood, Hoffman Estates, Huntley, Inverness, Island Lake, Kildeer, Lake Bluff, Lake Forest, Lake in the Hills, Lake Villa, Lake Zurich, Libertyville, Lincolnshire, Lindenhurst, Long Grove, Melrose Park, Montgomery Morton Grove, Mt. Prospect, Mundelein, Niles, Northbrook, Northfield, Northlake, Palatine, Park Ridge, Prospect Heights, River Grove, Riverwoods, Rolling Meadows, Rosemont, Round Lake, Round Lake Beach, Round Lake Heights, Round Lake Park, Schaumburg, Schiller Park, Sleepy Hol St. Charles, Streamwood, Sugar Grove, Third Lake, Tower Lakes, Vernon Hills, Volo, Wadsworth, Wauconda, Waukegan, West Dundee, Wheeling, Wildwood, Wilmette  
County(ies) of Cook, Kane, Lake, McHenry  
 and State of Illinois, continuously for more than one year prior to the date of the first publication of the notice hereinafter referred to and is of general circulation throughout said Village(s), County(ies) and State.

I further certify that the DAILY HERALD is a newspaper as defined in "an Act to revise the law in relation to notices" as amended in 1992 Illinois Compiled Statutes, Chapter 715, Act 5, Section 1 and 5. That a notice of which the annexed printed slip is a true copy, was published 03/28/2022 in said DAILY HERALD.

IN WITNESS WHEREOF, the undersigned, the said PADDOCK PUBLICATIONS, Inc., has caused this certificate to be signed by, this authorized agent, at Arlington Heights, Illinois.

PADDOCK PUBLICATIONS, INC.  
 DAILY HERALD NEWSPAPERS

BY                     *Laula Baltz*                      
 Authorized Agent

Control # 4580087

Attachment: Public Notice (26 N. Rohlwing Road - Special Use for an Accessory Unique Use - Short-term rental)

VILLAGE OF PALATINE  
Zoning Board of Appeals

SCHEDULED 04/12/22 07:00 PM

**CASE STAFF STATEMENT (ID # 7463)**

**44 W. Illinois Avenue - SU Packaged Liquor Store**

**TO:** Palatine Zoning Board of Appeals  
Jan Wood, Chair

**FROM:** Alex Bradshaw

**PETITIONER:** Chirag Patel, U Zara Inc.

**CASE NUMBER:** 21-106

**ADDRESS:** 44 W. Illinois Avenue

**PROPOSAL:** Special Use to permit a package liquor store.

<b><u>LOCATION:</u></b> 44 W. Illinois Avenue (Council District 2 - Lamerand)	<b><u>CURRENT ZONING:</u></b> B-2, General Business
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**SURROUNDING CONDITIONS:**

<b><u>North:</u></b>	P, Planned Unit Development (Summerset Court - 6-lot residential subdivision)
<b><u>South:</u></b>	R-2, Single Family Residential and B-2, General Business (Mobil gas station)
<b><u>East:</u></b>	P, Planned Unit Development (Aspen Grove condominiums)
<b><u>West:</u></b>	R-2, Single Family Residential

**BACKGROUND:**

The Subject Property is currently a vacant unit that was previously occupied by J.J. Peppers Convenience Store. The Petitioner is proposing to operate a package liquor store. Therefore, the Petitioner is requesting:

**Special Use to permit a package liquor store.**

**SITE ANALYSIS:**

- The Subject Property is zoned B-2, General Business District. The shopping center is located at the northwest corner of Plum Grove Rd and Illinois Ave. The proposed tenant space is approximately 3,500 square feet, and has been operated in the past as a convenience store. That use was annexed into the Village from unincorporated Cook County.

- The Subject Property has been vacant since the convenience store closed in 2012. Other businesses in the subject shopping center include two restaurants, a salon, and coin laundry.
- The Petitioner has proposed to remodel the interior space to establish an “upscale liquor store”. Per the submitted business plan, the Petitioner has the experience and resources to run the business, as they have 5 similar stores under their ownership.
- Per the Petitioner’s application, they will be using a Point of Sale (POS) system that requires identification cards to be scanned before each transaction.
- As part of the Special Use application, the Petitioner also submitted exterior elevations plans for the proposed façade improvements. This will include painting the façade enhancements and additional plantings near the center’s freestanding sign.
- According to the submitted business plan, management has over 10 years of ownership experience and operating on a daily open to close basis.
- The Petitioner has indicated in addition to liquor will selling other prepackaged items such as mixers, snacks, and other prepackaged items including tobacco.
- The Petitioner will utilize the alley behind the building for deliveries. According to the business plan, all deliveries will come to the rear entrance and it is estimated that all deliveries would occur in the mid to late mornings.
- The hours of operation, as indicated for existing locations, are:
  - Monday - Thursday: 9 AM - 10 PM
  - Friday - Saturday: 9 AM - 11 PM
  - Sunday: 9 AM - 10 PM
- As required, the Petitioner has applied for a Local Liquor License with the Village.
- The parking requirement would not change with this proposed use.

**DEPARTMENTAL REVIEWS:**

<b>Community Services</b>	No Issues Identified
<b>Engineering</b>	No Issues Identified
<b>Environmental Health</b>	N/A
<b>Fire Prevention</b>	No Issues Identified
<b>Public Works</b>	N/A
<b>Police</b>	No Issues Identified

**STANDARDS FOR SPECIAL USE:** Since this Petition is not for a use publicly operated or traditionally affected with the public interest, those standards under Section 14.05 D (2) and (3) are applicable. Specifically, the Petitioners must show that the Special Use, if granted, is so designed, located, and proposed to be operated that the public health, safety, and welfare will be protected and will not cause substantial injury to the value of other property in the neighborhood in which it is located. The Petitioners have attempted to address the required standards.

**STAFF RECOMMENDATION:**

The Subject Property had been operated in the past as a convenience store. The store maintained a liquor license during its tenure, but has since closed. The Petitioner is proposing to open a liquor store, with associated improvements to the shopping center and Subject tenant space. The area surrounding the proposed liquor store consists mainly of residential, with a gas station directly south of the shopping center. The Petitioner has also proposed to completely remodel the interior of the store and to improve the exterior elevations of the center.

While Staff understands that a similar use was ultimately denied in 2013, the current Petitioner has ownership and operating experience, with multiple liquor stores. Also, improvements to the Subject Property, as a whole, are components of the application. Therefore, Staff recommends approval of the proposed Special Use, subject to the following condition:

1. The Special Use shall substantially conform to the Business Plan (including the hours of operation), Floor Plan, and façade/elevation improvement plans submitted by the Petitioner, except as such plans may be changed to conform to the Village of Palatine Codes and Ordinances.

**ATTACHMENTS:**

- Aerial Map
- Application
- Business Plan
- Floor Plan
- Plat of Survey
- Existing Locations & Hours of Operation
- Proposed Exterior and Interior Improvements
- Public Notice

# 44 W. ILLINOIS AVE.

3.4.a

VILLAGE OF  
**PALATINE**



Attachment: Aerial Map (44 W. Illinois Avenue - SU Liquor Store)

# VILLAGE OF PALATINE

## SPECIAL USE & VARIATION APPLICATION

Department of Planning & Zoning  
 200 E. Wood Street · Palatine, IL · 60067-5339  
 Telephone: (847) 359-9047 · Fax (847) 963-6247

Office Use Only	Project Planner	Zoning Case #
	Filing Fee	Notification Deadline
	ZBA Public Hearing Date	Village Council Date

date received

Background Information	PETITIONER(S) <b>U ZARA INC</b>		Business Name (if applicable) <b>ARMANETTI BEER-WINE-SPIRIT</b>	
	Subject Property Address <b>44 W ILLINOIS AVE PALATINE IL - 60067</b>			
	AUTHORIZED AGENT (if applicable) <b>CHIRAG PATEL</b>		Business Name (if applicable)	
	Address <b>7908 CENTRAL AVE</b>		City/State/Zip Code <b>MORTON GROVE IL 60053</b>	
	Telephone <b>407-810-0628</b>	Fax <b>773-239-2896</b>	Email <b>DRGCHIRAG@AOL.COM</b>	
	Relationship to Petitioner (contractor, architect, etc.) <b>SELF (OWNER/PRESIDENT)</b>			
	TYPE OF APPLICATION (check one) <input checked="" type="checkbox"/> Special Use <input type="checkbox"/> Special Use Amendment <input type="checkbox"/> Variation			
	Existing Zoning District <b>B-2</b>	Existing Land Use	Proposed Land Use <b>LIQUOR STORE</b>	
	Generally describe your request: PROPOSED PLACE WAS RUNNING BUSINESS AS JJ PEPPERS IT IS CLOSED SINCE 2013. WE WANT TO SET UP HIGH END LIQUOR STORE AT SUBJECT PROPERTY. WE WILL REMODELED WHOLE STORE & MAKE IT UPSCALE LIQUOR STORE WITH GREAT VARIETY & TOP MOST PRODUCTS. WE WISH NEIGHBOURHOOD CUSTOMERS WILL ENJOY SHOPPING THIS PLACE. WE HAVE EXPERIENCE & RESOURCES TO RUN THIS BUSINESS AS WE HAVE 5 GOOD LIQUOR STORES WITH GREAT MANAGERS & EMPLOYEES .			

Attachment: Application (44 W. Illinois Avenue - SU Liquor Store)



## SPECIAL USE

### Required Materials

- Filing Fee of \$ \_\_\_\_\_
- Application Form
- Plat of Survey (must show all current improvements and be sealed by an Illinois certified surveyor)
- Site Plan & Floor plan (dimension, location, and setbacks of all existing and proposed buildings) – **one 11x17 copy each, electronic version preferred**
- Real Estate Interest Disclosure Form (see attached)
- Proof of Ownership or Lease (e.g. Title Insurance Policy, Deed, or Purchase Contract)
- Business Plan (if applicable; including, but not limited to nature of business, hours of operation, number of employees, and menu)

### Additional Materials (as required by the Village)

- Elevation Plan (front, side, and rear elevations of a proposed building), and/or Floor Plan (proposed interior layout) – **one 11x17 copy of each plan, electronic versions preferred**
- Engineering Plans (must indicate existing conditions, topography, storm water management, tree preservation, utility connections, detention calculations, and a cost estimate)
- Photographs (e.g. ground-level or aerials)
- Other materials as deemed necessary by the Village

### Petitioner Justification

The Petitioner is required to present specific evidence related to each of the following standards to justify the request (paraphrased from Section 14.05 of the Palatine Zoning Ordinance). Answer the items below and attach a separate sheet if necessary. ***If you are applying for a Variation only, you do not need to answer these items.***

1. The use is deemed necessary for the public convenience at that location

This location will provide a convenient location for the residents to purchase our products.

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2. The use is designed, located, and proposed to be operated that the public health, safety and welfare will be protected

We use a Point of Sale (POS) system that requires us to scan an identification card before each transaction can be commenced.

We promote & encourage responsible consumption of our products via advertisements & marketing campaigns.

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3. The use will not cause substantial injury to nearby property values

This location serves as a convenient place to purchase our products. Consumers can reduce their commute time to our location.

Some can walk to our location.

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4. With respect to live entertainment uses, the use shall not:
  - a. Produce noise levels so great as to constitute an unreasonable interference for persons outside the confines of the establishment
  - b. Impose undue health, sanitation or safety burdens on the village
  - c. Create excessive demands on the Village of Palatine Police Department
  - d. Be of a nature otherwise prohibited by law or village ordinance

5. For fence standards, see Section 14.05 of the Palatine Zoning Ordinance

There will not be loud music or noise coming out of our location. Our waste is very limited. We recycle all cardboard products.

Every local, state, & federal law is followed. We work with local police departments to ease demands.

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Attachment: Application (44 W. Illinois Avenue - SU Liquor Store)

# Business Plan

---

[August 10, 2021]

**Armanetti**  
44 W Illinois Ave,  
Palatine, IL 60067

407-810-0628  
321-663-0548

DRGCHIRAG@aol.com  
[VIPUL.PATEL918@gmail.com](mailto:VIPUL.PATEL918@gmail.com)

<http://www.armanetti.com/home.php>

Attachment: Business Plan (44 W. Illinois Avenue - SU Liquor Store)

## **Executive Summary**

Armanetti Beverage Marts opened for business in the year 1930, thus marking the beginning of an illustrative career as the Chicagoland's leader in fine wines and spirits.

Armanetti is the market leader in Service, Selection and Savings by offering the best products for the best prices; with 19 local stores and 26 preferred partners throughout the area.

This proposed location will continue to add to Armanetti's long and illustrious history. We are looking to add value to the community by hiring locals and working with officials to improve the neighboring areas through philanthropy and other educational programs.

Armanetti sells a wide variety of snacks, tobacco, beer, wine, spirits, and other similar products at competitive prices in a safe and inviting upscale environment.

Armanetti target market are all consumers of legal age for its products. Our competition is minimal, and we expect to be the industry leader after several months of marketing.

Armanetti has a strong management team to help with the grand opening. We also have many years of experience establishing new locations by building out new retail outlets.

We use our own funds to acquire and renovate to set up new locations. We do an extensive financial review of the assets involved and only move forward when it makes financial sense. We are ready to move forward with this location.

## Company Description Worksheet

<b>Business Name</b>	Armanetti
<b>Company Mission Statement</b>	To provide a wide variety of snacks, tobacco, beer, wine, spirits, and similar products at competitive prices in a safe and inviting upscale environment.
<b>Company Philosophy/ Values</b>	Offer the local community a safe place to purchase high quality products at fair market prices.
<b>Company Vision</b>	To continue to support the local community through employment and philanthropy.
<b>Goals &amp; Milestones</b>	<ol style="list-style-type: none"> <li>1. Promote this business regularly in the community.</li> <li>2. Work with local leaders to improve the community.</li> <li>3. Expand in size and location where applicable.</li> </ol>
<b>Target Market</b>	All consumers of legal age to purchase our products.
<b>Industry/ Competitors</b>	<ol style="list-style-type: none"> <li>1. Other liquor stores</li> <li>2. Convenient stores</li> <li>3. Grocery stores</li> </ol>
<b>Legal Structure/ Ownership</b>	Corporation of partners, where one individual will make all decisions.

## Product & Service Description Worksheet

<b>Business Name</b>	Armanetti
<b>Product/ Service Idea</b>	variety of snacks, tobacco, beer, wine, spirits, and similar products
<b>Special Benefits</b>	One stop shop for all products listed above
<b>Unique Features</b>	Always looking to carry new and unique brands in our industry, especially locally manufactured.
<b>Limits and Liabilities</b>	No cooked foods will be served. No other services will be offered.
<b>Production and Delivery</b>	Products will be delivered by distributors to our location. We will bring in a few products from big box wholesalers.
<b>Suppliers</b>	Beer, Wine, Spirit, snack, and ice suppliers in the area. Each area has their own selected company for their distribution.
<b>Intellectual Property Special Permits</b>	All permits are valid and available on demand. No violations on record.
<b>Product/ Service Description</b>	Variety of snacks that are popular to eat with the consumption of beer and spirits.

## SWOT Analysis Worksheet

	<b>Strengths</b>	<b>Weaknesses</b>	<b>Opportunities</b>	<b>Threats</b>
<b>Product/ Service Offering</b>	We offer a great variety in all categories of products	None	To constantly reevaluate the market trends at this location	None
<b>Brand/ Marketing</b>	Armanetti is well known & trusted name in this industry	None	To do a GRAND Opening that impresses the local community	None
<b>Staff/HR</b>	We have highly qualified managers lined up to run this location	None	To hire local assistant managers & employees	None
<b>Finance</b>	None	None	None	None
<b>Operations/ Management</b>	Highly qualified managers	None	Hire & train local managers	None
<b>Market</b>	This location will greatly benefit from our business	None	This location will grow and help generate great tax revenue	None
<b>Can any of your strengths help with improving your weaknesses or combating your threats? If so, please describe how below.</b>				
We have used our strengths of experience and financial support to improve any previous weaknesses that existed before we acquired any of our locations.				
<b>Based on the information above, what are your immediate goals/next steps?</b>				
Our goal is to increase sales from one month to the next and maximize profitability.				
<b>Based on the information above, what are your long-term goals/next steps?</b>				
Long term goal is to have this location be the leader in our industry in overall management and profitability.				

### Competitor Data Collection Plan

<b>Price</b>	<i>We will constantly monitor local competitors' prices and adjust ours accordingly to stay competitive.</i>	
<b>Benefits/Features</b>	<i>Clean location with a variety of products.</i>	
<b>Size/profitability</b>	<i>We will maximize the square footage to carry products to produce maximum profits</i>	
<b>Market strategy</b>	<i>Continue to market to the local community.</i>	

Attachment: Business Plan (44 W. Illinois Avenue - SU Liquor Store)

## Competitive Analysis Worksheet

For each factor listed in the first column, assess whether you think it's a strength (S or W) for your business and for your competitors. Then rank how important each factor is to your target customer on a scale of 1 to 5 (1 = very important; 5 = not very important). Use this information to explain your competitive advantages and disadvantages.

FACTOR	Me	Competitor A	Competitor B	Competitor C	Importance to Customer
Products	S	S	S	S	1
Price	S	W	W	W	1
Quality	S	S	S	S	1
Selection	S	W	W	W	1
Service	S	W	W	W	2
Reliability	S	W	W	W	1
Stability	S	S	S	S	3
Expertise	S	W	W	W	3
Company Reputation	S	W	W	W	5
Location	S	S	W	W	2
Appearance	S	W	W	W	4
Sales Method	S	S	S	S	3
Credit Policies	S	S	S	S	3
Advertising	S	W	W	W	5
Image	S	W	W	W	3

### Marketing Expenses Strategy Chart

	Target Market 1	Target Market 2	Target Market 3
<b>One-Time Expenses</b>	Grand Opening event		
<b>Monthly or Annual Expenses</b>	Local mailers, posters, and radio ads, social media where applicable		
<b>Labor Costs</b>	Hourly employees and salaried managers.		

Attachment: Business Plan (44 W. Illinois Avenue - SU Liquor Store)

### Pricing Strategy Worksheet

<b>Business Name</b>	Armanetti	
<b>Which of the following pricing strategies will you employ? Circle one.</b>		
<b>Cost Plus</b> <i>The costs of making/obtaining your product or providing your service, plus enough to make a profit</i>	<b>Value Based</b> <i>Based on your competitive advantage and brand (perceived value)</i>	<b>Other:</b>
<b>We use both Cost Plus &amp; Value Based strategies:</b> We will constantly evaluate our prices and compare them to our competitors' prices. We will set prices based on our desirable profitability margin formulas per item categories.		

Attachment: Business Plan (44 W. Illinois Avenue - SU Liquor Store)

### Distribution Channel Assessment Worksheet

	Distribution Channel 1	Distribution Channel 2	Distribution Channel 3
<b>Ease of Entry</b>	Great corner location with plenty of parking and clear visibility during day and night time driving		
<b>Geographic Proximity</b>	Close proximity to major highways for ease of our distributors to get us our supplies in a timely manner		
<b>Costs</b>	Low overall costs to suppliers thanks to ease of access to this location.		
<b>Competitors' Positions</b>	Not applicable.		
<b>Management Experience</b>	Over 10 years of experience in ownership and operating on a daily open to close basis.		
<b>Staffing Capabilities</b>	Have a great management team in place and will hire and train from the local community.		
<b>Marketing Needs</b>	Armanetti is a well known established company that has great marketing capabilities.		

Attachment: Business Plan (44 W. Illinois Avenue - SU Liquor Store)

## Management Worksheet

<p><b>Bio/s</b></p>	<p><b>Mr. Chirag “Craig” Patel</b></p> <p><b>Owens and manages the following:</b></p> <p>1.)Grand &amp; Western Armanetti’s 515 N. Western Ave., Chicago, IL. since 2019</p> <p>2.)Town Armanetti 10000 S. Western Ave., Chicago, IL since 2015</p> <p>3.)Armanetti Express 4757 W. Fullerton Ave., Chicago, IL. since 2015</p> <p>4.) Armanetti’s 1045 South York Rd. Bensenville, IL. Since 2012</p> <p>5.) R &amp; B Cardinal 7756 S. Harlem Ave., Bridgeview, IL. since 2016</p>
<p><b>Gaps in Management or Experience</b></p>	<p><b>This year marks 10 (ten) solid years of owning and operating liquor stores. On average: adding one new store every 2 years.</b></p>
<p><b>Advisors</b></p>	<p><b>Vipul Patel = partner and consultant</b></p>

Attachment: Business Plan (44 W. Illinois Avenue - SU Liquor Store)

## Alex Bradshaw

---

**From:** Vipul Patel <vipul9@aol.com>  
**Sent:** Friday, April 8, 2022 1:15 PM  
**To:** drgchirag@aol.com; Alex Bradshaw  
**Subject:** to Alex: 44 W. Illinois - Armanetti - Hours of Operation and Update for ZBA Meeting

**Caution:** This is an external email, Please take care when clicking links or opening attachments. When in doubt, please talk with the sender or check with VOP IT

Hello Alex,

The hours of operation is going to resemble this existing location:

Grand & Western Armanetti  
 515 N. Western Ave.  
 Chicago, IL. 60612

Hours of Operation:  
 Mon - Thurs 9am - 10pm  
 Fri & Sat 9am - 11pm  
 Sunday 9am - 10pm

And thanks for the heads up. We will definitely have some answers for the neighbors when they have questions on how we are going to be different from other liquor stores.

Thanks again  
 Sincerely,  
 Chirag Patel

**From:** Alex Bradshaw <ABradshaw@palatine.il.us>  
**Date:** April 8, 2022 at 8:24:44 AM CDT  
**To:** Chirag Patel <drgchirag@aol.com>  
**Subject:** 44 W. Illinois - Armanetti - Hours of Operation and Update for ZBA Meeting

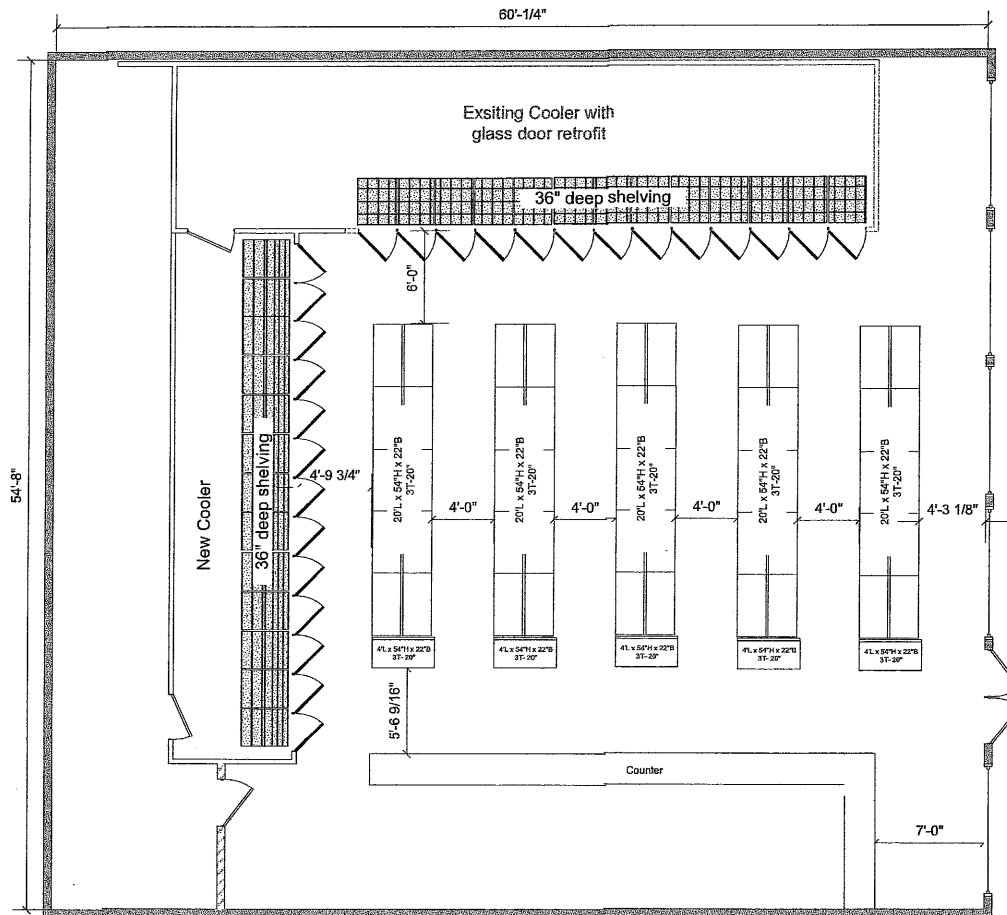
Hi Chirag –  
 I just have a final clarification question and update prior to the Zoning Board meeting next Tuesday. I regards to the proposed hours of operation for this new Armanetti location, can you please highlight which existing location the hours of operation will most closely resemble? (attached)

Additionally, I wanted to give you a heads up that we have received a couple calls from residents in the surrounding area that have concerns with the proposed use. Although they did not provide specific concerns, I wanted to make sure you are aware that there will be at least a few residents in attendance at the Zoning Board meeting. I would


recommend preparing to explain how the proposed use will be different than a typical liquor store.

Best Regards,

**Alex Bradshaw** | Planner  
Planning & Zoning Department  
200 E. Wood Street | Palatine, IL 60067  
T: 847-359-9056 | [abradshaw@palatine.il.us](mailto:abradshaw@palatine.il.us)



Attachment: Floor Plan (44 W. Illinois Avenue - SU Liquor Store)

 ATSCo <small>ARCHITECTURAL TECHNICAL SERVICES COMPANY</small>	44 W Illinois Ave., Palatine, IL 60067		
	<h2 style="margin: 0;">Armanetti's 1</h2>		
P - 847.697.3230	SIZE	FSCM NO	DWG NO
www.atsccompanies.com	SCALE	1/8" = 1'-0"	1
		SHEET	1

# Trust Agreement, dated August 16, 1990 and known as Trust Number 9761

IT IS AGREED: PARKWAY BANK AND TRUST COMPANY, an Illinois Banking Corporation, as Trustee hereunder, is about to take legal and equitable title to the following described real estate in COOK County, Illinois:

Lot 5 In Block 6 In Arthur T. McIntosh and Company's Palatine Estate Unit No. 1 of the South East 1/4 of the South East 1/4 of Section 22 and the South West 1/4 of the South West 1/4 of Section 23, Township 42 North, Range 10 East of the Third Principal Meridian, in Cook County, Illinois. PIN: 02-22-410-011

Lot 6 In Block 6 in McIntosh and Company's Palatine Estates, Unit No. 1, of the South East 1/4 of the South East 1/4 of Section 22, and the South West 1/4 of the South West 1/4 of Section 23, Township 42 North, Range 10, East of the Third Principal Meridian, in Cook County, Illinois. - PIN: 02-22-410-012

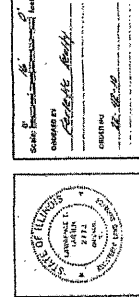
44-60 Illinois Avenue, Palatine, Ill.

otherwise known as and that when it has taken the title interests in any other real estate devised to it as Trustee hereunder which it has accepted in writing, it will hold it for the use and purposes set forth in the trust agreement. All other real estate devised to the Trustee shall not be subject to this agreement.

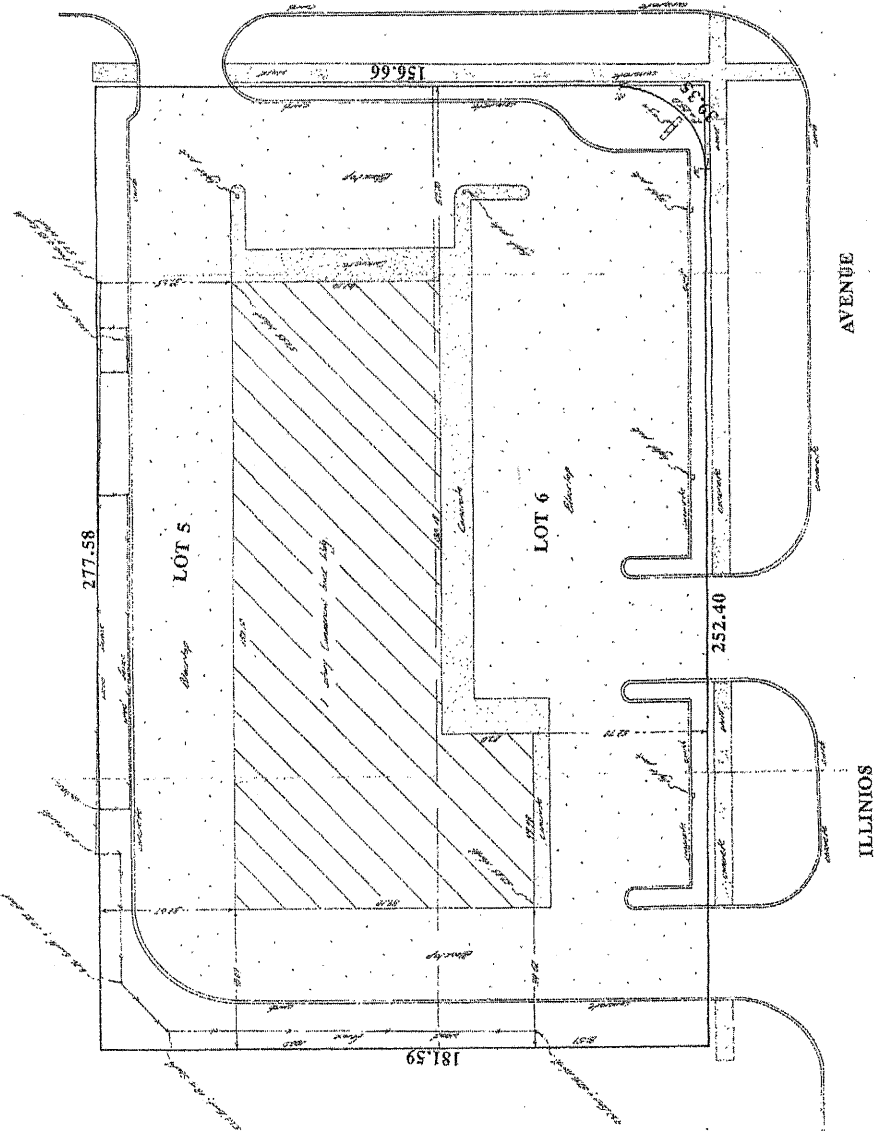
LEGAL DESCRIPTION

THIS TRUST AGREEMENT IS SUBJECT TO THE TERMS AND CONDITIONS OF THE TRUST AGREEMENT BETWEEN THE TRUSTEE AND THE TRUSTOR, AND THE TRUSTOR'S DECLARATION OF TRUST, ALL OF WHICH ARE HEREBY INCORPORATED BY REFERENCE INTO THIS TRUST AGREEMENT.

STATE OF ILLINOIS )  
COUNTY OF COOK )  
I, Robert J. Blum, Trustee,  
do hereby certify that the foregoing is a true and correct copy of the original Trust Agreement as recorded in the Public Records of Cook County, Illinois, on August 16, 1990.



PLUM GROVE ROAD



Attachment: Plat of Survey (44 W. Illinois Avenue - SU Liquor Store)

## Existing locations...

Town Armanetti  
10000 S. Western Ave  
Chicago, IL 60643  
Hours of Operation:  
Mon - Thurs 9am - 10pm  
Fri & Sat 9am - 11pm  
Sunday 11am - 10pm

Grand & Western Armanetti  
515 N. Western Ave.  
Chicago, IL. 60612  
Hours of Operation:  
Mon - Thur 9am - 10pm  
Fri & Sat 9am - 11pm  
Sunday 11am - 10pm

R&B Cardinal  
7756 S. Harlem Ave  
Bridgeview, IL. 60455  
Mon - Thur 7am - 11pm  
Fri & Sat 7am - 12am  
Sunday 7am - 11pm



Attachment: Proposed Exterior and Interior Improvements (44 W. Illinois Avenue - SU Liquor Store)





*Fine Cigars*

WINE TASTING  
*Wine Tasting*  
WINE TASTING

CHILLED WINE

Attachment: Proposed Exterior and Interior Improvements (44 W. Illinois Avenue - 5U Liquor Store)



Attachment: Proposed Exterior and Interior Improvements (44 W. Illinois Avenue - 5U Liquor Store)



Attachment: Proposed Exterior and Interior Improvements (44 W. Illinois Avenue - 50 L liquor Store)



CHILLED WINE

COLD BEER

COOLERS & CIDERS

CHILLED WINE

COLD BEER

COOLERS & CIDERS

**PUBLIC NOTICE**  
 A Public Hearing will be held before the Palatine Zoning Board of Appeals on Tuesday, April 12, 2022 at 7 PM, in the Village Council Chambers at Palatine Village Hall, 200 E. Wood Street, relative to a request for the following:  
**Special Use to permit a packaged liquor store.**  
 The property is commonly known as 44 W. Illinois Ave (02-22-410-011-0000) (02-22-410-012-0000).  
 The Petitioner is proposing to open a new packaged liquor store, Armanetti Beer - Wine - Spirit.  
 The above petition has been filed by Chirag Patel, U Zara Inc., and is available for examination in the office of the Village Clerk, 200 E. Wood Street.  
 FILE #: 21-106  
 VILLAGE OF PALATINE  
 Jan Wood, Chair  
 Palatine Zoning Board of Appeals  
 DATED: This 28th day of March, 2022  
 Published in Daily Herald March 28, 2022 (4580089)

**CERTIFICATE OF PUBLICATION**  
**Paddock Publications, Inc.**

**Daily Herald**

Corporation organized and existing under and by virtue of the laws of the State of Illinois, DOES HEREBY CERTIFY that it is the publisher of the **DAILY HERALD**. That said **DAILY HERALD** is a secular newspaper and has been circulated daily in the Village(s) of Algonquin, Antioch, Arlington Heights, Aurora, North Aurora, Bannockburn, Barrington, Barrington Hills, Lake Barrington, North Barrington, South Barrington, Bartlett, Batavia, Buffalo Grove, Burlington, Campton Hills, Carpentersville, Cary, Crystal Lake, Deerfield, Deer Park, Des Plaines, Elburn, East Dundee, Elgin, South Elgin, Elk Grove Village, Fox Lake, Fox River Grove, Franklin Park, Geneva, Gilberts, Glenview, Grayslake, Green Oaks, Gurnee, Hainesville, Hampshire, Hanover Park, Hawthorn Woods, Highland Park, Highwood, Hoffman Estates, Huntley, Inverness, Island Lake, Kildeer, Lake Bluff, Lake Forest, Lake in the Hills, Lake Villa, Lake Zurich, Libertyville, Lincolnshire, Lindenhurst, Long Grove, Melrose Park, Montgomery Morton Grove, Mt. Prospect, Mundelein, Niles, Northbrook, Northfield, Northlake, Palatine, Park Ridge, Prospect Heights, River Grove, Riverwoods, Rolling Meadows, Rosemont, Round Lake, Round Lake Beach, Round Lake Heights, Round Lake Park, Schaumburg, Schiller Park, Sleepy Hollow, St. Charles, Streamwood, Sugar Grove, Third Lake, Tower Lakes, Vernon Hills, Volo, Wadsworth, Wauconda, Waukegan, West Dundee, Wheeling, Wildwood, Wilmette  
 County(ies) of Cook, Kane, Lake, McHenry  
 and State of Illinois, continuously for more than one year prior to the date of the first publication of the notice hereinafter referred to and is of general circulation throughout said Village(s), County(ies) and State.

I further certify that the DAILY HERALD is a newspaper as defined in "an Act to revise the law in relation to notices" as amended in 1992 Illinois Compiled Statutes, Chapter 715, Act 5, Section 1 and 5. That a notice of which the annexed printed slip is a true copy, was published 03/28/2022 in said DAILY HERALD.

IN WITNESS WHEREOF, the undersigned, the said PADDOCK PUBLICATIONS, Inc., has caused this certificate to be signed by, this authorized agent, at Arlington Heights, Illinois.

PADDOCK PUBLICATIONS, INC.  
 DAILY HERALD NEWSPAPERS

BY *Danila Baltz*  
 Authorized Agent

Control # 4580089

Attachment: Public Notice (44 W. Illinois Avenue - SU Liquor Store)