



VILLAGE OF PALATINE

VILLAGE HALL - COUNCIL CHAMBERS 200 E. WOOD STREET
PALATINE, IL 60067-5339 – (847) 359-9050
<http://www.palatine.il.us>

ZONING BOARD OF APPEALS

AGENDA • APRIL 11, 2023

Village Hall - Council Chambers

Regular Meeting

7:00 PM

I. CALL TO ORDER

II. MINUTES APPROVAL

1. Zoning Board of Appeals - Regular Meeting - Mar 28, 2023 7:00 PM

III. PUBLIC HEARING

1. 24 E. Country Club Ct

Special Use to permit a fence in the side yard abutting a street, where the side lot line of said yard abutting a street abuts the side lot line of the front yard of an adjacent lot.

2. 707 S. White Willow Bay

Special Use to permit an addition to be set back 20 feet from the rear lot line, instead of the minimum required 45 feet.

3. 1326 W. North Street

Special Use to permit an addition to be set back 22 feet from the rear lot line, instead of the minimum required 45 feet.

4. 1242 E. Dundee Road

Special Use to permit a tobacco shop at the subject property.

IV. COMMUNICATIONS

V. ADJOURNMENT



VILLAGE OF PALATINE

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ZONING BOARD OF APPEALS

MINUTES • MARCH 28, 2023

Village Hall - Council Chambers

Regular Meeting

7:00 PM

I. CALL TO ORDER

Attendee Name	Title	Status	Arrived
Cindy Roth-Wurster	Commissioner	Absent	
Jan Wood	Commissioner	Present	
Jerry Luszczak	Commissioner	Absent	
Theodore McGinn	Commissioner	Present	
Kevin Cavanaugh	Commissioner	Present	
John Pirog	Commissioner	Present	

Staff present: Mr. Alex Bradshaw

II. MINUTES APPROVAL

- Zoning Board of Appeals - Regular Meeting - Mar 14, 2023 7:00 PM - **Accepted**

Mr. Cavanaugh made a motion to approve the minutes of March 14, 2023; seconded by Mr. McGinn

RESULT:	ACCEPTED [UNANIMOUS]
MOVER:	Kevin Cavanaugh, Commissioner
SECONDER:	Theodore McGinn, Commissioner
AYES:	Wood, McGinn, Cavanaugh, Pirog
ABSENT:	Roth-Wurster, Luszczak

Minutes Acceptance: Minutes of Mar 28, 2023 7:00 PM (Minutes Approval)

III. PUBLIC HEARING

1. 940 S. Mallard Court - **Recommended to Approve**

Notice was published in the Daily Herald on March 13, 2023 and mailed to the owners of the surrounding properties.

Petitioner's Exhibits:

1. Application for Special Use
2. Proof of Ownership
3. Plat of Survey
4. Site Plan
5. Floor Plan
6. Elevations
7. Public Notice

Sworn in staff: Mr. Alex Bradshaw

Sworn in the petitioner: Mr. Daniel O'Toole 940 S. Mallard Ct

Mr. O'Toole stated they have been in the house for 6 years and married for 12. He stated after 5-6 years they have decided to make their forever home they want to have a 3 season porch off the side of the house and an addition off existing kitchen. Mr. O'Toole explained they will be changing the layout to update the floor plan.

Mr. McGinn asked if they spoke to the neighbors.
Mr. O'Toole answered yes, and everyone seems to be on board.

Mr. Pirog asked if there is flooding issues.
Mr. O'Toole answered no, not aware of any.

Mr. Cavanaugh asked if there was fencing.
Mr. O'Toole answered yes in the back and have plans to remove because it is worn.

Ms. Wood asked if they need the size requested.
Mr. O'Toole explained that the requested size is to accommodate the new floor plan, pointing out the new family room addition is approx. size of existing family room.

Mr. Pirog asked if the patio is existing.
Mr. O'Toole answered no. He explained the architect included patio because they spoke about it, but the patio is not part of the project.

Ms. Wood clarified it will be a 3 season room.
Mr. O'Toole answered yes. He stated the original home owner had one in almost the same location.

Mr. Bradshaw gave a brief overview stating the subject property is zoned R-1B single family consisting of a two story home that is legally non-conforming to the required 35ft side yard setback with an existing setback of 29ft. He stated any addition to the structure would require zoning relief. He stated both building and lot coverage are well under the maximum percentage allowed. Mr. Bradshaw pointed out the request is similar to a special use that was granted for the neighboring property at 936 S. Mallard Ct. He stated upon staff review two other lots on Mallard Ct that have comparable rear yard setbacks. Mr. Bradshaw stated Community Services and Engineering have reviewed and no issues that were identified.

STAFF RECOMMENDATION:

The Petitioner is proposing to construct a home addition off the rear of their existing residence. The Subject Property is existing legally non-conforming to the required side yard abutting a street setback, and could not expand the existing home in any way, without some form of zoning relief. Additionally, as comparable setback relief was recently granted to a property two lots away (936 S. Mallard Ct), and no issues were identified by either Community Services or Engineering, the proposal should not cause any substantial injury to the value of the other properties in the surrounding neighborhood. Therefore, Staff recommends approval of the requested Special Use, subject to the following condition:

1. The Special Use shall substantially conform to the Site Plan and Elevations submitted by the Petitioner, Dan O'Toole, except as such plans may be changed to conform to the Village's Codes and Ordinances.

There were no further questions. The public hearing was closed.

Mr. Cavanaugh made a motion to approve subject staff's conditions; seconded by Mr. McGinn

DELIBERATIONS:

Mr. Cavanaugh pointed out the cul-de-sac has unique shaped lots and being on a corner creates new issues. He stated it is a very unique circumstance and in line with the neighborhood.

Ms. Wood stated she sees no injury to value of the surrounding properties. She stated there are similar properties and makes sense with the configuration of this property. Ms. Wood stated it is not too far into setbacks and looks like it will be done in nice way. She stated it meets the standards.

Ms. Wood summarized that this request has met the standards and was unanimously approved by a vote of 4-0. This item will tentatively go to Village Council on April 10, 2023.

RESULT: RECOMMENDED TO APPROVE [UNANIMOUS]
MOVER: Kevin Cavanaugh, Commissioner
SECONDER: Theodore McGinn, Commissioner
AYES: Wood, McGinn, Cavanaugh, Pirog
ABSENT: Roth-Wurster, Luszczak

Minutes Acceptance: Minutes of Mar 28, 2023 7:00 PM (Minutes Approval)

2. 787 E. Dundee Road - **Recommended to Approve**

Notice was published in the Daily Herald on March 13, 2023 and mailed to the owners of the surrounding properties.

Petitioner's Exhibits:

1. Application for Special Use
2. Proof of Ownership
3. Plat of Survey
4. Business Plan
5. Floor Plan
6. Public Notice

Sworn in petitioner: Mr. Jim DeBruzzi, CFO of Bright Direction Dental, 318 W. Adams Chicago, IL

Mr. DeBruzzi stated they have space leased to open a new concept dental facility. He explained it will be dedicated to cleaning, teeth whitening, and clear aligners. He stated it will be a state of the art facility.

Ms. Wood asked what they would do if their customers needed additional services.

Mr. DeBruzzi explained they currently operate several dental offices in the general area where they can be referred to internally.

Ms. Wood asked how many patients will be seen at one time.

Mr. DeBruzzi stated approx. seven at a time depending on scheduling.

Ms. Wood asked about hours.

Mr. DeBruzzi explained they will start of 8-5 Monday, Tuesday, Thursday, Friday and possibly Saturdays.

Mr. Pirog asked what is meant by state of the art.

Mr. DeBruzzi explained they use AI technology.

Ms. Wood read into record the exhibits.

Mr. Bradshaw gave a brief overview stating the subject property is zoned P - planned development and is located within the Deer Grove Centre. He pointed out the other tenants being mixed with Starbucks, Poke Bros, AT&T, Jersey Mikes and Chipotle. He spoke to the hours that will be finalized closer to opening. Mr. Bradshaw spoke to the business plan that includes 5 employees with plans to hire additional with needed. He stated the proposed use would be the same as when the parking variation was granted in 2014 and there is additional overflow parking available to the south. Mr. Bradshaw stated Community Services reviewed and made note to address any parking concerns employees should be encouraged to park in the adjacent shared lot to the south. He stated

Engineering reviewed and no issues were identified.

Ms. Wood asked if it was previously a dental office.

Mr. Bradshaw explained it was previously approved for a medical office that never opened.

Ms. Wood asked if staff is aware of any issues with parking.

Mr. Bradshaw answered no, and staff believes that the varying peak hours of businesses allow for plenty of parking.

STAFF RECOMMENDATION:

The Petitioner is proposing to open a Dental Office at the Subject Property. The tenant space was previously approved for a medical use, and there are no plans to expand the current space. Additionally, Staff believes that with the tenant mix and complementary peak hours of the different business there should be adequate parking to allow the shopping center and parking area to function properly. Ultimately, the proposed use should not cause any injury to the value of the other properties in the neighborhood. Therefore, Staff recommends approval of the Special Use, subject to the following condition:

1. The Special Use shall substantially conform to the Business Plan and Floor Plan submitted by the Petitioner, Ryan Griffith, except as such plans may be changed to conform to the Village Codes and Ordinances

There were no further questions. The public hearing was closed.

Mr. McGinn made a motion to approve subject staff's conditions; seconded by Mr. Cavanaugh

DELIBERATIONS:

Mr. McGinn stated the evidence presented is good and will be operated in a manner that won't affect the public health safety and welfare. He stated it will be a good value to neighbors. He stated his only concern was parking but that has been addressed.

Mr. Cavanaugh stated parking would be the only real issue and this use requires less than other potential uses.

Ms. Wood stated parking is always a concern but this makes sense.

Ms. Wood summarized that this request has met the standards and was unanimously approved by a vote of 4-0. This item will tentatively go to Village Council on April 10, 2023.

RESULT: RECOMMENDED TO APPROVE [UNANIMOUS]
MOVER: Theodore McGinn, Commissioner
SECONDER: Kevin Cavanaugh, Commissioner
AYES: Wood, McGinn, Cavanaugh, Pirog
ABSENT: Roth-Wurster, Luszczak

Minutes Acceptance: Minutes of Mar 28, 2023 7:00 PM (Minutes Approval)

3. 415 S. Creekside Drive - **Recommended to Approve**

Notice was published in the Daily Herald on March 13, 2023 and mailed to the owners of the surrounding properties.

Petitioner's Exhibits:

1. Application for Special Use
2. Proof of Ownership
3. Plat of Survey
4. Site Plan
5. Floor Plan
6. Business Plan
7. Parking Lease Letter of Intent
8. Public Notice

Sworn in petitioner: Mr. Bruce Slivnick, attorney, 707 Lake Cook Road suite 316 Deerfield, IL

Mr. Sergio Zabrian, owner, 2234 Langdon Pl Hoffman Estates, IL

Mr. Thomas Michael, architect, 5259 W. Winona St Chicago, IL

Mr. Michael stated the current site is B-2 general business use so needs a special use for a daycare. He stated it is well situated being adjacent to residential and close by businesses. He stated the proximity to Route 53 and Northwest Highway is good for commuting parents. Mr. Michael stated the site was developed for office use which leaves little parking possibility for on-site expansion. He stated the daycare would be categorized as assembly space requiring 41 spaces. He stated the past approved daycare projects used the 1 space per 300 sq.ft. parking schedule and is closer to the needs of a daycare which equates to 31 spaces. Mr. Michael stated with staggered pick-up and drop-off times this number is not expected to be reached at any time. He stated they foresee the max being 26 which is the proposed layout. He pointed out there will be additional parking provided at the adjacent senior center for employees, and an access gate and new concrete walkway are proposed at the northeast corner of the site parking lot providing access to offsite parking. He stated a tentative agreement with management has already been reached and they have expressed enthusiasm with potential intergenerational interaction with residents and daycare. Mr. Michael stated they believe the Bumblebee Academy will be a good positive use and a benefit to the neighborhood.

Mr. Pirog asked if they would have events where parents would stay.

Mr. Zabrian stated additional parking could be arranged with retirement home who is willing to allow use of their lot.

Ms. Wood asked what the maximum amount of children and ages is.

Mr. Zabrian stated they expect 120 children and 15 staff. He explained it will be divided into 7 groups from infants (6weeks) up to 6 years.

Ms. Wood asked about the hours.
Mr. Zabrian stated 6:30am-6pm.

Ms. Wood asked why not have a drop-off.
Mr. Zabrian stated there is no real reason but looking at doing a one way drive where they can stop in front parking spaces and run child to door.
Mr. Michael explained it is more of a security issue for parents to not bring to door. They expect the parent to drop in reception area where designated staff member will be waiting to direct kids to classroom. He stated the drop-off times will be staggered.

Ms. Wood asked if there would be designated class times.
Mr. Zabrian explained some children will not be there the full day alleviating the need for parking. He stated the peak times are addressed in the parking schedule.
Mr. Michael stated the main drop offs will be between 6:30-8am with breakfast being around 8:30am. He stated the other main times would be after class around 3:00pm
Mr. Zabrian peak times of drop offs is 8:15-8:30am and pickup 5:45-6:00pm

Ms. Wood asked about preschool times.
Mr. Zabrian answered no, at this time we would be offering only all-day daycare.

Mr. Bradshaw gave a brief overview stating the petitioner is proposing to open a new day care which would occupy the entire existing building. He stated they would have a fenced in outdoor play area on the south side of the existing building. He explained a special use is required for a day care to be in the B-2 zoning district and the variation is to permit 26 parking spaces instead of the minimum required 41. Mr. Bradshaw spoke to the business plan which includes 7 classrooms and indoor and outdoor play area offering childcare services for 6weeks- 6 years old and will hire fully licensed certified early educated teachers. He stated they will hire catering service instead of cooking on site and will have at least one staff with food protections handler certification. Mr. Bradshaw spoke to staffs concern of the original proposed location of the outside play area and additional parking. He stated both have been addressed in the new proposed plans with the play area being to the south and the additional parking being adjacent in the senior care facility. Mr. Bradshaw stated the drive aisle to the west will be one way going north to south. He stated staff has reviewed other day care parking usage and have determined the proposed with the additional off site parking is comparable to other sites within the village referring to the slide to show comparison to Dreamers and Children's Land. He stated Community Services and Engineering have reviewed and had no issues identified. He stated Environmental Health has reviewed and wanted the petitioner to be aware that a permanent food establishment permit will be required and any use of catering services will be reviewed during the permit review.

Ms. Wood stated it seems comparable to Children's Land not Dreamers.
Mr. Bradshaw explained it is comparable by the way the lots are laid out than

ratio of total parking and total occupancy. He stated both were planned developments so are not adhering to a strict parking count.

Ms. Wood asked if there have been any parking complaints for the for the two existing day care facilities.

Mr. Bradshaw stated not that staff is aware in regards to parking.

Mr. Pirog pointed out most spots are across the street. He asked if pedestrian crosswalks will be added.

Mr. Bradshaw stated no parking is currently proposed across the street. He referred to site plan slide to show the proposed spaces including 26 on site spaces which will be restriped for clarity.

Ms. Wood asked how far the play area is to the residential.

Mr. Bradshaw stated the previous plan was up to the property line with no buffer. Discussion on new proposed location.

Mr. Pirog asked if the only entrance for drop-offs is on Northside.

Mr. Bradshaw stated there is two way access to the parking lot on Northside.

Discussion on maneuverability if the lot is full.

Ms. Wood asked what was in the building.

Mr. Bradshaw stated traditional office uses.

STAFF RECOMMENDATION:

The Petitioners are proposing to utilize the entire building at 415 S. Creekside for the day care facility. The Petitioners have worked extensively with Staff to address the parking short comings of the site by relocating the outdoor play area and leasing 5 additional spaces from the directly adjacent Grand at Twin Lakes Senior Living Facility. The relocated and completely fenced-in outdoor play area is not directly adjacent to the multi-family residential building to the north, and should therefore not cause substantial injury to the value of the other properties in the surrounding neighborhood.

In addition, the 5 extra parking spaces, leased from the Grand at Twin Lakes, are proposed to be utilized by employees. These additional spaces should alleviate potential parking issues during peak drop-off and pick-up hours. Ultimately, as the directly adjacent neighbor, the Grand, is amendable to leasing parking spaces and as the proposed traffic pattern and parking issues have been adequately addressed, the proposed use should not alter the essential character of the locality. Therefore, Staff recommends approval of the Special Use and Variation, subject to the following conditions:

- The Special Use and Variation shall substantially conform to the Site Plan, Business Plan, and Floor Plan submitted by the Petitioners, Raisa & Sergiu Zabrian, except as such plans may be changed to conform to Village Codes and

Ordinances.

- A lease agreement to utilize gate access to 5 off-site parking spaces located in the northern corner of The Grand at Twin Lakes' parking lot shall be submitted in a manner acceptable to the Director of Planning and Zoning and the Village Attorney.
- Any final traffic directional signage or pavement markings for the one-way drive aisle, or pick-up and drop-off locations, shall be submitted in a manner acceptable to the Village Engineer.
- The final fencing plan for the outdoor playground shall be submitted in a manner acceptable to the Director of Planning and Zoning.
- The maximum occupancy shall not exceed 135 persons. The Fire Marshal shall post the maximum occupancy.
- The final certificate of occupancy will be contingent upon approval by DCFS.

There were no further questions. The public hearing was closed.

Mr. Pirog made a motion to approve subject staff's conditions; seconded by Mr. Cavanaugh

DELIBERATIONS:

Mr. Pirog stated he was only worried about safety, but staff has worked with the petitioner to make safe. He stated it meets the standards and will be good for Palatine and looks like they have solid plan.

Mr. Cavanaugh stated his only concern was parking but thinks the petitioner and architect did a good job with the shape of the property.

Ms. Wood stated it is an overall good plan. She stated childcare is in demand and the location is good and will complement the area. She stated moving the play area and adjusting the parking was a good idea to make it a successful operation and conform to the standards to operate with the public health safety and welfare. Ms. Wood stated they addressed the variation based on the type of business that will run there.

Ms. Wood summarized that this request has met the standards and was unanimously approved by a vote of 4-0. This item will tentatively go to Village Council on April 10, 2023.

RESULT: RECOMMENDED TO APPROVE [UNANIMOUS]
MOVER: John Pirog, Commissioner
SECONDER: Kevin Cavanaugh, Commissioner
AYES: Wood, McGinn, Cavanaugh, Pirog
ABSENT: Roth-Wurster, Luszczak

Minutes Acceptance: Minutes of Mar 28, 2023 7:00 PM (Minutes Approval)

4. 640 W. Colfax Street - **Recommended to Approve**

Notice was published in the Daily Herald on March 13, 2023 and mailed to the owners of the surrounding properties.

Petitioner's Exhibits:

1. Application for Special Use
2. Proof of Ownership
3. Plat of Survey
4. Site Plan
5. Tower Structure Elevations
6. ComEd Structure Height Exhibit
7. Public Notice

Mr. Cavanaugh recused himself.

Sworn in petitioner Mr. Joseph Turnage, external affairs for ComEd, 201 Arthur St. Mt Prospect, IL

Mr. Turnage looking to present project to install antenna structure which is part of an overall grid enhancement designed to communicate with other distribution automation devices throughout the ComeEd service territory center and transmit the data back to distribution center. He stated the project team is here to answer any questions.

Sworn in Mr. Will Otter, land use council for ComEd, 1 S. Dearborn Chicago, IL

Mr. Otter presented an overview through a slide presentation. He pointed out the location is setback significantly off of Colfax Street. He stated the surrounding area is a mix of light industrial uses and residential. He spoke to the location being limited due to existing electrical infrastructure and overhead power lines. Mr. Otter spoke to the substation enhancement details being 100' with 4' lightning rod on top to communicate with sensors around Palatine. He stated it will be located close to the substation existing security building and significantly away from any neighboring uses with mature landscaping in between. He explained the special use is to increase the maximum heights from 80' to 104'. Mr. Otter spoke to the Community benefits that include enhanced electrical grid reliability and improved electrical grid efficiency. He referred to slide to show map of regional monitoring devices and sensors around substation. He stated ComEd will continue to grow the smart grid system adding more sensors in the Palatine area and these antennas will help deal with those.

Ms. Wood clarified there are no tower in the area.

Mr. Otter explained the towers go to substations that have existing control buildings. He stated they are currently located at Schaumburg, Prospect Heights, Lake Zurich and recently Barrington.

Mr. Pirog asked if all are 104' tall.

Mr. Otter stated Prospect Heights and Barrington are the same.

Mr. McGinn asked about the difference between 80' and 104'.

Mr. Otter referred to schematic drawing of antennae slide explaining they have not gone to 80' with any other substation.

Ms. Wood asked if there is any uniqueness connecting to the smart grid that would emit radiation or any environmental health concern.

Mr. Otter answered no. He explained this is different from a cell tower. He stated it would operate on a very low power radio band similar to walkie-talkies and baby monitors.

Mr. McGinn asked if there will be any flashing lights.

Mr. Otter answered no. He stated FAA determined that it will not be a hazard to air travel so no lights will be required. He stated it will blend in with other infrastructure.

Mr. Pirog stated the area has power outages. He asked if this too will lose power.

Sworn in Mr. David Blackmore, IT project manager, 303 Fairmont Ct St. Charles, IL

Mr. Blackmore explained they have to put the poles near the control building that have battery backup. He stated the antennas are connected to it rack of equipment that also have batteries.

Mr. Pirog asked if there will be generators.

Mr. Blackmore stated they have large battery banks and is unsure if station has generators on site.

Ms. Wood asked if they will emit noise.

Mr. Blackmore answered no.

Ms. Wood asked about the voltage or harmful effects that will be emitted.

Mr. Blackmore explained it is on an open band like walkie-talkies and baby monitors. He stated it will have secure communication with the other devices that are communicating with it. He referred to slide to show similar structures on lot blending in to site.

Ms. Wood asked if there has been any other issues with other towns' towers.

Mr. Blackmore answered no. He stated they have more than 130 poles referring to slide to show locations of other poles.

Will spoke to co-locating on existing towers when possible.

Mr. Pirog asked if they considered a cellular network.

Mr. Blackmore explained they are using a technology that works on 900 MHz system

Ms. Wood asked if there is a benefit to the immediate area.

Mr. Blackmore explained ComEd is putting up close to 4500 devices throughout the service territory on a yearly basis. He explained they are re-closures and the more that are out there the fewer residents go out of service and the smaller the outages. He stated the other sensors (fault indicators) is to quickly determine outages and give the ability to send crews out to exact locations Mr. Blackmore stated the more devices the better the grid.

Mr. Bradshaw gave a brief overview stating in October 2017 a variation for a 12' barbed wire fence around the property. He referred to the existing conditions slide to show the location of the proposed tower being inside the existing fence. He stated there is also a buffer of densely planted trees and shrubs between the subject property and the residential properties to the west. Alex referred to the slides to show the existing structures on the site pointing out there is approx. 5 structures that exceed the maximum 80' height with a few exceeding the proposed. He stated Community Services and Engineering have reviewed and no issues were identified.

Ms. Wood asked what the 107' is.

Mr. Bradshaw unsure but looks like transmission tower being clunkier and more substantial than what is being proposed.

Sworn in Mr. Philip Solzam 608 N. Deer Run Drive

Mr. Solzam stated he previous spoke to Mr. Turnage about the project expressing his concern about interference with over air television and FM reception. He stated he has cable service so may affect his system. He stated he was told there would be no interference but wants the technical department to confirm. Mr. Solzam clarified the number of towers existing is 5.

Mr. Bradshaw stated there are more than 5. He explained there are 5 at 80' or exceeding 80'.

Mr. Solzam asked if they plan on adding more and how many more could they add. He expressed concern with the location of the proposed antennae being directly behind residential properties and the proximity to their homes. He asked why not place further from residential on property. Mr. Solzam pointed out there is a large wetland to the west and asked if the towers would affect the wildlife or any environmental in the area.

Sworn in Mr. Brian Anderson 549 N. Stephen Drive

Mr. Anderson stated he has lived there for 23 years. He stated within the last 5 years ComEd added large towers that they view from their backyards. He stated in the last 10 years they have used the access road as a parking lot for trucks sitting idle which is a nuisance to the neighborhood. Mr. Anderson stated his neighbor could not sell their house because it backs up to station. He stated it is not well landscaped and can see from every angle walking down Stephen Dr.

Sworn in Mr. Anthony Russo 525 N. Walden Drive

Mr. Russo stated he lives pretty close and has lived there for 30 years. He

stated he has seen no problem with wildlife. He stated it is part of the utility system. He stated the existing towers are taller than the proposed antennae and some towers have been there before the houses. Mr. Russo stated the area has not lost money and none of the townhomes have gone down in property value He stated ComEd is doing because they need it.

Ms. Wood asked if he has seen trucks idling
Mr. Russo stated the only time he has heard was during storm trouble. He stated he is a little farther away and there is a buffer between. He stated the station has been there before the homes on Stephen were built.

Ms. Wood asked staff about the truck parking concerns.
Mr. Bradshaw stated staff is not aware of any truck concerns or issues.

Mr. Blackmore addressed the concerns explaining the frequency is 906-928 which is not for television so has never had any complaints or issues. He stated he is unsure how long the other towers have been there explaining they are part of the transmission that carries the power and the proposed is not to carry lines. Mr. Blackmore stated the wild life area is a very wide right of way that towers are bringing power from far away. He explained the proposed is a communication towers to talk to devices in distribution.

Mr. McGinn asked if Mr. Blackmore can address the location.
Mr. Blackmore explained the antennae needs to be next to control building that holds the IT equipment. He explained there are underground cable trays that come back to control building so location is limited.

Ms. Wood asked if there are any plans for additional towers be needed.
Mr. Blackmore stated that is unknown.

Ms. Wood asked if there is any transmission to affect wildlife.
Mr. Blackmore stated the poles are 24 inches at base 12 inches at top. He stated they have had issues with birds nesting on them on bigger structures.

Mr. Pirog asked about shrubbery to screen in.
Mr. Turnage stated there is no landscaping associated with this project being it is inside the substation.

Ms. Wood suggested they speak to the neighbors to address concerns with trucks.
Mr. Turnage stated they are always willing to work direct and close with staff and willing to address any compliance issues.

Mr. Otter stated there is an environmental site review that is required by the FCC in connections with NEPA. He stated they have determined this structure within the substation is categorically excluded from that review.

STAFF RECOMMENDATION:

The Petitioner is proposing to construct a new tower structure that would exceed the maximum permitted height by 24 feet. The proposed tower structure would set back 133 feet from the closest adjacent residential properties to the west, which are also buffered by a line of trees and shrubs. In addition, there are multiple existing tower structures in, and around, the enclosed substation that exceed the maximum height of 80 feet. Ultimately, the new tower structure should not cause substantial injury to the value of other properties in the surrounding neighborhood. Therefore, Staff recommends approval of the Special Use, subject to the following condition:

1. The Special Use shall substantially conform to the Site Plan and Structure Elevation submitted by the Petitioner, Commonwealth Edison Company, "ComEd", except as such plans may be changed to conform to Village Codes and Ordinances.

There were no further questions. The public hearing was closed.

Mr. Pirog made a motion to approve subject staff's conditions; seconded by Mr. McGinn

DELIBERATIONS:

Mr. Pirog stated he wished things like this were not needed but with the storms and winds they are needed. He stated it meets the standards being that it won't cause substantial injury to property and extensive cautions has been taken. He stated there are many in other areas.

Mr. McGinn stated they can do it within 80 ft. to be within ordinance and the additional height is needed to enhance the efficiency. He stated the standards have been met.

Ms. Wood agreed. She pointed out the towers and substation is already there and can add a shorter tower. She stated she understands the residents' concerns but doesn't think the addition will make much difference. She stated she hopes the residents can communicate with staff on their concerns but thinks it has met the standards.

Ms. Wood summarized that this request has met the standards and was unanimously approved by a vote of 3-0. This item will tentatively go to Village Council on April 10, 2023.

RESULT:	RECOMMENDED TO APPROVE [3 TO 0]
MOVER:	John Pirog, Commissioner
SECONDER:	Theodore McGinn, Commissioner
AYES:	Wood, McGinn, Pirog
ABSENT:	Roth-Wurster, Luszczak
RECUSED:	Cavanaugh

Minutes Acceptance: Minutes of Mar 28, 2023 7:00 PM (Minutes Approval)

IV. COMMUNICATIONS

V. ADJOURNMENT

1. Motion to Adjourn - **Motion Carried by Voice Vote**

Mr. McGinn made a motion to adjourn; seconded by Mr. Cavanaugh

RESULT:	MOTION CARRIED BY VOICE VOTE [UNANIMOUS]
MOVER:	Theodore McGinn, Commissioner
SECONDER:	Kevin Cavanaugh, Commissioner
AYES:	Wood, McGinn, Cavanaugh, Pirog
ABSENT:	Roth-Wurster, Luszczak

Minutes Acceptance: Minutes of Mar 28, 2023 7:00 PM (Minutes Approval)

VILLAGE OF PALATINE
Zoning Board of Appeals

SCHEDULED 04/11/23 07:00 PM

CASE STAFF STATEMENT (ID # 8269)

24 E. Country Club Ct

TO: Palatine Zoning Board of Appeals
Jan Wood, Chair

FROM: Alex Bradshaw

PETITIONER: Larry Klein

CASE NUMBER: SU-000023-2023

ADDRESS: 24 E. Country Club Court

PROPOSAL:

Special Use to permit a fence in the side yard abutting a street, where the side lot line of said yard abutting a street abuts the side lot line of the front yard of an adjacent lot.

LOCATION: 24 E. Country Club Court District 3 (Myslinski)	CURRENT ZONING: R-2 Single-Family Residential
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SURROUNDING CONDITIONS:

North:	R-2 Single-Family Residential
South:	R-2 Single-Family Residential
East:	R-2 Single-Family Residential
West:	R-2 Single-Family Residential

BACKGROUND:

The Petitioner is proposing to install a 5-foot tall open-style fence, with the required landscaping, which would be set back approximately 5 feet from the side property line abutting N. Pepper Tree Drive. Therefore, the Petitioner is requesting:

Special Use to permit a fence in the side yard abutting a street, where the side lot line of said yard abutting the street abuts the side lot line of the front yard of an adjacent lot.

SITE ANALYSIS:

- The Subject Property is zoned R-2, contains a single-family residence, and is located within the Pepper Tree Farms Unit No. 1 subdivision.
- The Petitioners are proposing to construct a 5-foot open-style aluminum fence in the side yard abutting the street, which abuts the front yard of their adjacent neighbor to

the north (1465 N. Pepper Tree Drive).

- The proposed fence will be set back 5 feet from the side property line abutting N. Pepper Tree Drive. The Petitioner is proposing to install landscaping and arborvitae trees between the fence and side property line.
- The proposed fence abuts the front yard of 1465 N. Pepper Tree Drive. Per Code, the required side yard abutting a street setback for a fence is 20 feet.
- Per the submitted application, the justification for the fence location is the required 20-foot setback would significantly decrease the amount of useable yard space. Also, the Petitioner indicated that they have a dog and young grandchildren that need a safe and enclosed outdoor area.
- The property at 23 E. Country Club Court, three lots north of the Subject Property, was granted a Special Use in 2015 for a 6-foot tall board-on-board fence with a 5-foot setback in the side yard abutting N. Pepper Tree Dr.

DEPARTMENTAL REVIEWS:

Community Services	No Issues Identified.
Engineering	No Issues Identified.
Environmental Health	N/A
Fire Prevention	N/A
Public Works	N/A
Police	N/A

STANDARDS FOR SPECIAL USE: Since this Petition is not for a use publicly operated or traditionally affected with the public interest, those standards under Section 14.05 D (2), (3), and (5) are applicable. Specifically, the Petitioners must show that the Special Use, if granted, is so designed, located, and proposed to be operated that the public health, safety, and welfare will be protected and will not cause substantial injury to the value of other property in the neighborhood in which it is located. The Petitioners have attempted to address the required standards.

(5) With respect to front yard fencing and fencing in a rear yard/side yard abutting a street, the following additional standards must be met:

- a. Will meet the following aesthetic criteria:
 - i. Will not destroy existing vistas in the area;
 - ii. Will enhance the appearance of the homes and the streets in the area; and
 - iii. Will not detract from the overall appearance of the community; or
- b. The fencing is found to be necessary to protect private property or the safety of the inhabitants of the property.

STAFF RECOMMENDATION:

The Petitioner is proposing to install a 5-foot tall open-style fence in their side yard abutting N. Pepper Tree Drive. Comparable relief for a taller board-on-board fence in a side yard abutting a street was granted to another property in the immediate surrounding area (23 E. Country Club Ct). Ultimately, as the proposed fence plan includes a substantial landscaping plan, and the Engineering department did not identify any line-of-sight concerns, the proposed fence should not cause substantial injury to the value of other properties in the surrounding neighborhood. Therefore, Staff recommends approval of the Special Use, subject to the following condition:

1. The Special Use shall substantially conform to the Site Plan and Structure Elevation submitted by the Petitioner, Larry Klein, except as such plans may be changes to conform to the Village Codes and Ordinances.

ATTACHMENTS:

- Aerial Map
- Special Use Application
- Plat of Survey
- Site Plan
- Fence Elevation
- Landscaping Plan
- Public Notice



Attachment: Aerial Map (24 E Country Club Court- SU Fence)

0 50 100
 _____ ft

Print Date: 4/5/2023

Notes

Cook County Aerial 2020

Disclaimer: The GIS Consortium and MGP Inc. are not liable for any use, misuse, modification or disclosure of any map provided under applicable law. This map is for general information purposes only. Although the information is believed to be generally accurate, errors may exist and the user should independently confirm for accuracy. The map does not constitute a regulatory determination and is not a base for engineering design. A Registered Land Surveyor should be consulted to determine precise location boundaries on the ground.



SPECIAL USE APPLICATION

Department of Planning & Zoning
200 E. Wood Street · Palatine, IL · 60067-5339
Telephone: (847) 359-9047 · Fax (847) 963-6247

Petitioner Name

Larry Klein

Business Name (if applicable)

Subject Property Address

24 E. Country Club Court

Please provide a description of your proposed request:

Installing a fence on my residential property

Petitioner Justification

Special Uses shall not be granted except on findings based upon the evidence in each specific case. Please address the following standards as these will be used in considering the specific relief you are seeking.

That use deemed necessary for the public convenience at that location. Explain:

The fence will enclose our side and rear yard to provide a functioning space for a dog and family.

The use is designed, located, and proposed to be operated that the public health, safety, welfare will be protected. Explain:

Fencing in the side yard of our property will provide a safe space for grandkids and dog to play.

The use will not cause substantial injury to nearby property values. Explain:

The use is intended to improve the curb appeal and property value

In order to supplement the above standards, the Zoning Board of may also consider the following:

With respect to front yard fencing and fencing in a rear yard/side yard abutting a street, the following additional standards must be met:

a. Will meet the following aesthetic criteria:

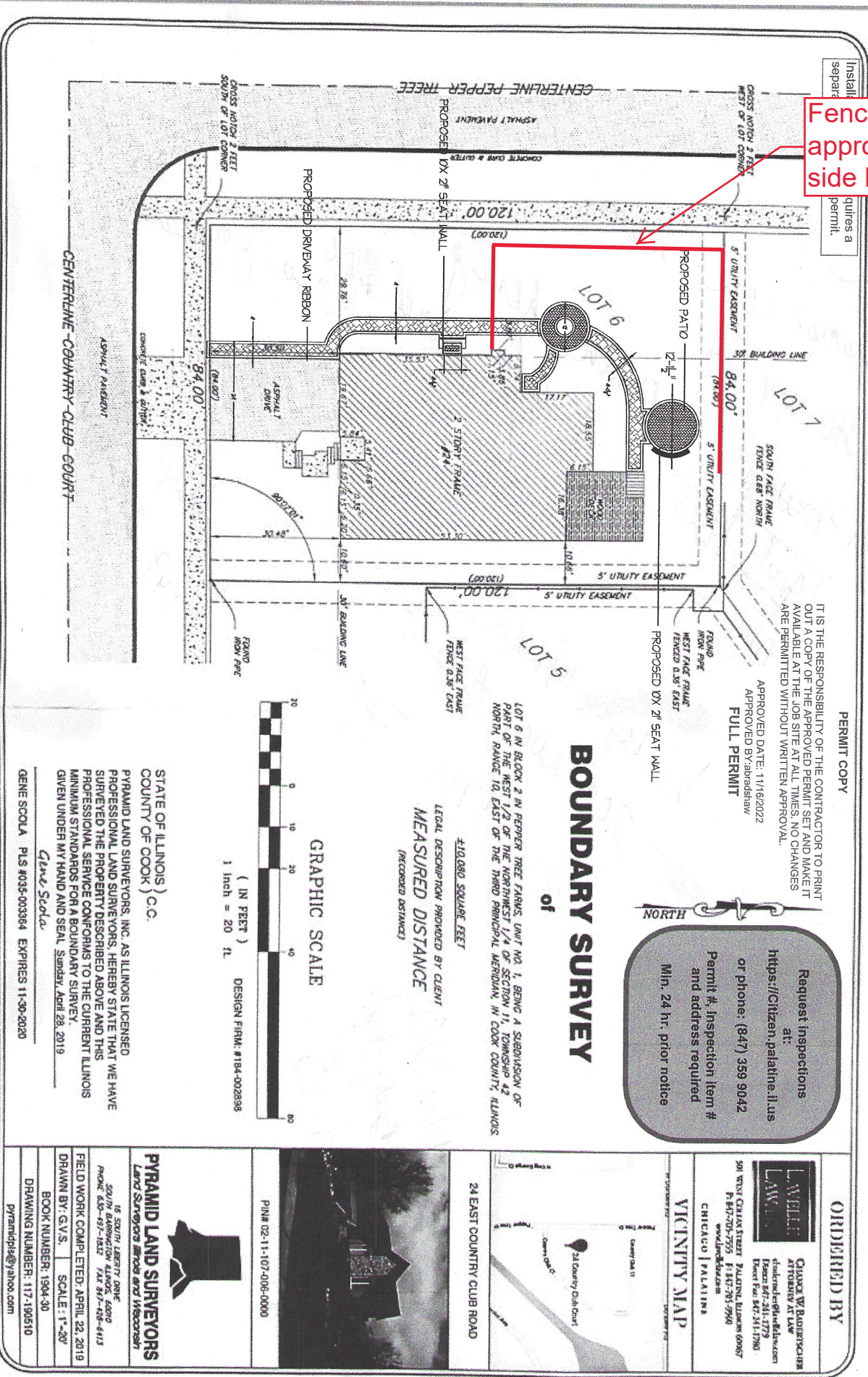
- i. Will not destroy existing vistas in the area;
- ii. Will enhance the appearance of the homes and the streets in the area; and

Attachment: Special Use Application (24 E Country Club Court- SU Fence)

- iii. Will not detract from the overall appearance of the community; or
- b. The fencing is found to be necessary to protect private property or the safety of the inhabitants of the property.

This statement applies to the intended objective of the project

Fence set back approx. 5' from side lot line



Install separate permit. requires a permit.

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PRINT OUT A COPY OF THE APPROVED PERMIT SET AND MAKE IT AVAILABLE AT THE JOB SITE AT ALL TIMES. NO CHANGES ARE PERMITTED WITHOUT WRITTEN APPROVAL.

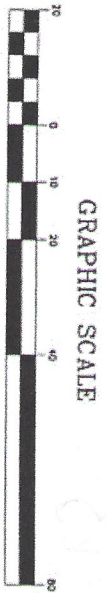
APPROVED DATE: 11/16/2022
 APPROVED BY: abradshaw
FULL PERMIT

Request inspections at:
<https://Citizen.palathel.us>
 or phone: (847) 359 9042
 Permit #, inspection item # and address required
 Min. 24 hr. prior notice

BOUNDARY SURVEY

of

LEGAL DESCRIPTION PROVIDED BY CLIENT
 MEASURED DISTANCE
 (RECORDED DISTANCE)



STATE OF ILLINOIS)
 COUNTY OF COOK) C.C.
 PYRAMID LAND SURVEYORS, INC. AS ILLINOIS LICENSED PROFESSIONAL LAND SURVEYORS, HEREBY STATE THAT WE HAVE SURVEYED THE PROPERTY DESCRIBED ABOVE AND THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY, GIVEN UNDER MY HAND AND SEAL, Sunday, April 28, 2019
Gene Scolla
 GENE SCOLLA PLS #035-003864 EXPIRES 11-30-2020

<p>ORDERED BY</p> <p>CHANCE W. BADERSCHEIN ATTORNEY AT LAW 501 WEST CHRYSLER STREET CHICAGO, ILLINOIS 60607 P: 312-705-7555 F: 312-705-7940 www.lawoffice.com CHICAGO PALATHIEL</p>	<p>VICINITY MAP</p> <p>24 EAST COUNTRY CLUB ROAD</p>	<p>PIN# 02-11-107-006-0000</p>	<p>PYRAMID LAND SURVEYORS <i>Land Surveyors, Engineers and Wisconsin</i></p> <p>16 SOUTH LIBERTY DRIVE SUITE 500 PHONE: 630-437-1522 FAX: 630-437-4415</p> <p>FIELD WORK COMPLETED: APRIL 22, 2019 DRAWN BY: G.V.S. SCALE: 1"=20' BOOK NUMBER: 1904-30 DRAWING NUMBER: 117-190510 pyramidpl@yahoocom</p>
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Attachment: Site Plan (24 E Country Club Court- SU Fence)

3.1.e

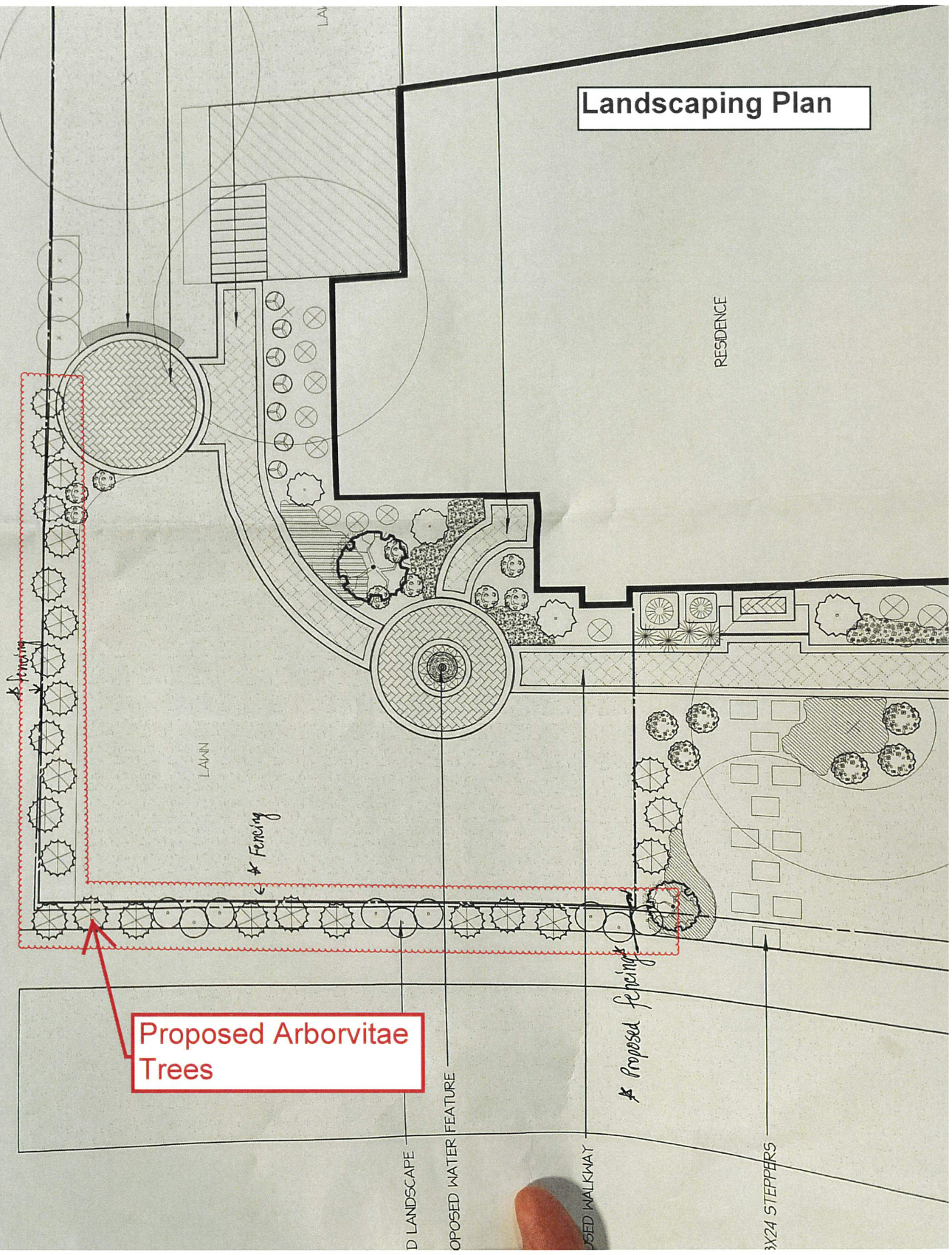


Attachment: Fence Elevation (24 E Country Club Court-

5 feet

Packet Pg. 29

Landscaping Plan



Proposed Arborvitae Trees

Attachment: Landscaping Plan (24 E Country Club Court- SU Fence)

PUBLIC NOTICE
 A Public Hearing will be held before the Palatine Zoning Board of Appeals on Tuesday, April 11, 2023 at 7 PM, in the Village Council Chambers at Palatine Village Hall, 200 E. Wood Street, relative to a request for the following:
Special Use to permit a fence in the side yard abutting a street, where the side lot line of said yard abutting a street abuts the side lot line of the front yard of an adjacent lot.
 The property is commonly known as 24 E. Country Club Court.
 The Petitioner is proposing to install a 5-foot tall open-style fence, with the required landscaping, which would be set back approximately 5 feet from the side property line abutting N. Pepper Tree Drive. The above petition has been filed by Larry Klein and is available for examination in the office of the Village Clerk, 200 E. Wood Street.
 FILE #: SU-00023-2023
 VILLAGE OF PALATINE
 Jan Wood, Chair
 Palatine Zoning Board of Appeals
 DATED: This 27th day of March, 2023
 Published in Daily Herald
 March 27, 2023 (4597468)

CERTIFICATE OF PUBLICATION
Paddock Publications, Inc.

Northwest Suburbs
Daily Herald

Corporation organized and existing under and by virtue of the laws of the State of Illinois, DOES HEREBY CERTIFY that it is the publisher of the **Northwest Suburbs DAILY HERALD**. That said **Northwest Suburbs DAILY HERALD** is a secular newspaper, published in Arlington Heights, Cook County, State of Illinois, and has been in general circulation daily throughout Cook County, continuously for more than 50 weeks prior to the first publication of the attached notice, and a newspaper as defined by 715 ILCS 5/

I further certify that the **Northwest Suburbs DAILY HERALD** is a newspaper as defined in "an Act to revise the law in relation to notices" as amended in 1992 Illinois Compiled Statutes, Chapter 715, Act 5, Section 1 and 5. That notice of which the annexed printed slip is a true copy, was published 03/27/2023 in said **Northwest Suburbs DAILY HERALD**. This notice was also placed on a statewide public notice website as required by 5 ILCS 5/2.1.

BY *Daule Baltz*
 Designee of the Publisher of the Daily Herald

Control # 4597468



Attachment: Public Notice (24 E Country Club Court- SU Fence)

VILLAGE OF PALATINE
Zoning Board of Appeals

SCHEDULED 04/11/23 07:00 PM

CASE STAFF STATEMENT (ID # 8270)

707 S. White Willow Bay

TO: Palatine Zoning Board of Appeals
Jan Wood, Chair

FROM: Alex Bradshaw

PETITIONER: Mary Henrickson

CASE NUMBER: SU-000025-2023

ADDRESS: 707 S. White Willow Bay

PROPOSAL:

Special Use to permit an addition to be set back 20 feet from the rear lot line, instead of the minimum required 45 feet.

LOCATION: 707 S. White Willow Bay District 2 (Lamerand)	CURRENT ZONING: R-1A Single-Family Residential
---	---

SURROUNDING CONDITIONS:

North:	R-1A Single-Family Residential
South:	R-1A Single-Family Residential
East:	R-1A Single-Family Residential
West:	R-1A Single-Family Residential

BACKGROUND:

The Petitioner is proposing to construct a home addition off the rear of their existing single-family residence. The existing legal non-conforming home is currently set back 23 feet from the rear lot line, and the proposed addition will be set back 20 feet from the rear lot line. Therefore, the Petitioner is requesting:

Special Use to permit an addition to be set back 20 feet from the rear lot line, instead of the minimum required 45 feet.

SITE ANALYSIS:

- The Subject Property is zoned R-1A Single Family and is part of the Willow Walk Unit One Subdivision. The Subject Property is approximately 21,100 sf. The lot consists of a one-story home with a 2-car garage.
- The Plat of Survey indicates that the residence is currently set back only 23 feet

from the rear lot line, therefore the residence is existing legal non-conforming with the required 45 foot rear yard setback for an R-1A zoned property.

- The Petitioner is seeking a Special Use to permit a 3-season room addition to the rear of their house to be set back 20 feet from the rear lot line, instead of the required 45 feet. The proposed addition will not encroach into the required side yard setbacks.
- Per Staff's analysis, other homes in the immediate area appear to comply with the required rear yard setback for the R-1A zoning district. However, due to the configuration of the lot, the required rear yard setback for the Subject Property is restricting to the point where any addition to the primary structure would require zoning relief.
- Through the review process, Staff notes that the existing site conditions include a significant grade differential between Subject Property and the adjacent property to the rear/northwest. The residence on the adjacent property, 1331 W. Haddington Ct, sits approximately 10 feet higher than the Subject Property residence.
- Both building and lot coverage are well under the maximum percentage allowed by the Zoning Ordinance.

DEPARTMENTAL REVIEWS:

Community Services	No Issues Identified.
Engineering	No Issues Identified.
Environmental Health	N/A
Fire Prevention	N/A
Public Works	N/A
Police	N/A

STANDARDS FOR SPECIAL USE: Since this Petition is not for a use publicly operated or traditionally affected with the public interest, those standards under Section 14.05 D (2) and (3) are applicable. Specifically, the Petitioners must show that the Special Use, if granted, is so designed, located, and proposed to be operated that the public health, safety, and welfare will be protected and will not cause substantial injury to the value of other property in the neighborhood in which it is located. The Petitioners have attempted to address the required standards.

STAFF RECOMMENDATION:

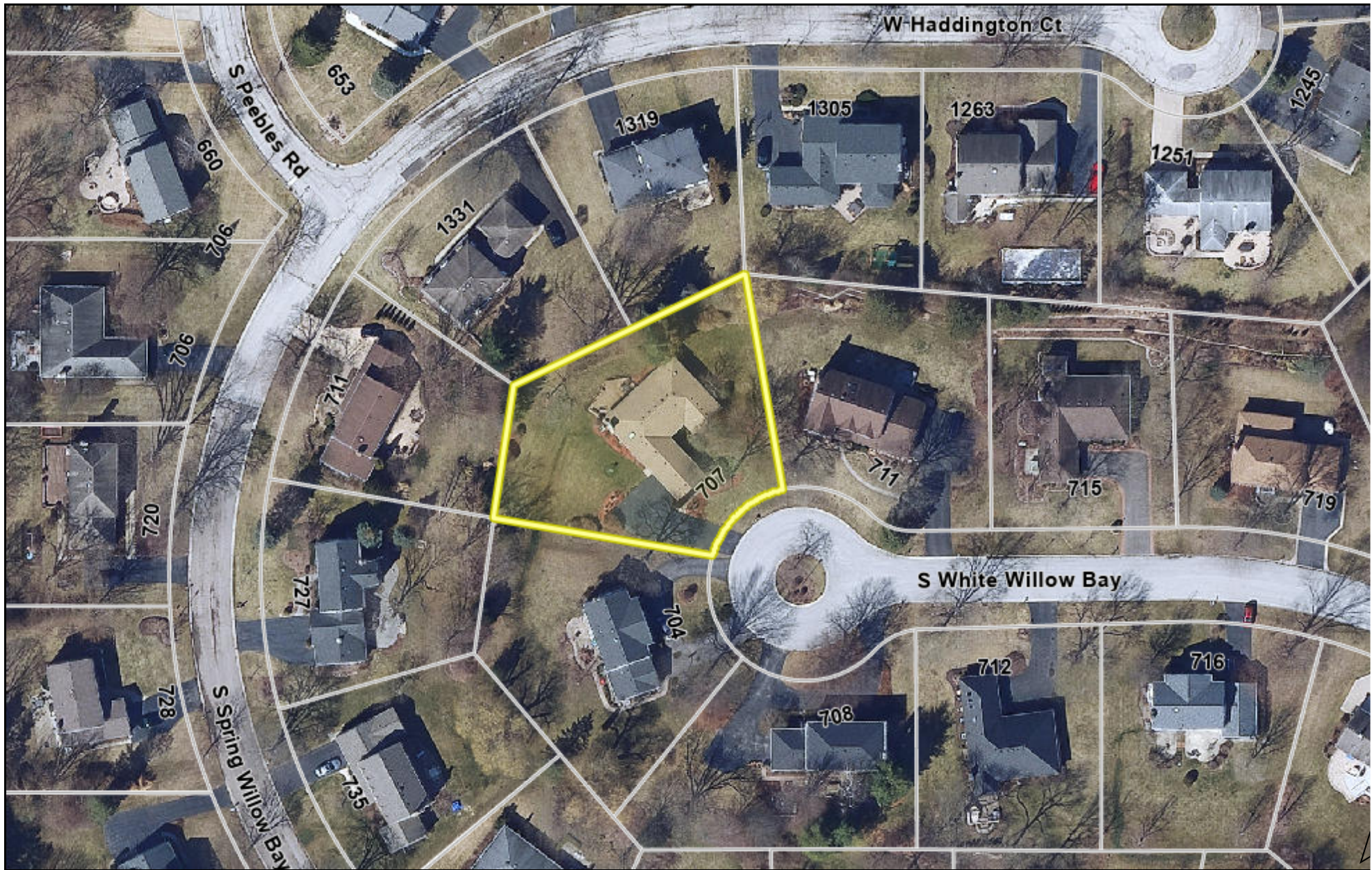
The Petitioner is proposing to construct an addition to the rear of the existing legal non-conforming residence. The single-story addition will be contained to the existing patio off the northwest corner of the home. Although there has not been comparable relief granted in the surrounding area, the addition will not be visible from the street and the significant grade differential with the adjacent property to the rear will not change the

existing vista. Ultimately, the proposal should not cause substantial injury to the property values in the neighborhood. Nevertheless, Staff recommends Action at the Discretion of the ZBA. If the ZBA recommends approval, Staff recommends the following condition:

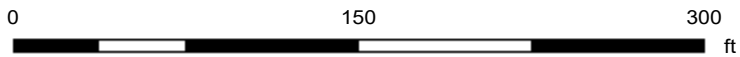
1. The Special Use shall substantially conform to the Site Plan and Elevation Plan submitted by the Petitioner, Mary Henrickson, except as such plans may be changed to conform to the Village Codes and Ordinances.

ATTACHMENTS:

- Aerial Map
- Special Use Application
- Plat of Survey
- Site Plan
- Elevation
- Public Notice



Attachment: Aerial Map (707 S White Willow Bay - SU Setback)



Print Date: 4/5/2023

Notes
Cook County Aerial 2020

Disclaimer: The GIS Consortium and MGP Inc. are not liable for any use, misuse, modification or disclosure of any map provided under applicable law. This map is for general information purposes only. Although the information is believed to be generally accurate, errors may exist and the user should independently confirm for accuracy. The map does not constitute a regulatory determination and is not a base for engineering design. A Registered Land Surveyor should be consulted to determine precise location boundaries on the ground.



SPECIAL USE APPLICATION

Department of Planning & Zoning
200 E. Wood Street · Palatine, IL · 60067-5339
Telephone: (847) 359-9047 · Fax (847) 963-6247

Petitioner Name

Mary Henrickson

Business Name (if applicable)

Subject Property Address

707 S. White Willow Bay

Please provide a description of your proposed request:

The 3-season room will be a single room structure. Constructed on an existing permitted foundation with insulated patio.

Petitioner Justification

Special Uses shall not be granted except on findings based upon the evidence in each specific case. Please address the following standards as these will be used in considering the specific relief you are seeking.

That use deemed necessary for the public convenience at that location. Explain:

The use of the room will be for the private use of the owners Mary and Steve Henrickson.

The use is designed, located, and proposed to be operated that the public health, safety, welfare will be protected. Explain:

The use of the structure will not impact the public health, safety or welfare as it is being built on a permitted existing foundation/patio.

The use will not cause substantial injury to nearby property values. Explain:

The structure will not cause any injury to nearby property values. The properties behind the site are elevated approx 6' due to existing tiering between the properties. The 3-season room will be one story so will be seen minimally seen. The structure will match the existing residence and be aesthetically pleasing.

Attachment: Special Use Application (707 S White Willow Bay - SU Setback)

In order to supplement the above standards, the Zoning Board of may also consider the following:

With respect to front yard fencing and fencing in a rear yard/side yard abutting a street, the following additional standards must be met:

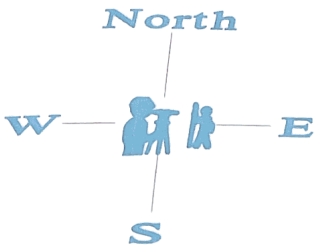
- a. Will meet the following aesthetic criteria:
 - i. Will not destroy existing vistas in the area;
 - ii. Will enhance the appearance of the homes and the streets in the area; and
 - iii. Will not detract from the overall appearance of the community; or
- b. The fencing is found to be necessary to protect private property or the safety of the inhabitants of the property.

There are no existing fences or will there be any fencing added.

PLAT OF SURVEY

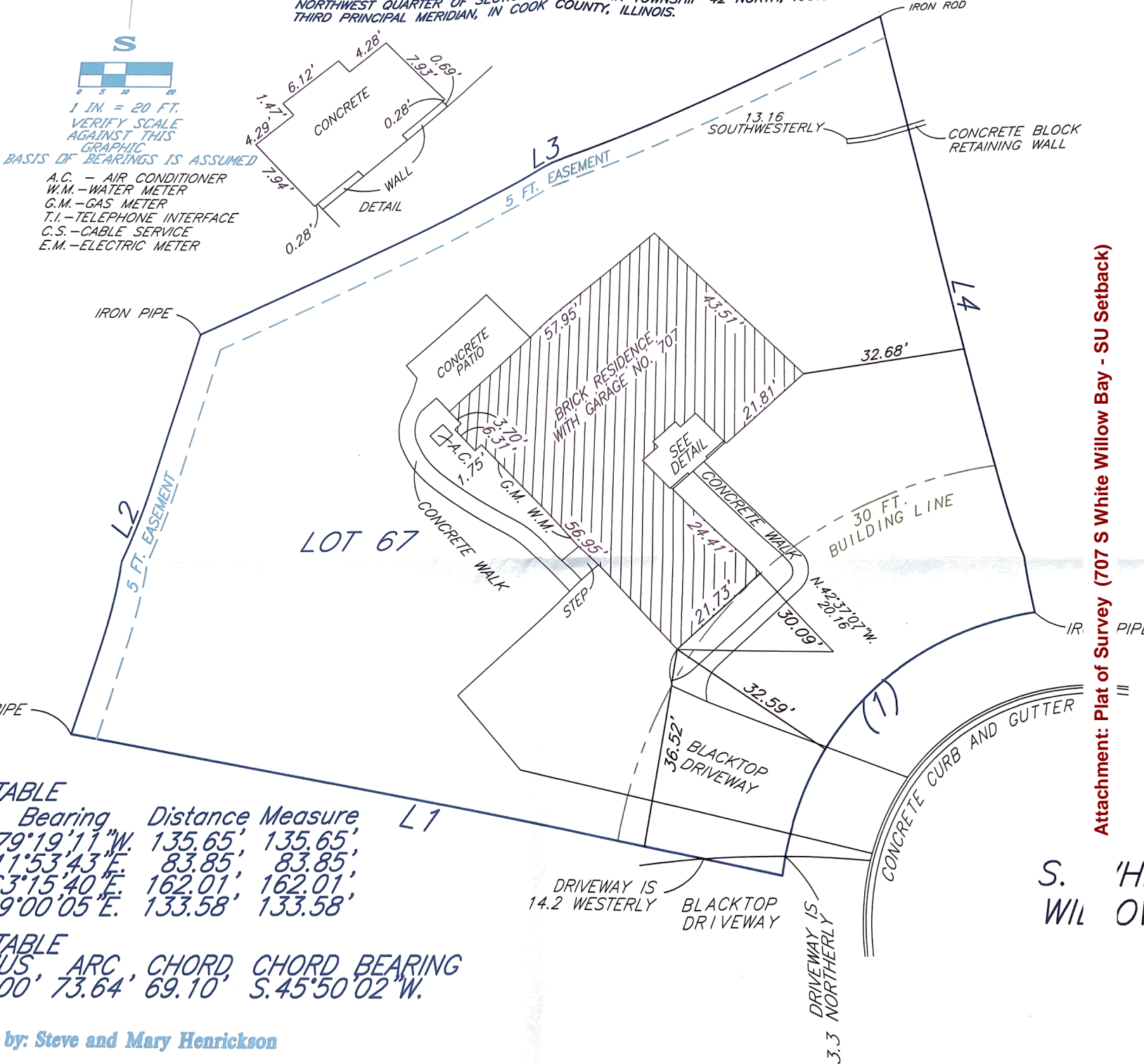
by
Michael J. Emmert Surveys, Inc.

Property located at: 707 S. WHITE WILLOW BAY
 Legally described as: BEING A SUBDIVISION OF PART OF THE SOUTHEAST QUARTER OF LOT 67 IN WILLOW WALK UNIT 1, SECTION 21 AND PART OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 28, BOTH IN TOWNSHIP 42 NORTH, RANGE 10 EAST OF THE NORTHWEST QUARTER OF SECTION 28, BOTH IN TOWNSHIP 42 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.



1 IN. = 20 FT.
 VERIFY SCALE AGAINST THIS GRAPHIC BASIS OF BEARINGS IS ASSUMED

A.C. - AIR CONDITIONER
 W.M. - WATER METER
 G.M. - GAS METER
 T.I. - TELEPHONE INTERFACE
 C.S. - CABLE SERVICE
 E.M. - ELECTRIC METER



Bearing	Distance	Measure	
79°19'11" W.	135.65'	135.65'	L1
11°53'43" E.	83.85'	83.85'	
3°15'40" E.	162.01'	162.01'	
9°00'05" E.	133.58'	133.58'	

US	ARC	CHORD	CHORD BEARING
00'	73.64'	69.10'	S.45°50'02" W.

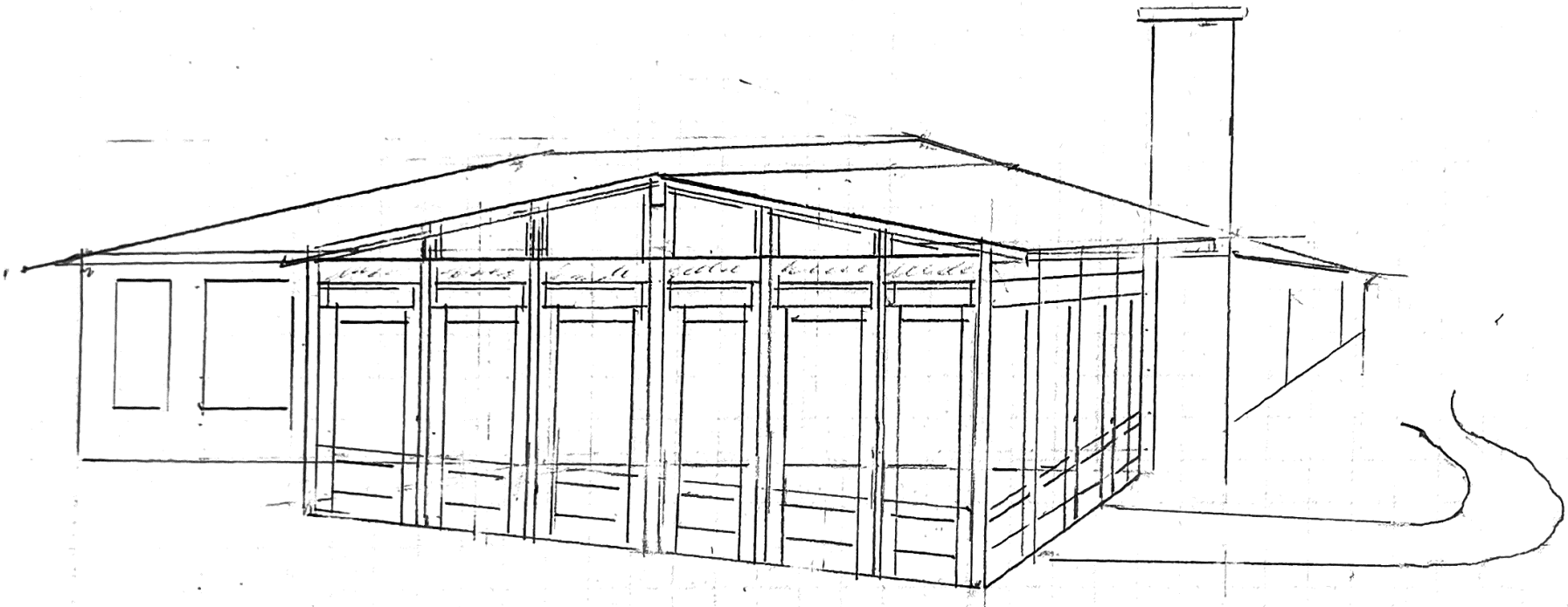
by: Steve and Mary Henrickson

Page)

Emmert Surveys, Inc., does hereby certify that we have surveyed the above described plat hereon drawn. The legal description shown hereon is provided by deed or title policy for building setbacks, easements and other restrictions which are not noted hereon shall not be assumed by scaling or otherwise. Compare all findings and report any discrepancies. This professional service conforms to the current Standards for a Boundary Survey

	1/8	1/4	3/8	1/2	5/8	7/8
0 AND	.01	.02	.03	.04	.05	.07
1 AND	.09	.10	.11	.125	.14	.16
2 AND	.18	.19	.20	.21	.22	.23
3 AND	.26	.27	.28	.29	.30	.31
4 AND	.34	.35	.36	.375	.39	.40
5 AND	.43	.44	.45	.46	.47	.48
6 AND	.51	.52	.53	.54	.55	.56
7 AND	.59	.60	.61	.625	.64	.65

Attachment: Plat of Survey (707 S White Willow Bay - SU Setback)



Attachment: Elevation (707 S White Willow Bay - SU Setback)

ROCHFORT CONTRACTING
208 S. ROSE
PALATINE, IL 60067

PUBLIC NOTICE
 A Public Hearing will be held before the Palatine Zoning Board of Appeals on Tuesday, April 11, 2023 at 7 PM, in the Village Council Chambers of Palatine Village Hall, 200 E. Wood Street, relative to a request for the following:
Special Use to permit an addition to be set back 20 feet from the rear lot line, instead of the minimum required 45 feet.
 The property is commonly known as 707 S. White Willow Bay.
 The Petitioner is proposing to construct a home addition off the rear of their existing single-family residence. The existing non-conforming home is currently set back 23 feet from the rear lot line, and the proposed addition will be set back 20 feet from the rear lot line.
 The above petition has been filed by Mary Henrickson and is available for examination in the office of the Village Clerk, 200 E. Wood Street.

FILE #: SU-000025-2023
 VILLAGE OF PALATINE
 Jan Wood, Chair
 Palatine Zoning Board of Appeals
 DATED: This 27th day of March, 2023
 Published in Daily Herald
 March 27, 2023 (4597469)

CERTIFICATE OF PUBLICATION
Paddock Publications, Inc.

Northwest Suburbs
Daily Herald

Corporation organized and existing under and by virtue of the laws of the State of Illinois, DOES HEREBY CERTIFY that it is the publisher of the **Northwest Suburbs DAILY HERALD**. That said **Northwest Suburbs DAILY HERALD** is a secular newspaper, published in Arlington Heights, Cook County, State of Illinois, and has been in general circulation daily throughout Cook County, continuously for more than 50 weeks prior to the first publication of the attached notice, and a newspaper as defined by 715 ILCS 5/2.1.

I further certify that the **Northwest Suburbs DAILY HERALD** is a newspaper as defined in "an Act to revise the law in relation to notices" as amended in 1992 Illinois Compiled Statutes, Chapter 715, Act 5, Section 1 and 5. That a notice of which the annexed printed slip is a true copy, was published 03/27/2023 in said **Northwest Suburbs DAILY HERALD**. This notice was also placed on a statewide public notice website as required by 5 ILCS 5/2.1.

BY *Daula Baltz*
 Designee of the Publisher of the Daily Herald

Control # 4597469



Attachment: Public Notice (707 S White Willow Bay - SU Setback)

VILLAGE OF PALATINE
Zoning Board of Appeals

SCHEDULED 04/11/23 07:00 PM

CASE STAFF STATEMENT (ID # 8272)

1326 W. North Street

TO: Palatine Zoning Board of Appeals
Jan Wood, Chair

FROM: Alex Bradshaw

PETITIONER: Jason Derbick

CASE NUMBER: SU-000024-2023

ADDRESS: 1326 W. North Street

PROPOSAL:

Special Use to permit an addition to be set back 22 feet from the rear lot line, instead of the minimum required 45 feet.

LOCATION: 1326 W. North Street District 1 (Millar)	CURRENT ZONING: R-1A Single-Family Residential
--	---

SURROUNDING CONDITIONS:

North:	R-1A Single-Family Residential
South:	R-2 Single-Family Residential
East:	R-1 Single-Family Residential
West:	R-1A Single-Family Residential

BACKGROUND:

The Petitioner is proposing to construct a 3-seasons room addition to the rear of the existing single-family residence. The proposed addition will be set back approximately 22 feet from the rear lot line. Therefore, the Petitioner is requesting:

Special Use to permit an addition to be set back 22 feet from the rear lot line, instead of the minimum required 45 feet.

SITE ANALYSIS:

- The Subject Property is zoned R-1A Single Family and is part of the Balogh Subdivision. The lot is approximately 12,205 sf and currently consists of a two-story home with a 3-car garage. The existing residence complies with the required 45 foot rear yard setback for an R-1A zoned property.
- The Petitioner is seeking a Special Use to permit a 3-seasons room addition to the

rear of their house to be set back 22 feet from the rear lot line, instead of the required 45 feet. The proposed addition will not encroach into the required side yard setbacks.

- Per the submitted application and Staff analysis, the residence to the east, 1312 W. North Street, is existing non-conforming as the home is only set back approximately 18 feet from the rear property line. This area was annexed from unincorporated Cook County in 2005.
- The Subject Property's rear yard abuts the unimproved section of right-of-way for Hill Street. There are also four vacant lots that could be developed in the future, in addition to the southern section of Hill Street.
- The Petitioner has submitted has also submitted a petition signed by all adjacent neighbors, stating that they have reviewed the proposed site plan and support the rear setback reduction for allow for a screened in porch to be constructed. An HOA approval letter was also submitted as a supplemental support document.
- Staff's review of the Subject Property concluded that the required rear yard setback is restricting the property to the point where any addition to the primary structure would require zoning relief.
- Both building and lot coverage are under the maximum percentage allowed by the Zoning Ordinance.

DEPARTMENTAL REVIEWS:

Community Services	No Issues Identified.
Engineering	No fill or leveling of the rear yard shall be allowed. Other than the addition, any excavated material shall be hauled off site.
Environmental Health	N/A
Fire Prevention	N/A
Public Works	N/A
Police	N/A

STANDARDS FOR SPECIAL USE: Since this Petition is not for a use publicly operated or traditionally affected with the public interest, those standards under Section 14.05 D (2) and (3) are applicable. Specifically, the Petitioners must show that the Special Use, if granted, is so designed, located, and proposed to be operated that the public health, safety, and welfare will be protected and will not cause substantial injury to the value of other property in the neighborhood in which it is located. The Petitioners have attempted to address the required standards.

STAFF RECOMMENDATION:

The Petitioner is proposing to construct a 3-seasons room addition to the rear of their

existing single-family residence. There is potential for further residential development to the north, but the present configuration consists of unimproved right-of-way and 4 vacant lots. Staff notes the any redevelopment in this area would follow the Northwest Sub Area plan, which would consolidate these lots into 2 buildable R-1A lots and would require the extension of Hill Street. If the 2 buildable lots are ever developed, there would be a minimum 32-foot setback to the proposed addition. Although the current home complies with the underlying R-1A setback requirements, the proposed addition and resulting setback would be greater than the existing home directly to the east (that home and setback existed at annexation). The Petitioner included sign-off approvals from the surrounding property owners and the Subdivision HOA to the west. Nevertheless, the contemplated encroachment is approximately 23 feet into the required 45-foot setback.

Therefore, Staff recommends action at the discretion of the Zoning Board of Appeals. If the Zoning Board of Appeals recommends approval, Staff recommends the following condition:

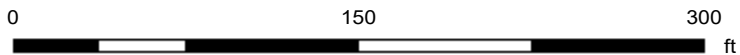
1. The Special Use shall substantially conform to the Site Plan and Elevation Plan submitted by the Petitioner, Jason Derbick, except as such plans may be changed to conform to the Village Codes and Ordinances.

ATTACHMENTS:

- Aerial Map
- Special Use Application
- Plat of Survey
- Site Plan
- Floor Plan
- Elevations
- HOA Approval Letter
- Signed Neighborhood Petition
- O-61-11 Rezone R-1 to R-1A
- O-63-11 - Special Use & Variation
- R-033-11 - Balogh Sub, NW Corner of North Ave. and Unimproved Forest
- Public Notice



Attachment: Aerial Map (1326 W. North St - SU Addition Setback)



Print Date: 4/5/2023

Notes
Cook County Aerial 2020

Disclaimer: The GIS Consortium and MGP Inc. are not liable for any use, misuse, modification or disclosure of any map provided under applicable law. This map is for general information purposes only. Although the information is believed to be generally accurate, errors may exist and the user should independently confirm for accuracy. The map does not constitute a regulatory determination and is not a base for engineering design. A Registered Land Surveyor should be consulted to determine precise location boundaries on the ground.



SPECIAL USE APPLICATION

Department of Planning & Zoning
200 E. Wood Street · Palatine, IL · 60067-5339
Telephone: (847) 359-9047 · Fax (847) 963-6247

Petitioner Name

Jason Derbick

Business Name (if applicable)

Subject Property Address

1326 W. North Street

Please provide a description of your proposed request:

3 Seasons room addition

Petitioner Justification

Special Uses shall not be granted except on findings based upon the evidence in each specific case. Please address the following standards as these will be used in considering the specific relief you are seeking.

That use deemed necessary for the public convenience at that location. Explain:

This rear setback reduction is necessary to extend the buildable footprint of this property. As mentioned below, this will still leave more than 20' between the proposed structure and the property line.

The use is designed, located, and proposed to be operated that the public health, safety, welfare will be protected. Explain:

There will be no impact to the general public as this rear setback reduction will still leave more than 20' between the proposed structure and the property line.
The low lying detention basin to the North will also not be impacted by this reduction.

The use will not cause substantial injury to nearby property values. Explain:

By changing the rear setback it will allow me to build a 3 seasons room off the rear of the home which in turn will increase my property value.

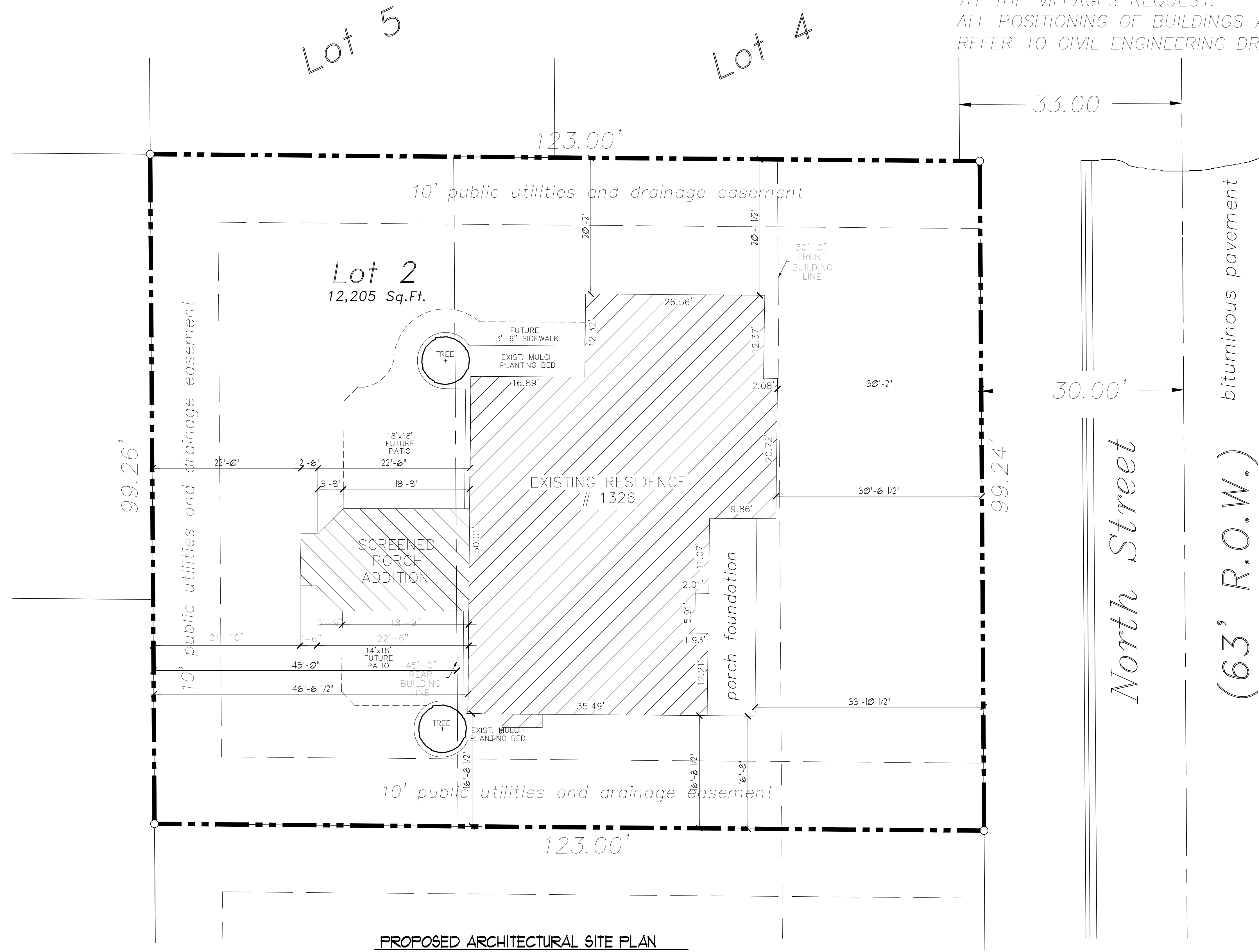
In order to supplement the above standards, the Zoning Board of may also consider the following:

With respect to front yard fencing and fencing in a rear yard/side yard abutting a street, the following additional standards must be met:

a. Will meet the following aesthetic criteria:

- i. Will not destroy existing vistas in the area;
- ii. Will enhance the appearance of the homes and the streets in the area; and
- iii. Will not detract from the overall appearance of the community; or

b. The fencing is found to be necessary to protect private property or the safety of the inhabitants of the property.



SITE PLAN IS FOR INFORMATIONAL PURPOSES ONLY
 AT THE VILLAGES REQUEST.
 ALL POSITIONING OF BUILDINGS AND GRADING SHALL
 REFER TO CIVIL ENGINEERING DRAWINGS.

PROPOSED ARCHITECTURAL SITE PLAN
 SCALE: 1/8" = 1'-0"

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B. L. R. Architects
 Custom Homes Multifamily Additions Consulting
 1109 Ogden Avenue
 Lisle, Illinois 60532
 Phone: 630.435.0100 Fax: 630.435.0101

DERBICK RESIDENCE
 1326 NORTH STREET
 PALATINE, ILLINOIS
 Proposed Architectural Site Plan

REVISIONS:

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Drawn By:
MLA

Job No.:
X

Date:
3/16/2022

Issued For Permit:

Sheet No.
SP3

Addition For Single Family Located At:

1326 NORTH STREET
PALATINE, ILLINOIS

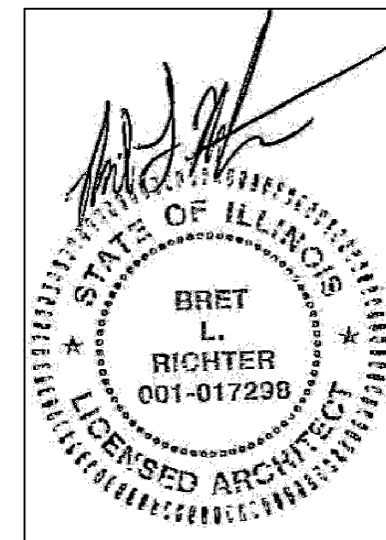
APPLICABLE BUILDING CODES

- 2015 INTERNATIONAL RESIDENTIAL CODE (WITH AMENDMENTS)
- 2015 INTERNATIONAL EXISTING BUILDING CODE (WITH AMENDMENTS)
- 2015 INTERNATIONAL MECHANICAL CODE (WITH AMENDMENTS)
- 2015 INTERNATIONAL FUEL GAS CODE
- 2017 NATIONAL ELECTRICAL CODE (WITH AMENDMENTS)

ALL VILLAGE OF PALATINE CODE AND ORDINANCES WITH APPLICABLE AMENDMENTS.

Index of Drawings:

- A-1 PROPOSED FOUNDATION, FLOOR & ROOF PLANS
- A-2 PROPOSED ELEVATIONS & WALL SECTION



DATE: 3.16.2022
 ARCHITECT: BRET L. RICHTER
 ILLINOIS NUMBER: 001-017298
 EXPIRATION: 11.30.2022

ILLINOIS PROFESSIONAL DESIGN FIRM
 REGISTRATION No: 184.006 747
 EXPIRES: 04/30/2023

DESIGN CRITERIA	
Floor:	40'LL 10'DL All Areas Except Sleeping
Floor:	40'LL 10'DL Sleeping Areas
Wall:	60° plf of Actual Load
Ceiling:	20'LL 10'DL Roof Slopes Over 3/12
Roof:	30'LL 10'DL
Gable/Chapel:	30'LL 15'DL All Slopes
Ext. Deck:	40'LL 10'DL
Balcony:	60'LL 10'DL Exterior

NOTE: ALL DOWNSPOUTS SHALL DISCHARGE AT GRADE W/ A HARD SURFACE SPLASH BLOCK.

NOTE: ICE & WATER SHIELD ALL PANS, VALLEYS, WALL AND GUTTER LINES (TYP).

Roof Rafter Schedule			
Rafter Size	Max Span	Max Span	Max Span
	Vaulted Ceiling	Non Vaulted	
2 x 8 @ 16"o.c.	12'-11"	15'-1"	
2 x 10 @ 16"o.c.	17'-5"	18'-5"	
2 x 12 @ 16"o.c.	20'-1"	23'-6"	

All 2 x 12 Rafters Shall be Domestic SPF #2 or Better

- Note:
- All 2 x 6 Roof, Hip & Valley Rafters are Canadian SPF #1 Fo = 875 psi E = 1400 psi
 - All 2 x 8 Roof, Hip & Valley Rafters are Canadian SPF #1 Fo = 875 psi E = 1400 psi Collar Tied @ 48" o.c.
 - All 2 x 10 Roof, Hip & Valley Rafters are Canadian SPF #1 Fo = 875 psi E = 1400 psi Collar Tied @ 48" o.c.
 - All 2 x 12 Roof, Hip & Valley Rafters are Domestic SPF #1 Fo = 875 psi E = 1400 psi Collar Tied @ 48" o.c.

GENERAL NOTES

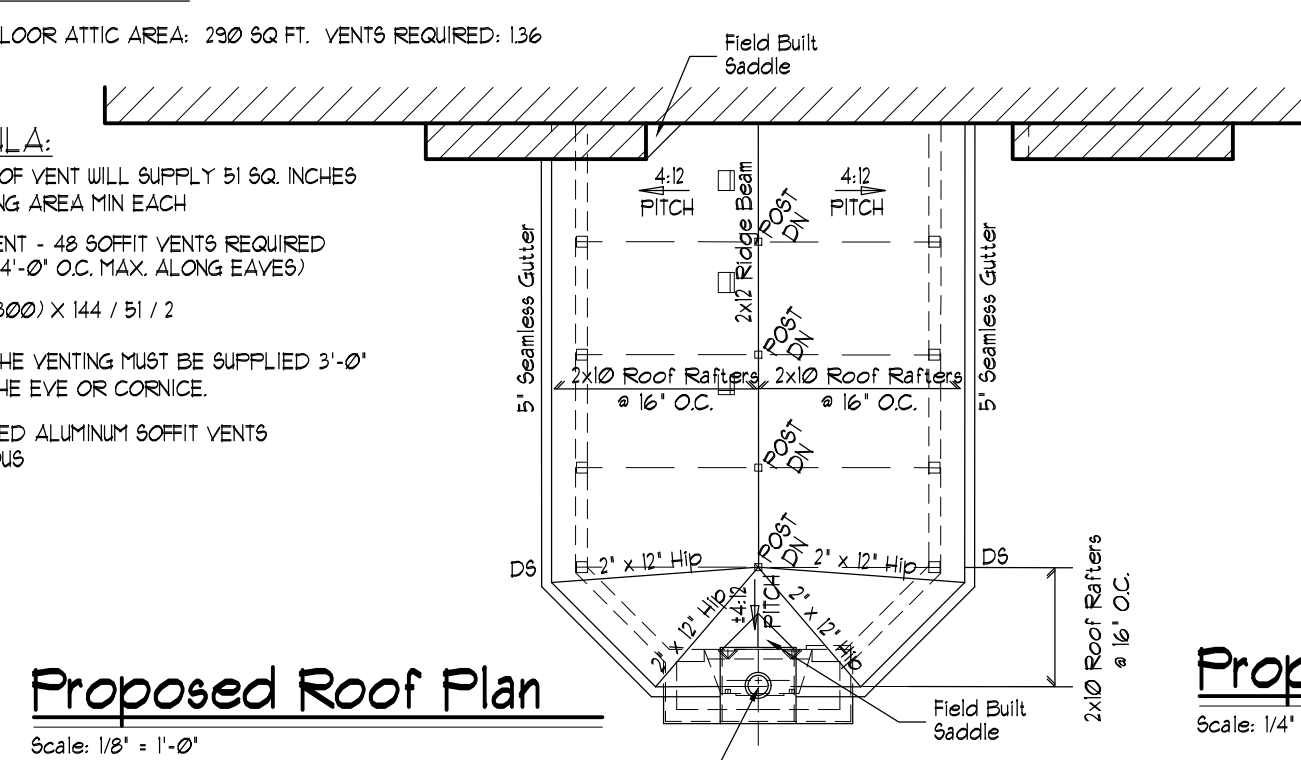
- FURNISH ALL LABOR, MATERIALS, TOOLS, INSURANCE AND PERMITS NECESSARY TO COMPLETE THE WORK AS SHOWN AND AS REASONABLY IMPLIED BY THE DRAWINGS, SPECIFICATIONS, NOTES AND REQUIRED BY ANY CODE WITH JURISDICTION TO COMPLETE THEIR SCOPE OF WORK FOR A COMPLETE AND PROPERLY FINISHED JOB. THE DRAWINGS AND SPECIFICATIONS ARE INTENDED TO ILLUSTRATE AND DESCRIBE A COMPLETE JOB IN EVERY RESPECT. CONTRACTORS SHALL PROCEED WITH THE UNDERSTANDING AND AGREEMENT THAT A SATISFACTORY JOB IS OBTAINABLE WITH THE INFORMATION AS PROVIDED. THE GENERAL CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR DIMENSIONAL ACCURACY. ALL DIFFERENCES IN ANTICIPATED DIMENSIONS OR CONDITIONS SHALL BE IMMEDIATELY SUBMITTED IN WRITING TO THE ARCHITECT PRIOR TO THE COMMENCEMENT OR CONTINUATION OF WORK OR THE GENERAL CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SAME. ANY DEVIATION FROM THESE PLANS AND SPECIFICATIONS WITHOUT PRIOR WRITTEN CONSENT OF ARCHITECT SHALL BE THE RESPONSIBILITY OF OWNER AND SHALL NULLIFY AND VOID ANY ARCHITECTURAL CERTIFICATION.
- DO NOT SCALE DRAWINGS.** OVER SCALED DIMENSIONS. WRITTEN DIMENSIONS TAKE PRECEDENCE
- ALL WORK SHALL COMPLY WITH APPLICABLE NATIONAL, STATE, COUNTY AND LOCAL BUILDING ORDINANCES.
- CONCRETE FOOTINGS SHALL BEAR ON UNDISTURBED SOIL WITH A MINIMUM BEARING CAPACITY OF 3000 PSF, AND 3'-6" MIN BELOW ADJOINING GRADE
- CONCRETE SHALL ATTAIN A 28 DAY COMPRESSIVE STRENGTH OF 3000 PSI. CONCRETE USED FOR PORCHES, GARAGES SLABS AND FLAT WORK EXPOSED TO THE WEATHER SHALL ATTAIN A 28 DAY COMPRESSIVE STRENGTH OF 3500 PSI.
- INSTALL SILL SEALER BETWEEN FOUNDATION AND WOOD PLATE. SHIMMED PLATES TO BE GROUTED.
- WOOD SILL PLATES BEARING ON CONCRETE OR MASONRY SHALL BE PRESSURE TREATED FOR ROT AND TERMITES.
- PROVIDE A CONTINUOUS 2x6 WOOD NAILER ON TOP OF ALL STEEL BEAMS EXCEPT THOSE USED FOR SUPPORTING MASONRY.
- PROVIDE DOUBLE JOISTS UNDER ALL PARALLEL PARTITIONS, OVERSIZED TUBS AND SOLID BLOCKING UNDER PERPENDICULAR PARTITIONS. SPLIT JOISTS TO ALLOW FOR ELECTRIC, PLUMBING AND MECHANICAL TRADES.
- PROVIDE 3-2x4's MINIMUM AT EACH END OF ALL WOOD BEAMS, HEADERS AND GIRDER TRUSSES CONTINUOUS TO CONCRETE FOUNDATION OR STRUCTURAL STEEL UNLESS NOTED OTHERWISE.
- ALL INTERIOR WALLS ARE 3/2" UNLESS NOTED OTHERWISE. WALLS ARE DIMENSIONED TO FACE OF STUD.
- FIRESTOP ALL SOFFITS, PENETRATIONS BETWEEN STORIES, THE ROOF SPACES AND DROPPED CEILING w/ 1/2" DRYWALL OR 3/4" PLTWOOD.
- A 2 x 12 HEADER IS TYPICAL AT ALL DOOR / WINDOW OPENINGS UNLESS NOTED OTHERWISE
- ALL STAIR SHALL HAVE A MAX. 1 3/4" RISE & 10" TREADS NOSE TO NOSE WITH HAND RAIL 34" - 38" ABOVE NOSING ALL RISERS TO BE CLOSED UNLESS NOTED OTHERWISE. CONTRACTOR TO MAINTAIN 6'-8" HEAD ROOM CLEARANCE ON STAIRS. WINDERS SHALL HAVE NOT LESS THAN 6' TREAD DEPTH. TYPICAL HEADER HEIGHT FOR DOOR / WINDOW OPENINGS IS 6'-10-1/2" ABOVE FLOOR UNLESS NOTED OTHERWISE
- PROVIDE 18" AIR CHAMBERS AT ALL PLUMBING RISERS AND SHUT OFF VALVES AT ALL FIXTURES.
- PLUMBING SUPPLY LINES SHALL BE COPPER TYPE L.
- FROST PROOF HOSE BIBS ARE TO BE LOCATED BY PLUMBING CONTRACTOR (EXCEPT AS SHOWN)
- ELECTRICAL PANEL TO HAVE MINIMUM 4'-0" CLEARANCE IN FRONT AND 3'-0" CLEARANCE ON SIDES FROM ANY GROUNDED EQUIPMENT
- WINDOW DESIGNATIONS ARE BASED ON NOMINAL UNIT SIZES IN FEET AND INCHES
- ALL EGRESS WINDOWS FROM SLEEPING ROOMS MUST HAVE A MIN. NET CLEAR OPENING OF 5.7 SQ. FT. THE MIN. NET CLEAR OPENING, HEIGHT DIMENSION SHALL BE 24 INCHES, THE MIN. NET CLEAR OPENING WIDTH DIMENSION, SHALL BE 20 INCHES, WHERE WINDOWS ARE PROVIDED AS A MEANS OF EGRESS OR RESCUE, THEY SHALL HAVE A SILL HEIGHT OF NOT MORE THAN 44 INCHES ABOVE THE FLOOR

NOTES

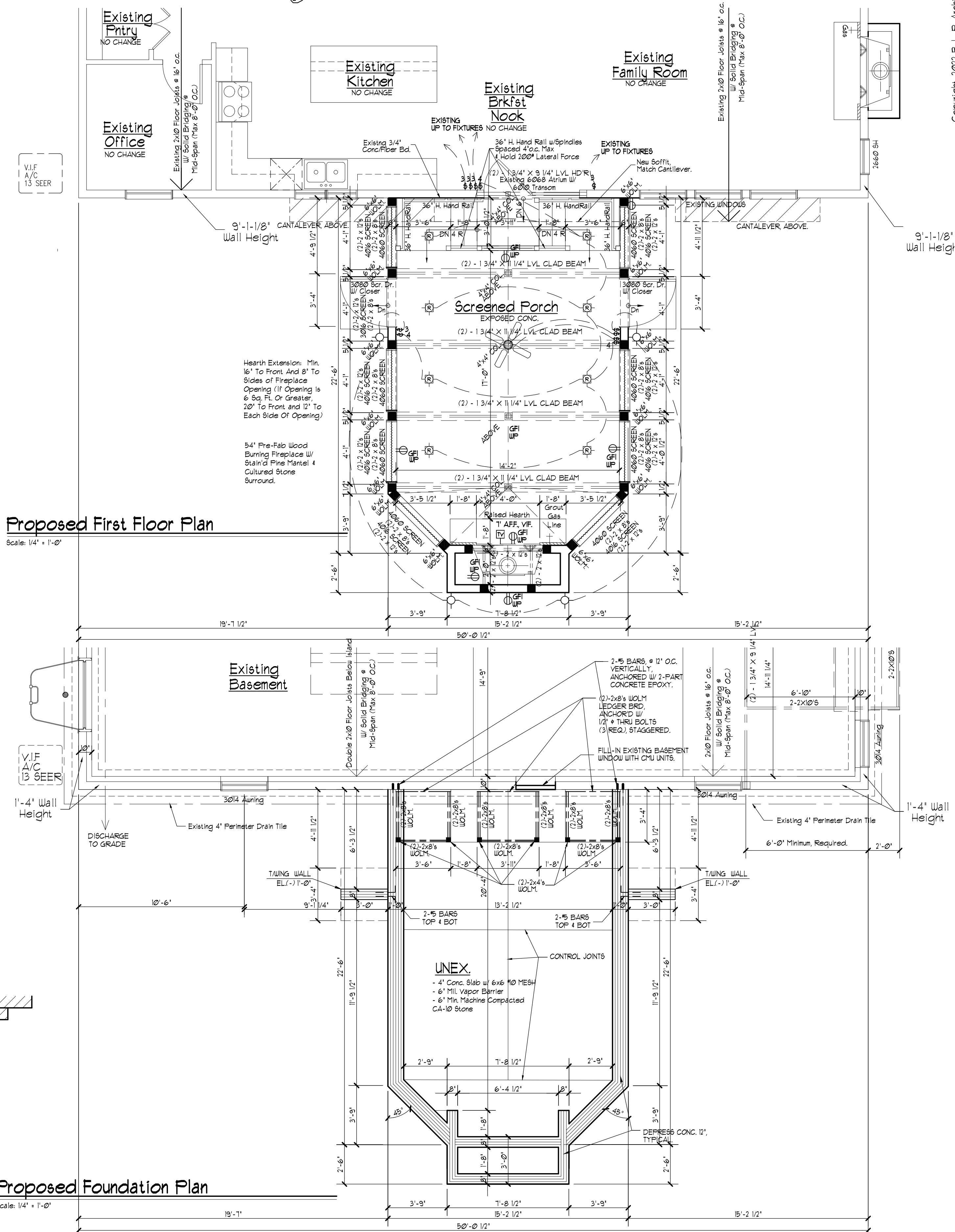
- ALL EAVE OVERHANGS ARE 12" UNLESS NOTED OTHERWISE.
- ALL RAKE OVERHANGS ARE 6" UNLESS NOTED OTHERWISE.
- ALL RIDGES, HIP & VALLEYS SHALL BE THICK ENOUGH TO ACCEPT FULL BEARING FROM RAFTERS
- ALL LIVE VALLEYS OVER 12'-0" LONG SHALL BE DOUBLED

ROOF VENTILATION:
 SECOND FLOOR ATTIC AREA: 230 SQ. FT. VENTS REQUIRED: 136

FORMULA:
 EACH ROOF VENT WILL SUPPLY 51 SQ. INCHES OF VENTING AREA MIN EACH
 SOFFIT VENT - 48 SOFFIT VENTS REQUIRED (4x16" @ 4'-0" O.C. MAX. ALONG EAVES)
 (AREA / 300) X 144 / 51 / 2
 50% OF THE VENTS MUST BE SUPPLIED 3'-0" ABOVE THE EYE OR CORNICE.
 REFORCED ALUMINUM SOFFIT VENTS CONTINUOUS



Proposed Roof Plan
Scale: 1/8" = 1'-0"



Proposed First Floor Plan
Scale: 1/4" = 1'-0"

Proposed Foundation Plan
Scale: 1/4" = 1'-0"

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B. L. R. Architects
 Multifamily Additions Consulting
 Custom Homes
 1109 Ogden Avenue
 Lisle, Illinois 60537
 Phone: 630.435.0100
 Fax: 630.435.0101

DERBICK RESIDENCE
 1326 NORTH STREET
 PALATINE, ILLINOIS
 Proposed First Floor & Foundation Plan

REVISIONS:

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Drawn By:
MLA

Job No.:
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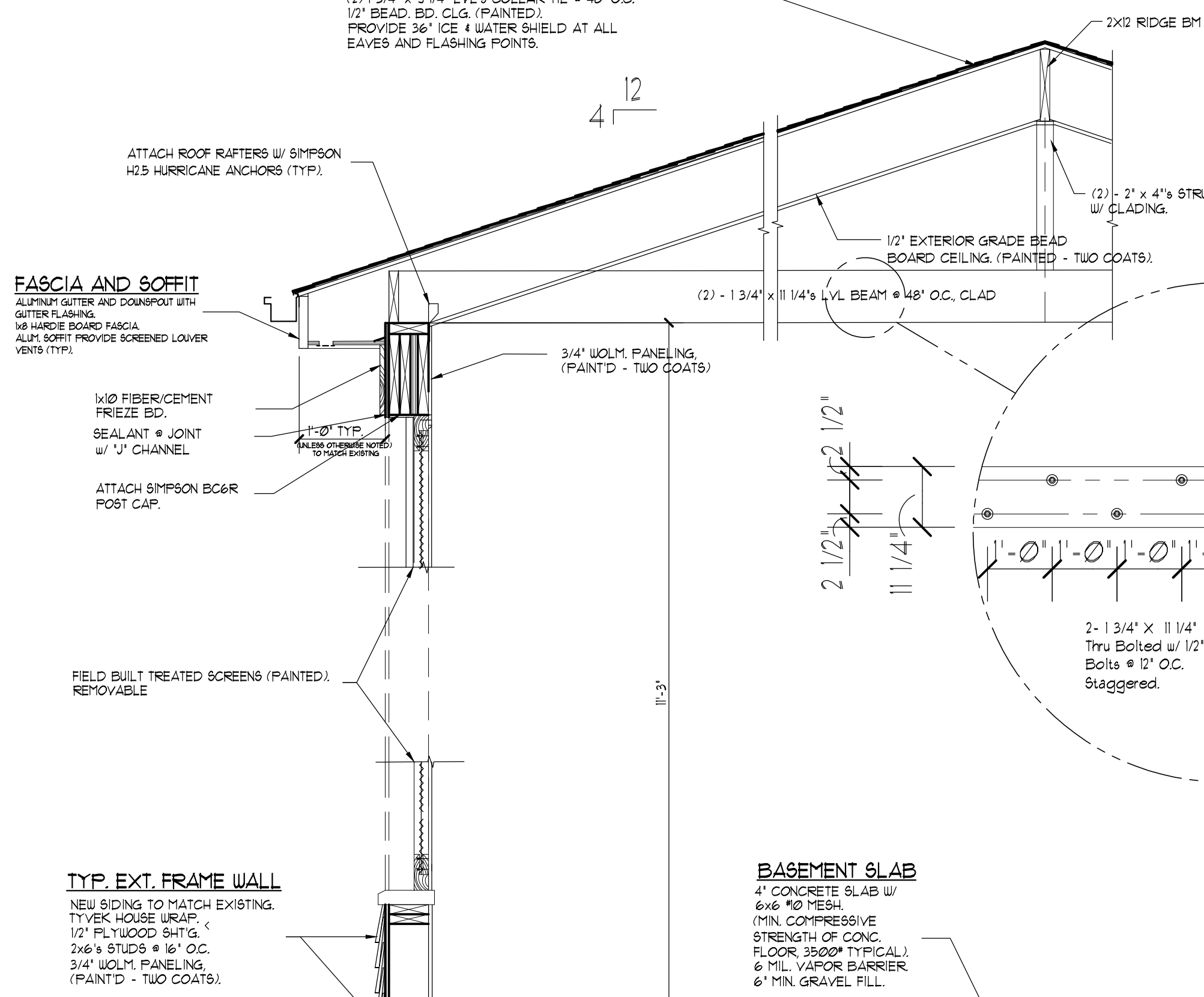
Date:
3/16/2022

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Sheet No.
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TYP. ROOF CONST.

NEW 25 YR. ASPHALT SHINGLES OVER (MATCH EXISTING) 5/8" BLDG. PAPER ON 1/2" CDX PLYWOOD. ROOF SHEATHING w/ EDGE CLIPS ON ROOF. 2"x6" ROOF RAFTERS @ 16" O.C. (SEE PLANS). (2) 3/4" x 9 1/4" LVL's COLLAR TIE @ 48" O.C. 1/2" BEAD BD. CLG. (PAINTED). PROVIDE 36" ICE & WATER SHIELD AT ALL EAVES AND FLASHING POINTS.



FASCIA AND SOFFIT
ALUM. GUTTER AND DOWNSPOUT WITH GUTTER FLASHING. 1/2" HARD BOARD FASCIA. ALUM. SOFFIT PROVIDE SCREENED LOWER VENTS (TYP.).

1/2" FIBER/CEMENT FIBRE BO. SEALANT @ JOINT w/ 'J' CHANNEL. ATTACH SIMPSON BC6R POST CAP.

FIELD BUILT TREATED SCREENS (PAINTED). REMOVABLE.

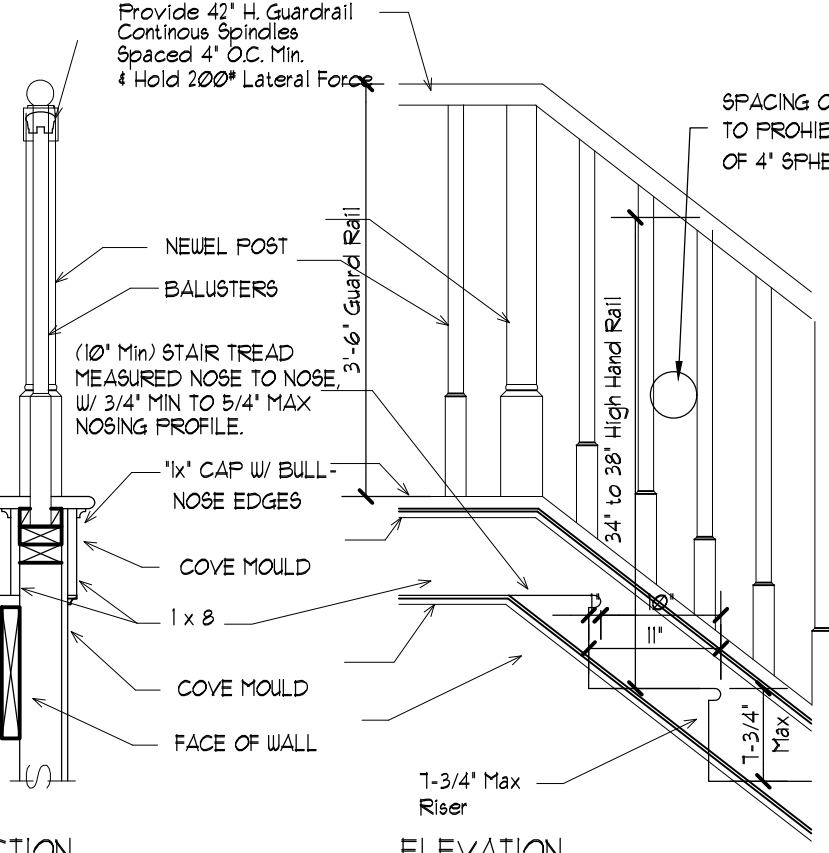
TYP. EXT. FRAME WALL
NEW SIDING TO MATCH EXISTING. TYVEK HOUSE WRAP < 1/2" PLYWOOD SHTG. 2x6's STUDS @ 16" O.C. 3/4" WOLM. PANELING (PAINTED - TWO COATS).

SILL PLATE
2x6 PRESSURE TREATED SILL PLATE SET IN SILL SEALER AND ATTACHED TO FOUNDATION w/ 1/2" x 10" ANCHOR BOLTS (1" MIN. EMBEDMENT) NOT OVER 6'-0" O.C. UNITS AND WASHERS MINIMUM 2 BOLTS PER PIECE OR SILL STRAPS (TECO OR EQUAL) START ANCHOR BOLTS 1'-0" FROM EACH CORNER.

BASEMENT SLAB
4" CONCRETE SLAB w/ 6x6 #0 MESH. (MIN. COMPRESSIVE STRENGTH OF CONC. FLOOR, 3500 TYPICAL). 6 MIL. VAPOR BARRIER. 6" MIN. GRAVEL FILL.

STAIR NOTE:
HANDRAILS SHALL BE REQUIRED WITH 2 OR MORE RISERS AND SHALL BE CONTINUOUS THE FULL RUN OF THE STAIRS. MAXIMUM STAIR RISER SHALL BE (7'-3/4") AND MINIMUM TREAD NOSE TO NOSE DEPTH SHALL BE (10"). MAINTAIN MINIMUM 6'-8" HEADROOM CLEARANCE ON STAIRS. REQUIRED HANDRAILS AT STAIRWAYS SHALL BE CONTINUOUS THE FULL LENGTH OF THE STAIRS AND MAY ONLY BE INTERRUPTED AT A LANDING.

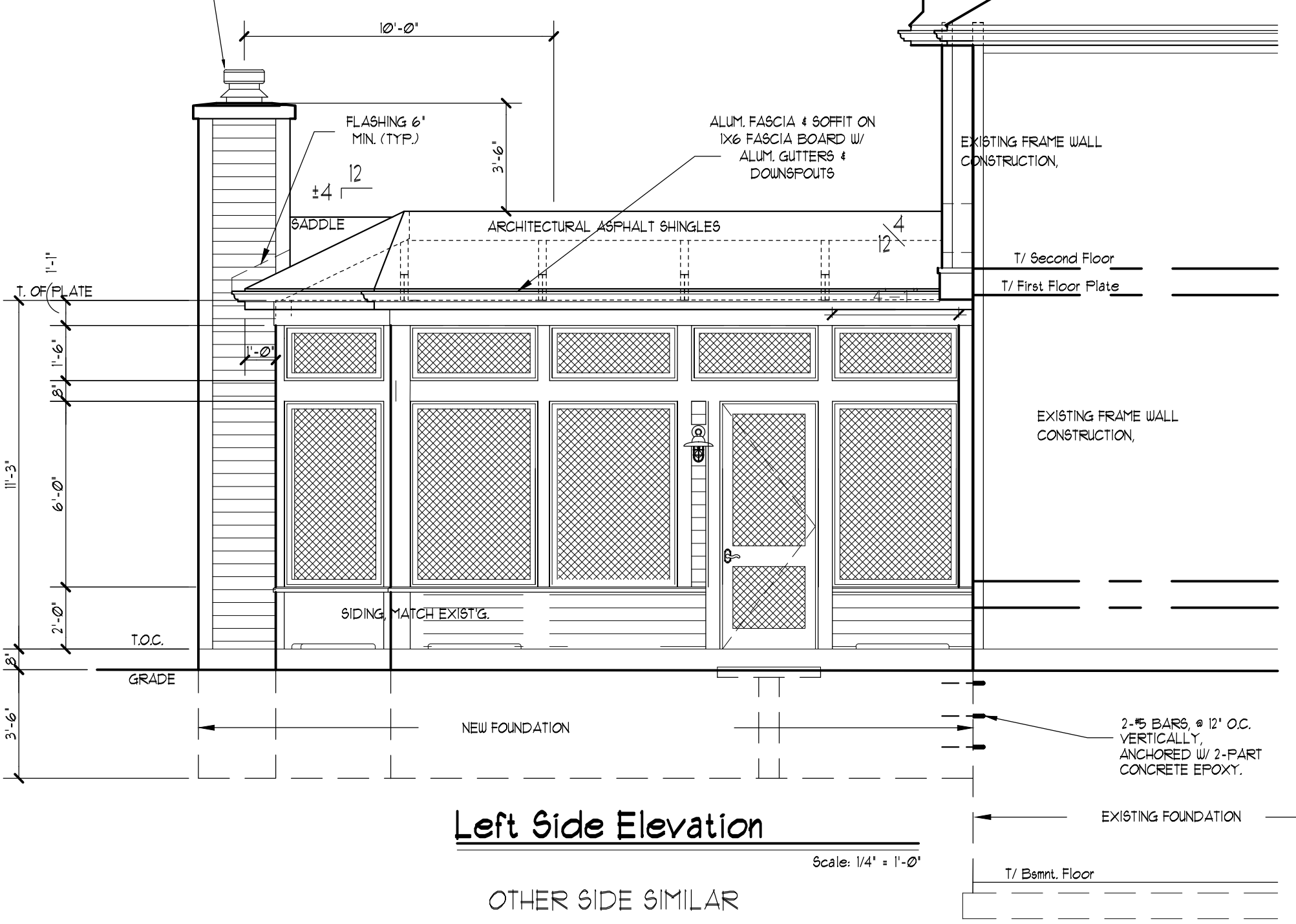
OF A 4" DIAMETER SPHERE. ALL STAIRWAYS SHALL HAVE A CLOSED RISER SYSTEM.



STAIR TRIM DETAIL A
STAIR NOTE: TYPICAL FOR ALL STAIRS INTERIOR & EXTERIOR. HANDRAILS SHALL BE REQUIRED WITH 2 OR MORE RISERS AND SHALL BE CONTINUOUS THE FULL RUN OF THE STAIRS. ALL WALL MOUNTED HANDRAIL SHALL BE GRASPABLE AT 34"-38" INSTALLED ON ONE SIDE OF THE ENTIRE STAIR & RETURNED TO WALL SURFACE.

RAILING DETAIL @ STAIR
SCALE: 1" = 1'-0"

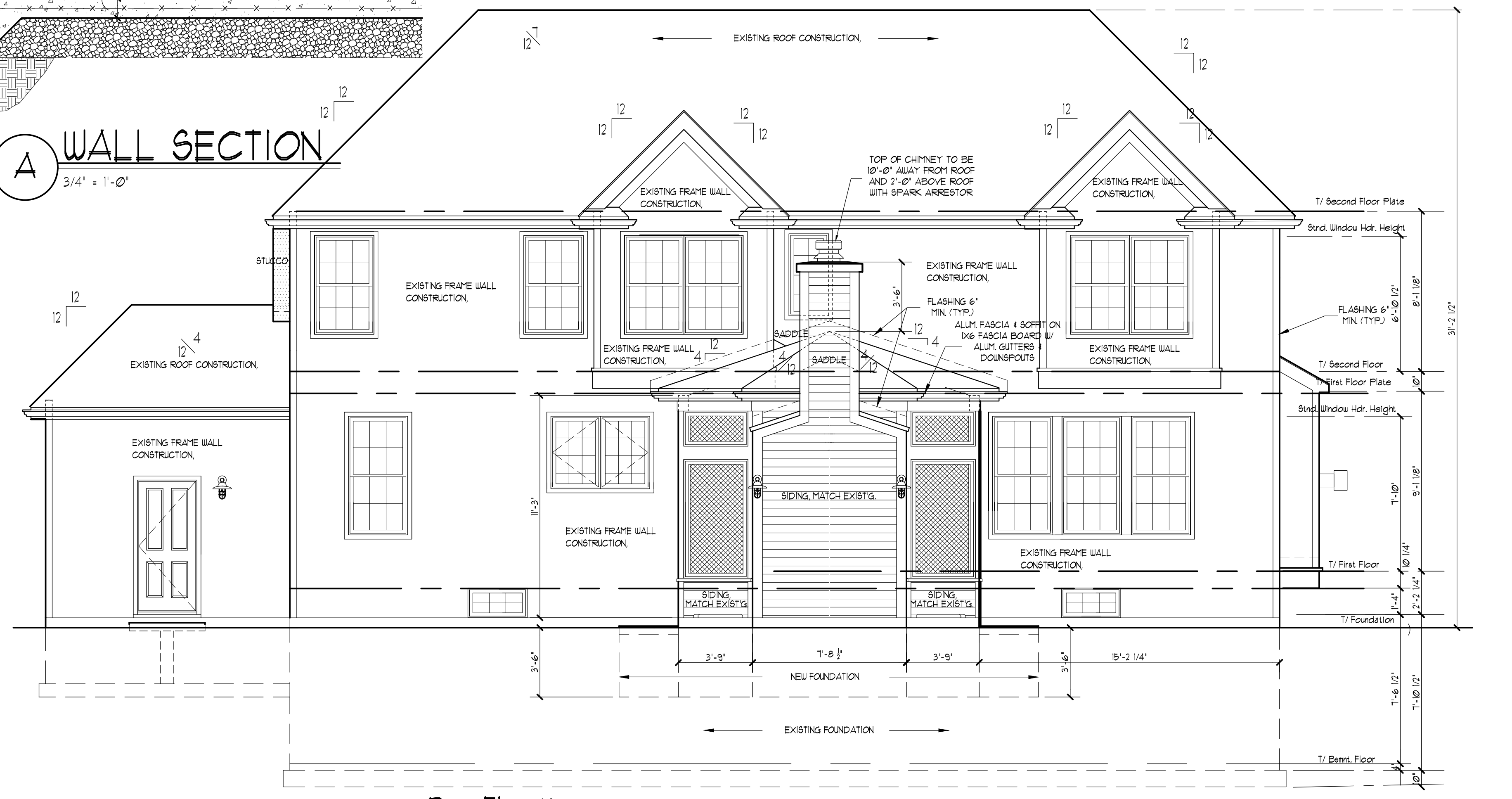
TOP OF CHIMNEY TO BE 10'-0" AWAY FROM ROOF AND 2'-0" ABOVE ROOF WITH SPARK ARRESTOR.



Left Side Elevation
Scale: 1/4" = 1'-0"

OTHER SIDE SIMILAR

WALL SECTION A
3/4" = 1'-0"



Rear Elevation
Scale: 1/4" = 1'-0"

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B. L. R. Architects
Custom Homes Multifamily Additions Consulting
1109 Ogden Avenue
Lisle, Illinois 60537
Phone: 630.435.0100 Fax: 630.435.0101

DERBICK RESIDENCE
1326 NORTH STREET
PALATINE, ILLINOIS
Proposed Elevations

REVISIONS:

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Drawn By: **MLA**

Job No.: **X**

Date: **3/16/2022**

Issued For Permit:

Sheet No.
A2

Park Avenue Homeowner's Association
PO Box 2442, Palatine, IL 60078



March 2, 2023

Village of Palatine
150 W. Wilson Street
Palatine, IL 60067

Dear ZBA and Village Council,

After reviewing the drawings of the Derbick's screened porch design at 1326 W North Street, we do not have any concerns about public health, safety or welfare. We believe the addition will add value to the home and improve local home values.

We are in support of the petitioner.

If anything further is needed, please contact me at 847-991-2118 or bcjacobs@hotmail.com.

Sincerely,

Park Avenue Homeowner's Association

Brian Christopher, President

Diane Schmidt, Treasurer

Tom Koshy, Secretary





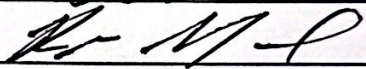
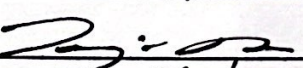
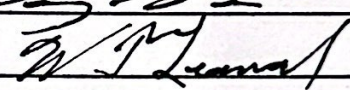
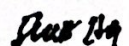
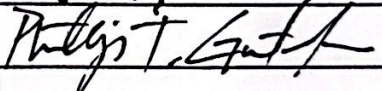
Jason Derbick
1326 W. North Street
Palatine IL 60067

To the Community Surrounding 1326 W. North Street,

This petition is for the support of my request for a variance to the rear yard setback on an already non-conforming lot. The intent is to build a screened in porch off the north side of the home.

By signing below, you support the special use variance for a rear setback reduction at 1326 W North St, lot 2 of the Balogh subdivision. Under R1A zoning the current rear setback is 45'-0" and the proposed variance is to reduce that to 20'-0". This will allow for a screened in porch to be constructed. All work will be permitted, inspected, and completed in a timely manner.

Drawings have been provided along with the proposed architectural site plan

Name	Address	Signature	Date
TONY PELINI	1315 W. NORTH	Tony Pelini	3.4.23
NIKHIL KUMAR	1311 W HILL ST		3.4.23
Matthew Michiewicz	1310 W. Hill St		3.4.23
RYAN MARCHAND	1274 N FOREST		3/4/23
TEJAS PATEL	1340 W. NORTH ST.		3/5/23
TERRY LEONARD	1312 W. NORTH ST		3/5/23
Scott Hagner	1351 W NORTH		3/5/23
Phillip Goestemans	1309 W. Hill St.		3/5/23

Thank You for your Support,



Jason Derbick

Attachment: Signed Neighborhood Petition (1326 W. North St - SU Addition Setback)

ORDINANCE NO. 0-61-11

**AN ORDINANCE REZONING CERTAIN PROPERTY FROM “R-1” TO “R-1A”
SINGLE FAMILY VACANT PROPERTY AT THE NORTHWEST CORNER OF
NORTH AVENUE AND UNIMPROVED FOREST AVENUE (CASE NO. 11-24)**

Attachment: O-61-11 Rezone R-1 to R-1A (1326 W. North St - SU Addition Setback)

Published in pamphlet form by authority of the
Mayor and Village Council of the Village of Palatine
on June 20, 2011

ORDINANCE NO. 0-61-11**AN ORDINANCE REZONING
CERTAIN PROPERTY FROM "R-1" TO "R-1A" SINGLE FAMILY
VACANT PROPERTY AT THE NORTHWEST CORNER OF
NORTH AVENUE AND UNIMPROVED FOREST AVENUE
(CASE NO. 11-24)**

WHEREAS, pursuant to a public hearing held on June 7, 2011 before the Plan Commission of the Village of Palatine, in accordance with the applicable provision of the Village Code, and they have reported their findings on a proposal for rezoning the following legally described property from "R-1" to "R-1A" Single-Family Residential District:

Lots 19 and 20 in Block 4 in Percy Wilson's Forest View Highlands, a subdivision in the West 1/2 of Section 9, Township 42 North, Range 10, East of the Third Principal Meridian, in Cook County, Illinois

commonly known as the vacant property at the northwest corner of North Avenue and unimproved Forest Avenue (PINs 02-09-106-032 and 02-09-106-031).

NOW, THEREFORE, BE IT ORDAINED, by the Mayor and Village Council of the Village of Palatine, Cook County, Illinois, acting in the exercise of its home rule power:

SECTION 1: That the Zoning Ordinance of the Village of Palatine, as amended, is hereby further amended by classifying the property described above as "R-1A" Single-Family Residential District zoning.

SECTION 2: That the Zoning Map of the Village of Palatine is hereby amended to reflect this change.

SECTION 3: That this ordinance shall be in full force and effect upon passage and approval as provided by law.

PASSED: This 20 day of June, 2011

AYES: 6 NAYS: 0 ABSENT: 0 PASS: 0


APPROVED by me this 20 day of June, 2011



Mayor of the Village of Palatine

ATTESTED and FILED in the office of the Village Clerk this

20 day of June, 2011



Village Clerk

Attachment: O-61-11 Rezone R-1 to R-1A (1326 W. North St - SU Addition Setback)

ORDINANCE NO. 0-63-11

**AN ORDINANCE GRANTING A SPECIAL USE AND A VARIATION
NORTHWEST CORNER OF NORTH AVENUE AND
UNIMPROVED FOREST AVENUE (CASE NO. 11-24)**

Attachment: O-63-11 - Special Use & Variation (1326 W. North St - SU Addition Setback)

**Published in pamphlet form by authority of the
Mayor and Village Council of the Village of Palatine
on June 20, 2011**

ORDINANCE NO. 0-63-11

**AN ORDINANCE GRANTING A SPECIAL USE AND A VARIATION
NORTHWEST CORNER OF NORTH AVENUE AND UNIMPROVED FOREST AVENUE
(CASE NO. 11-24)**

WHEREAS, pursuant to a petition and public hearing on June 7, 2011 of which public notice was given as required by law, the Zoning Board of Appeals of the Village of Palatine, in accordance with the Zoning Ordinance of the Village of Palatine, in such case made and provided, has held such public hearing and reported their findings relative to a request for a Variation to permit lot area for the proposed lots to be 12,205 square feet instead of the minimum required 15,000 square feet pursuant to Section 10.03 (e) of the Palatine Zoning Ordinance; and a Special Use to permit filling within the floodplain pursuant to Section 6.08(d)(2)(d) of the Palatine Subdivision, Site Development and Floodplain Regulations, on the following legally described property:

Lots 19 and 20 in Block 4 in Percy Wilson's Forest View Highlands, a subdivision in the West 1/2 of Section 9, Township 42 North, Range 10, East of the Third Principal Meridian, in Cook County, Illinois

commonly known as the vacant property at the northwest corner of North Avenue and unimproved Forest Avenue (PINs 02-09-106-032 and 02-09-106-031).

NOW, THEREFORE, BE IT ORDAINED, by the Mayor and Village Council of the Village of Palatine, Cook County, Illinois, acting in the exercise of their home rule power that:

SECTION 1: A Variation to permit lot area for the proposed lots to be 12,205 square feet instead of the minimum required 15,000 square feet pursuant to Section 10.03 (e) of the Palatine Zoning Ordinance; and a Special Use to permit filling within the floodplain pursuant to Section 6.08(d)(2)(d) of the Palatine Subdivision, Site Development and Floodplain Regulations, is hereby granted, subject to the following conditions:

- 1. The development shall significantly conform to the engineering plans prepared by Norman J. Toberman & Associates dated 5/20/11 last revised 5/31/11 and attached hereto as Exhibit 'A' except as such plan may be changed to conform to Village Codes and Ordinances.

SECTION 2: That the petition for a special use and variations, a copy of the public notice and the report of the hearing be attached hereto and form a part of this ordinance.


SECTION 3: That this ordinance shall be in full force and effect from and after its passage and approval as provided by law.

PASSED: This 20 day of June, 2011
AYES: 6 NAYS: 0 ABSENT: 0 PASS: 0
APPROVED by me this 20 day of June, 2011



Mayor of the Village of Palatine

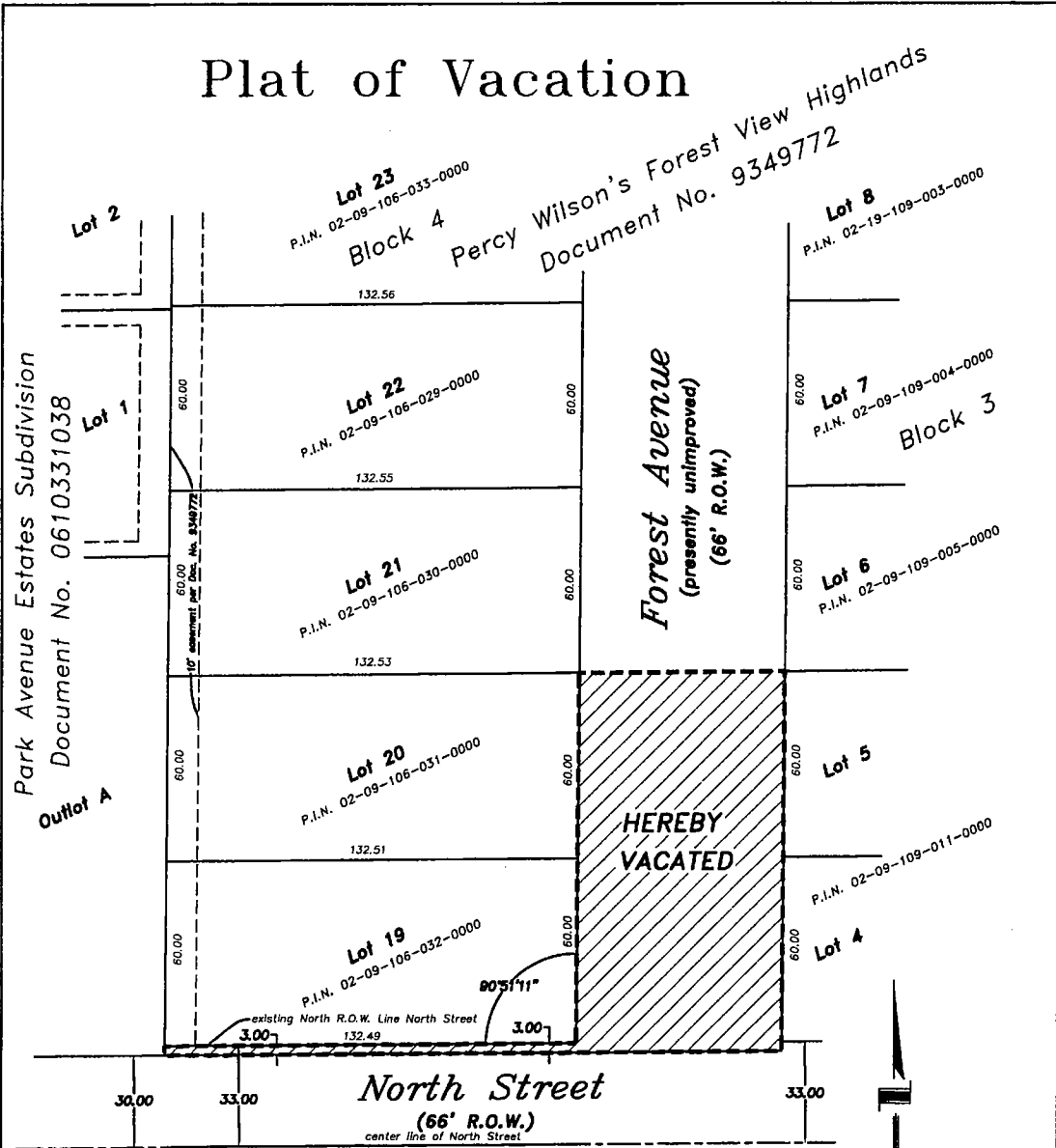
ATTESTED and FILED in the office of the Village Clerk this
20 day of June, 2011



Village Clerk

Attachment: O-63-11 - Special Use & Variation (1326 W. North St - SU Addition Setback)

Plat of Vacation



VILLAGE COUNCIL

Approved by the Village Council of the Village of Palatine, Cook County, Illinois, this

_____ day of _____, 2011

Signed: _____
Mayor

Attest: _____
Village Clerk



SCALE : 1" = 40'

SURVEYORS CERTIFICATE

State of Illinois } ss.
County of Cook }

I, David R. Bycroft, an Illinois Professional Land Surveyor, do hereby certify that I have prepared this plat from office records for the uses and purposes set forth, and that this plat is a correct representation of said office records.

dated at Arlington Heights, Illinois, this 5TH day of MAY, 2011

by David R. Bycroft
an Illinois Professional Land Surveyor No. 2848

Prepared by:
David Bycroft
2340 South Arlington Heights Road
Arlington Heights, Illinois
224-858-8256



Attachment: O-63-11 - Special Use & Variation (1326 W. North St - SU Addition Setback)

RESOLUTION NO. R-33-11**A RESOLUTION GRANTING FINAL SUBDIVISION APPROVAL FOR THE
NORTHWEST CORNER OF NORTH AVENUE AND
UNIMPROVED FOREST AVENUE – BALOGH SUBDIVISION (CASE NO. 11-24)**

WHEREAS, the Palatine Subdivision Ordinance provides qualifications governing final approval of a Subdivision Plat in Article IV FINAL PLAT; and

WHEREAS, BALOGH SUBDIVISION has complied with all the provisions of the Subdivision Ordinance, including a public review before the Plan Commission of the Village of Palatine.

NOW THEREFORE, BE IT RESOLVED by the Mayor and the Village Council of the Village of Palatine, that the Mayor and the Village Clerk be and are hereby directed and authorized to execute the final plat of subdivision “BALOGH SUBDIVISION” pursuant to the Palatine Subdivision Ordinance Article IV, Sec. 4.01

(c) (2) (a) and subject to the following conditions:

1. The development shall significantly conform to the engineering plans prepared by Norman J. Toberman & Associates dated 5/20/11 last revised 5/31/11 and attached hereto as Exhibit ‘A’ except as such plan may be changed to conform to Village Codes and Ordinances.
2. The setbacks shall be revised to conform to the required setbacks in the “R-1A” District.
3. An engineer’s cost estimate shall be submitted.
4. A letter of credit in the amount of 110% of the cost estimate shall be submitted.
5. Review fees in the amount of 3.5% of the cost estimate shall be submitted.

- 6. Cash-in-lieu of detention shall be paid in an amount acceptable to the Village Engineer.
- 7. The Plat of Subdivision shall be submitted on Mylar with all required signatures including signatures of all utility companies.
- 8. A Subdivision Improvement Agreement shall be submitted.
- 9. Recording fees in the amount of \$300.00 shall be submitted.

DATED: This 20th day of June, 2011

AYES: 6 NAYS: 0 ABSENT: 0 PASS: 0


APPROVED by me this 20 day of June, 2011



 Mayor of the Village of Palatine

ATTESTED and FILED in the office of the Village Clerk

this 20 day of June, 2011



 Village Clerk

Attachment: R-033-11 - Balogh Sub, NW Corner of North Ave. and Unimproved Forest (1326 W. North St - SU Addition Setback)

PUBLIC NOTICE
 A Public Hearing will be held before the Palatine Zoning Board of Appeals on Tuesday, April 11, 2023 at 7 PM, in the Village Council Chambers of Palatine Village Hall, 200 E. Wood Street, relative to a request for the following:
Special Use to permit an addition to be set back 22 feet from the rear lot line, instead of the minimum required 45 feet.
 The property is commonly known as 1326 W. North Street.
 The Petitioner is proposing to construct a screened porch addition to the rear of their existing single-family residence. The proposed addition will be set back approximately 22 feet from the rear lot line.
 The above petition has been filed by Jason Derbick and is available for examination in the office of the Village Clerk, 200 E. Wood Street.
 FILE #: SU-000024-2023
 VILLAGE OF PALATINE
 Jan Wood, Chair
 Palatine Zoning Board of Appeals
 DATED: This 27th day of March, 2023
 Published in Daily Herald
 March 27, 2023 (4597471)

CERTIFICATE OF PUBLICATION
Paddock Publications, Inc.

Northwest Suburbs
Daily Herald

Corporation organized and existing under and by virtue of the laws of the State of Illinois, DOES HEREBY CERTIFY that it is the publisher of the Northwest Suburbs **DAILY HERALD**. That said Northwest Suburbs **DAILY HERALD** is a secular newspaper, published in Arlington Heights, Cook County, State of Illinois, and has been in general circulation daily throughout Cook County, continuously for more than 50 weeks prior to the first publication of the attached notice, and a newspaper as defined by 715 ILCS 5/

I further certify that the Northwest Suburbs **DAILY HERALD** is a newspaper as defined in "an Act to revise the law in relation to notices" as amended in 1992 Illinois Compiled Statutes, Chapter 715, Act 5, Section 1 and 5. That notice of which the annexed printed slip is a true copy, was published 03/27/2023 in said Northwest Suburbs **DAILY HERALD**. This notice was also placed on a statewide public notice website as required by 5 ILCS 5/2.1.

BY *Daulla Baltz*
 Designee of the Publisher of the Daily Herald

Control # 4597471



Attachment: Public Notice (1326 W. North St - SU Addition Setback)

VILLAGE OF PALATINE
Zoning Board of Appeals

SCHEDULED 04/11/23 07:00 PM

CASE STAFF STATEMENT (ID # 8271)

1242 E. Dundee Road

TO: Palatine Zoning Board of Appeals
Jan Wood, Chair

FROM: Alex Bradshaw

PETITIONER: Henry Hernandez

CASE NUMBER: SU-000020-2023

ADDRESS: 1242 E. Dundee Road

PROPOSAL:
Special Use to permit a tobacco shop at the subject property.

<u>LOCATION:</u> 1242 E. Dundee Road District 5 (Kozlowski)	<u>CURRENT ZONING:</u> B-2 General Business District
---	--

SURROUNDING CONDITIONS:

North:	B-2 General Business
South:	B-2 General Business
East:	B-2 General Business
West:	B-2 General Business

BACKGROUND:

The Petitioner is proposing to open a tobacco and vape shop, Paper Route Tobacco, Inc., to sell specialty tobacco products and accessories. Therefore, the Petitioner is requesting:

Special Use to permit a tobacco shop at the subject property.

SITE ANALYSIS:

- The Subject Property is zoned B-2 General Business and is located on E. Dundee Road, just east of N. Baldwin Road. The lot size is approximately 33,000 sq. ft. The proposed business will occupy approximately 500 sq. ft. of retail space within the Dundee Commons multi-tenant shopping center. Other tenants within the building include CD One Price Cleaners, Wine & Liquors, and T-Mobile.
- The subject property tenant space had previously been operated as a portion of a furniture store that has been closed for a number of months.

- The Petitioner is seeking a Special Use permit to allow a Tobacco Shop to operate at the subject property. The store will offer a variety of tobacco and e-cigarette products. Per the submitted business plan, it appears the focus of this shop will be electronic cigarette products and accessories. The Petitioner has also reviewed the Village's Drug Paraphernalia code section and is aware that glass paraphernalia is prohibited (no glass products listed in business plan).
- Per the submitted business plan, the shop hours of operation will be 9 AM - 10 PM Monday to Sunday.
- Per the business plan, posted signage will indicated that individuals under 21 years of age will not be allowed to enter the premises unless accompanied by a parent or legal guardian.
- The parking requirement will remain the same with the proposed use.

DEPARTMENTAL REVIEWS:

Community Services	No Issues Identified.
Engineering	N/A
Environmental Health	N/A
Fire Prevention	No Issues Identified.
Public Works	N/A
Police	No Issues Identified.

STANDARDS FOR SPECIAL USE: Since this Petition is not for a use publicly operated or traditionally affected with the public interest, those standards under Section 14.05 D (2) and (3) are applicable. Specifically, the Petitioners must show that the Special Use, if granted, is so designed, located, and proposed to be operated that the public health, safety, and welfare will be protected and will not cause substantial injury to the value of other property in the neighborhood in which it is located. The Petitioners have attempted to address the required standards.

STAFF RECOMMENDATION:

The Petitioner is proposing to open a tobacco shop in a multi-tenant shopping center. The Petitioner is aware that the sale of drug paraphernalia with the intent to use it for a controlled substance is prohibited. Furthermore, the Petitioner is proposing to have "21+" signage posted in prominent locations within the tenant space, and will have all customers present a valid form of identification for all purchases. Ultimately, the proposal would be another commercial use within the center and should not cause any substantial injury to the value of the surrounding properties. The parking requirements would also not change with this use. Therefore, Staff recommends approval of the requested Special Use with the following condition:

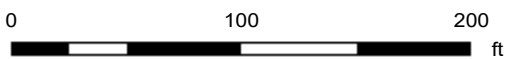
1. The Special Use shall substantially conform to the Business Plan and Floor Plan submitted by the Petitioner, Henry Hernandez, except as such plans may be changed to conform to the Village Codes and Ordinances.

ATTACHMENTS:

- Aerial Map
- Special Use Application
- Plat of Survey
- Floor Plan
- Business Plan
- Public Notice



Attachment: Aerial Map (1242 E Dundee Road - SU Tobacco Shop)



Print Date: 4/5/2023

Notes

Cook County Aerial 2020

Disclaimer: The GIS Consortium and MGP Inc. are not liable for any use, misuse, modification or disclosure of any map provided under applicable law. This map is for general information purposes only. Although the information is believed to be generally accurate, errors may exist and the user should independently confirm for accuracy. The map does not constitute a regulatory determination and is not a base for engineering design. A Registered Land Surveyor should be consulted to determine precise location boundaries on the ground.



SPECIAL USE APPLICATION

Department of Planning & Zoning
200 E. Wood Street · Palatine, IL · 60067-5339
Telephone: (847) 359-9047 · Fax (847) 963-6247

Petitioner Name

Henry Hernandez

Business Name (if applicable)

Paper Route Tobacco, Inc.

Subject Property Address

1242 E. Dundee Road

Please provide a description of your proposed request:

Tobacco -Vape Store

Petitioner Justification

Special Uses shall not be granted except on findings based upon the evidence in each specific case. Please address the following standards as these will be used in considering the specific relief you are seeking.

That use deemed necessary for the public convenience at that location. Explain:

There are no other store in the immediate vicinity and this will provide patrons access to tobacco and e-cigarette in a convenient easy access location along Dundee road.

The use is designed, located, and proposed to be operated that the public health, safety, welfare will be protected. Explain:

The Store will comply with the Palatine Clean Air Act as well all local ordinances, and state regulations. The location will serve customers aged 21 year and older.

The use will not cause substantial injury to nearby property values. Explain:

The store is in a commercial district surrounded by automobile dealerships restaurants and retail stores. The other store in the strip mall include a dry cleaner, furniture store and liquor store.

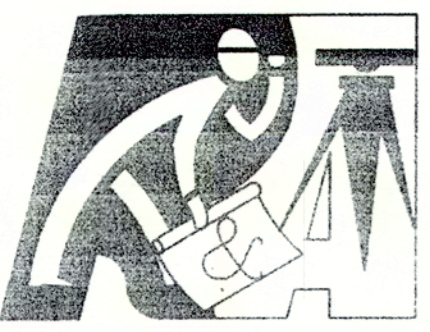
In order to supplement the above standards, the Zoning Board of may also consider the following:

With respect to front yard fencing and fencing in a rear yard/side yard abutting a street, the following additional standards must be met:

a. Will meet the following aesthetic criteria:

- i. Will not destroy existing vistas in the area;
 - ii. Will enhance the appearance of the homes and the streets in the area; and
 - iii. Will not detract from the overall appearance of the community; or
- b. The fencing is found to be necessary to protect private property or the safety of the inhabitants of the property.

Not applicable.

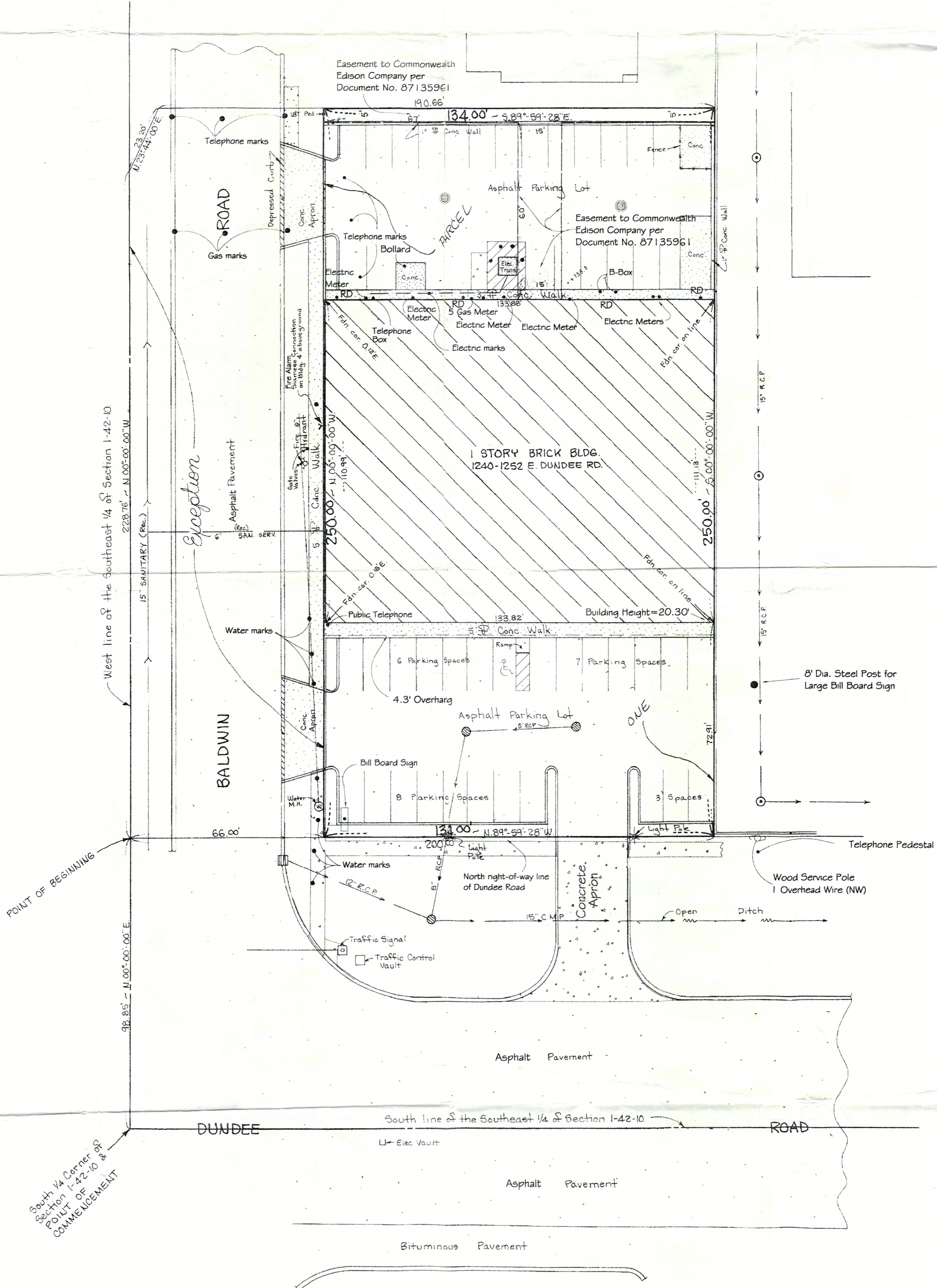


PLAT OF SURVEY

By
JOHN D. REBIK & ASSOCIATES
 Land and Construction Surveys
 35 W 388 Miller Road
 Dundee, Illinois 60118 (847) 428-3456
 Of



PARCEL 1: That part of the Southeast 1/4 of Section 1, Township 42 North, Range 10 East of the Third Principal Meridian, bounded and described as follows: Commencing at the South 1/4 corner of said Section 1, thence North 00°-00'-00" East, 98.85 Feet to the point of beginning, thence North 00°-00'-00" West, 228.76 Feet, thence North 23°-44'-00" East, 23.20 Feet, thence South 89°-59'-28" East, 190.66 Feet, thence South 00°-00'-00" West, 250.00 Feet, thence North 89°-59'-28" West along the North right-of-way of Dundee Road, 700.00 Feet to the point of beginning, except that part lying West of a line 66.00 Feet perpendicularly distant East of and parallel with the West line of said Southeast 1/4 of Section 1, in Cook County, Illinois.



Scale: 1 inch equals 20 feet.
 Distances are marked in feet and decimal parts thereof.

Ordered by: **MARTIN, CRAIG, CHESTER & SONNENSCHEN**
 Checked by: H.G. Surveyed by: R.E.M.
 BALDWIN ROAD is a public dedicated road.

Surveyor has made no investigation or independent search for easements of record, encumbrances, restrictive covenants, ownership title evidence or any other facts which an accurate and current title search may disclose, unless the title commitment number and effective date are shown hereon.

Building lines, if any, shown hereon are building lines shown on the recorded subdivision plat. Consult local authorities for building lines established by local ordinances.

Please check legal description with Deeds; also compare all points before building and report ANY DISCREPANCY IMMEDIATELY.

ORDER NO. **04-1677.1**

Note!
 The property shown hereon lies within a Flood Zone "C" Area as identified by the Federal Emergency Management Agency Flood Insurance Rate Map, Community Panel Number 170054 0040 B, effective date April 15, 1981.

STATE OF ILLINOIS
 COUNTY OF KANE
 S.S. March 20, 2004.
 This Professional Service conforms to the current Illinois Minimum Standards of Practice applicable to Boundary Surveys.

This survey is valid only if print has the original signature and seal of Surveyor present.

This is to certify that I have surveyed the above described property according to the Official Record, and the above plat correctly represents said survey.



by John D. Rebik
 Illinois Professional Land Surveyor No. 2429
 (License Expires November 30, 2004)

BUSINESS PLAN

FOR

PAPER ROUTE TOBACCO, INC.

Attachment: Business Plan (1242 E Dundee Road - SU Tobacco Shop)

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Attachment: Business Plan (1242 E Dundee Road - SU Tobacco Shop)

Executive Summary

Paper Route Tobacco, Inc., was started by founder Henry Hernandez to create a retail establishment for costumers in the Northwest suburbs to purchase tobacco, e-cigarettes and lawful cannabis related accessories as described under the Palatine ordinance 12-322(d) for consumption of recreational cannabis by a person 21 years of age or older, or a person possessing a medical cannabis license.

Paper Route Tobacco, Inc. will be a place of business were customers will have access to a wide variety of tobacco and e-cigarette products. Paper Route will open 1242 Dundee Road, Palatine, IL between 9 a.m.- and 10 pm Monday -Sunday to the public. The space at 1242 Dundee Road is part of a former furniture store located in the strip mall that has been vacant for the past six months. Paper Route has retained an architect and prepared preliminary plans to renovate the site. The renovation coast are expected to be under \$30,000.

Paper Route Tobacco, Inc. aims to give every one of its clients a feeling that everything there is exclusively for them. Paper Route Tobacco will be a neighborhood tobacco shop, that will sell cigars, tobacco and sells assorted electronic cigarette products and accessories to help smokers alleviate their cigarette addiction. The Company will provide a large selection of products including starter kits, vape pens, vape mods, vape pods, dry herb vapes, disposable vapes and flavored liquid.

Products Served

Paper Route Tobacco, Inc. will operate a tobacco shop that sells electronic cigarette products and accessories:

1. Electronic cigarettes
2. Electronic cigarette accessories
3. Tank refills
4. Vaping equipment
5. E-liquids

Company Description

Paper Route Tobacco, Inc. will be involved in the sale of cigars, sale of tobacco-related accessories, sale of other tobacco products, mass marketing cigars and cigarillos, sale of premium cigars, providing a cigar-friendly environment, and tobacco et al. to the people of Palatine and neighboring suburbs and visitors.

Who is Paper Route Tobacco, Inc.

Paper Route Tobacco, Inc., located at 1242 Dundee Road, Palatine, IL is a new, upscale vape shop that will sell electronic cigarette products and accessories. The Company will provide a large selection of products including starter kits, vape pens, vape mods, vape pods, dry herb vapes, disposable vapes and flavored liquid.

Henry Hernandez (“Henry”) is an entrepreneur who is passionate about vaping as an alternative to tobacco smoke. Henry has an extensive sales background and has worked in the vape e-cigarette market for over two years. Paper Route Tobacco, Inc., will become a well-known vape shop in Palatine, Illinois. Upon surveying the local customer base and finding the potential retail location, Henry incorporated Paper Route Tobacco, Inc., as an S Corporation on January 4, 2023.

Henry has selected the initial location as there is no competitor nearby and customers of the Northwest suburbs often have to travel to far distance to purchase tobacco-related products.

Since incorporation, the Company has achieved the following milestones:

- Found location and signed a Lease
- Developed the Company’s name, logo, and website
- Determined the list of products to be offered
- Began recruiting key employees with experience in vape shops

Products/Services

Paper Route Tobacco, Inc. will provide the following products to its customers:

- Electronic cigarettes
- Electronic cigarette accessories
- Tank refills
- Vaping equipment
- E-liquids

Industry Analysis

Paper Route competes against small, individually owned vape shops and major regional or national chains. The global vape shop market size was valued at \$15.04 billion last year and is expected to expand at a compound annual growth rate (CAGR) of 28.1% over the next five years. The US vape market size is expected to reach \$40.25 billion this year, indicating a CAGR of 27.3% over the past 10 years.

Vaping in the US has soared in popularity lately, especially among millennials, fueling an increased number of vape shops. Going forward, the vape industry will continue to grow, as the US population will likely switch to e-cigarettes, especially youngsters and those who want to quit smoking. As more consumers become aware of the hazardous effects of tobacco smoking, they are introduced to new and safer smoking devices, thereby increasing the demand for these products.

To gain a significant share in the market, the key players are now focusing on adopting strategies such as product innovations, mergers & acquisitions, recent developments, joint ventures, collaborations, and partnerships. The leading players are introducing various e-liquid flavors in the market to cater to the evolving preferences of customers, thereby propelling market growth.

Customer Focus

Paper Route Tobacco, Inc. will primarily offer its products to the residents living within a

10-mile radius of the business location. The demographics of these customers are:

Strategic Focus and Plan

Mission Statements

The mission of Paper Route Tobacco, Inc. is to launch the most exclusive and luxurious tobacco shop in the market. We plan to operate the business to meet weekly, monthly, and yearly profits to continue to grow and offer even more perks to our clients. Paper Route will comply with the provision so the Village Of Palatine Clean Indoor Air Ordinance will have signs prohibiting customers and patrons from smoking any product on the premises or within 15 feet of the entrance. Signs will be placed through the store on the exterior of the premises as required by section 9-75 of the Clean Air Ordinance. Paper Route Tobacco, Inc. will limit access to the store to customers 21 and older by way and will ensure all patrons are 21 years older before entering the store. Minors will not be allowed to enter the store.

At the heart of our business, we want to socially empower our clients and motivate our clients and provide products that will allow adults to purchase legal cannabis accessories and e-cigarette to allow smoker to ween off tobacco.

Customer Analysis

Demographic Profile of Target Market

Paper Route Tobacco, Inc. will serve the residents of Palatine and the immediate surrounding areas. The residents it will serve are affluent and have the disposable income to purchase their products.

The precise demographics of the town in which the retail location resides is as follows Palatine:

The precise demographics of the town in which the retail location resides is as follows:

2021	Palatine
Total Population	67,875
Male Population	32,363
Female Population	35,512
Total Households:	
Average Household Income	\$109,987.00
Median Household Income	\$83,495.
People above Poverty Level	60,138
People above Poverty Level	6,4387
Residents Aged 25-44	\$89,163
Residents Aged 45-64	\$105,976

Customer Segmentation

We will primarily target the following three customer segments:

- College Students: The establishment will be located near suburban universities and community colleges and tailor its services and products for its target customer.
- Local sales and office workers: 5,542 individuals work in offices within Platine, and we expect a fair portion of these individuals to attend the establishment from 5:00 p m on.

Attachment: Business Plan (1242 E Dundee Road - SU Tobacco Shop)

- Local residents: Approximately 10,000 residents live near the surrounding area and a majority will frequent the establishment.

Financial Goals

To grow in revenue year over year by 10 percent.

Core Competence and Competitive Advantage

Paper Route Tobacco, Inc.'s competitive edge will be achieved through its community organizing ability via its website. This website will make available an interface for users to:

- Connect with Paper Route Tobacco, Inc. to access current information about any upcoming promotions or events.
- Connect with us on Social media networks like LinkedIn, Instagram, and Facebook
- Paper Route Tobacco, Inc. will be preferred over its competitors because the décor is spacious and modern.

Also, our employees will be well taken care of, and their welfare package will be among the best within our category in the industry, which means that they will be more than willing to build the business with Paper Route Tobacco, Inc., help deliver our set goals and achieve all our aims and objectives.

Situation Analysis
Swot Analysis
SWOT Analysis for Paper Route Tobacco, Inc.

<p>Strengths</p> <p>Outstanding and superb customer service;</p> <p>Wide range of assorted cigars, alcoholic drinks, and tobacco from the United States and other parts of the world;</p> <p>Excellent facility, Outstanding ambiance, and perfect location for a cigar lounge.</p> <p>Little competition.</p> <p>A large concentration of our target audience resides Near the Northwest Suburbs</p> <p>Reasonable pricing strategy.</p> <p>Updated and modern atmosphere.</p>	<p>Weaknesses</p> <p>Very little brand recognition.</p> <p>No existing customer base.</p> <p>No Awareness</p> <p>Low level of financial Stability</p> <p>Lack of access to key distribution channels</p>
<p>Opportunities</p> <ul style="list-style-type: none"> • Paper Route Tobacco, Inc. has the opportunity to take advantage of the small amount of competition. • Chicago Suburbs is one of the cities in the world where social life is at its peak. • Weak Competition • Increasing interest in Cigar smoking • Increasing interest into alternative to tobacco for health reasons 	<p>Threats</p> <ul style="list-style-type: none"> • The major threats that we are likely going to face is an economic downturn. It is a fact that the economic downturn affects purchasing/spending power. • While Illinois allows smoking in tobacco shops but allows cities such as Palatine to adopt more restrictive ordinances. These laws and city ordinances are subject to change at any time, and new legislation typically limits, rather than expands, smoking areas.

Attachment: Business Plan (1242 E Dundee Road - SU Tobacco Shop)

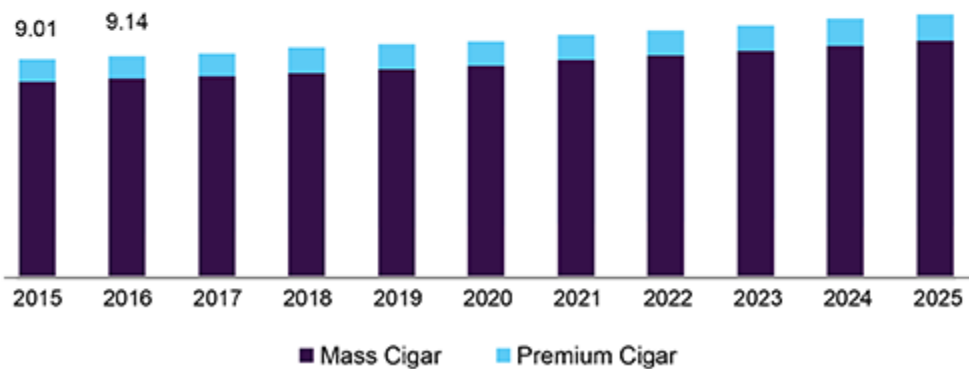
Tobacco Shop Market

Paper Route Tobacco, Inc. competes against small, individually owned tobacco and vape shops and major regional or national chains. The global vape shop market size was valued at \$15.04 billion last year and is expected to expand at a compound annual growth rate (CAGR) of 28.1% over the next five years. The US vape market size is expected to reach \$40.25 billion this year, indicating a CAGR of 27.3% over the past 10 years.

Vaping in the US has soared in popularity lately, especially among millennials, fueling an increased number of vape shops. Going forward, the vape industry will continue to grow, as the US population will likely switch to e-cigarettes, especially youngsters and those who want to quit smoking. As more consumers become aware of the hazardous effects of tobacco smoking, they are introduced to new and safer smoking devices, thereby increasing the demand for these products.

To gain a significant share in the market, the key players are now focusing on adopting strategies such as product innovations, mergers & acquisitions, recent developments, joint ventures, collaborations, and partnerships.

U.S. cigar & cigarillos market size, by product, 2015 - 2025 (USD Billion)



Source: www.grandviewresearch.com



The flavored cigar market research report examines the key questions around the implications of COVID-19 and provides a recovery analysis and outlook for the market in focus. The market has witnessed a neutral impact due to the COVID-19 situation. The research analysts at Technavio expects the flavored cigar market to grow by USD 2.36 billion during the forecast period, accelerating at a CAGR of almost 5%

Competitor Analysis

The industry has begun its rampant growth, and hundreds of tobaccos and vaping shops have been opening across the United States of America and particularly in Chicago Suburbs during the last ten years. The competition is stiff, many enterprises keep escalating, and companies have to invent clever moves to conquer their customers' hearts.

A farsighted and wise way of winning the competition without actually fighting would be to increase the value that the Company can offer to its clientele and implement a new innovative approach to business.

Overview of our major competitors

FreE- Cig.com Vape Shop
11 N Bothwell St, Palatine, IL 60067

FreE- Cig.com started in 2013 as a brick-and-mortar store that focus primarily on the a wide variety of in-house e-liquid flavors. We present a new e-juice flavor every month! Whether you are a seasoned vaper or someone just starting out, we can help you select the perfect set-up from our tried and true hardware offerings. This location is 5.2 miles from the proposed Paper Route location in Palatine.

Wise Guys Vapes Palatine
1500 W Algonquin Rd, Palatine, IL 60067

Wise Guys
Has multiple locations throughout Illinois and focuses primarily on vapes. Little information online is known about this establishment. This location is 8.4 miles from the Paper Route location in Palatine.

Lake Cook Smoke Shop
20017 Rand Rd
Palatine, IL 60074

Is a smoke shop that sells vapes and cigar products. This location is 2.7 miles from the Paper Route location in Palatine.

Customer Analysis

We anticipate that 85% of all our patrons will be men. Paper Route Tobacco, Inc. divided clients into the following market segments. These segments are the specialty smoker, the recreational smoker, average smokers, and occasional smokers. We have analyzed our clients into the following market segments based on their dedication:

Smokers trying to quit: These are known to be smokers who are addicted to tobacco and are trying to ween off cigarettes by way of electronic e-cigarettes.

Recreational Smokers: These are known to be chronic smokers of everyday brands but occasionally look for something else.

Average Smokers: These clients are dedicated to everyday brands but prefer to shop at Paper

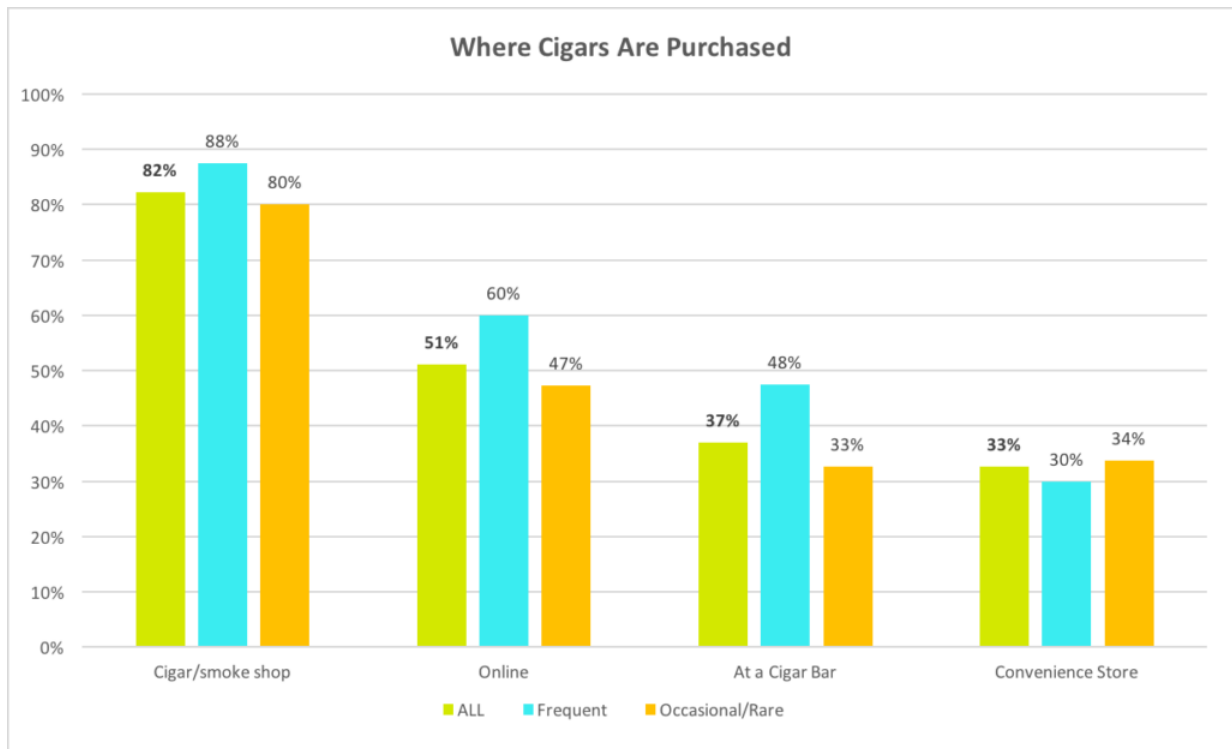
Route Tobacco, Inc. rather than markets or convenience stores.

Specialty Smokers: These are our hard-core smokers who actively patronize Paper Route Tobacco, Inc. and are looking to find the hardest to find brands that give a unique smoking experience.

Occasional Smokers: These are people who only occasionally smoke a cigar or cigarette but will sometimes be drawn to Paper Route Tobacco, Inc. due to special occasions (bachelor parties, birthdays, etc.)

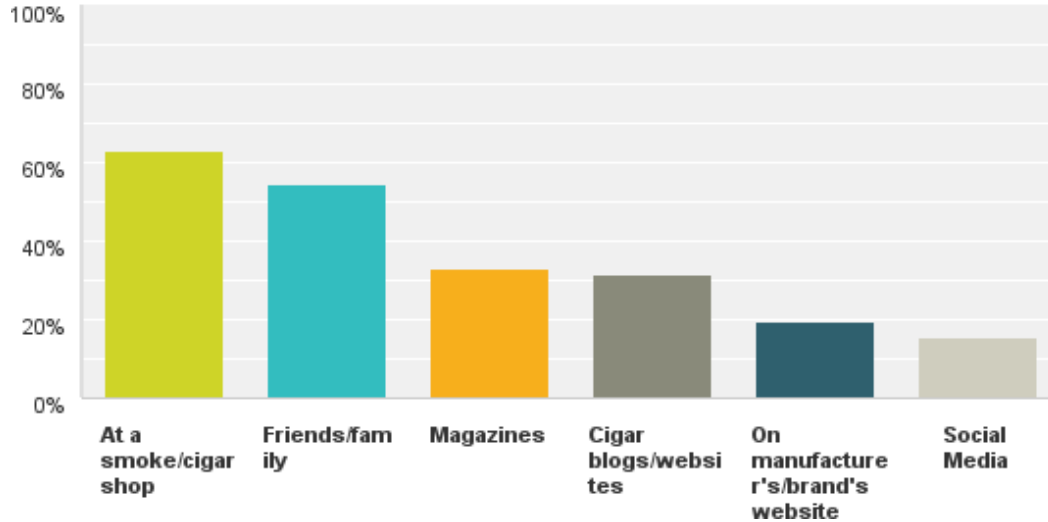
While Paper Route Tobacco, Inc. acknowledges that some female customers will be female, Paper Route Tobacco, Inc. anticipates that 85% of all our patrons will be men.

CIGAR MARKET SURVEY CONDUCTED BY RESPONSE AGENCY



Attachment: Business Plan (1242 E Dundee Road - SU Tobacco Shop)

How do you typically find out about cigars?



Point of difference

One of the factors that will give Paper Route Tobacco, Inc. a competitive edge is that we have enough space, unlike our other competitors, to accommodate the numbers of customers our store can contain per time. We do not neglect that we have a passionate and customer-centric workforce that is always willing to go the extra mile to give our customers full value for their money and time whenever they patronize Paper Route Tobacco, Inc. cigar lounge.

Strategy and Positioning

Strategy

The marketing strategy of Paper Route Tobacco, Inc. will be to establish a base of customers and local people between the ages of 21-40. To that end, the following tactics will be employed:

- Paper Route Tobacco, Inc. will be seeking mention in blogs for the Chicago north suburbs and Orland Park area.
- Paper Route Tobacco, Inc. will pay for advertisements on Google Adwords Express,

Yahoo Local, and other popular PPC websites in the state.

- Paper Route Tobacco, Inc. will optimize the use of the business webpage through Search Engine Optimization (SEO) tasks.
- Paper Route Tobacco, Inc.'s social media manager will not hesitate to use social media profiles to interact and communicate with past and potential customers.

Positioning

The truth about banning smoking in public places is that it's a blessing in disguise for people to start a tobacco and e-cigarette store. By offering customer smokeless products they will be able to use tobacco products in the comfort of their homes or automobiles without lingering odors. Paper Route Tobacco, Inc. knows that one way of gaining approval and winning customers over is to properly position the store ensure adequate security, availability of various brand of cigars, tobacco, and excellent customer service et al.

Paper Route Tobacco, Inc. is aware that cigar lounges easily attract intellectuals and businesspeople. We intend to take full advantage of the positioning strategy still available in the area of Paper Route Tobacco, Inc. Once the positioning strategy is well in hand at Paper Route Tobacco, Inc., profit margins should steadily increase. Thus, making certain that all of our commitments, made before opening, will be fulfilled without much difficulty.

Pricing Strategy

We will base our pricing strategy on our consumer survey results. To stay competitive, we have taken into consideration the pricing strategy that our competitors use.

The prices of our cigars, tobacco, e-cigarettes, vapes and accessories will be obtainable in the market. Paper Route Tobacco, Inc. will even try to sell below the industry's average to attract customers' loads and enhance market penetration. Paper Route Tobacco, Inc. also has plans to

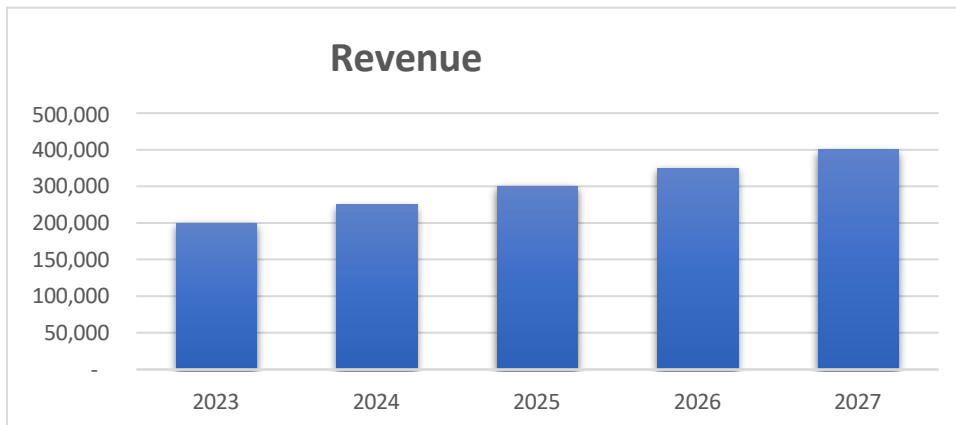
discount her products once in a while and reward her loyal customers.

Paper Route Tobacco, Inc. intends to create the perception that Paper Route Tobacco, Inc. is a modern location for relaxation and entertainment in a social environment.

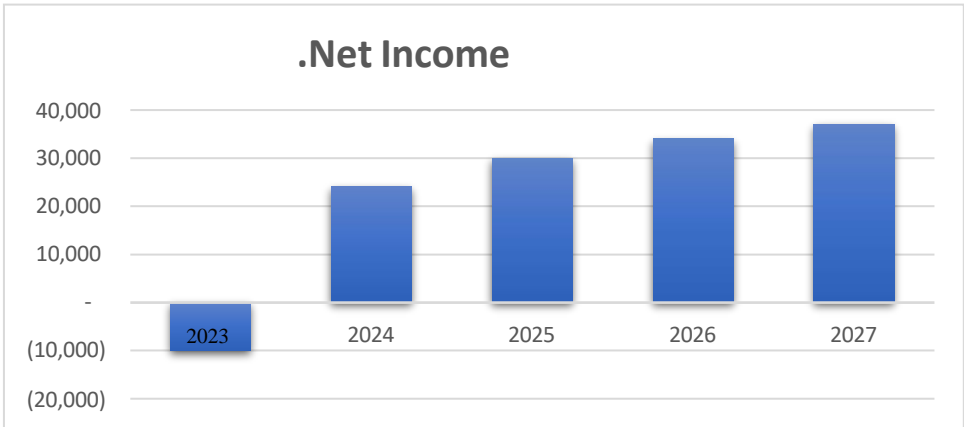
Financial Data and Projections

Revenue and Net Income Forecast Highlights (in dollars)				
		2023	2024	2025
Revenue:		200,000	250,000	300,00
Net Income:		-10,000	24,000	37,000

Financial Ratios				
		2023	2024	2025
Gross Margins:		-3%	5%	6%
Operating Margins		-3%	5%	6%
Net Profit Margins		-3%	5%	6%
Return on Assets		100%	171%	32%
Return on Equity		-71%	171%	32%



Attachment: Business Plan (1242 E Dundee Road - SU Tobacco Shop)



Organization Structure

Paper Route Tobacco, Inc. is a business established to be a pacesetter for how a typical smoke shop should be run in Chicagoland suburbs.

Paper Route Tobacco, Inc. has the goal of assembling a dedicated workforce that will give her customers excellent customer service at all times, a team that will ensure that we will continue to have repeated customers, and a team that will indeed make us the melting pot for smokers in the suburbs.

Below is the organizational structure that we will build Paper Route Tobacco, Inc. on;

Chief Executive Officer- Henry Hernandez

Smoke Shop Manager- Henry Hernandez

Attachment: Business Plan (1242 E Dundee Road - SU Tobacco Shop)

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PUBLIC NOTICE
 A Public Hearing will be held before the Palatine Zoning Board of Appeals on Tuesday, April 11, 2023 at 7 PM, in the Village Council Chambers at Palatine Village Hall, 200 E. Wood Street, relative to a request for the following:
Special Use to permit a tobacco shop at the subject property.
 The property is commonly known as 1242 E. Dundee Road.
 The Petitioner is proposing to open a tobacco and vape shop, Paper Route Tobacco, Inc., to sell specialty tobacco products and accessories.
 The above petition has been filed by Henry Hernandez and is available for examination in the office of the Village Clerk, 200 E. Wood Street.
 FILE #: SU-000020-2023
 VILLAGE OF PALATINE
 Jan Wood, Chair
 Palatine Zoning Board of Appeals
 DATED: This 27th day of March, 2023
 Published in Daily Herald
 March 27, 2023 (4597470)

CERTIFICATE OF PUBLICATION
Paddock Publications, Inc.

Northwest Suburbs
Daily Herald

Corporation organized and existing under and by virtue of the laws of the State of Illinois, DOES HEREBY CERTIFY that it is the publisher of the **Northwest Suburbs DAILY HERALD**. That said **Northwest Suburb DAILY HERALD** is a secular newspaper, published in Arlington Heights, Cook County, State of Illinois, and has been in general circulation daily throughout Cook County, continuously for more than 50 weeks prior to the fir Publication of the attached notice, and a newspaper as defined by 715 ILCS 5/

I further certify that the **Northwest Suburbs DAILY HERALD** is a newspaper as defined in "an Act to revise the law in relation to notices" as amended in 1992 Illinois Compiled Statutes, Chapter 715, Act 5, Section 1 and 5. That notice of which the annexed printed slip is a true copy, was published 03/27/2023 in said **Northwest Suburbs DAILY HERALD**. This notice was also placed on a statewide public notice website as required by 5 ILCS 5/2.1.

BY *Daula Baltz*
 Designee of the Publisher of the Daily Herald

Control # 4597470



Attachment: Public Notice (1242 E Dundee Road - SU Tobacco Shop)